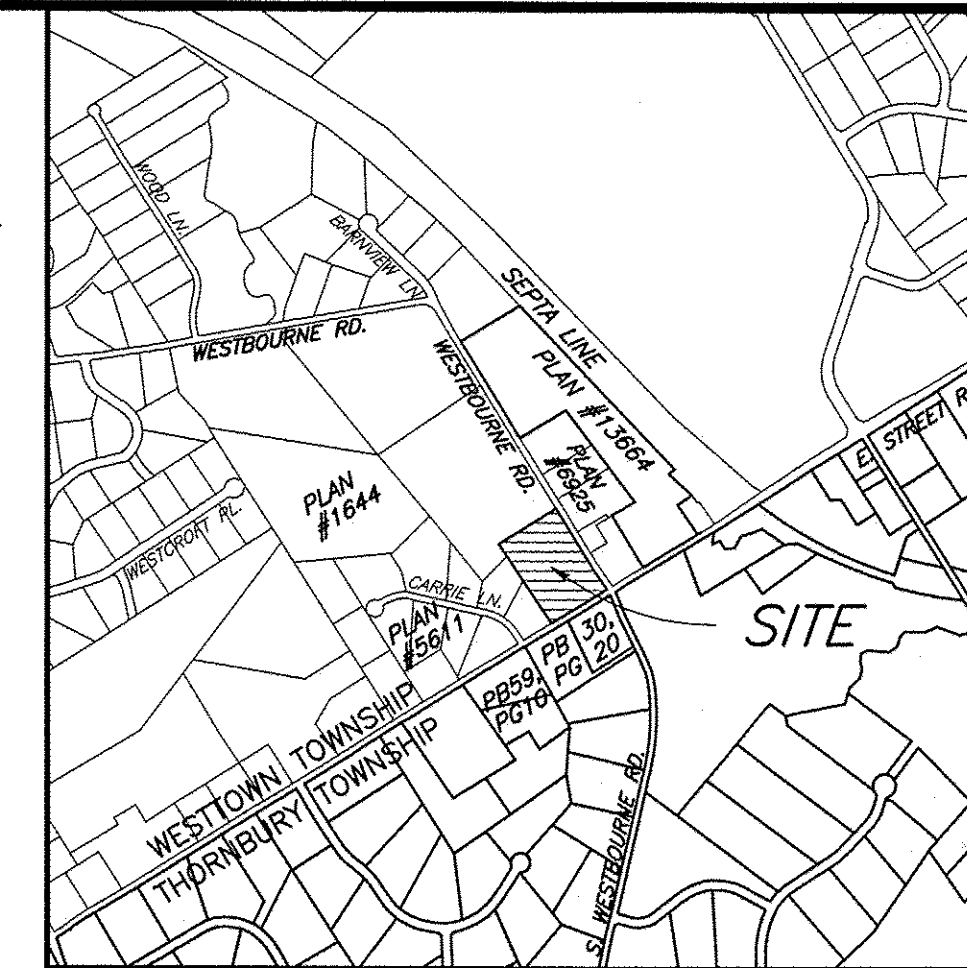


**WAIVER REQUESTS**

- SECTION 149-802 WAIVER TO NOT BE REQUIRED TO SUBMIT A LANDSCAPE PLAN AS NO LANDSCAPING IS REQUIRED.



**LOCATION MAP**

SCALE: 1" = 1000'

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF CHESTER

On the \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_  
before me, the subscriber, a Notary Public of the Commonwealth of Pennsylvania, residing in \_\_\_\_\_, personally appeared \_\_\_\_\_ who acknowledges himself to be the \_\_\_\_\_ who and that as such to do so, he executed the foregoing plan by signing his name by himself as \_\_\_\_\_ that he is the owner of the designated land, that necessary approval of the plan has been obtained and is endorsed thereon and that he desires that the foregoing plan may be duly recorded.

Notary Public \_\_\_\_\_

My Commission Expires \_\_\_\_\_

**LEGEND**

- TRACT BOUNDARY
- EXIST. EDGE OF PAVING
- RIGHT OF WAY LINE
- PROPOSED DRIVEWAY
- PROPOSED LOT LINE
- PROPOSED LOT NUMBER
- PROPOSED HOUSE
- PROPOSED WALK

**LOT AREA CALCULATIONS**

GROSS PARCEL AREA = 178,934 S.F. (4.108 AC.)  
EX. LEGAL R.O.W. = 18,501 S.F.  
PROP. ULTIMATE R.O.W. = 13,466 S.F.

NET PARCEL AREA = 146,854 S.F. (3.37 AC.)  
LOT 1 (NET AREA) = 49,649 S.F.  
LOT 2 (NET AREA) = 49,762 S.F.  
LOT 3 (NET AREA) = 47,443 S.F.

**PARKING DATA**

REQ. S.F. HOUSE 3 SP.

**PROVIDED**

LOT	3 CAR GARAGE	DRIVEWAY	ALONG DRIVEWAY	SP.
LOT 1	3	3	1	7
LOT 2	2	2	2	4
LOT 3	3	3	1	6

REVIEWED by the Planning Commission of Westtown Township, Chester County, Pa., this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

APPROVED by the Board of Supervisors of Westtown Township, Chester County, Pa., this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

REVIEWED by the Chester County Planning Commission this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Secretary \_\_\_\_\_

APPROVED by the Westtown Township Engineer, \_\_\_\_\_

Date \_\_\_\_\_

Recorded in the Office of the Recorder of Deeds of Chester County at West Chester, Pennsylvania in Plan book \_\_\_\_\_ Page \_\_\_\_\_ on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**PRELIMINARY/FINAL  
TITLE PLAN**

- 3-12-18 ADDED ACCESS EASEMENT INFO.
- 2-21-18 REV. DRIVEWAY FOR LOT 3
- 1-3-18 REV. PER MCCORMICK TAYLOR COMMENTS OF 11-30-17

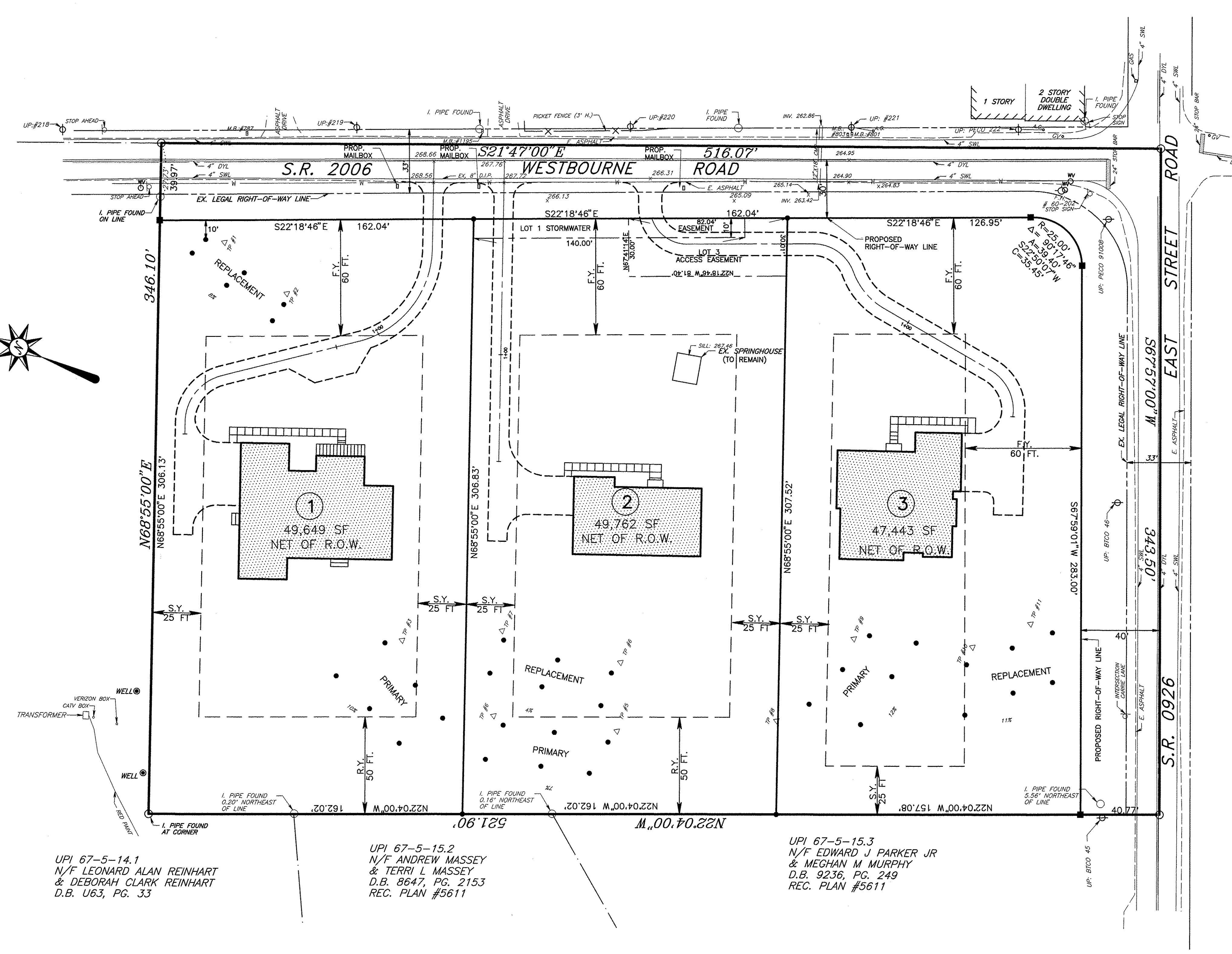
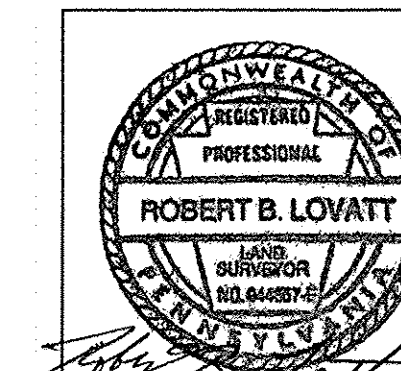
**PLAN OF SUBDIVISION AND LAND DEVELOPMENT  
FOR  
MICHAEL HAYES**

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.

CIVIL ENGINEERS & SURVEYORS  
Lionville Professional Center  
125 Doulon Forge Rd.  
Exton, Pennsylvania 19341  
Phone: 610-903-0060  
Fax: 610-903-0080

Project - 4376  
Date - 10-25-17  
Scale - 1" = 30'  
Drawn - RBL  
Checked - AE  
Sheet - 1 OF 8



**GENERAL NOTES:**

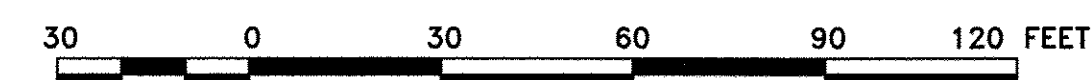
- OWNER OF RECORD: MICHAEL AND PAMELA HAYES  
MAILING ADDRESS: 807 GOSHEN RD., WEST CHESTER, PA 19380  
SITE ADDRESS: 1196 WESTBOURNE RD., WEST CHESTER, PA 19382  
DEED REFERENCE: DEED BOOK 9585, PAGE 2004
- BOUNDARY, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION IS FROM A FIELD SURVEY PERFORMED BY EDWARD B. WALSH & ASSOCIATES, INC. IN AUGUST, 2017.
- BOUNDARY SURVEY WAS BASED UPON DEEDS AND PLANS OF RECORD. A TITLE REPORT WAS NOT PROVIDED, THEREFORE, SURVEY DOES NOT PURPORT TO DEPICT ALL RIGHTS, EASEMENTS, COVENANTS, RESTRICTIONS, ETC. THAT A CURRENT AND COMPLETE TITLE REPORT WOULD DISCLOSE.
- VERTICAL DATUM: NAVD 1988
- THERE ARE NO WETLANDS PRESENT ON SITE.
- PENNDOT HIGHWAY OCCUPANCY PERMITS ARE REQUIRED FOR ACCESS TO SR 2006 WESTBOURNE ROAD. THE DRIVEWAYS HAVE BEEN LOCATED TO COMPLY WITH PENNDOT FORM M-9505 REGARDING SIGHT DISTANCES FOR MINIMUM USE DRIVEWAYS.
- THE TIME SCHEDULE FOR THE PROJECT IS TO BEGIN HOUSE CONSTRUCTION FOR LOTS 1 AND 2 IN APRIL OF 2018. LOT 3 HOUSE CONSTRUCTION WILL COMMENCE WHEN THE LOT IS SOLD.

**ZONING CRITERIA FOR R-1 RESIDENTIAL DISTRICT:**

	REQUIRED	LOT 1	LOT 2	LOT 3
MIN. LOT SIZE	43,560 S.F. (1 ACRE)	49,649 S.F.	49,762 S.F.	47,443 S.F.
MIN LOT WIDTH @ S.L.	50 FEET	162.04 FEET	162.04 FEET	151.0 FEET
MIN. LOT WIDTH @ B.L.	150 FEET	162.04 FEET	162.04 FEET	151.0 FEET
SETBACK DISTANCE:				
FRONT YARD (MIN.)	60 FEET	115 FEET	127 FEET	110 FEET
SIDE YARD (MIN.)	25 FEET	38 FEET	40 FEET	28 FEET
REAR YARD (MIN.)	50 FEET	120 FEET	132 FEET	132 FEET
IMPERVIOUS COVERAGE (MAX.)	20%	16.92% (8,400 S.F.)	13.24% (6,590 S.F.)	15% (7,129 S.F.)
BUILDING HEIGHT (MAX.)	3 STORIES, < 35 FT.	< 35 FT.	< 35 FT.	< 35 FT.

