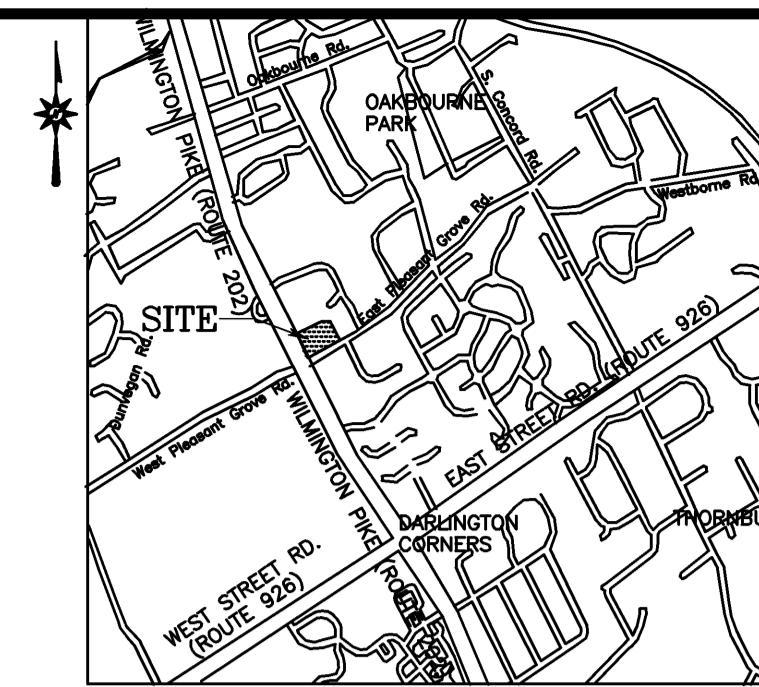


WAIVER REQUEST

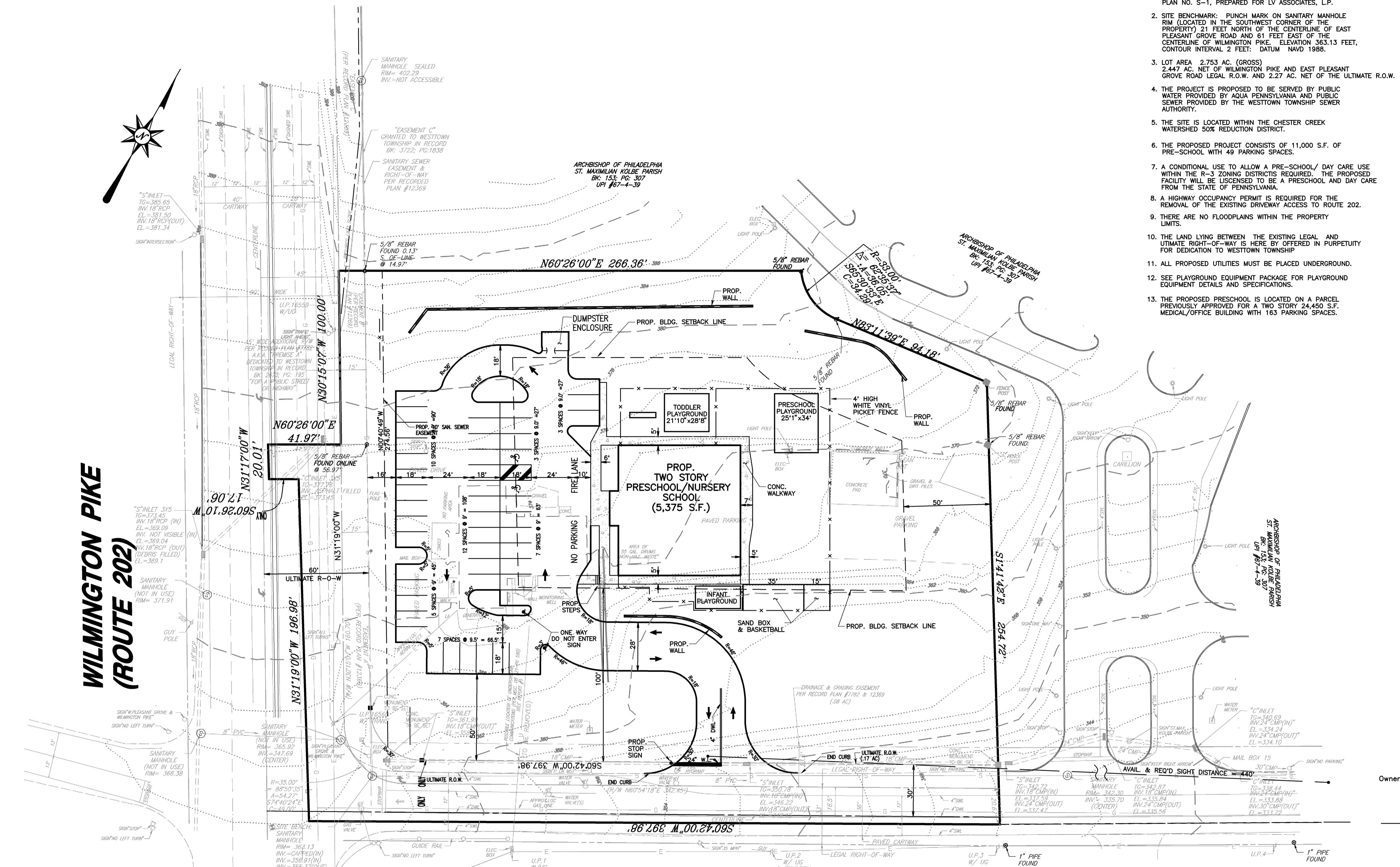
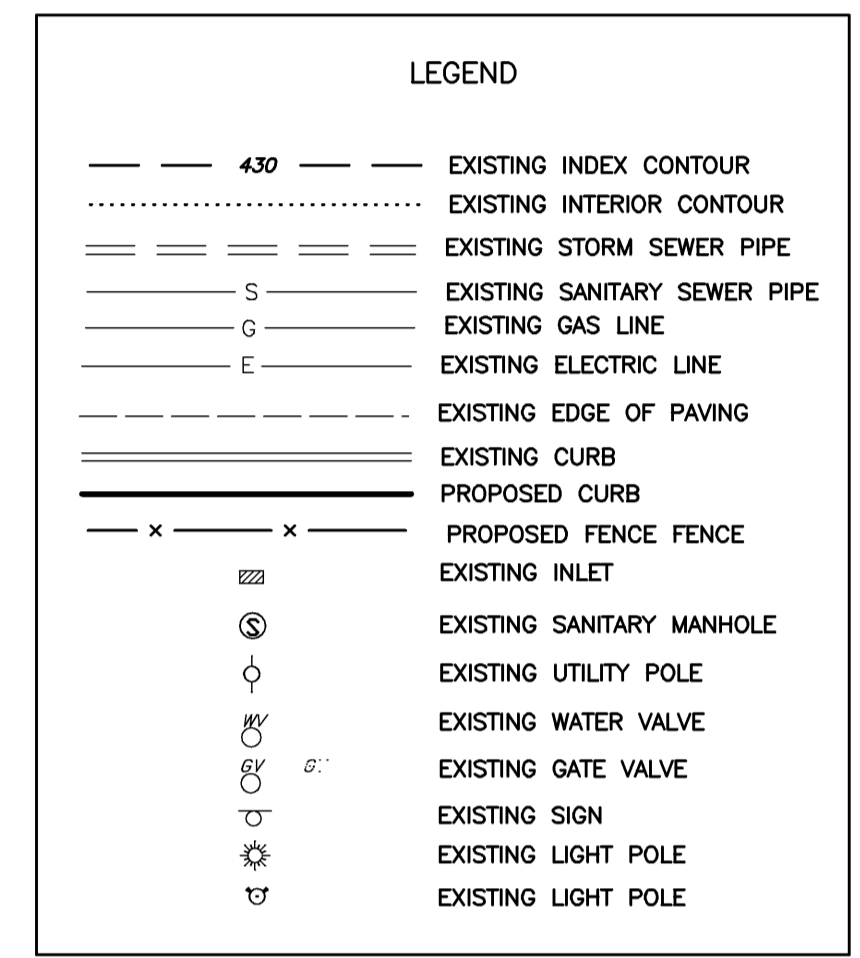
1. SECTION 149-925.15 - TO ALLOW PLANTING CLOSER THAN 10' TO PROPERTY LINE & RIGHT OF WAY LINE.

GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM BOUNDARY AND TOPOGRAPHY SURVEY PLAN PREPARED BY HOWELL/KLINE, PLAN DATED 11/30/2008, PLAN NO. S-1, PREPARED FOR LV ASSOCIATES, L.P.
- SITE BENCHMARK: PUNCH MARK ON SANITARY MANHOLE RIM (LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY) 21 FEET NORTH OF THE CENTERLINE OF PLEASANT GROVE ROAD AND 61 FEET EAST OF THE CENTERLINE OF WILMINGTON PIKE. ELEVATION 363.13 FEET, CONTOUR INTERVAL 2 FEET; DATUM NAVD 1988.
- LOT AREA 2.753 AC. (GROSS) 2.447 AC. NET OF WILMINGTON PIKE AND EAST PLEASANT GROVE ROAD LEGAL R.O.W. AND 2.27 AC. NET OF THE ULTIMATE R.O.W.
- THE PROJECT IS PROPOSED TO BE SERVED BY PUBLIC WATER PROVIDED BY AQUA PENNSYLVANIA AND PUBLIC SEWER PROVIDED BY THE WESTTOWN TOWNSHIP SEWER AUTHORITY.
- THE SITE IS LOCATED WITHIN THE CHESTER CREEK WATERSHED 50% REDUCTION DISTRICT.
- THE PROPOSED PROJECT CONSISTS OF 11,000 S.F. OF PRE-SCHOOL WITH 49 PARKING SPACES.
- A CONDITIONAL USE TO ALLOW A PRE-SCHOOL/ DAY CARE USE WITHIN THE R-3 ZONING DISTRICTS REQUIRED. THE PROPOSED FACILITY WILL BE LICENSED TO BE A PRESCHOOL AND DAY CARE FROM THE STATE OF PENNSYLVANIA.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED FOR THE REMOVAL OF THE EXISTING DRIVEWAY ACCESS TO ROUTE 202.
- THERE ARE NO FLOODPLAINS WITHIN THE PROPERTY LIMITS.
- THE LAND LYING BETWEEN THE EXISTING LEGAL AND ULTIMATE RIGHT-OF-WAY IS HERE BY OFFERED IN PERPETUITY FOR DEDICATION TO WESTTOWN TOWNSHIP
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- SEE PLAYGROUND EQUIPMENT PACKAGE FOR PLAYGROUND EQUIPMENT DETAILS AND SPECIFICATIONS.
- THE PROPOSED PRESCHOOL IS LOCATED ON A PARCEL PREVIOUSLY APPROVED FOR A TWO STORY 24,450 S.F. MEDICAL/OFFICE BUILDING WITH 163 PARKING SPACES.



LOCATION MAP  
SCALE: 1" = 200'



WILMINGTON PIKE  
(ROUTE 202)

EAST PLEASANT GROVE ROAD

	REQ.	EXIST	PROPOSED
MIN. LOT AREA	2 AC.	2.44 AC.	2.19 AC. (NET OF R.O.W. & EASEMENTS)
MIN. LOT WIDTH AT SETBACK	280'	281'	281'
MAX. IMP. COVERAGE	60%	23%	34.91% (MEASURED FROM EX. R.O.W.)
MIN. LOT WIDTH AT STREET	50'	274'	274'
FRONT YARD SETBACK	100'	60'	100'
MIN. DIST. BETWEEN BLDGS.	60'	N/A	N/A
MIN. SIDE YARD	100', 50' (IF ABUTTING SIMILAR USES)	50'	50' (ABUTS SIMILAR USE)
MIN. REAR YARD	50'	50'	50'
MAX. FLOOR AREA RATIO	.3	.0896	.11
MAX. BLDG HEIGHT	38' (3 STORIES)	<38'	+25' (2 STORIES)
MIN. VEGETATED COVER	40%	77%	65.09%

ZONING DATA  
R3 ZONING DISTRICT (COND. USE)

PARKING DATA  
REQUIRED = PRESCHOOL/NURSERY SCHOOL  
1 SP/15 STUDENTS  
MAX. ENROLLMENT 170 CHILDREN  
170/15 = 11.33 SP = 12  
PROVIDED = 49 SPACES  
10% @ 9.5' WIDE (8 PROVIDED 5 REQUIRED)

LOT AREA CALCULATION  
GROSS AREA = 2,755  
R.O.W. (LEGAL) = .315  
R.O.W. ULTIMATE = .17  
EX. EASEMENTS = .08  
NET AREA = 2.19 AC.

CONDITIONAL USE PLAN

LAND DEVELOPMENT FOR  
**THE MALVERN SCHOOL**

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.  
Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS

125 DOWDIN FORGE RD.  
ESTON, PENNSYLVANIA 19341  
Phone: 610-903-0060  
Fax: 610-903-0080

Project- 4432  
Date- 4-2-18  
Scale- 1" = 30'  
Drawn- AE  
Checked- A.E.  
Sheet- 1 OF 7

Plotted: 7/26/2018 File: F:\J04432\4432-01.plt

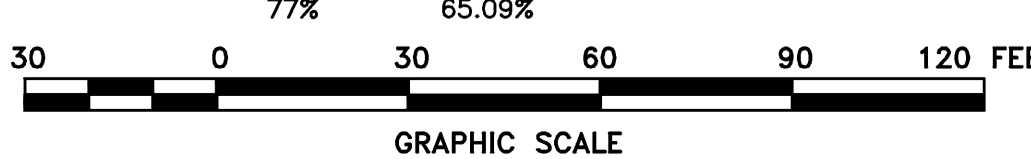
ACT 187 SERIAL NUMBER 1825925

EDWARD B. WALSH & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY LINES, STRUCTURES, ETC. SHOWN ON THE PLANS, NOR DOES E. B. WALSH & ASSOC., INC. GUARANTEE THAT ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. ARE SHOWN.