**MONUMENT LEGEND**

- - INDICATES CONC. MONUMENT TO BE SET
- - IRON PIN TO BE SET



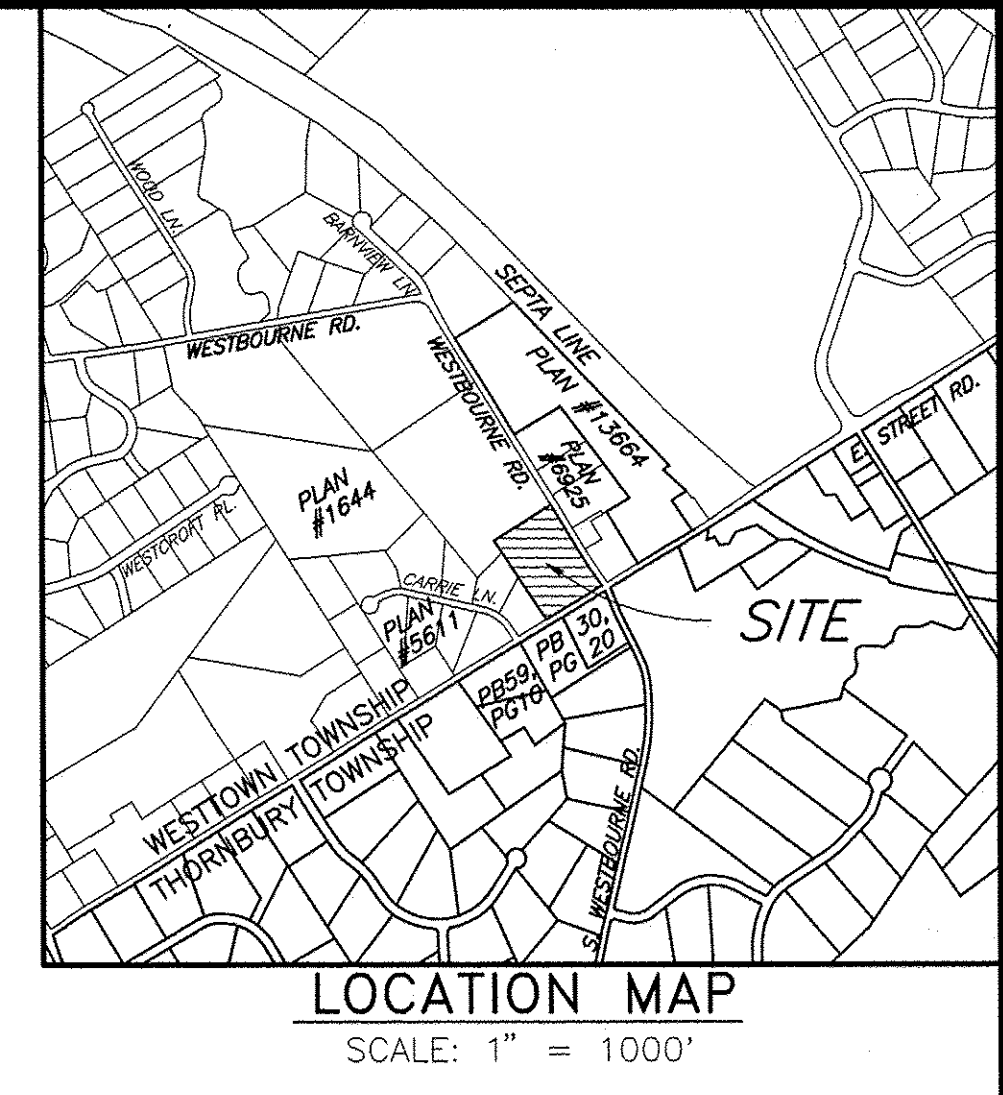
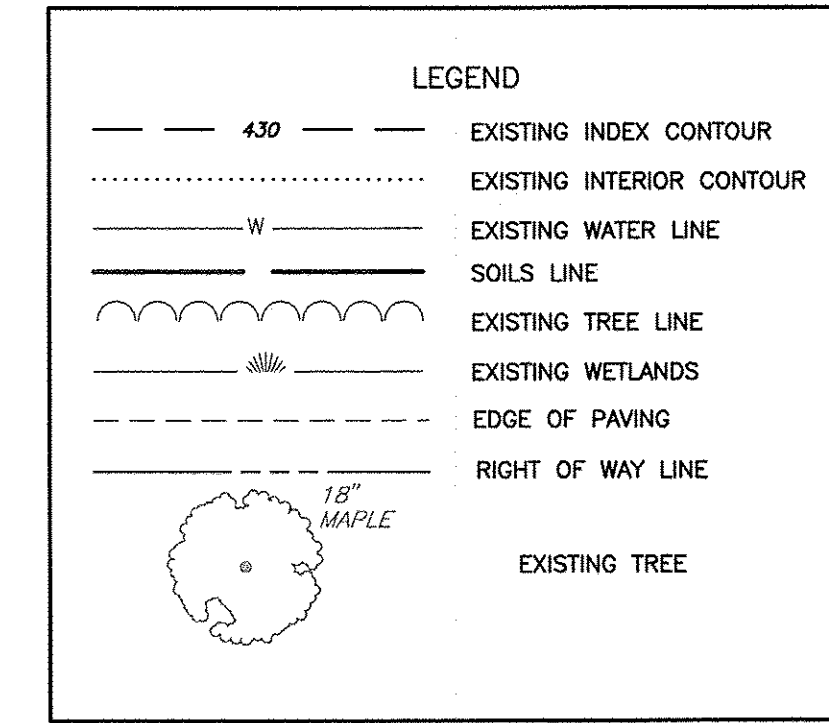
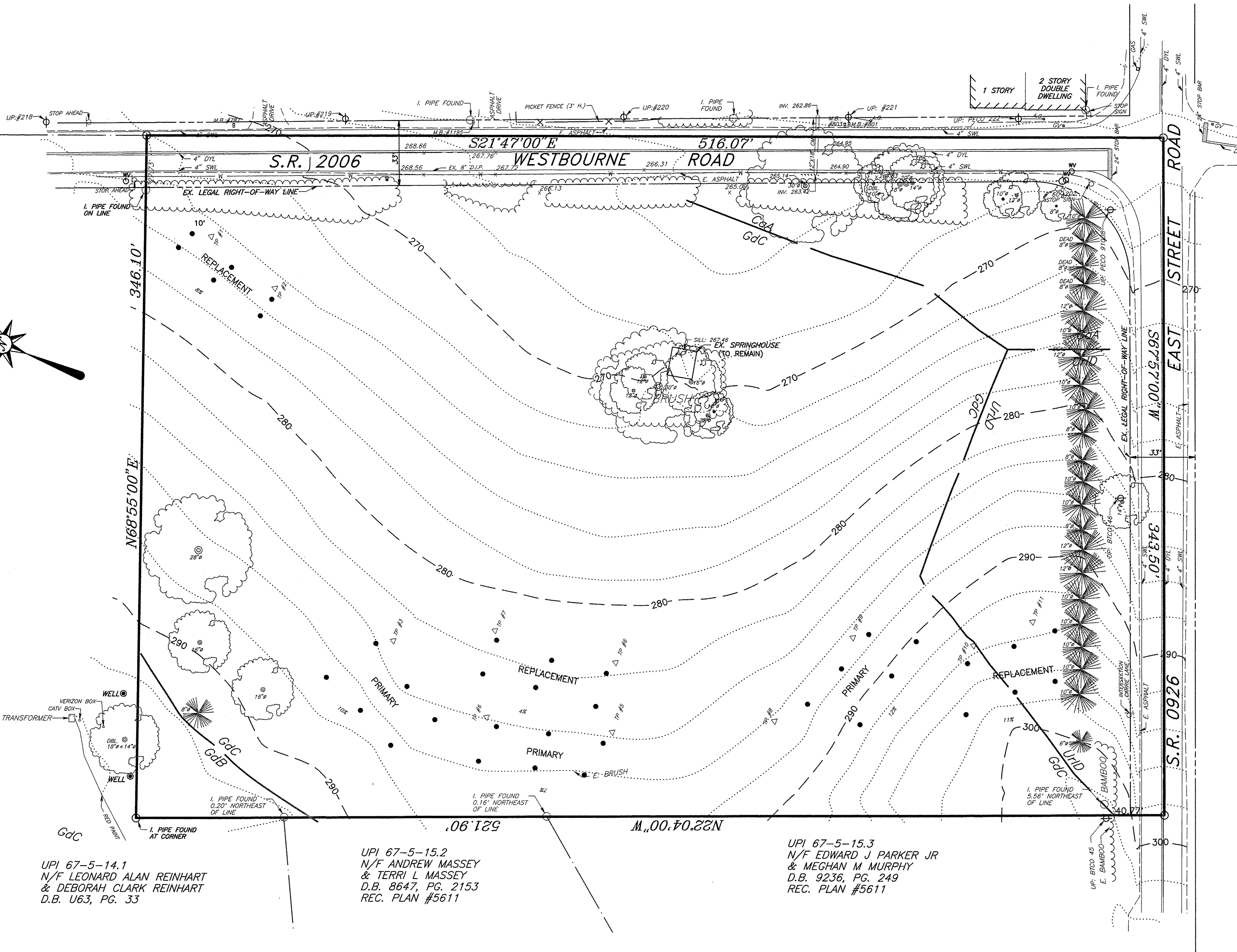
ACT 160 SERIAL NUMBER 20172372912  
Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

**UTILITIES NOTIFIED**

- VERIZON PENNSYLVANIA, INC.
- AQUA PENNSYLVANIA, INC.
- COMCAST CABLE
- PECO ENERGY
- WESTTOWN TOWNSHIP

UPI 67-5-14



LOCATION MAP  
SCALE: 1" = 1000'

**GENERAL NOTES:**

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- VERTICAL DATUM: NAVD 1988

UPI 67-5-14.1  
N/F LEONARD ALAN REINHART  
& DEBORAH CLARK REINHART  
D.B. U63, PG. 33

UPI 67-5-15.2  
N/F ANDREW MASSEY  
& TERRI L MASSEY  
D.B. 8647, PG. 2153  
REC. PLAN #5611

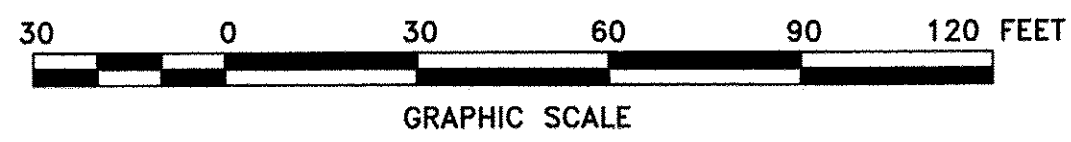
UPI 67-5-15.3  
N/F EDWARD J PARKER JR  
& MEGHAN M MURPHY  
D.B. 9236, PG. 249  
REC. PLAN #5611

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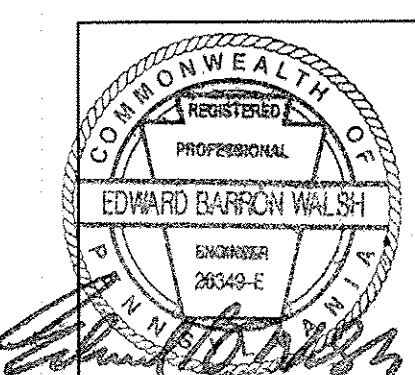


PRELIMINARY/FINAL  
EXISTING FEATURES PLAN

- 2-21-18 REV. DRIVEWAY FOR LOT 3
- 1-3-18 REV. PER MCCORMICK TAYLOR COMMENTS OF 11-30-17

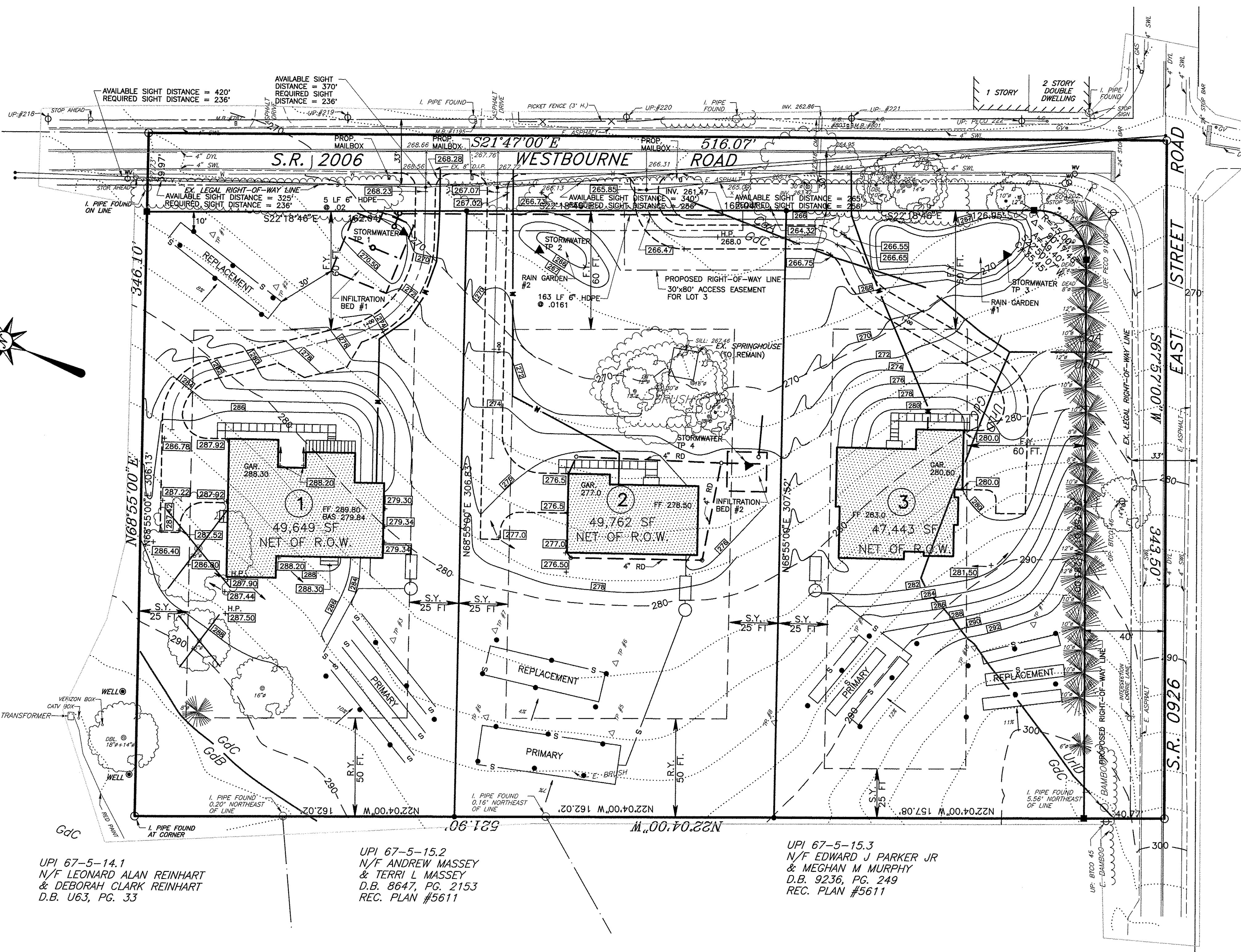
PLAN OF SUBDIVISION AND LAND DEVELOPMENT  
FOR  
MICHAEL HAYES

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.  
Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS  
Lionville Professional Center  
125 Dowlin Forge Rd.  
Exton, Pennsylvania 19341  
Phone: 610-903-0060  
Fax: 610-903-0080



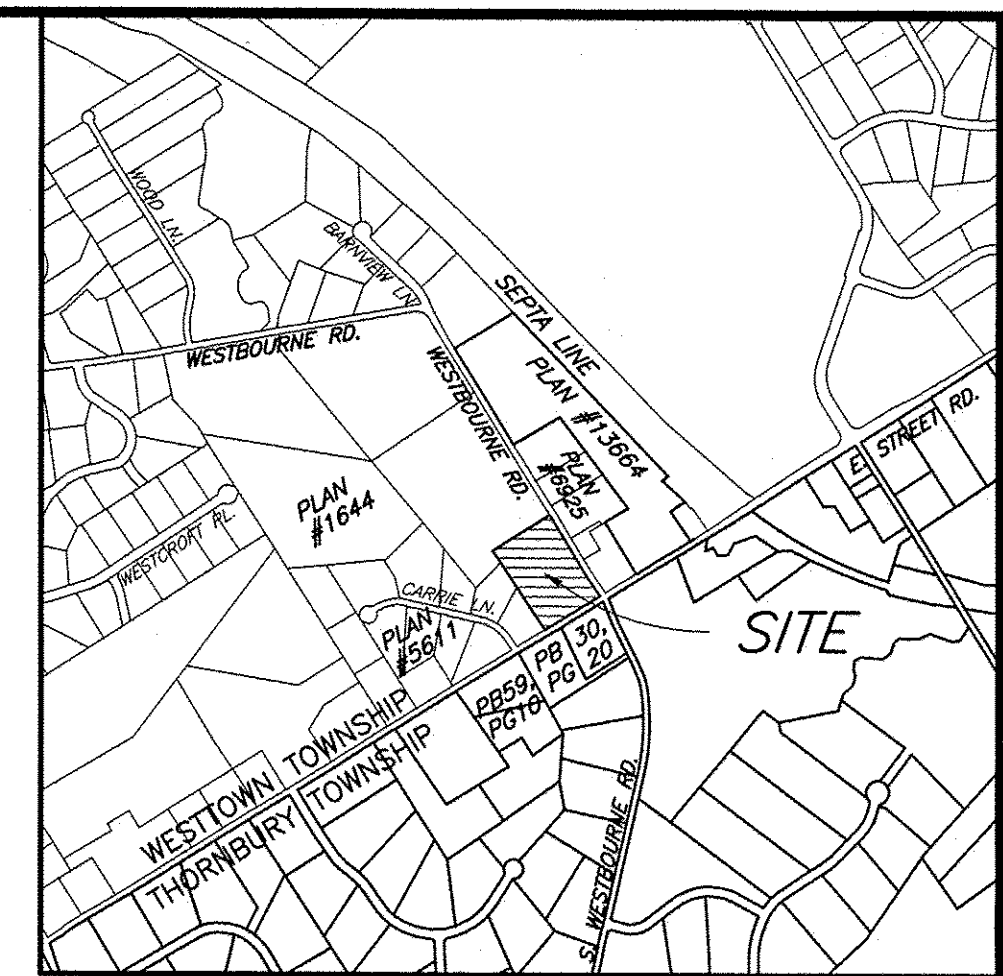
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Date- 10-25-17  
Scale- 1" = 30'  
Drawn- RBL  
Checked- AE  
Sheet- 2 OF 8





**LEGEND**

- 430 --- EXISTING INDEX CONTOUR
- EXISTING INTERIOR CONTOUR
- PROPOSED CONTOUR
- 54.68+ PROPOSED SPOT ELEVATION
- D PROPOSED INLET
- PROPOSED STORM SEWER PIPE
- W PROPOSED WATER LINE
- PS EXISTING WATER LINE
- PROPOSED PRESSURE SEWER
- SOILS LINE
- EXISTING TREE LINE
- EXISTING WETLANDS
- EDGE OF PAVING
- RIGHT OF WAY LINE
- 18" MAPLE EXISTING TREE
- (X) TREES TO BE REMOVED
- PROPOSED CURB
- X-X- FENCE
- PROPOSED WALL
- (1) PROPOSED LOT NUMBER
- PROPOSED FIRE HYDRANT



**LOCATION MAP**  
SCALE: 1" = 1000'

**GENERAL NOTES:**

1. OWNER OF RECORD: MICHAEL AND PAMELA HAYES  
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4. VERTICAL DATUM: NAVD 1988
5. THE ROOF DRAINS ON LOT 2 MUST HAVE LEAF GUARDS AND/OR GUTTER GUARDS INSTALLED.
6. SIGHT DISTANCE REQUIREMENT BASED ON PENNDOT FORM M-9505; FOR MEASURED SLOPE & SPEED LIMIT: SPEED LIMIT = 35 MPH: SLOPE TO LEFT APPROACHING DRIVEWAYS = +4%; SLOPE TO RIGHT APPROACHING DRIVEWAYS = -2% REQ. TO LEFT (FROM CHART = 236'; REQ. TO RIGHT = 265'.