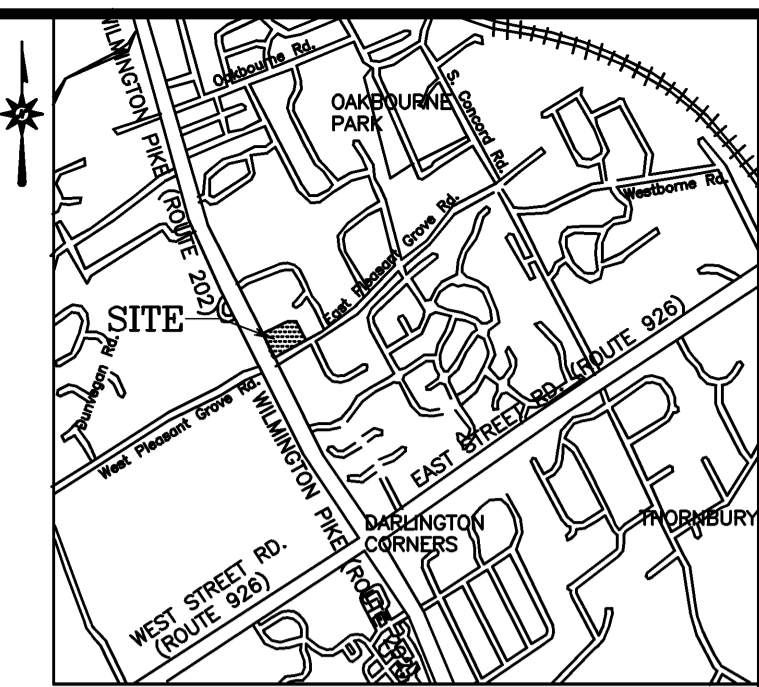
CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776.

UTILITIES NOTIFIED  
VERIZON  
COMCAST CABLE TV  
COMCAST COMMUNICATION  
TEPPCO  
BUCKEYE PIPELINE  
AQUA PENNSYLVANIA  
PRECO ENERGY  
TRANSCONTINENTAL GAS PIPELINE  
IPII INTERSTATE ENERGY  
WESTTOWN TOWNSHIP  
SUNOCO PIPELINE

STOP-CALL BEFORE YOU DIG  
SERIAL # 1825925





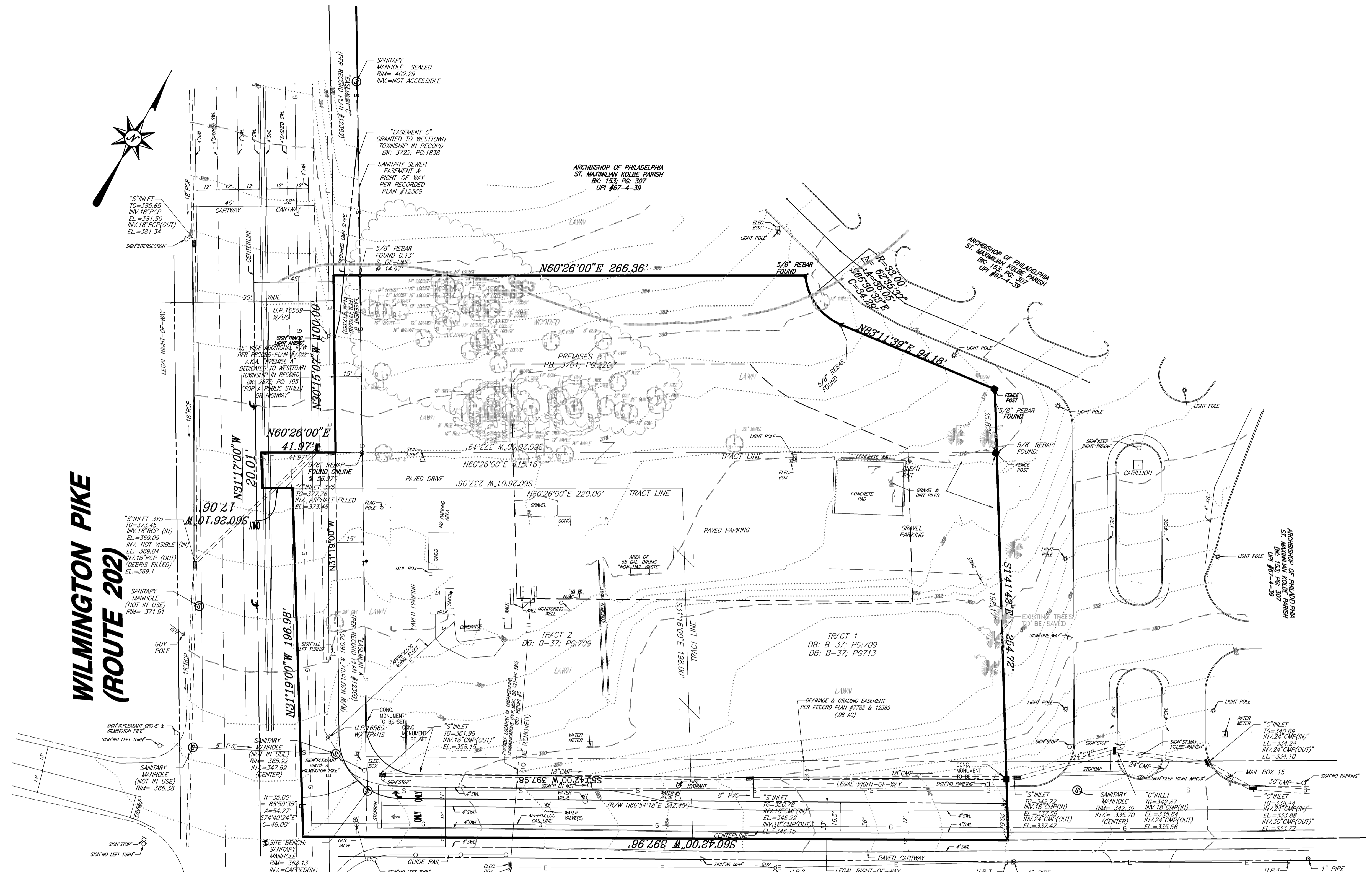


LOCATION MAP  
SCALE: 1" = 2000'

LEGEND

---	430	EXISTING INDEX CONTOUR
---	---	EXISTING INTERIOR CONTOUR
---	S	EXISTING STORM SEWER PIPE
---	S	EXISTING SANITARY SEWER PIPE
---	G	EXISTING GAS LINE
---	E	EXISTING ELECTRIC LINE
---	---	EXISTING EDGE OF PAVING
---	---	EXISTING CURB
---	---	PROPOSED CURB
x	x	PROPOSED FENCE
⊗	⊗	EXISTING INLET
⊗	⊗	EXISTING SANITARY MANHOLE
⊗	⊗	EXISTING UTILITY POLE
⊗	⊗	EXISTING WATER VALVE
⊗	⊗	EXISTING GATE VALVE
⊗	⊗	EXISTING SIGN
⊗	⊗	EXISTING LIGHT POLE
⊗	⊗	EXISTING LIGHT POLE

NOTE: ALL EXISTING TREES ON SITE ARE PROPOSED TO BE REMOVED.