UPI 67-5-14.1  
N/F LEONARD ALAN REINHART  
& DEBORAH CLARK REINHART  
D.B. U63, PG. 33

UPI 67-5-15.2  
N/F ANDREW MASSEY  
& TERRI L MASSEY  
D.B. 8647, PG. 2153  
REC. PLAN #5611

UPI 67-5-15.3  
N/F EDWARD J PARKER JR  
& MEGHAN M MURPHY  
D.B. 9236, PG. 249  
REC. PLAN #5611

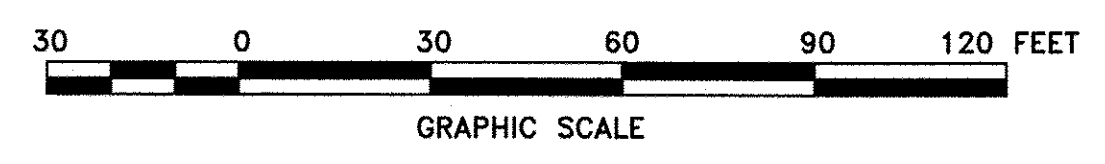
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UPI 67-5-14



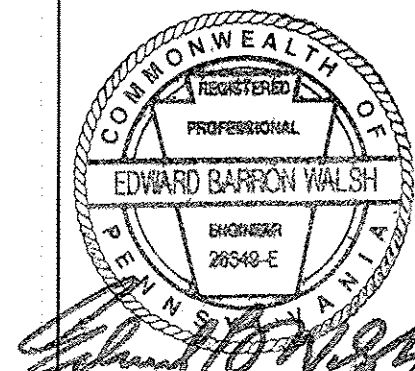
**PRELIMINARY/FINAL  
CONSERVATION,  
GRADING & UTILITIES PLAN**

2. 2-21-18 REV. DRIVEWAY FOR LOT 3
1. 1-3-18 REV. PER MCCORMICK TAYLOR COMMENTS OF 11-30-17

**PLAN OF SUBDIVISION AND LAND DEVELOPMENT  
FOR  
MICHAEL HAYES**

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.  
Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS  
Lionville Professional Center  
125 Dowlin Forge Rd.  
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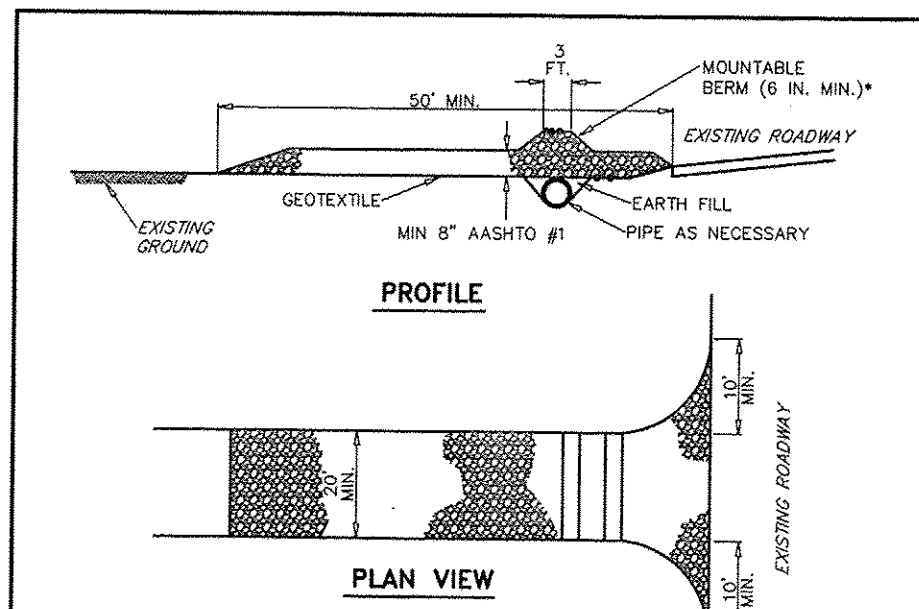
Project- 4376  
Date- 10-25-17  
Scale- 1" = 30'  
Drawn- RBL  
Checked- AE  
Sheet- 3 OF 8











**STANDARD CONSTRUCTION DETAIL #3-1  
ROCK CONSTRUCTION ENTRANCE**  
NOT TO SCALE

**NOTES:**

- \* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL COVER PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CULVERT.

**INSTALLATION SEQUENCE:**

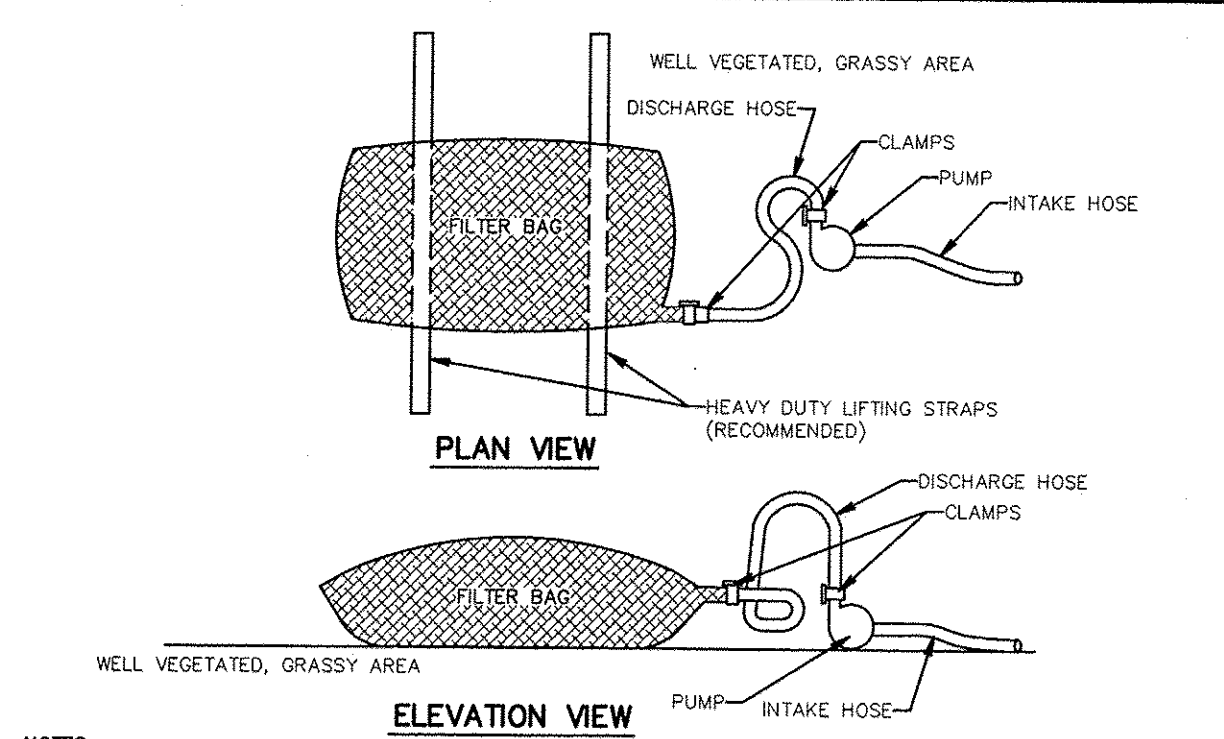
- PREPARE SURFACE BY REMOVING ANY DEBRIS AND TOPSOIL.
- EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- UPON REMOVAL OF CONSTRUCTION ENTRANCE, REMOVE STONE AS NEEDED AND STABILIZE ACCORDINGLY DEPENDENT ON THE PERMANENT USE OF THE AREA.

**MAINTENANCE NOTES:**

ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEETING THE DEPOSITED ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**INSPECTIONS:**

INSPECTIONS MUST BE PERFORMED AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE LOG, THE CHANNEL SHOULD BE PROPERLY SIZED AND PROVIDED WITH A SUITABLE PROTECTIVE LINING. THE DESIGNER AND/OR CONTRACTOR MUST EXERCISE CAUTION TO PROTECT ALL DOWNSTREAM PROPERTY OWNERS WHEN SELECTING A DISCHARGE POINT FOR THIS CHANNEL.



**STANDARD CONSTRUCTION DETAIL #3-16  
PUMPED WATER FILTER BAG**  
NOT TO SCALE

**NOTES:**

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS, THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	50 LBS/IN
GRAB TENSILE	ASTM D-4883	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLER BURST	ASTM D-3785	350 PSI
LV RESISTANCE	ASTM D-4252	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL NOT BE PLACED ON STRIPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

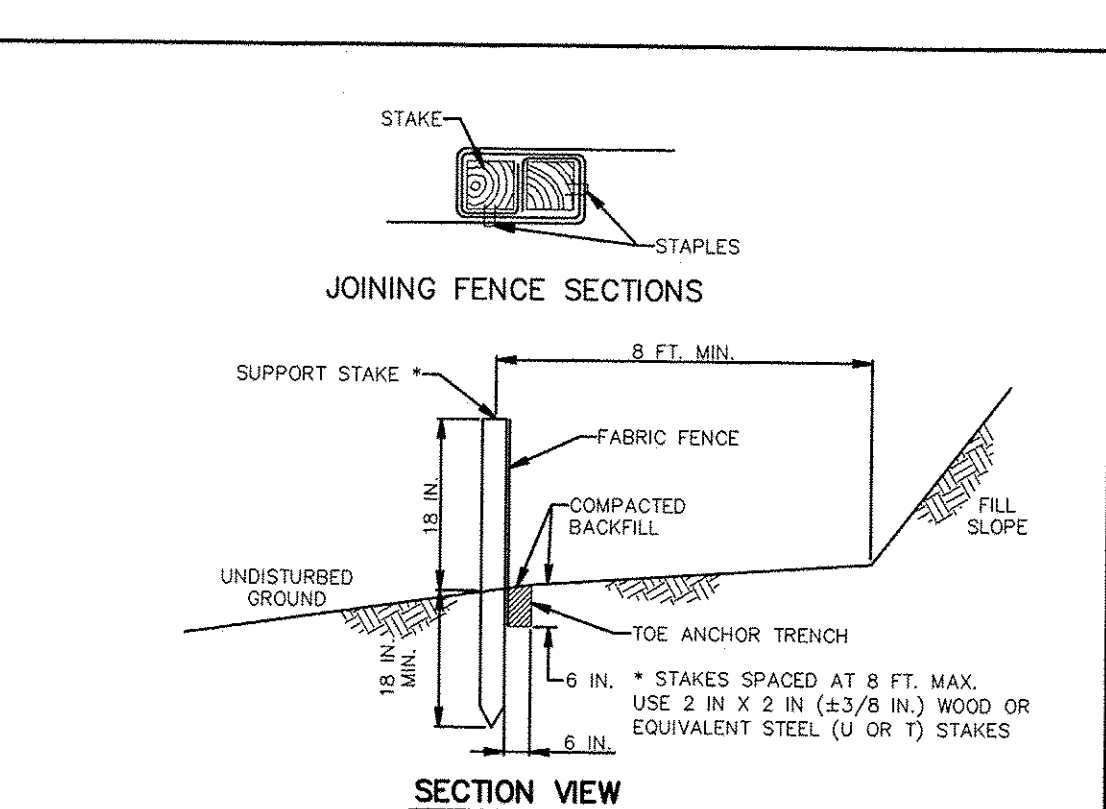
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

FILTER SOCK SHALL BE INSTALLED BELOW FILTER BAG.



**STANDARD CONSTRUCTION DETAIL #4-7  
STANDARD SILT FENCE (18" HIGH)**  
NOT TO SCALE

**NOTES:**

FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL.

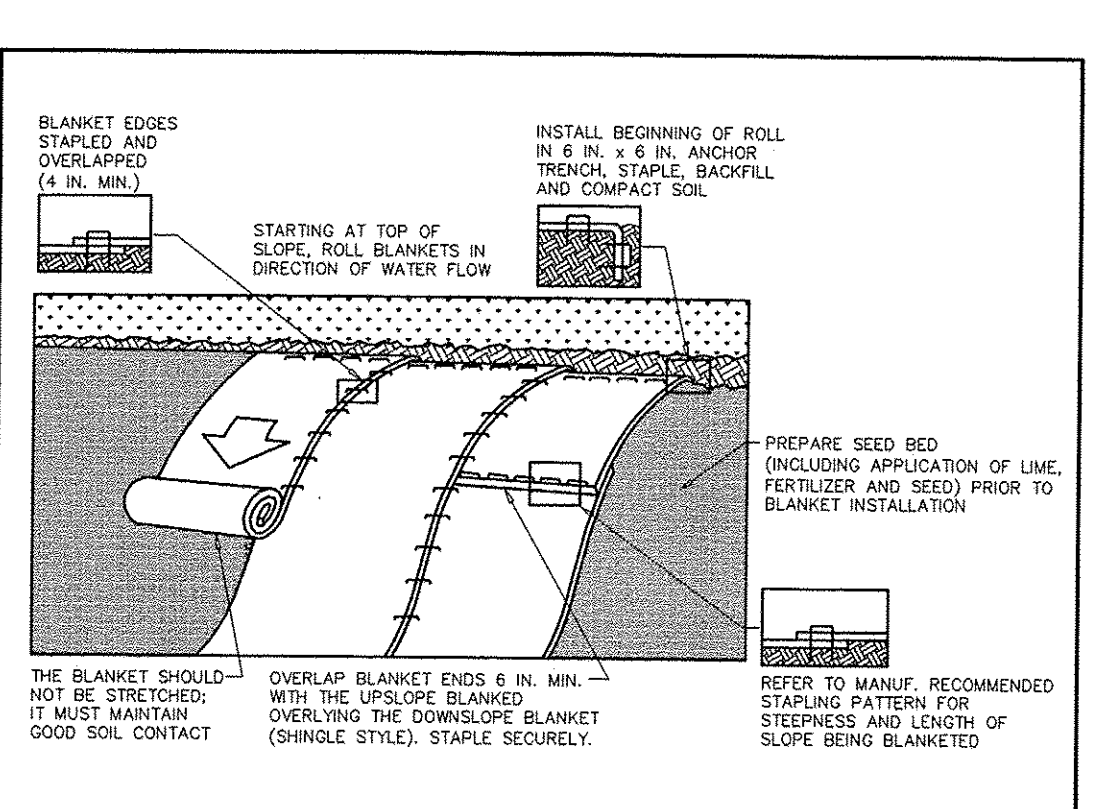
SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERMANENT VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.



**STANDARD CONSTRUCTION DETAIL #4-1  
EROSION CONTROL BLANKET INSTALLATION**  
NOT TO SCALE

**NOTES:**

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

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**SEED MIX SPECIFICATIONS**

Grass Seed: All seed shall be fresh, and new crop seed shall be labeled in accordance with the U.S. Department of Agriculture's Rules and Regulations under the Federal Seed Act in effect on the date of invitation for bids. All seed shall be furnished in sealed standard containers, bearing the warranty of the supplier and certifying as to the kind, percent by weight, percent by volume, and purity and shall be of the quality indicated by the percentages of purity and germination indicated on the list furnished with the applicable plan. Seed mix shall be as specified. Seed shall be at the rate of 4 lbs. per 1000 sq. ft. minimum for slopes 3:1 if greater, use 5 lbs. per 1000 sq. feet.

**PERMANENT SEEDING DATES MARCH 1 TO JUNE 1, AUGUST 1 TO OCTOBER 1**

NAME	GRASS SEED	PARTS BY WEIGHT	PURITY	GERMINATION
Kentucky Blue Grass	35%	95%	85%	
Pennistar or Penfine	35%	95%	90%	
Perennial Ryegrass	15%	95%	85%	
Pennlaw Fescue	15%	95%	80%	
Annual Ryegrass	15%	90%		

Mulch: Shall be hay which is free of weeds and seeds, not moldy or rotten, and shall be applied at all disturbed areas at a rate of 3 tons per acre.

Kentucky Bluegrass Sod (if called for)  
Sod shall be grown under supervision of the Bureau of Plant Industry Pennsylvania Department of Agriculture or shall be composed of only Blue Tag Certified Seed.

Temporary Seeding Dates: Anytime

Temporary Seeding: Shall be annual ryegrass at 40 lbs. per acre. Sod shall be grown under supervision of the Bureau of Plant Industry Pennsylvania Department of Agriculture or shall be composed of only Blue Tag Certified Seed.

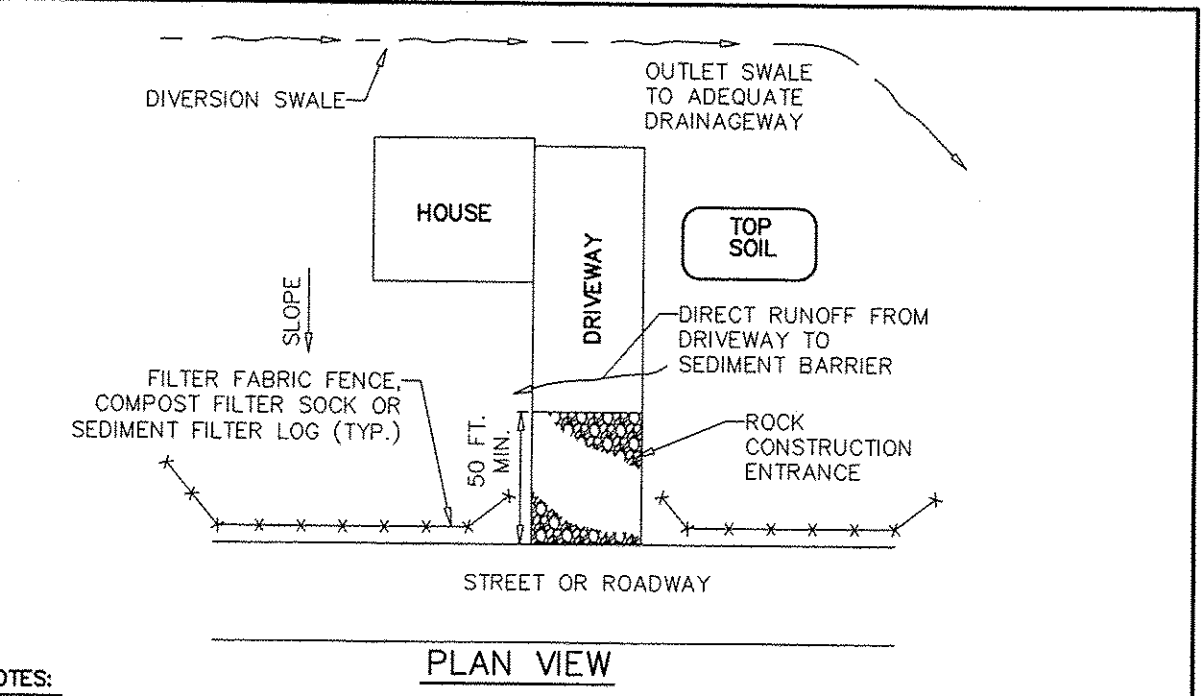
Hydroseeding: Shall be lime, fertilizer, grass seeds, legume seeds and incipient mixed with water and applied as slurry, at a rate of 1,000 gallons per acre. Fertilizer: at rate of 50-100-100 per acre.