**WILMINGTON PIKE  
(ROUTE 202)**

**EAST PLEASANT GROVE ROAD**

**CONDITIONAL USE  
EXISTING FEATURES & CONSERVATION PLAN**

1. 7-10-18 NOT THIS SHEET

LAND DEVELOPMENT  
FOR  
**THE MALVERN SCHOOL**

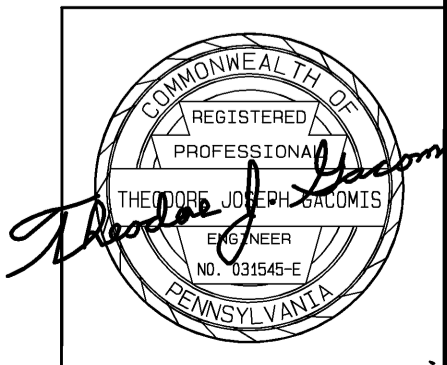
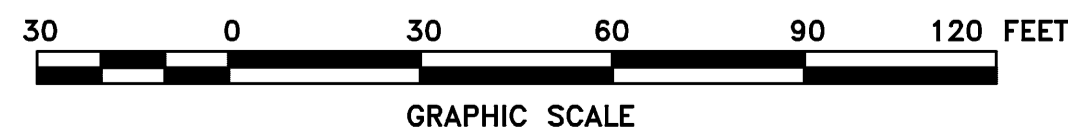
WESTTOWN TOWNSHIP CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS

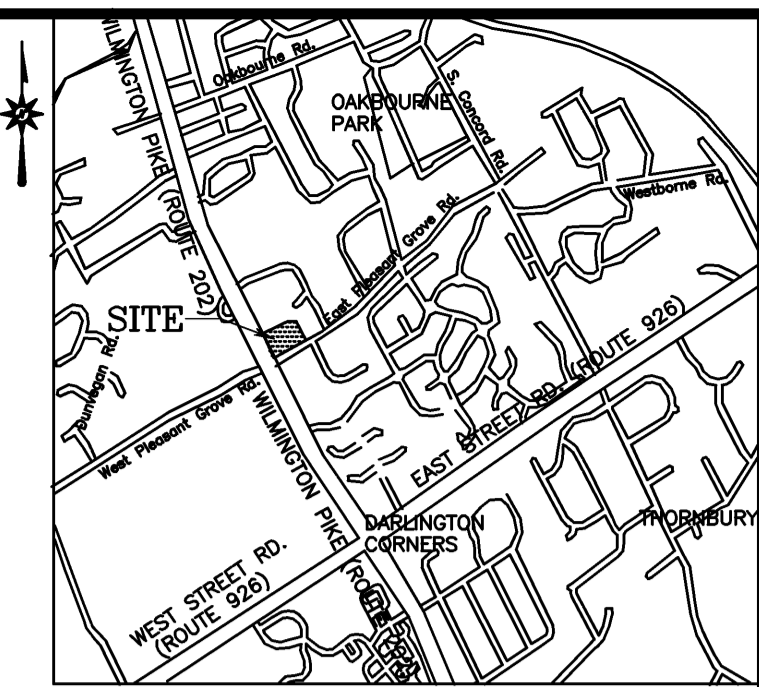
125 Dowtin Forge Rd.  
Eston, Pennsylvania 19341  
Phone: 610-903-0060  
Fax: 610-903-0080

Project- 4432  
Date- 4-2-18  
Scale- 1" = 30'  
Drawn- LR  
Checked- A.E.  
Sheet- 2 OF 7

Plotted: 7/26/2018 File: F:\J\4432\4432-B1.pdf





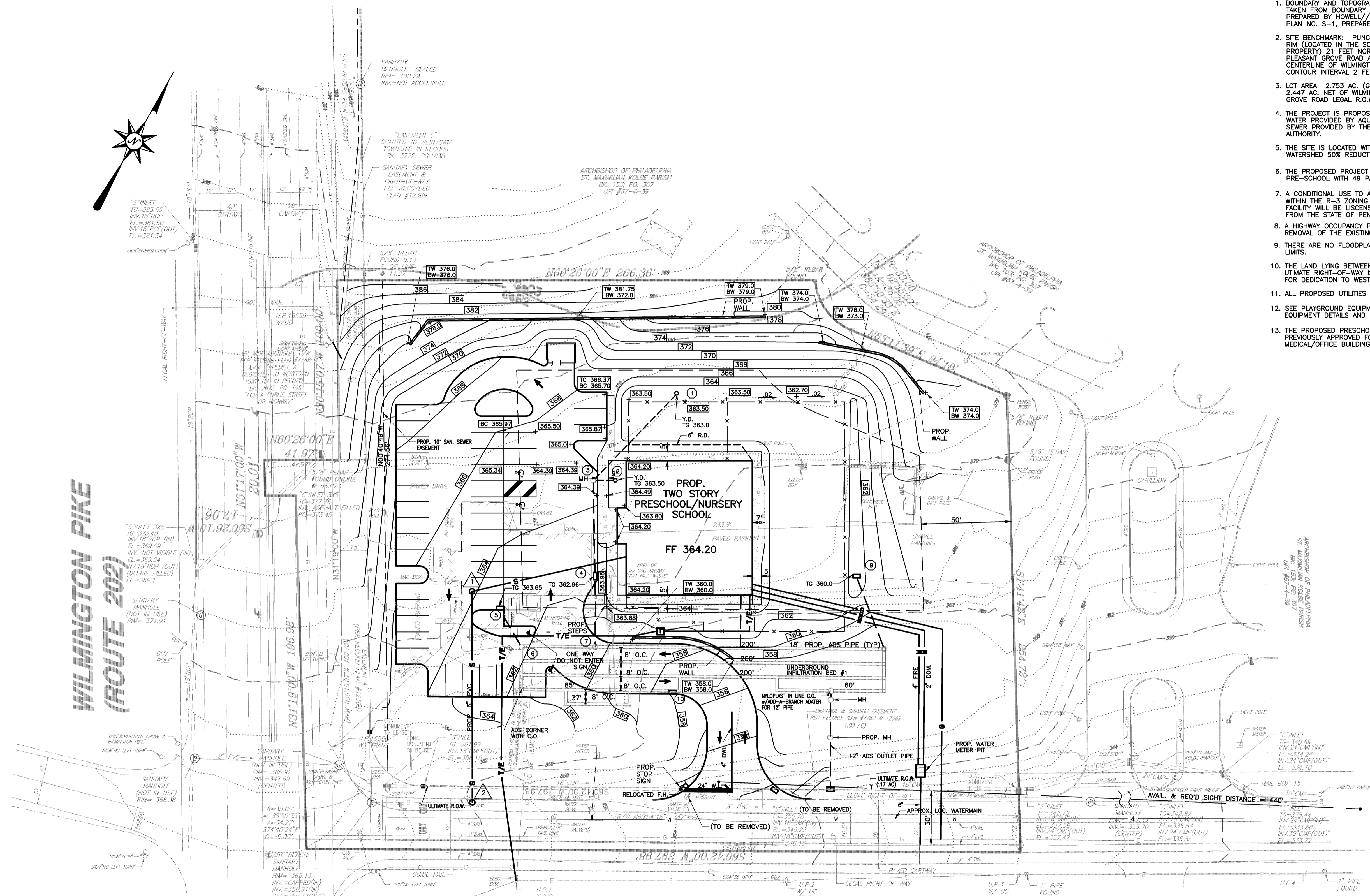


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**LEGEND**

	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	EXISTING CURB
	PROPOSED CURB
	EXISTING EDGE OF PAVING
	EXISTING FENCE
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
	EXISTING SANITARY SEWER PIPE
	PROPOSED SANITARY SEWER PIPE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING ELECTRIC LINE
	PROPOSED TELEPHONE/ELECTRIC LINE
	PROPOSED WATER LINE
	PROPOSED YARD DRAIN
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING STORM MANHOLE
	PROPOSED STORM MANHOLE
	EXISTING INLET
	PROPOSED INLET
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	EXISTING WATER VALVE
	EXISTING GATE VALVE
	EXISTING SIGN
	PROPOSED SIGN