Inoculants: use 5 times rate recommended on the package when seeding with a hydroseeder.

**PERMANENT SEEDING:**  
Inoculants: use 5 times rate recommended on the package as follows: 10-20-20 fertilizer shall be applied to areas to be seeded at the rate of 25 LBS/1000 Sq. Ft. pulverized dolomite limestone at 90 LBS/1000 Sq. Ft.

**SEEDING AND MULCH NOTES**

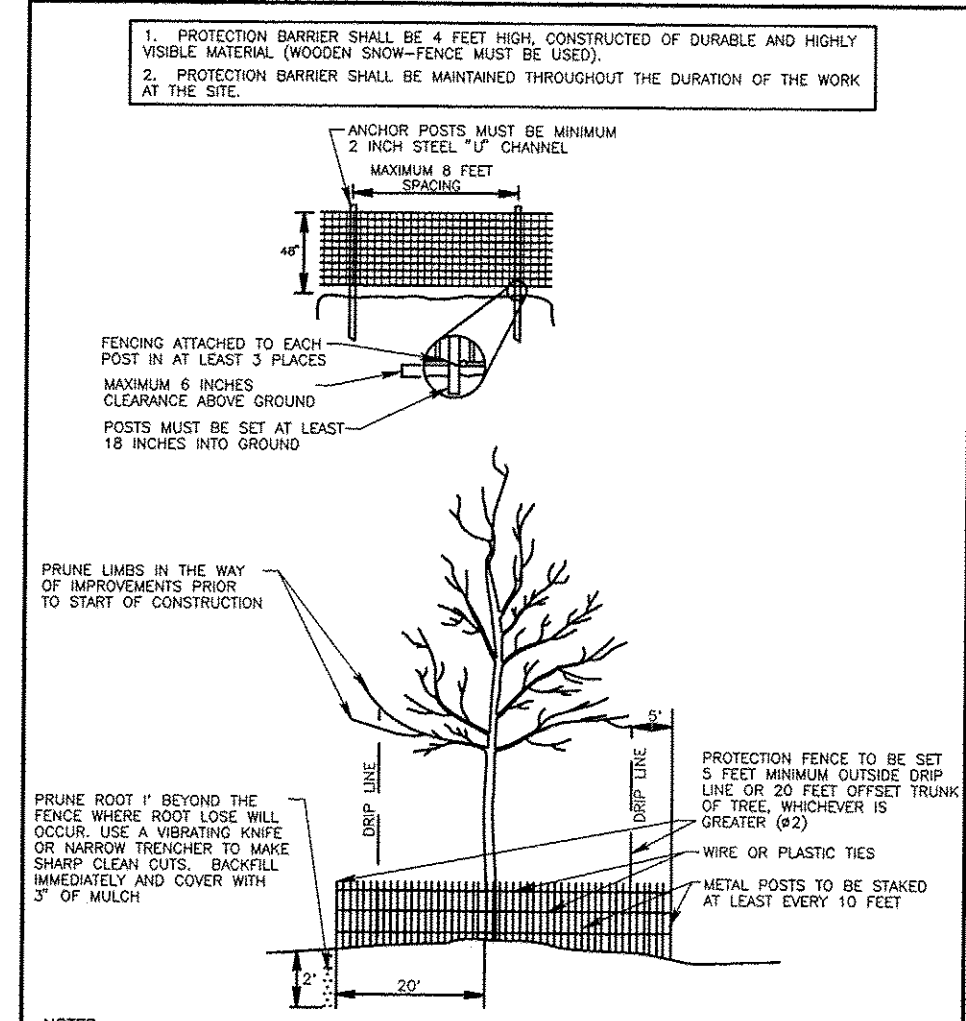
- Any undisturbed area on which activity has ceased must be seeded and mulched immediately. During non-germinating periods, mulch must be applied at the recommended rates. Disturbed areas which are not at finished grade and which will be redistributed within 1 year may be seeded and mulched with a quick growing temporary seeding mixture and mulch. Disturbed areas which are either at finished grade or will not be redistributed within 1 year must be seeded and mulched with a permanent seed mixture and mulch.
- Diversions, channels, sedimentation basins, sediment traps, and stockpiles must be seeded immediately.
- Hay or straw mulch must be applied at rates of at least 3.0 tons per acre.
- Graded areas are to be temporarily seeded and mulched immediately following earth moving procedures. Seed shall be annual eye grass applied at the rate of 3 lbs. per 1000 sq. ft.
- Establish permanent seeding as soon as possible after final grading is complete. Permanent seeding shall be 30% Pennlaw Red Fescue, 10% Pennlaw Perennial Ryegrass and 60% Kentucky Bluegrass applied at the rate of 3.5 lbs. per 1000 sq. ft.



**STANDARD CONSTRUCTION DETAIL #10-1  
TYPICAL ON-LOT BMPs FOR LOT ABOVE ROADWAY**  
NOT TO SCALE

**NOTES:**

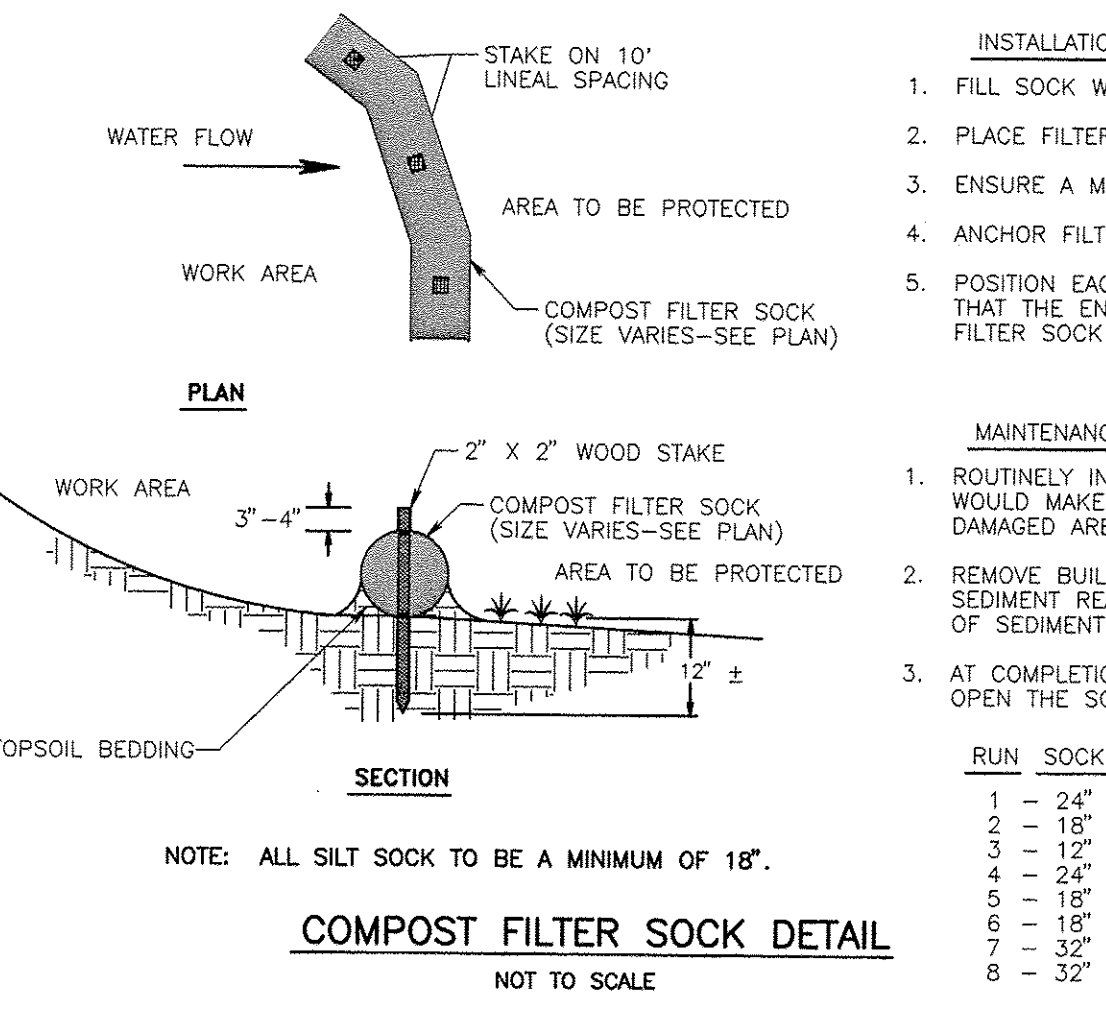
THE UPSLOPE DIVERSION CHANNEL SHOULD BE INSTALLED WHEREVER THE LOT EXTENDS MORE THAN 150 FEET ABOVE THE ROADWAY OR WHERE RUNOFF FROM AREAS ABOVE THE LOT IS NOT OTHERWISE DIVERTED AWAY FROM THE LOT. THE CHANNEL SHOULD BE PROPERLY SIZED AND PROVIDED WITH A SUITABLE PROTECTIVE LINING. THE DESIGNER AND/OR CONTRACTOR MUST EXERCISE CAUTION TO PROTECT ALL DOWNSTREAM PROPERTY OWNERS WHEN SELECTING A DISCHARGE POINT FOR THIS CHANNEL.



**TREE PROTECTION DETAIL**  
NOT TO SCALE

**NOTES:**

- PROTECTION FENCE SHALL BE 4 FEET HIGH, CONSTRUCTED OF DURABLE AND HIGHLY VISIBLE MATERIAL. WOODEN SIGNATURE MUST BE USED.
- PROTECTION BARRIER SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK.
- ANCHOR POSTS MUST BE MINIMUM 2" HIGH STEEL "I" CHANNEL MINIMUM 4 FEET SPACING.
- FENCING ATTACHED TO EACH POST IN AT LEAST 3 PLACES.
- MAXIMUM 6 INCHES CLEARANCE ABOVE GROUND.
- POSTS MUST BE SET AT LEAST 18 INCHES INTO GROUND.
- PRUNE LIMBS IN THE WAY OF IMPROVEMENTS PRIOR TO START OF CONSTRUCTION.
- PROTECTION FENCE TO BE SET 5 FEET MINIMUM OUTSIDE CURB LINE OR 20 FEET OFFSET TRUNK OF TREE, WHICHEVER IS GREATER (6').
- WIRE OR PLASTIC TIES SHALL BE STAKED AT LEAST EVERY 10 FEET.



**COMPOST FILTER SOCK DETAIL**  
NOT TO SCALE

**NOTES:**

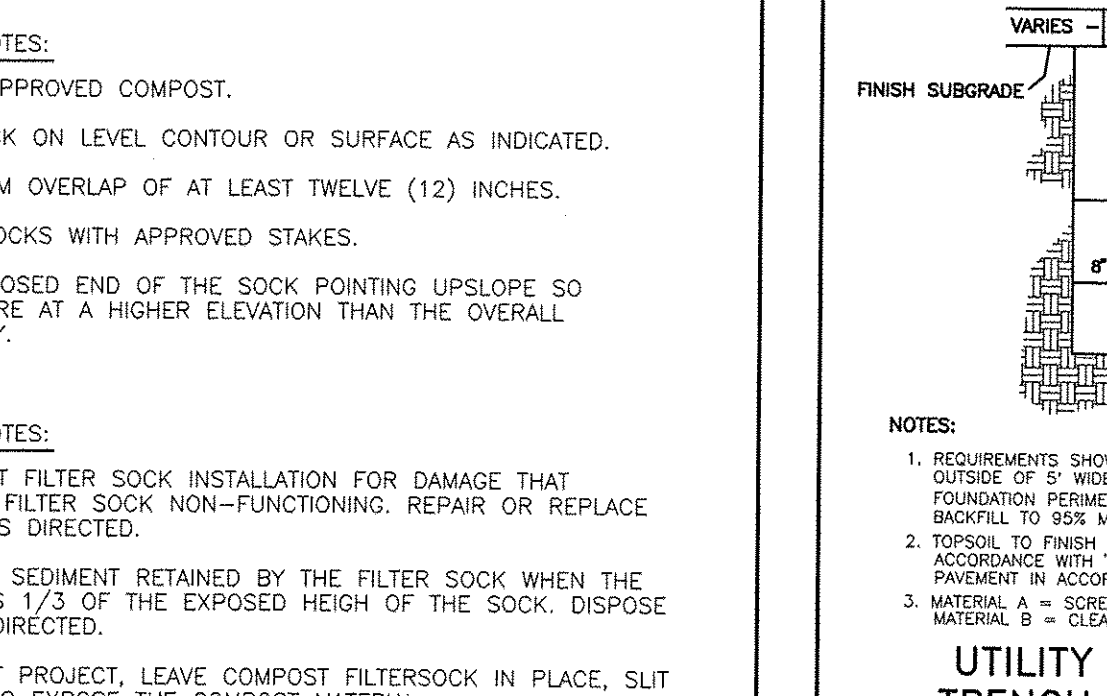
- FILL SOCK WITH APPROVED COMPOST.
- PLACE FILTER SOCK ON LEVEL CONTOUR OR SURFACE AS INDICATED.
- ENSURE A MINIMUM OVERLAP OF AT LEAST TWELVE (12) INCHES.
- ANCHOR FILTER SOCKS WITH APPROVED STAKES.
- POSITION EACH CLOSED END OF THE SOCK POINTING UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION THAN THE OVERALL FILTER SOCK BODY.

**MAINTENANCE NOTES:**

- ROUTINELY INSPECT FILTER SOCK INSTALLATION FOR DAMAGE THAT WOULD MAKE THE FILTER SOCK NON-FUNCTIONING. REPAIR OR REPLACE DAMAGED AREAS AS DIRECTED.
- REMOVE BUILT-UP SEDIMENT RETAINED BY THE FILTER SOCK WHEN THE SEDIMENT REACHES 1/3 OF THE EXPOSED HEIGHT OF THE SOCK. DISPOSE OF SEDIMENT AS DIRECTED.
- AT COMPLETION OF PROJECT, LEAVE COMPOST FILTER SOCK IN PLACE, SLIT OPEN THE SOCK TO EXPOSE THE COMPOST MATERIAL.

RUN	SOCK
1	24"
2	18"
3	12"
4	24"
5	18"
6	18"
7	32"
8	32"

NOTE: ALL SILT SOCK TO BE A MINIMUM OF 18".



**UTILITY TRENCH BACKFILL NOTES**

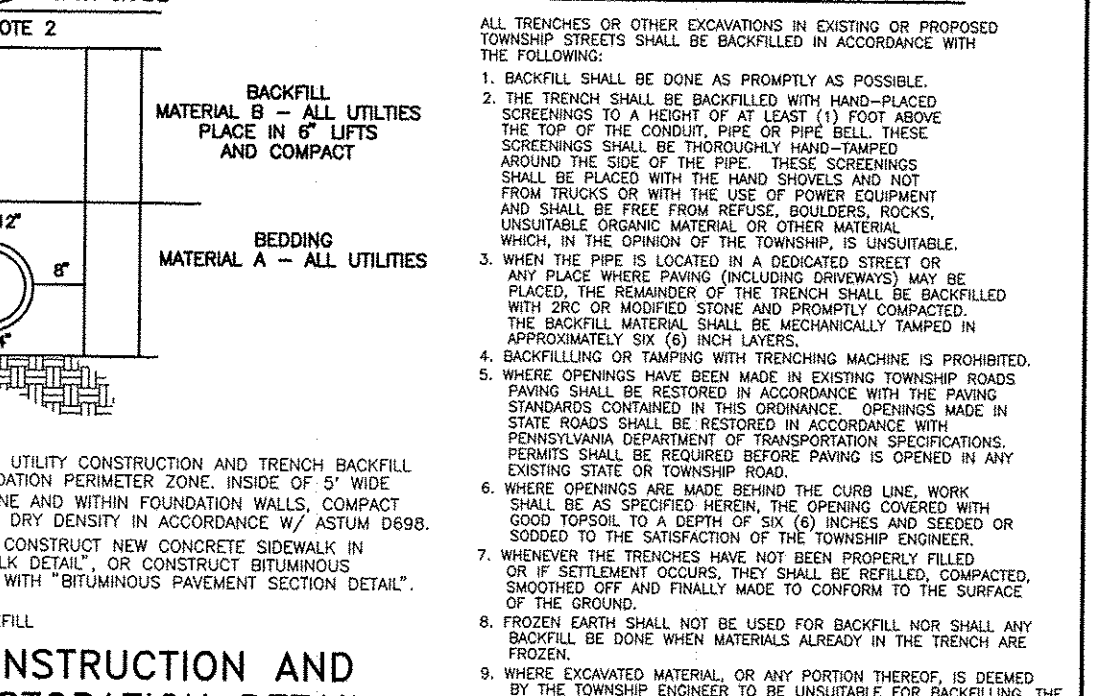
ALL TRENCHES OR OTHER EXCAVATIONS IN EXISTING OR PROPOSED TOWNSHIP STREETS SHALL BE BACKFILLED IN ACCORDANCE WITH THE FOLLOWING:

- BACKFILL SHALL BE DONE AS PROMPTLY AS POSSIBLE.
- THE TRENCH SHALL BE BACKFILLED WITH MANUFACTURED SCREENINGS TO A HEIGHT OF AT LEAST (1) FOOT ABOVE THE TOP OF THE CURBLINE, OR OF THE SIDEWALK, OR THE SURFACE OF THE ROADWAY. THESE SCREENINGS SHALL BE THRESHOLD, HAND-TAMPED AROUND THE SIDE OF THE TRENCH. THESE SCREENINGS SHALL BE PLACED WITH THE HAND SHOVELS AND NOT FROM TRUCKS OR WITH THE USE OF POWER EQUIPMENT AND SHALL BE FREE FROM FOREIGN MATERIAL, ROCKS, UNDESIRABLE ORGANIC MATERIAL OR OTHER MATERIAL WHICH IN THE OPINION OF THE TOWNSHIP, IS UNDESIRABLE.
- WHEN THE TRENCH IS LOCATED IN A DEDICATED STREET OR ANY OTHER PAVED DRIVEWAY (INCLUDING DRIVEWAYS) MAY BE PLACED. THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED WITH 3/4" OR HIGHER GRADE AND PROPERLY COMPACTED. THE PROPOSED FINISH SHALL BE APPROXIMATELY THREE (3) INCHES ABOVE THE ORIGINAL FINISH.
- BACKFILLING OR TAMPING WITH TRENCHING MACHINE IS PROHIBITED.
- WHEN OPENINGS HAVE BEEN MADE IN EXISTING TOWNSHIP ROADS OR DRIVEWAYS SHALL BE RESTORED IN ACCORDANCE WITH THE STANDARDS CONTAINED IN THIS ORDINANCE. OPENINGS MADE IN PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS SHALL BE RESTORED BEFORE PAVING IS OPENED IN ANY EXISTING DRIVEWAY OR DRIVEWAY.
- WHERE OPENINGS ARE MADE BEHIND THE CURB LINE, WORK SHALL BE AS SPECIFIED HEREIN. THE OPENING LOCATED WITH GOOD TOPSOIL TO A DEPTH OF SIX (6) INCHES AND SEEDED OR SOILED TO THE SATISFACTION OF THE TOWNSHIP ENGINEER.
- WHENEVER THE TRENCHES HAVE NOT BEEN PROPERLY FULFILLED OR IF REPLACEMENT OCCURS, THEY SHALL BE REPELLED, COMPACTED, SMOOTHED OFF AND FINALLY MADE TO CONFORM TO THE SURFACE OF THE GROUND.
- FROZEN EARTH SHALL NOT BE USED FOR BACKFILL, NOR SHALL ANY OTHER MATERIAL BE USED WITH MATERIALS ALLOWED BY THE TRENCH AREA.
- WHERE EXCAVATED MATERIAL OR ANY PORTION THEREOF IS DEEMED BY THE TOWNSHIP ENGINEER TO BE UNSUITABLE FOR BACKFILLING, THE DEVELOPER SHALL REMOVE AND PLACE DISPOSAL MATERIAL, APPROVED BY THE TOWNSHIP.

**UTILITY CONSTRUCTION AND TRENCH RESTORATION DETAIL**  
NOT TO SCALE

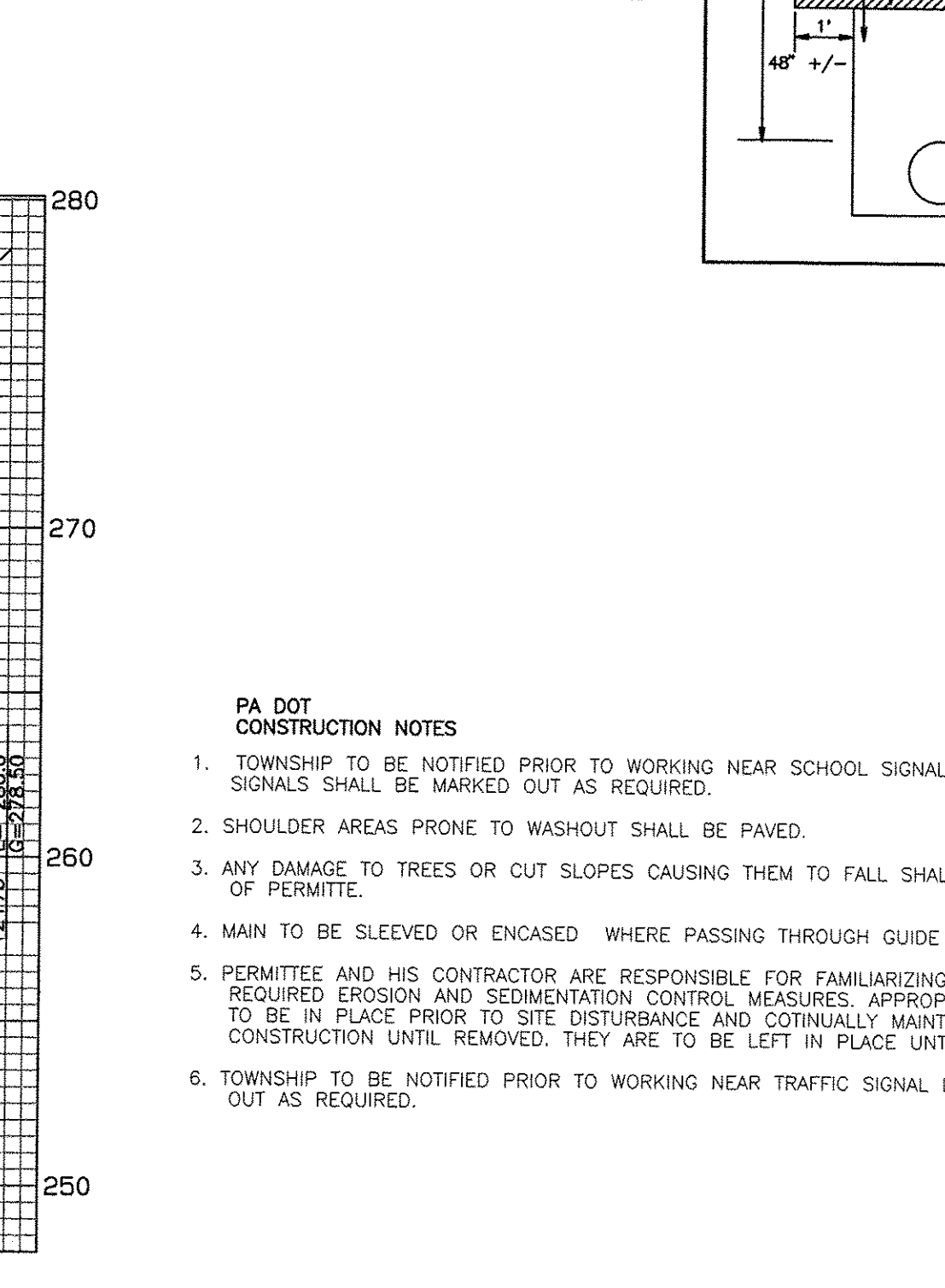
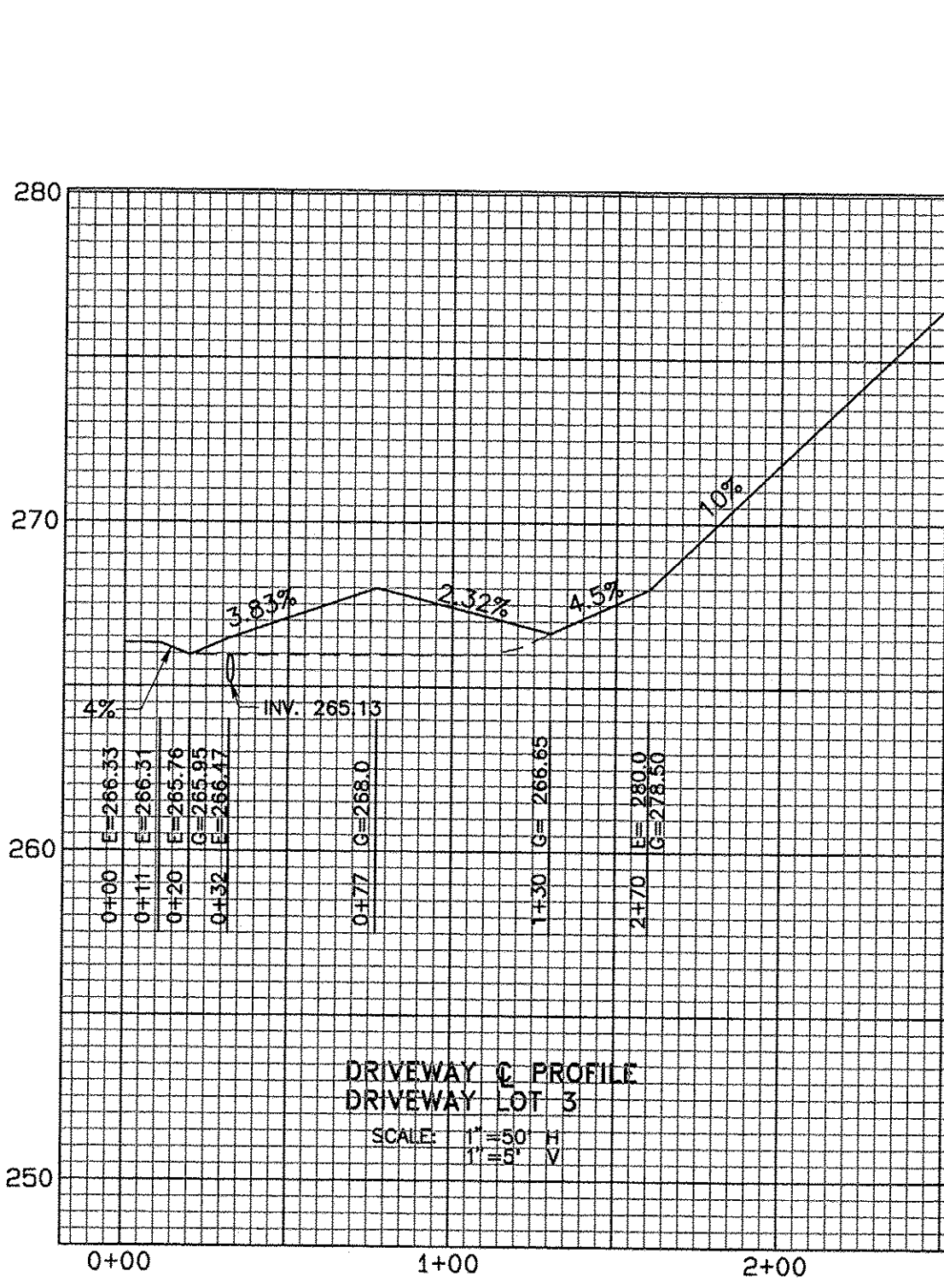
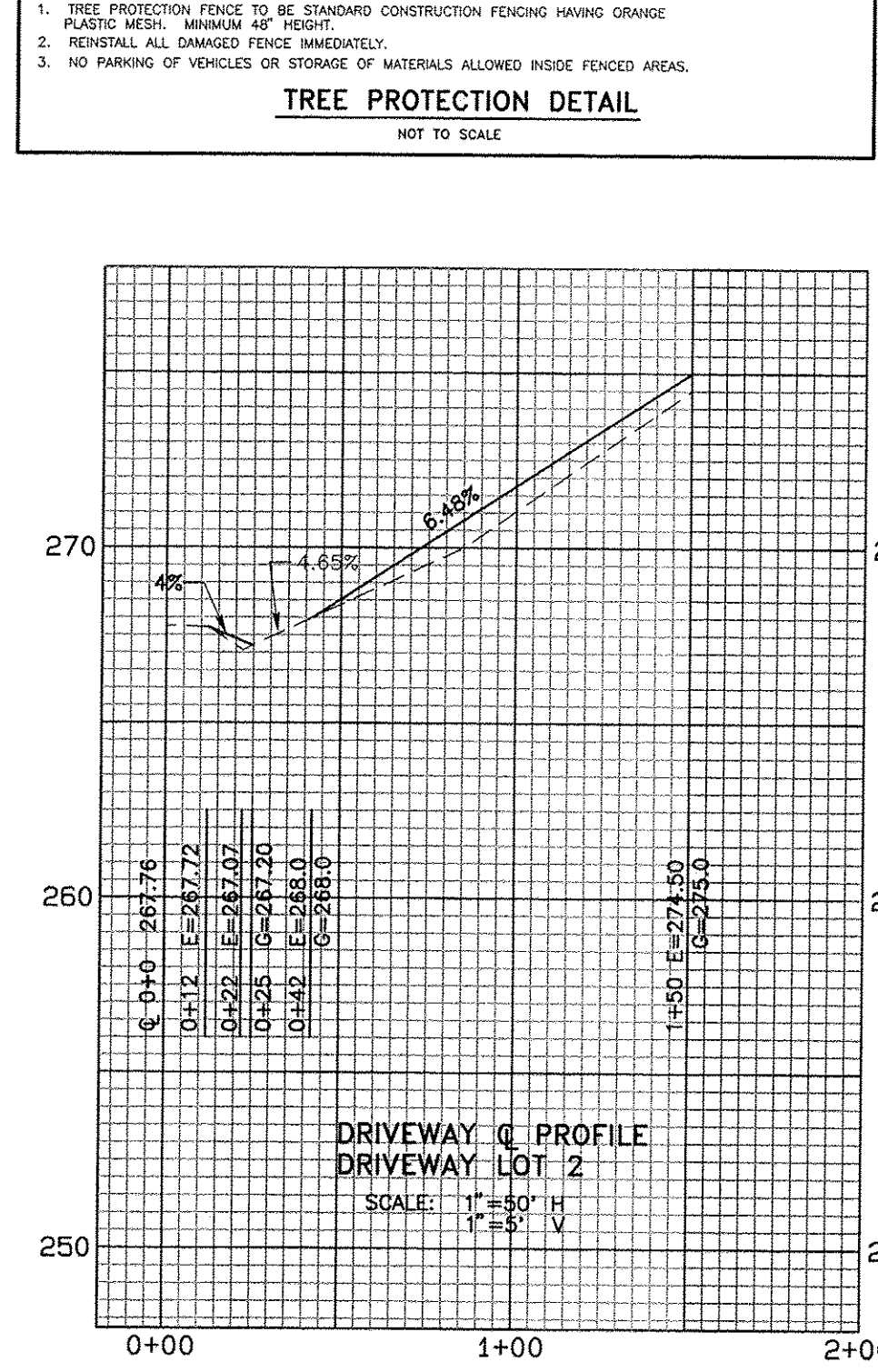
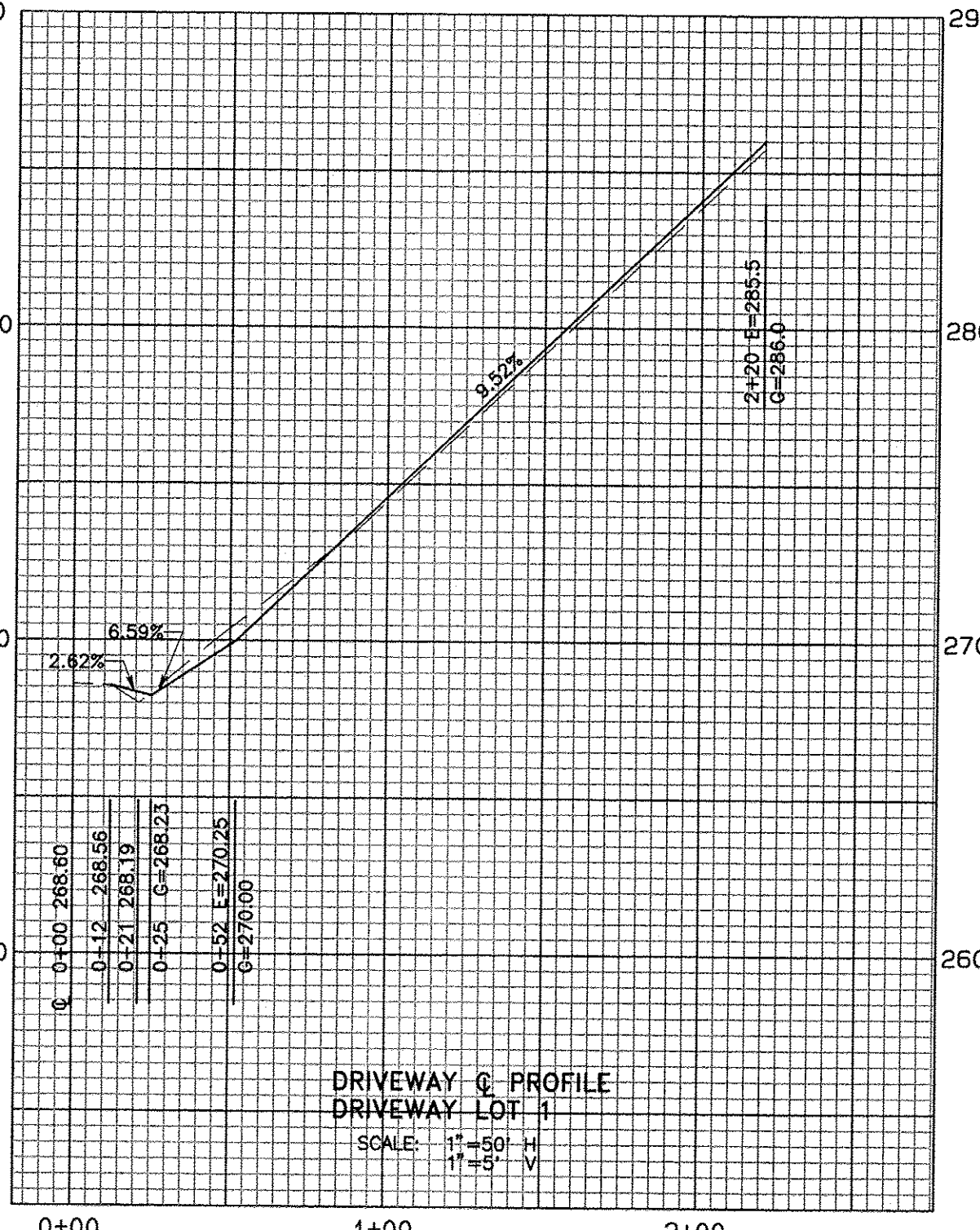
**NOTES:**

- REQUIREMENTS SHOWN FOR UTILITY CONSTRUCTION AND TRENCH BACKFILL OUTSIDE OF 5' WIDE FOUNDATION PERIMETER ZONE, INSIDE OF 5' WIDE FOUNDATION PERIMETER ZONE AND WITHIN FOUNDATION WALLS, COMPACT BACKFILL TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- TOPSOIL TO FINISH GRADE, CONSTRUCT NEW CONCRETE SIDEWALK IN PAYMENT IN ACCORDANCE WITH "BITUMINOUS PAVEMENT DETAIL".
- MATERIAL A = SCREENINGS WITH "BITUMINOUS PAVEMENT DETAIL". MATERIAL B = CLEAN BACKFILL.



**TYPICAL DRIVEWAY SECTION**  
NOT TO SCALE

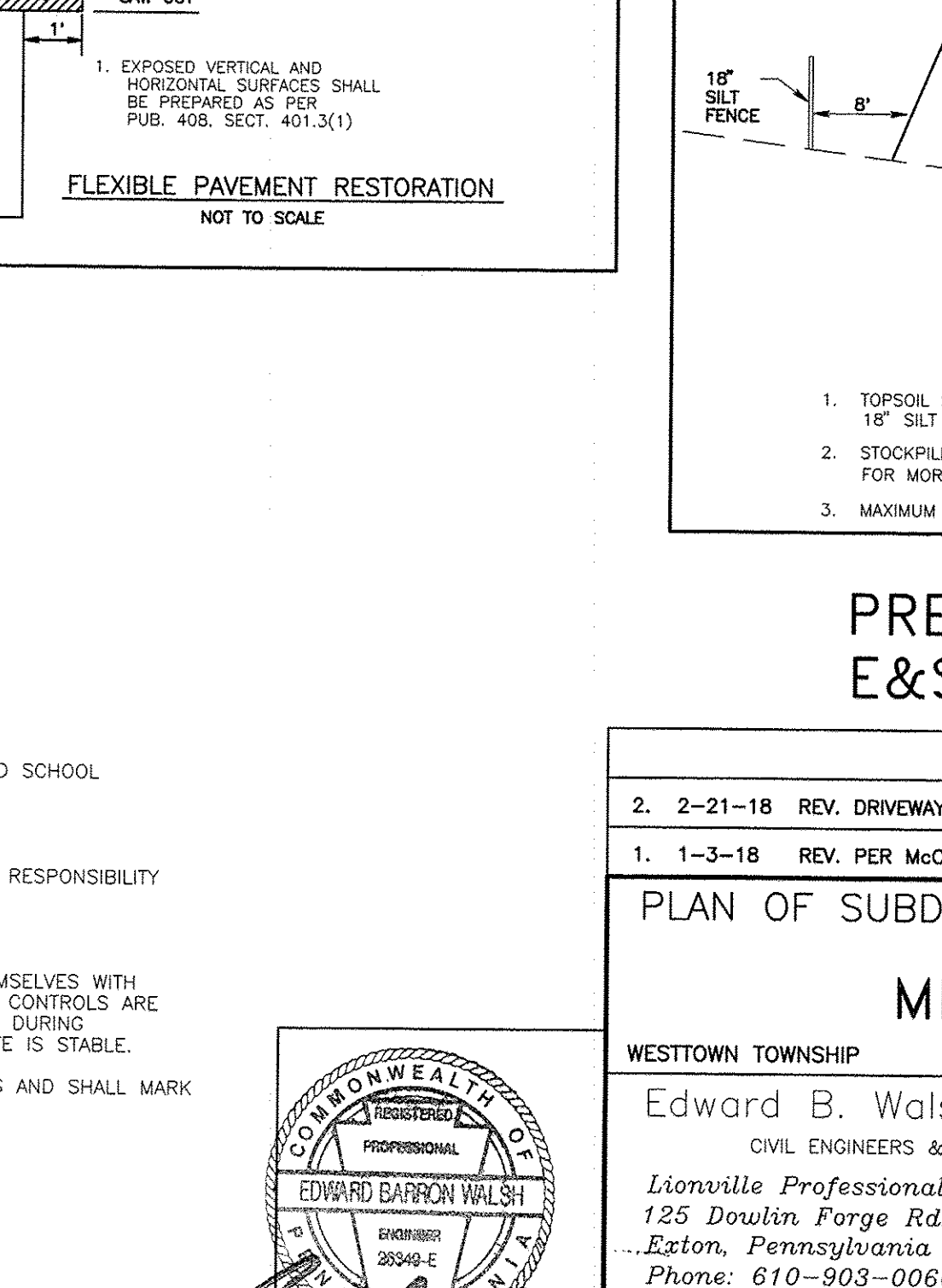
NOTE: 1. MAX GRADE 4% FOR 1ST 20'.  
2. THE PORTION OF THE DRIVEWAYS WITHIN THE R-O-W WILL BE 12 FEET WIDE.



**FLEXIBLE PAVEMENT RESTORATION**  
NOT TO SCALE

**NOTES:**

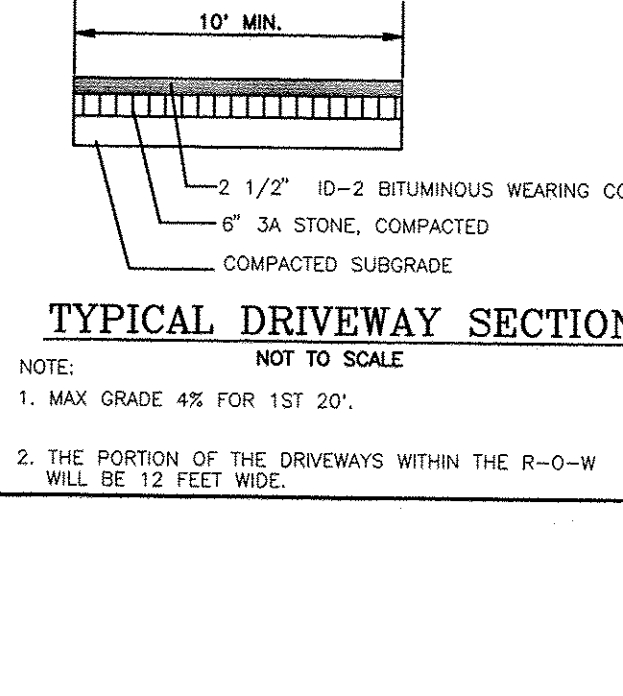
- EXPOSED VERTICAL AND HORIZONTAL SURFACES SHALL BE PREPARED AS PER PUB. 408, SEC. 401.3(1).



**TOPSOIL STOCKPILE DETAIL**  
NOT TO SCALE

**NOTES:**

- TOPSOIL STOCKPILE SHALL BE COMPLETELY SURROUNDED WITH 18" SILT FENCE SET 8' FROM THE TOE OF SLOPE.
- STOCKPILE MUST BE STABILIZED IF LEFT UN-DISTURBED FOR MORE THAN 7 DAYS.
- MAXIMUM HEIGHT 35'.



**UTILITY CONSTRUCTION AND TRENCH RESTORATION DETAIL**  
NOT TO SCALE

**NOTES:**

- REQUIREMENTS SHOWN FOR UTILITY CONSTRUCTION AND TRENCH BACKFILL OUTSIDE OF 5' WIDE FOUNDATION PERIMETER ZONE, INSIDE OF 5' WIDE FOUNDATION PERIMETER ZONE AND WITHIN FOUNDATION WALLS, COMPACT BACKFILL TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- TOPSOIL TO FINISH GRADE, CONSTRUCT NEW CONCRETE SIDEWALK IN PAYMENT IN ACCORDANCE WITH "BITUMINOUS PAVEMENT DETAIL".
- MATERIAL A = SCREENINGS WITH "BITUMINOUS PAVEMENT DETAIL". MATERIAL B = CLEAN BACKFILL.

**PA DOT CONSTRUCTION NOTES**

- TOWNSHIP TO BE NOTIFIED PRIOR TO WORKING NEAR SCHOOL SIGNALS AND SCHOOL SIGNALS SHALL BE MARKED OUT AS REQUIRED.
- SHOULDER AREAS PRONE TO WASHOUT SHALL BE PAVED.
- ANY DAMAGE TO TREES OR CUT SLOPES CAUSING THEM TO FALL SHALL BE RESPONSIBILITY OF PERMITTEE.
- MAIN TO BE SLEEVED OR ENCASED WHERE PASSING THROUGH GUIDE RAIL.
- PERMITTEE AND HIS CONTRACTOR ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES. APPROPRIATE CONTROLS ARE TO BE IN PLACE PRIOR TO SITE DISTURBANCE AND CONTINUALLY MAINTAINED DURING CONSTRUCTION UNTIL REMOVED, THEY ARE TO BE LEFT IN PLACE UNTIL SITE IS STABLE.
- TOWNSHIP TO BE NOTIFIED PRIOR TO WORKING NEAR TRAFFIC SIGNAL LOOPS AND SHALL MARK OUT AS REQUIRED.

**PRELIMINARY/FINAL E&S DETAIL SHEET**

2-21-18 REV. DRIVEWAY FOR LOT 3

1-3-18 REV. PER MCCORMICK TAYLOR COMMENTS OF 11-30-17

**PLAN OF SUBDIVISION AND LAND DEVELOPMENT FOR MICHAEL HAYES**

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS

Lionville Professional Center  
125 Dowlan Forge Rd.  
Exton, Pennsylvania 19341  
Phone: 610-903-0060  
Fax: 610-903-0080

Project- 4376  
Date- 10-25-17  
Scale- AS NOTED  
Drawn- RBL  
Checked- AE  
Sheet- 5 OF 8

Printed: 3/12/2018 File: F:\JWB\4376\4376-B2.prc







SOILS SERIES AND MAP SYMBOL	DEPTH TO--		PERMEABILITY (MICROMETER/HR.)	AVAILABLE MOISTURE CAPACITY (IN PER IN. OF SOIL DEPTH)	REACTION PH	SULTABILITY AS SOURCE OF	
	SEASONAL HIGH WATER TABLE (FT.)	BEDROCK (FT)				TOPSOIL	ROAD FILL
Gladstone	5+	5+	9.17	.14	6.3	Fair	Fair
GdB			22.30	.14	6.1	Poor	Poor
GdC	.5'-3'	6+	4.23-9.17	.18	5.1-6.0		

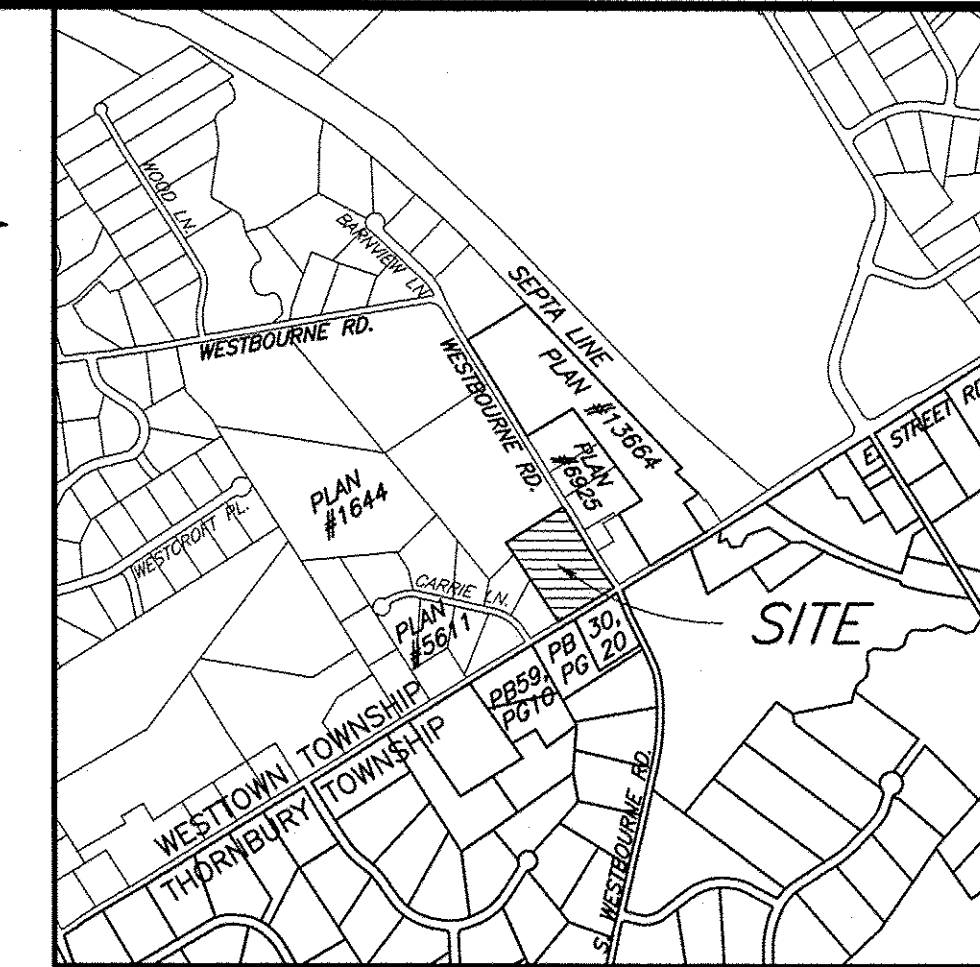
SOILS CLASSIFICATION	
GdC	GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
U/LD	URBAN LAND-GLADSTONE COMPLEX, 5 TO 25 PERCENT SLOPES
GdB	GLADSTONE GRAVELLY LOAM, 3 TO 8% SLOPES
CoA	CALIFLOAM, - TO 3 PERCENT SLOPES

**SOIL NOTE**

- The site contains mapped Worsham Soils that have been tested and found not to present to the extent mapped. The Worsham Soils are limited to the shaded area depicted on the plan.
- If any wet or unsuitable soils are encountered through the course of construction, they shall not be used to construct roadways, basin berms or other structural fill.

**SOIL USE LIMITATIONS/RESOLUTIONS**

- ANY WATER THAT IS ENCOUNTERED MUST BE PUMPED TO A DEWATERING FACILITY. ANY ROCK THAT IS ENCOUNTERED MUST BE REMOVED BY A TOWNSHIP APPROVED METHOD.



**LOCATION MAP**  
SCALE: 1" = 1000'

**LEGEND**

- 430 --- EXISTING INDEX CONTOUR
- ..... EXISTING INTERIOR CONTOUR
- 432 --- PROPOSED CONTOUR
- 24.28' PROPOSED SPOT ELEVATION
- PROPOSED INLET
- PROPOSED STORM SEWER PIPE
- PROPOSED WATER LINE
- EXISTING WATER LINE
- FM --- EXISTING FORCE MAIN
- SOILS LINE
- EXISTING TREE LINE
- EXISTING WETLANDS
- EDGE OF PAVING
- RIGHT OF WAY LINE
- 18" MAPLE EXISTING TREE
- PROPOSED CURB
- X-X- FENCE
- ① PROPOSED LOT NUMBER
- W --- 3/4" COPPER WATER SERVICE