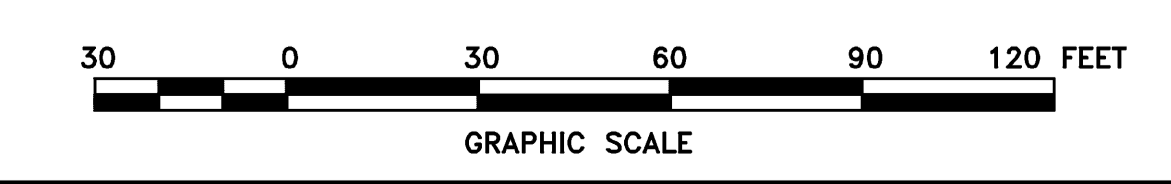
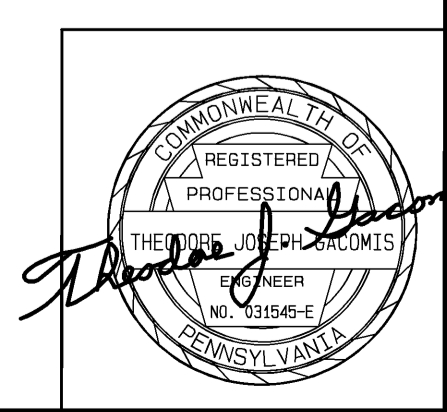


**WILMINGTON PIKE (ROUTE 202)**

**EAST PLEASANT GROVE ROAD**

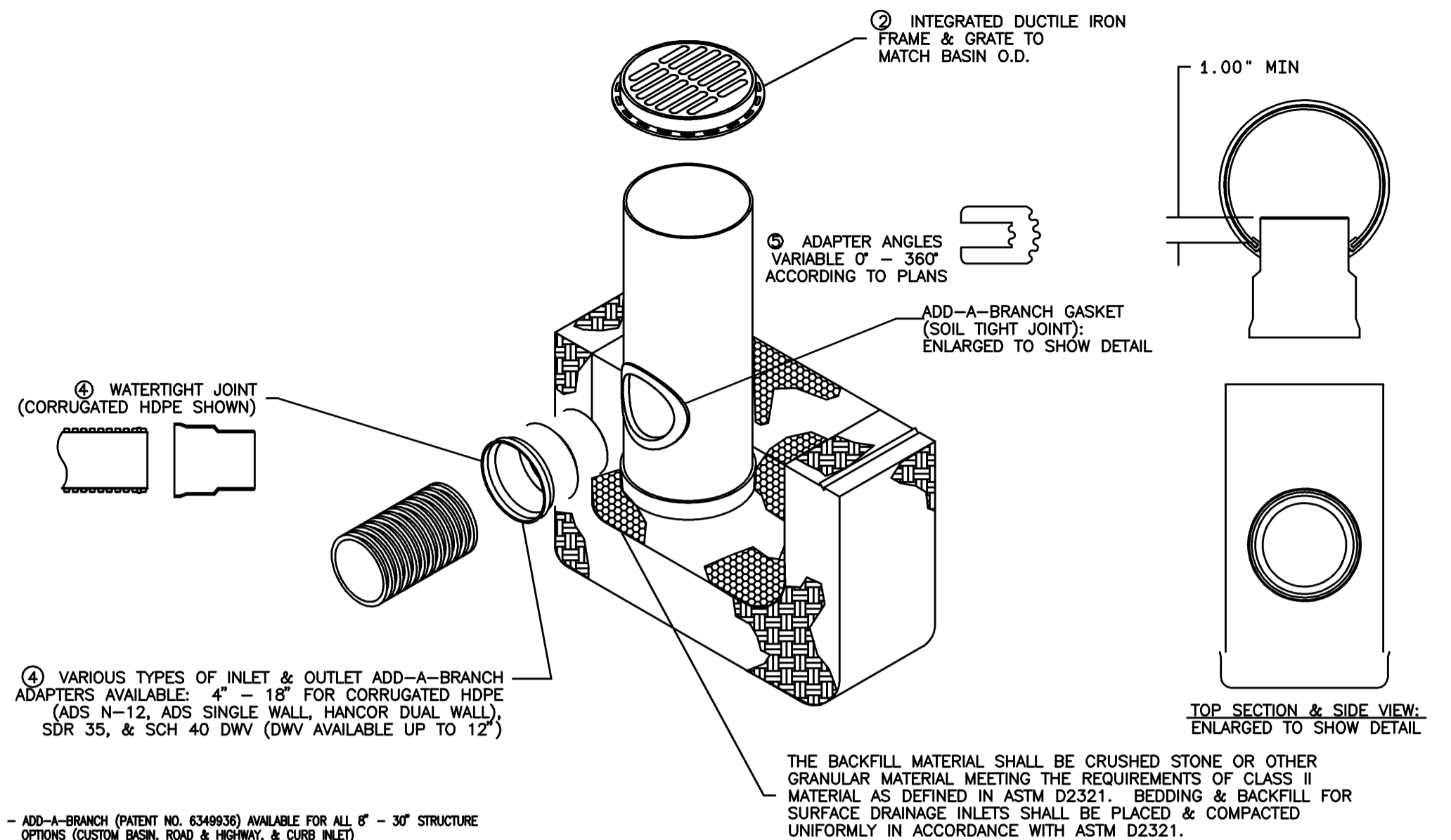
**CONDITIONAL USE GRADING UTILITY PLAN**

2 7-10-18 REVISED BUILDING LAYOUT	
1 4-30-18 REVISED PER TOWNSHIP ZONING OFFICERS COMMENT OF 4-19-18	
LAND DEVELOPMENT FOR THE MALVERN SCHOOL	
WESTTOWN TOWNSHIP CHESTER COUNTY, PA.	
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS	
125 DOWLIN FORGE RD. ESTON, PENNSYLVANIA 19341 Phone: 610-903-0060 Fax: 610-903-0080	Project- 4432 Date- 4-2-18 Scale- 1" = 30' Drawn- AE Checked- A.E. Sheet- 3 OF 7
Plotted: 7/26/2018	File: F:\JB\4432\4432-B1.prc





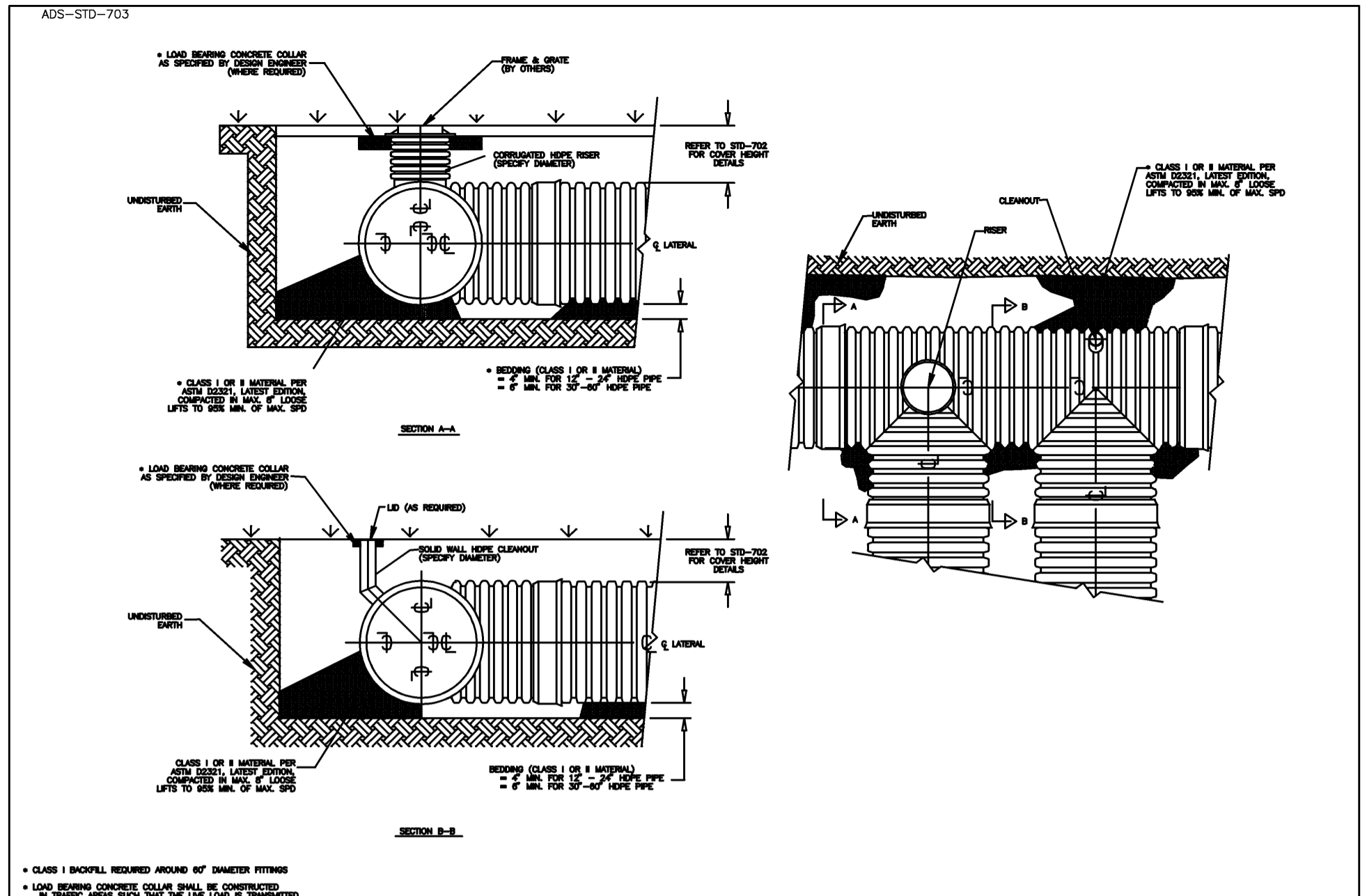
NYLOPLAST DRAIN BASIN WITH ADD-A-BRANCH



1 - ADD-A-BRANCH (PATENT NO. 634938) AVAILABLE FOR ALL 6" - 30" STRUCTURE OPTIONS (CUSTOM BASIN, ROAD & HIGHWAY, & CURB INLET)  
 2 - FRAMES, GRATES, HOODS, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATES  
 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-005.  
 4 - DRAINAGE CONNECTION SUB JOINT THICKNESS SHALL CONFORM TO ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATES  
 5 - ADD-A-BRANCH ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 0110-110-005, 0110-110-006, 0110-110-007, & 0110-110-008

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONSTITUTE, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE EXCLUSIVE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

DRAWN BY: EBC  
 DATE: 5-9-06  
 APP'D BY: CJA  
 DATE: 5-9-06  
 PROJECT NO./NAME: DRAIN BASIN WITH ADD-A-BRANCH QUICK SPEC INSTALLATION DETAIL  
 DWG SIZE: A SCALE: 1:25 SHEET 1 OF 1 DWG NO.: 0110-110-009 REV: B

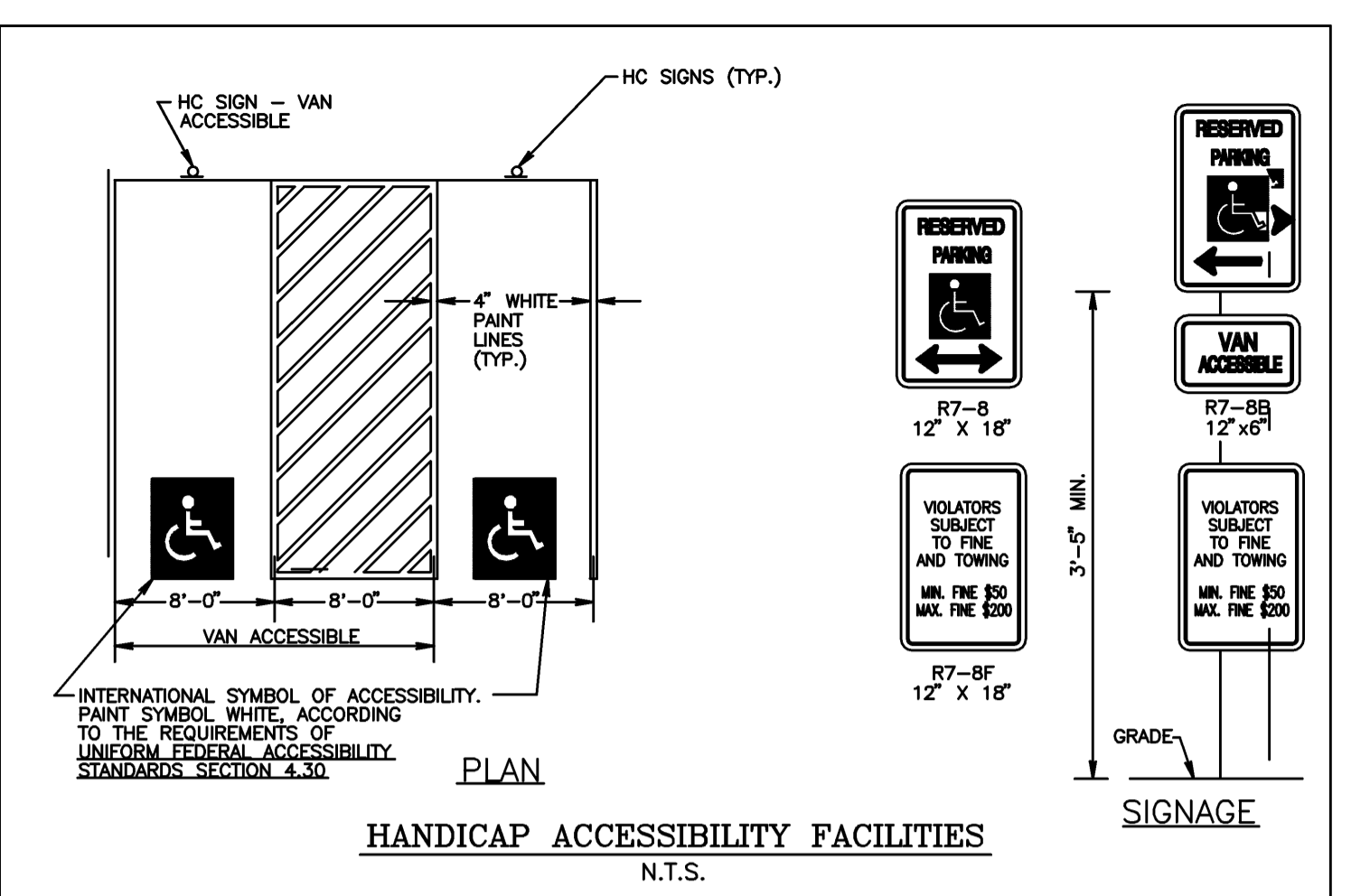
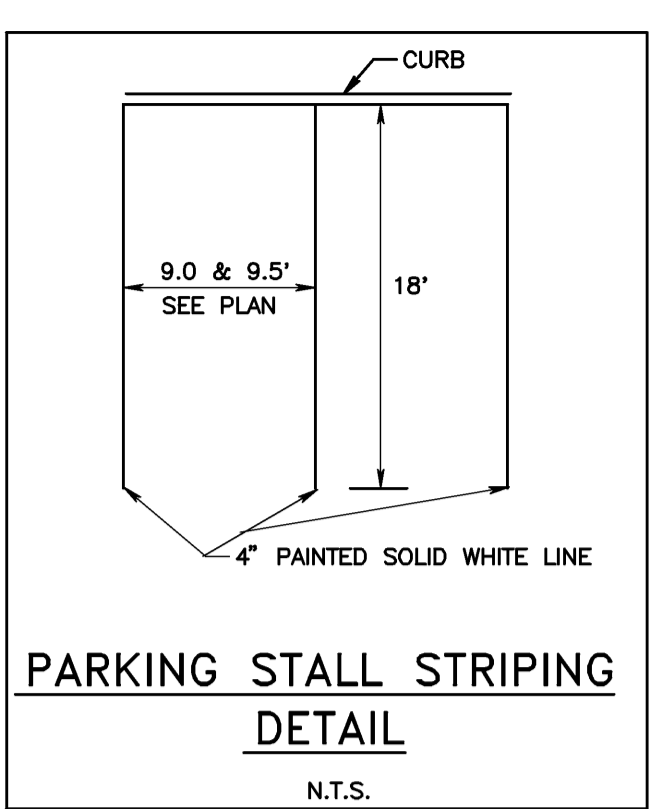