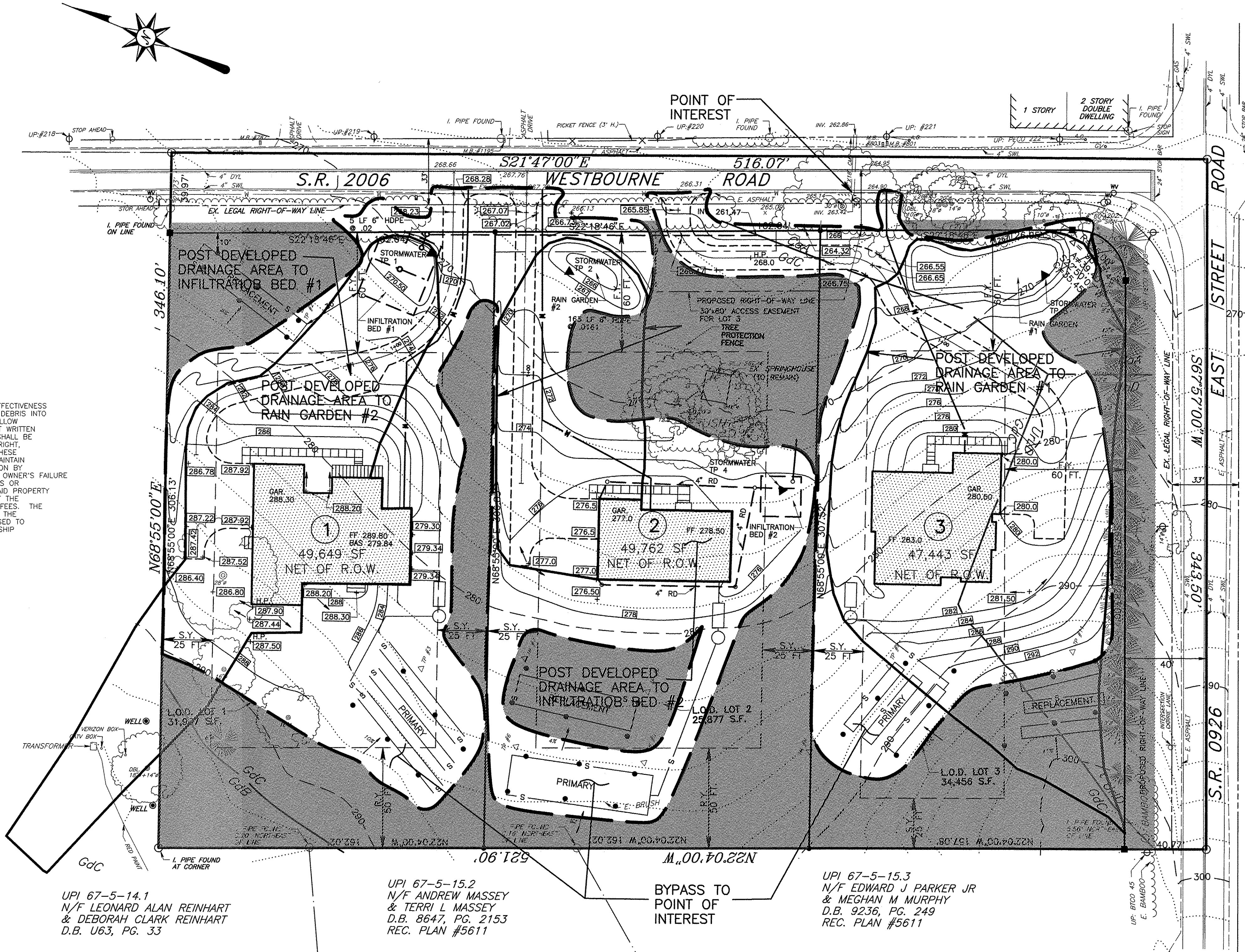
**PROPERTY OWNERS CERTIFICATION**

THE LANDOWNER ACKNOWLEDGES THAT, PER THE PROVISIONS OF THE WESTTOWN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE TOWNSHIP. THE INDIVIDUAL LOT OWNER, HIS/HER HEIRS, ASSIGNS OR SUCCESSORS, SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE SAID FACILITIES. THE TOWNSHIP MAINTAINS THE RIGHT, BUT NOT THE RESPONSIBILITY, TO ENTER SAID PREMISES TO OBSERVE OR INSPECT THE FUNCTIONING OF THESE FACILITIES. IF THE PROPERTY OWNER, HIS/HER HEIRS, ASSIGNS OR SUCCESSORS FAILS IN ANY WAY TO MAINTAIN THE SAID FACILITIES OR CAUSES THESE FACILITIES TO BE ALTERED OR REMOVED, UPON WRITTEN NOTIFICATION BY THE TOWNSHIP, THE DEFECTS SHALL PROMPTLY BE CORRECTED BY PROPERTY OWNER. UPON THE OWNER'S FAILURE TO CORRECT THE DEFECTS WITHIN TIME SPECIFIED BY THE TOWNSHIP, THE OWNER, HIS/HER HEIRS, ASSIGNS OR SUCCESSORS DO HEREBY AUTHORIZE THE TOWNSHIP AND/OR THEIR CONTRACTOR TO ENTER UPON THE SAID PROPERTY AND CAUSE THE REPAIR, MAINTENANCE, AND/OR CORRECTION TO BE MADE. A LIEN MAY BE FILED AGAINST THE PROPERTY FOR THE COST OF ALL CORRECTIONS INCLUDING APPLICABLE ENGINEERING AND/OR ATTORNEY'S FEES. THE TOWNSHIP IS UNDER NO OBLIGATION TO TAKE ANY ACTION. ALL SUBSEQUENT REAL ESTATE TRANSACTIONS, THE EXISTENCE OF THESE STORMWATER FACILITIES AND THEIR MAINTENANCE RESPONSIBILITIES SHALL BE DISCLOSED TO THE NEW OWNERS. ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO THE TOWNSHIP ALONG WITH AN EROSION & SEDIMENTATION CONTROL PLAN FOR REVIEW AND APPROVAL.

Owner \_\_\_\_\_

**NOTES:**

- THE PROPOSED PROJECT IS A SUBDIVISION OF A ONE ACRE PARCEL INTO 3 LOTS. THE STORMWATER MANAGEMENT PLAN CONSISTS OF THE INSTALLATION OF 2 UNDERGROUND BEDS, ADDITIONALLY 2 RAIN GARDENS ARE PROPOSED FOR ADDITIONAL INFILTRATION OF THE TWO (2) YEAR STORM DIFFERENTIAL.
- THE SITE IS LOCATED WITHIN AN UNNAMED TRIBUTARY OF CHESTER CREEK. THE WATERSHED DESIGNATION IS WWF-MF.
- THE FOLLOWING APPROVALS ARE REQUIRED AND IN PROCESS
  - A. NPDES PERMIT
  - B. ACT 537 APPROVAL
  - C. EROSION AND SEDIMENTATION CONTROL APPROVAL FROM CCCO
- SEE DRAINAGE MAPS FOR DRAINAGE AREAS AND TO FLOW PATHS.
- SEE THE POST CONSTRUCTION STORMWATER PLAN, WHICH IS INCLUDED BY REFERENCE, FOR SHORT AND LONG TERM MAINTENANCE AND CONSTRUCTION NOTES AND DETAILS REGARDING THE PROPOSED BMP'S.
- THE EXISTING GROUND COVER IS MEADOW. THE PROPOSED COVER IS 3 HOUSES, DRIVEWAYS AND LAWNS.
- THE PROJECT IS ANTICIPATED TO BEGIN CONSTRUCTION IN SPRING 2018. ALL IMPROVEMENTS WILL BE COMPLETED IN 6 MONTHS.
- THE EROSION AND SEDIMENTATION CONTROL PLAN, DETAILS AND CALCULATIONS ARE HEREBY INCLUDED BY REFERENCE TO THE STORMWATER MANAGEMENT PLAN.
- ALL OF THE STORMWATER FACILITIES LOCATED OUTSIDE THE RIGHT-OF-WAY ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER.



UPI 67-5-14.1  
N/F LEONARD ALAN REINHART  
& DEBORAH CLARK REINHART  
D.B. U63, PG. 33

UPI 67-5-15.2  
N/F ANDREW MASSEY  
& TERRI L MASSEY  
D.B. 8647, PG. 2153  
REC. PLAN #5611

BYPASS TO  
POINT OF  
INTEREST

UPI 67-5-15.3  
N/F EDWARD J PARKER JR  
& MEGHAN M MURPHY  
D.B. 9236, PG. 249  
REC. PLAN #5611

ACT 160 SERIAL NUMBER 20172372912  
Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

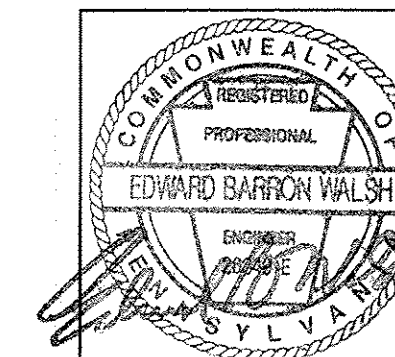
**UTILITIES NOTIFIED**

- VERIZON PENNSYLVANIA, INC.
- AQUA PENNSYLVANIA, INC.
- COMCAST CABLE
- PECO ENERGY
- WESTTOWN TOWNSHIP

UPI 67-5-14

**Engineers Certification**

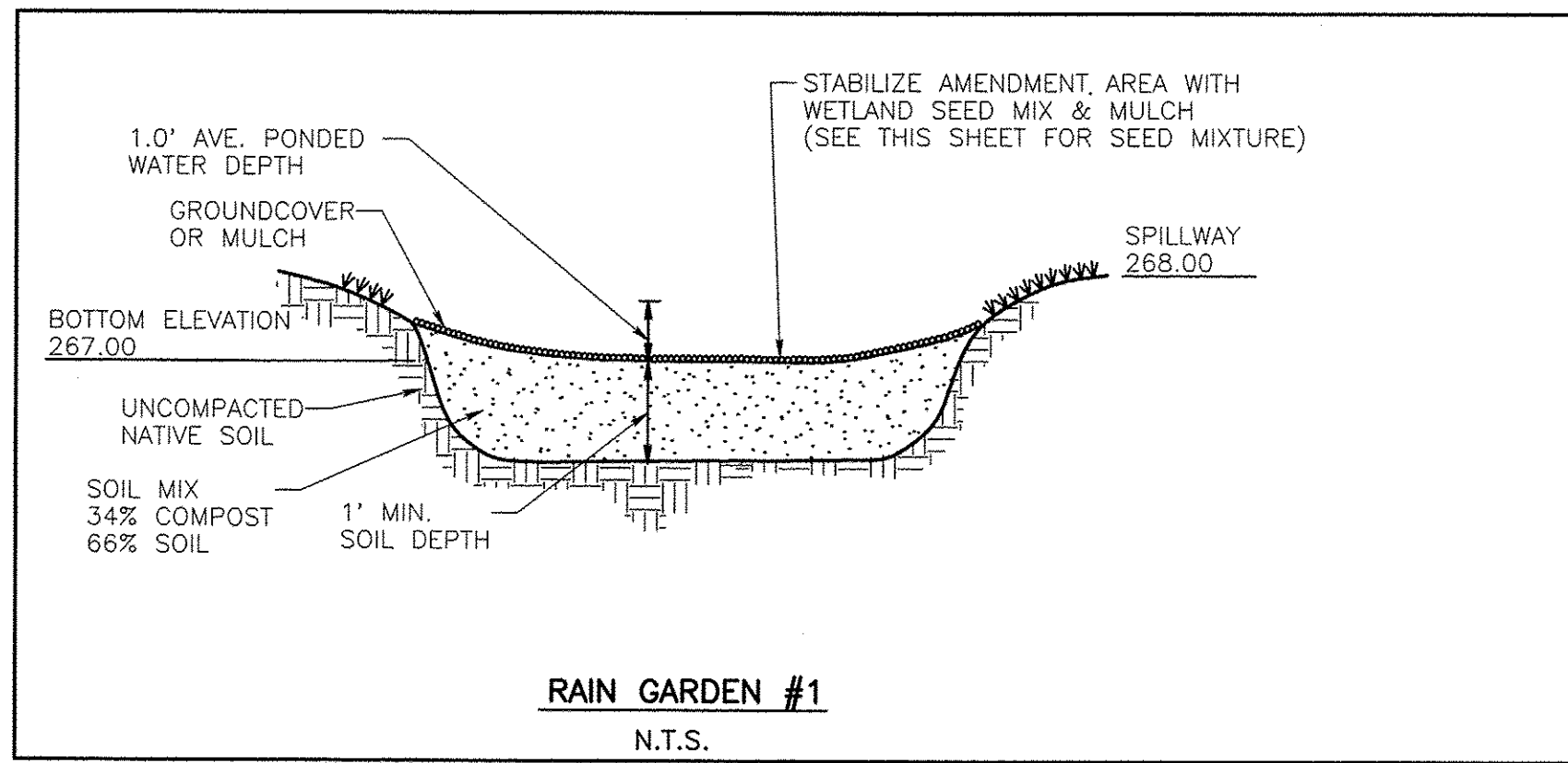
I, EDWARD B. WALSH ON THIS DATE FEB. 23, 2018 HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT DESIGN AND SYSTEM AS PROVIDED MEETS ALL DESIGN STANDARDS AND CRITERIA OF WESTTOWN TOWNSHIP ORDINANCE, STORMWATER MANAGEMENT ORDINANCE.



**PRELIMINARY/FINAL STORMWATER MANAGEMENT PLAN**

2. 2-21-18 REV. DRIVEWAY FOR LOT 3	Project-4376
1. 1-3-18 REV. PER MCCORMICK TAYLOR COMMENTS OF 11-30-17	Date-10-25-17
<b>PLAN OF SUBDIVISION AND LAND DEVELOPMENT FOR MICHAEL HAYES</b>	
WESTTOWN TOWNSHIP	CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS	125 Dowlin Forge Rd. Pottsville, Pennsylvania 19341 Phone: 610-903-0080 Fax: 610-903-0080
Drawn-RBL Checked-AE	Sheet- 7 OF 8
Plotted: 3/12/2018	File: F:\JB\4376\4376-B2.dwg