CLASS II BACKFILL PER ASTM D2321, COMPACTED IN 6" (0.2m) MAX. LIFTS TO A MIN. OF 90% MAX. STANDARD PROCTOR DENSITY

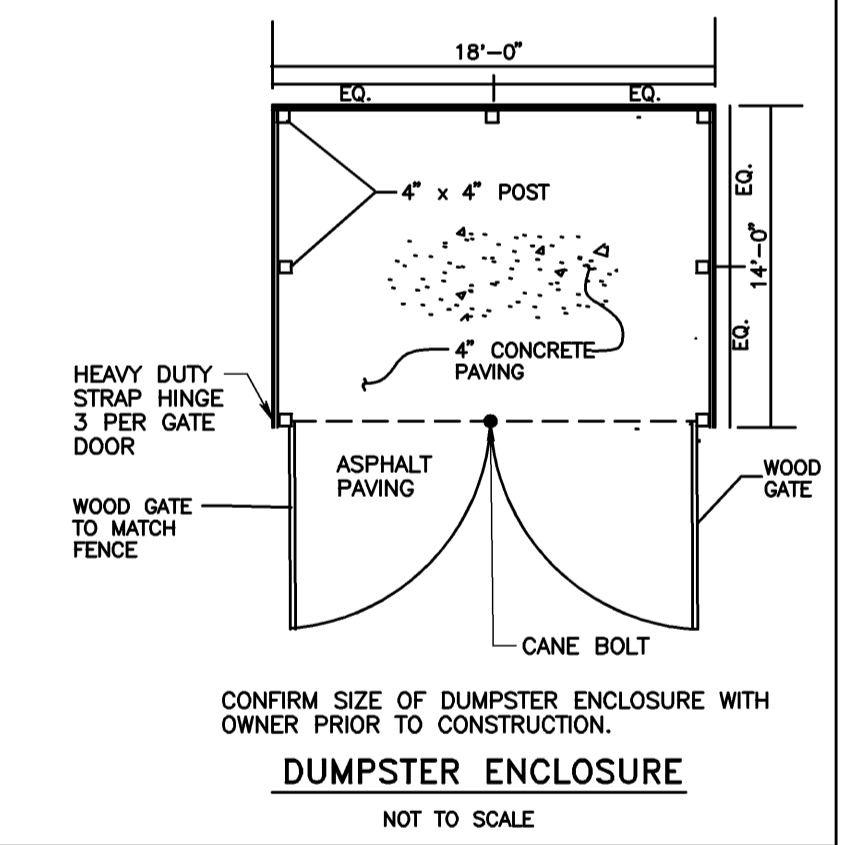
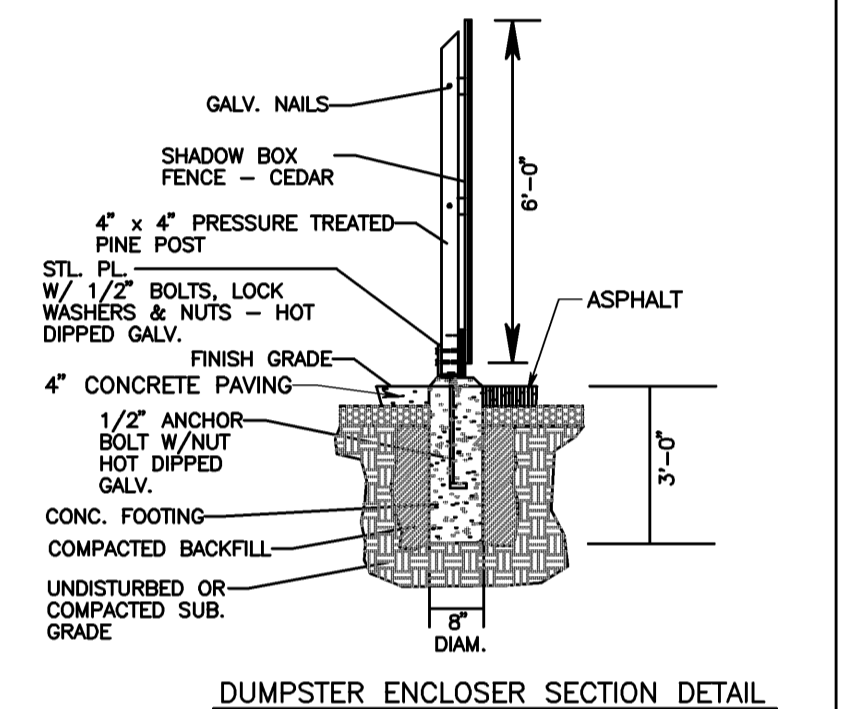
PA DOT CLASS 3 TYPE A GEOTEXTILE FABRIC TO SURROUND THE ENTIRE BED.

NOTE: IN AREA OF MINIMAL COVER THE CONTRACTOR SHALL USE 8" OF 2B STONE ABOVE THE INFILTRATION BED.

REV. 2 DESCRIPTION: DIA. DET/RET SYSTEM BY: MA/00/YY CHK'D: DATE: 02/20/07



NOTES:  
 1. POSTS SHALL BE PRESSURE TREATED W/CCA TO 40 POUNDS RETENTION PER CU. FT. OF WOOD.  
 2. PROVIDE ISOLATION JOINT @ FOOTING AND CONC. PAVING.  
 3. PROVIDE HEAVY DUTY LATCH HOLE FOR PADLOCK AND HEAVY DUTY HINGES FOR GATES.  
 4. ALL HARDWARE AND FASTENERS TO BE HOT DIPPED GALVANIZED.  
 5. PROVIDE Z BRACING ON BACK OF EACH GATE DOOR.



CONFIRM SIZE OF DUMPSTER ENCLOSURE WITH OWNER PRIOR TO CONSTRUCTION.