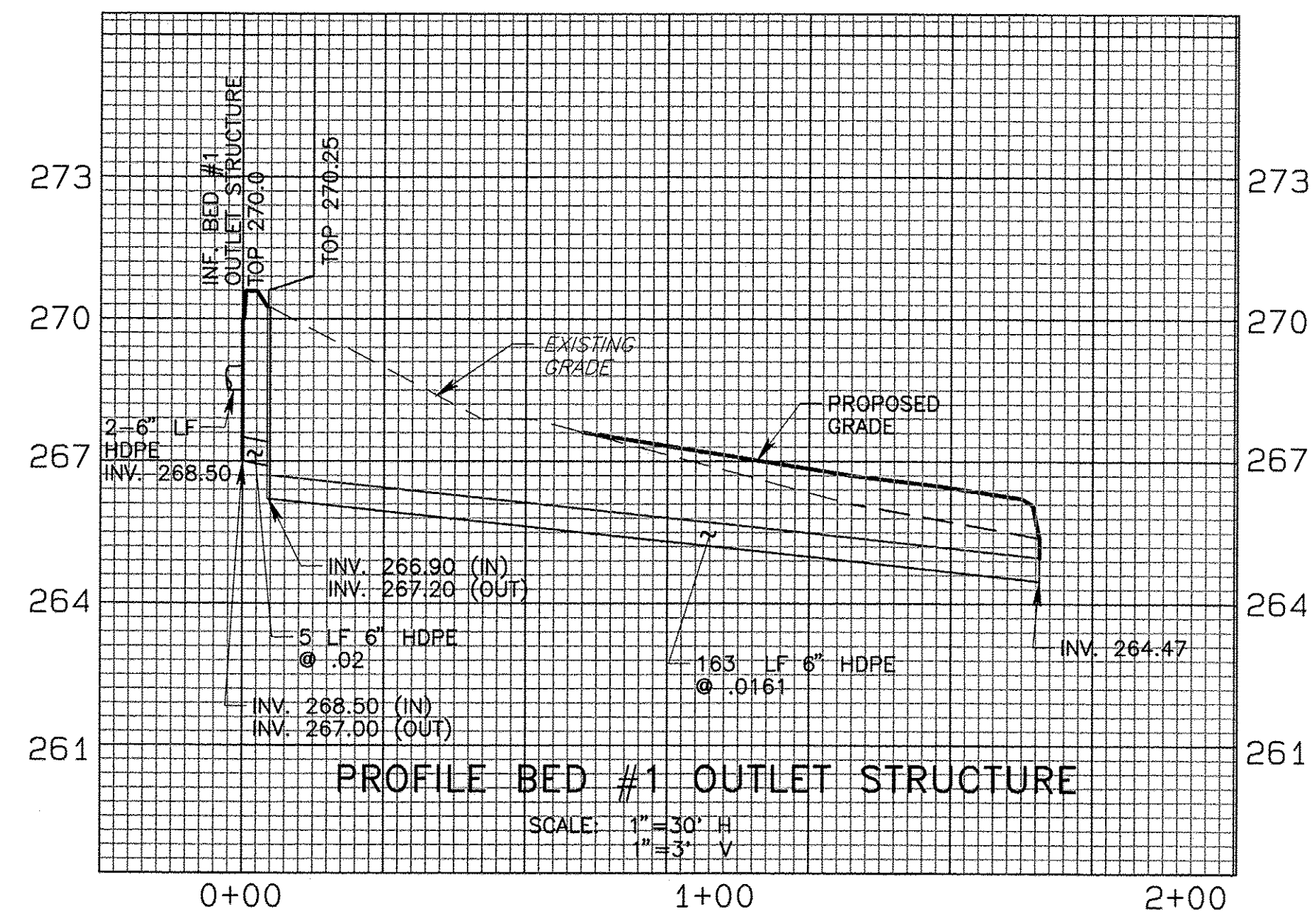
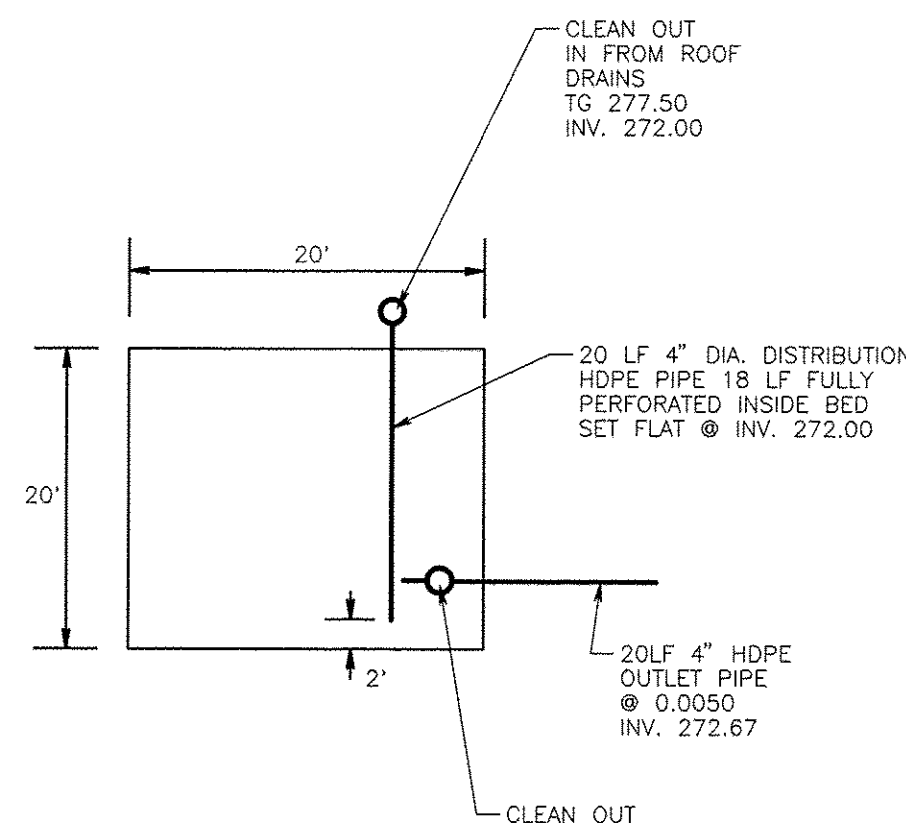
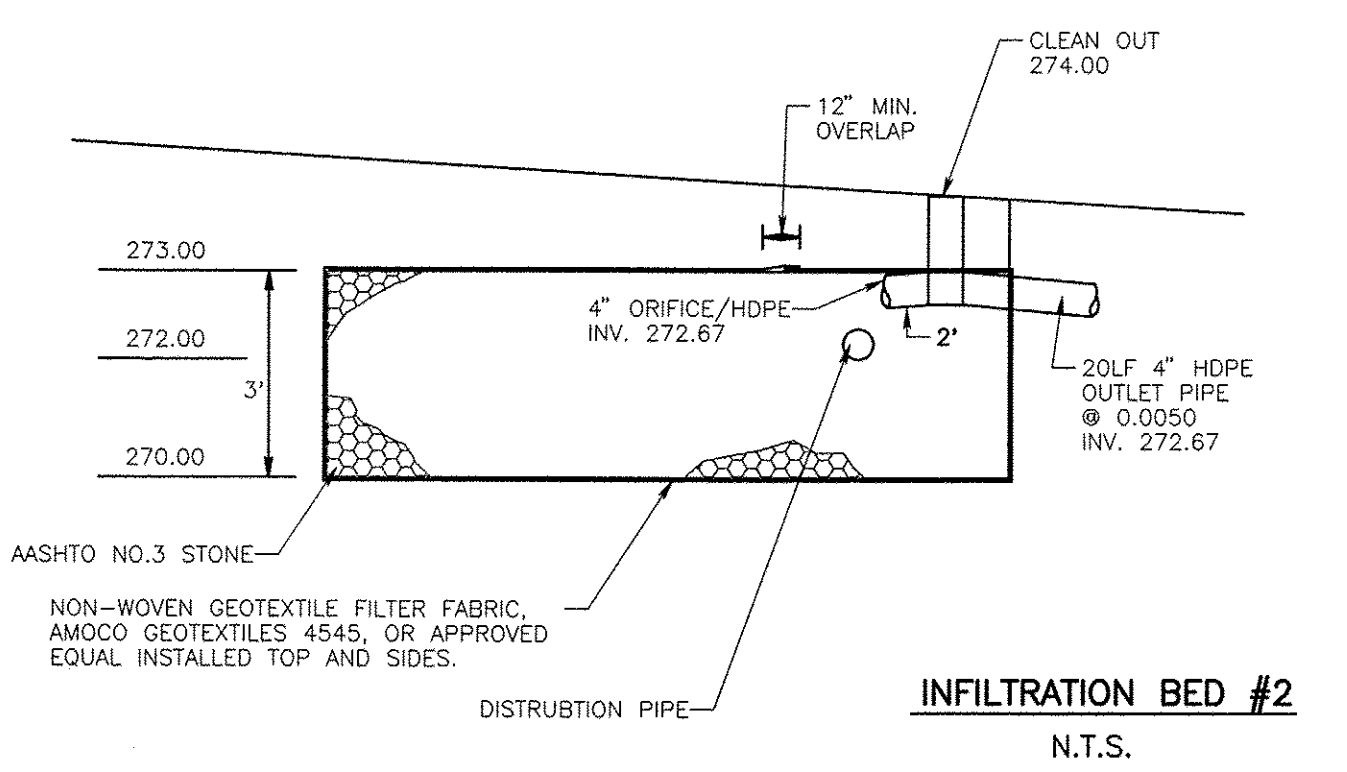
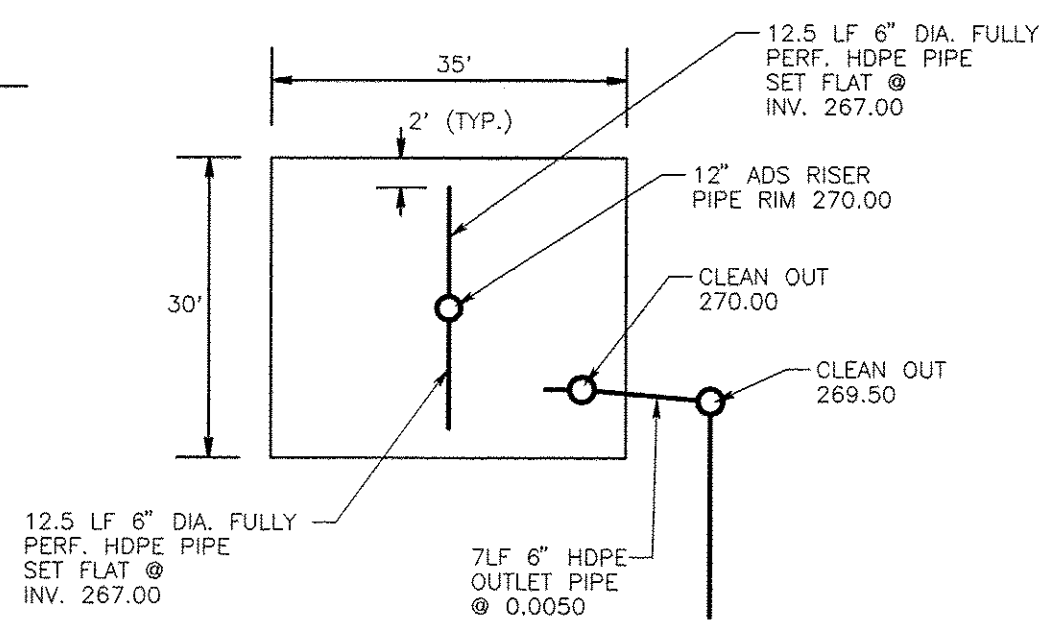
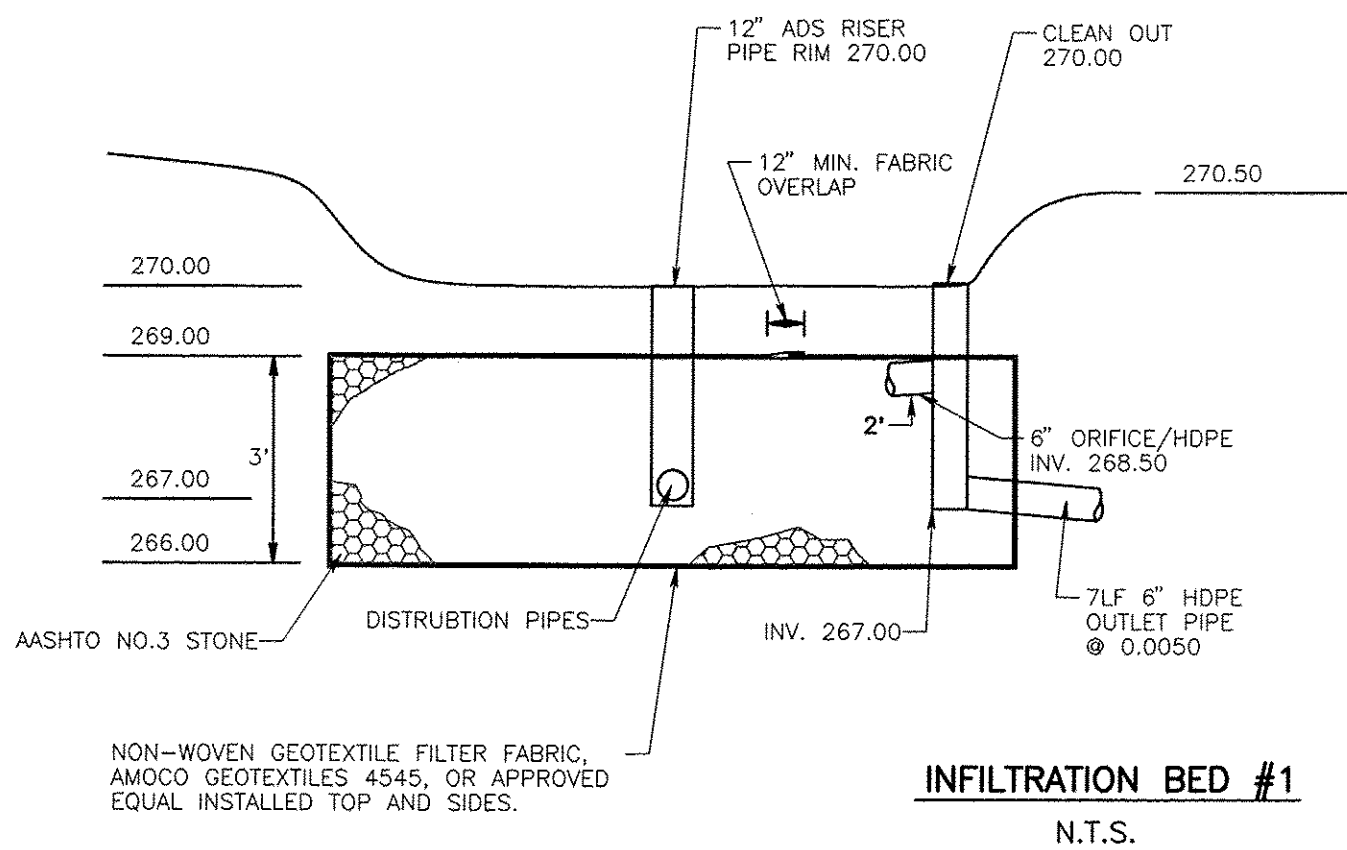
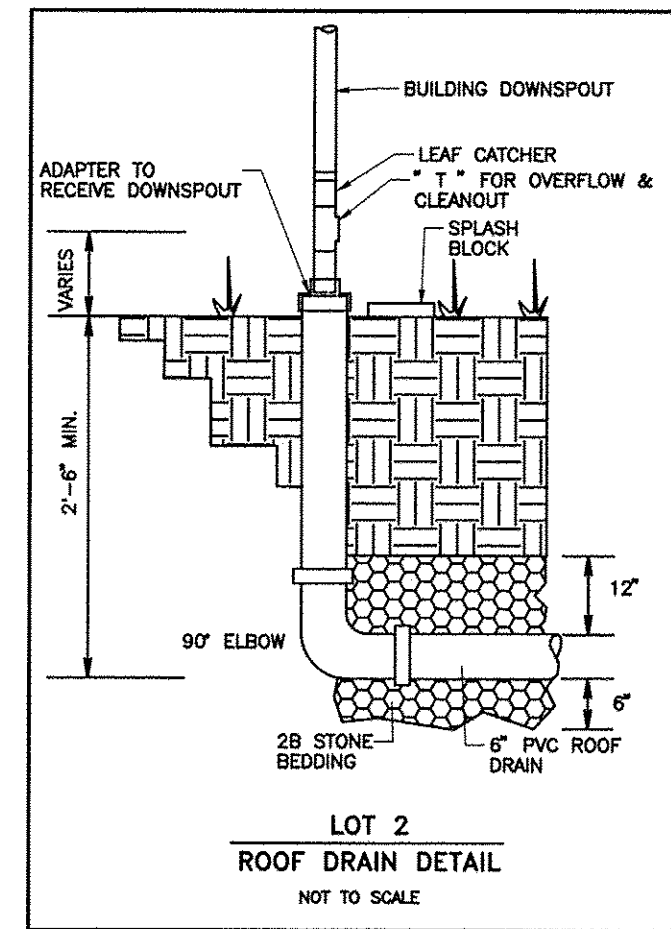
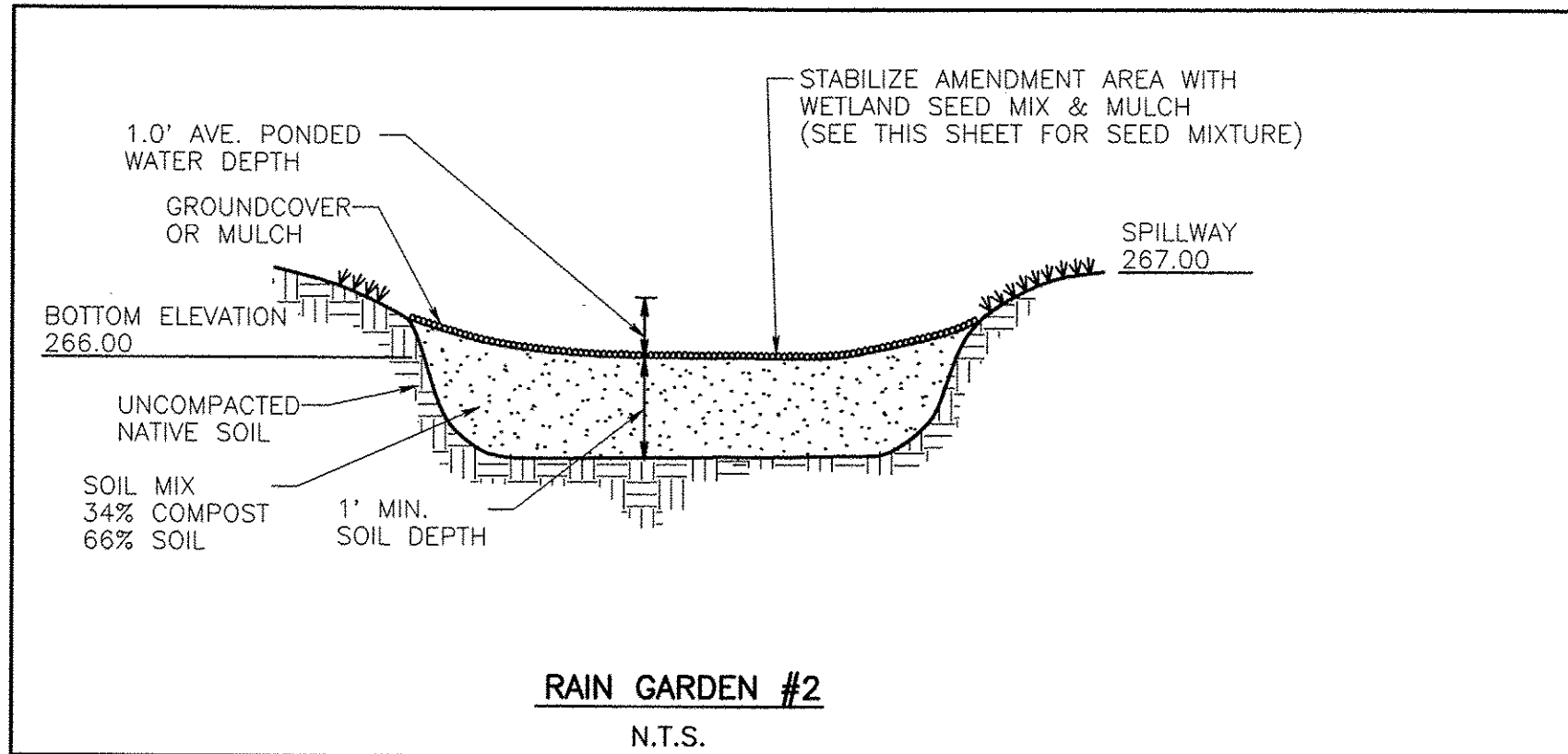


**Rain Garden Seed Mixture: ERNMX-120.**

Botanical Name	Common Name
<i>Carex vulpinoidea</i>	Fox Sedge
<i>Elymus virginicus</i>	Virginia Wild Rye
<i>Verbena hastata</i>	Blue Vervain
<i>Carex crinita</i>	Fringed (Nodding) Sedge
<i>Carex lurida</i>	Lurid (Shallow) Sedge
<i>Glyceria grandis</i>	American Mannagrass
<i>Glyceria striata</i>	Fowl Mannagrass
<i>Juncus effusus</i>	Soft Rush
<i>Scirpus cyperinus</i>	Wool Grass
<i>Sparganium americanum</i>	Eastern Lesser Bur Reed
<i>Sparganium eurycarpum</i>	Giant Bur Reed
<i>Scirpus atrovirens</i>	Green Bulrush
<i>Carex canosa</i>	Cosmos (Bristly) Sedge
<i>Carex gynandra</i>	Nodding Sedge
<i>Carex lupulina</i>	Hop Sedge
<i>Glyceria canadensis</i>	Rattlesnake Grass

Seeding rate: 15 bulk lbs per acre or 1/3-1/2 lbs per 1,000 ft<sup>2</sup>.  
SEEDING SHALL TAKE PLACE BETWEEN APRIL 1 AND MAY 15 OR BETWEEN SEPT. 1 AND OCT. 15.

**ERNST CONSERVATION SEED**  
9006 MERCER PIKE  
MEADVILLE, PA 16335  
www.ernstseed.com  
1-800-873-3321 Fax (814) 336-5191



PRELIMINARY/FINAL  
POST CONSTRUCTION  
STORMWATER MANAGEMENT PLAN  
DETAIL SHEET

2. 2-21-18 REV. DRIVEWAY FOR LOT 3	Project- 4376
1. 1-3-18 REV. PER McCORMICK TAYLOR COMMENTS OF 11-30-17	Date-10-25-17
PLAN OF SUBDIVISION AND LAND DEVELOPMENT FOR <b>MICHAEL HAYES</b>	
WESTTOWN TOWNSHIP	CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS	Scale-AS NOTED
Lionville Professional Center 125 Dowlin Forge Rd. Eaton, Pennsylvania 19341 Phone: 610-903-0060 Fax: 610-903-0080	Drawn-RBL Checked-AE
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