DUMPSTER ENCLOSURE NOT TO SCALE

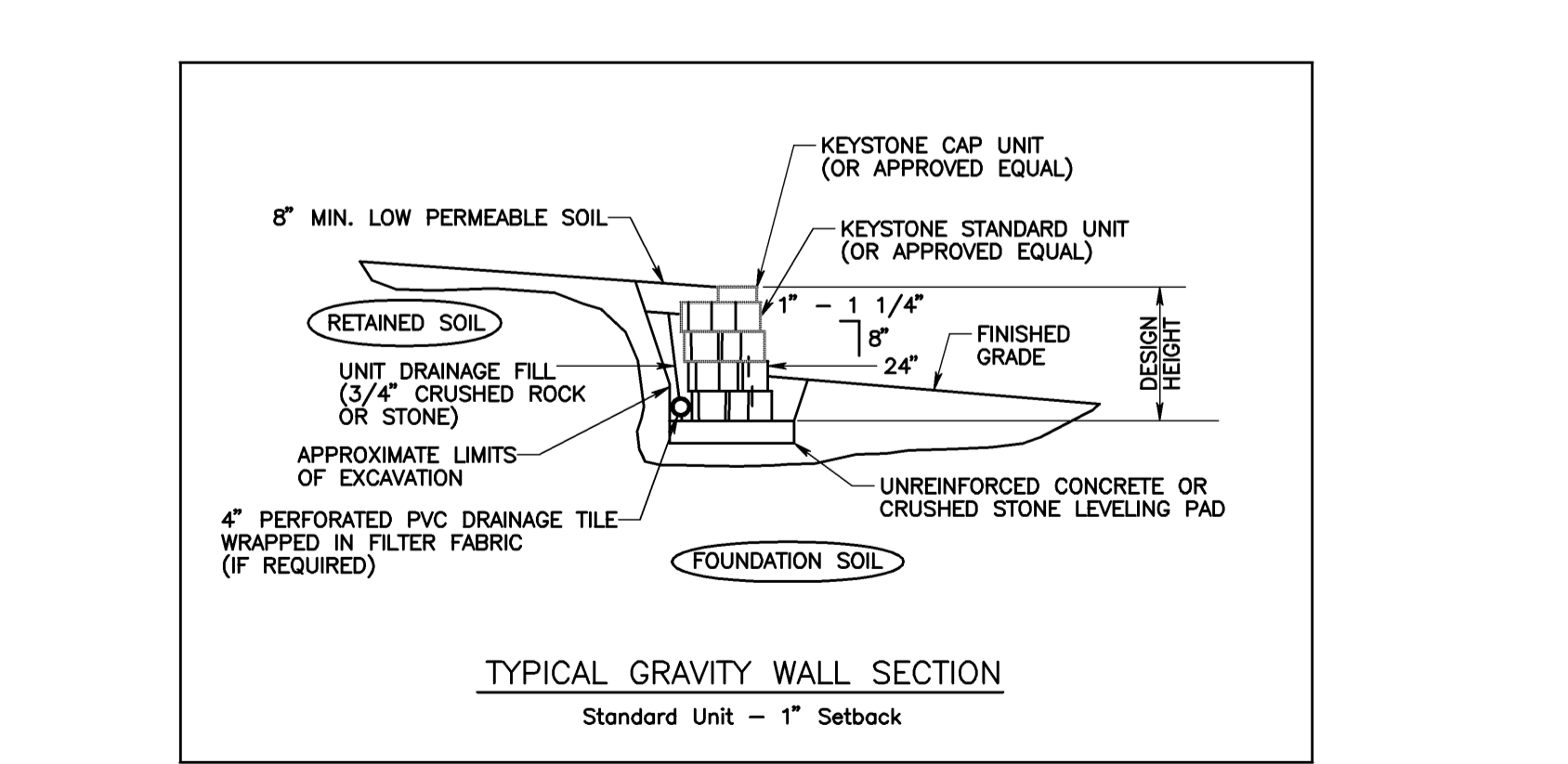
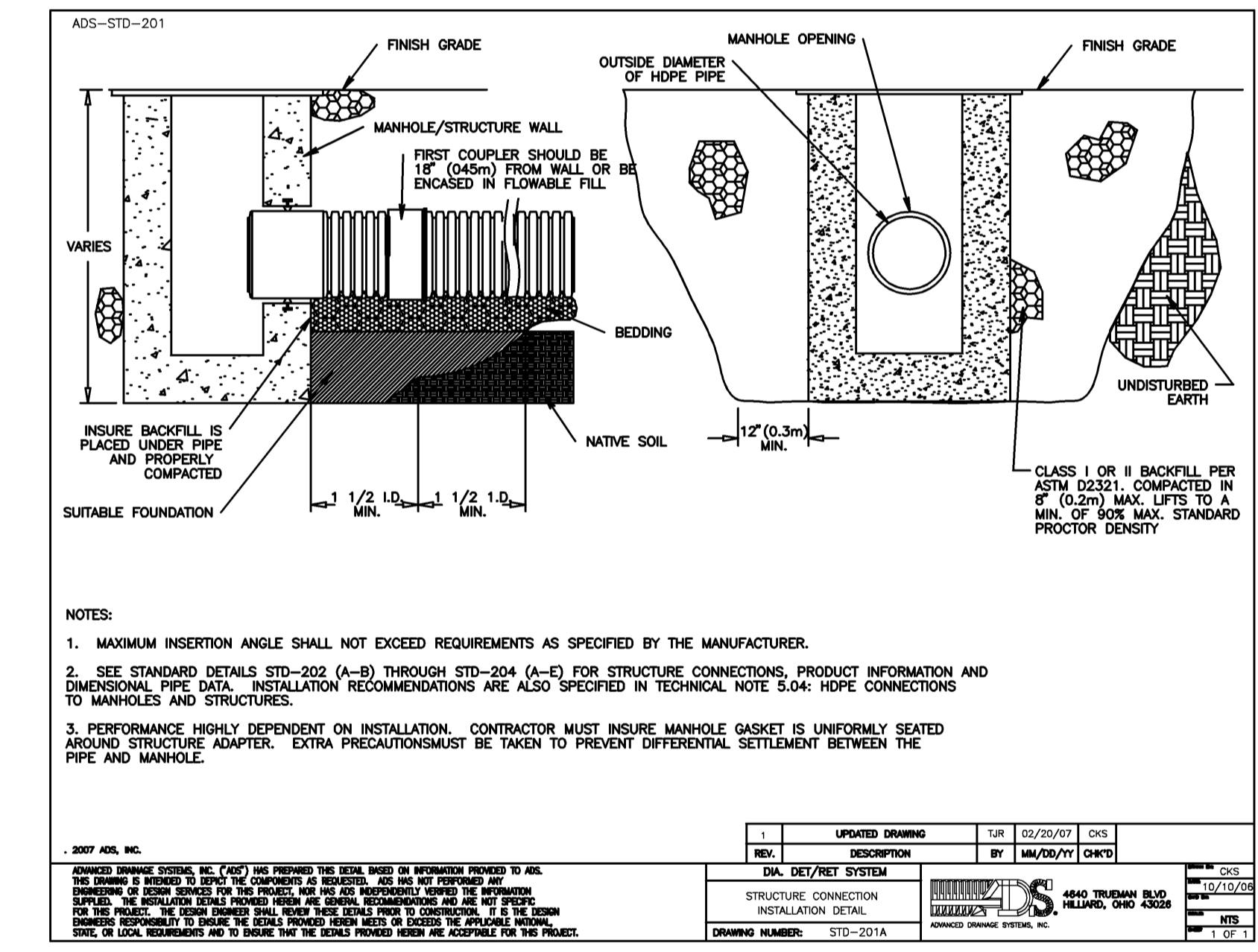
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LAND DEVELOPMENT FOR THE MALVERN SCHOOL

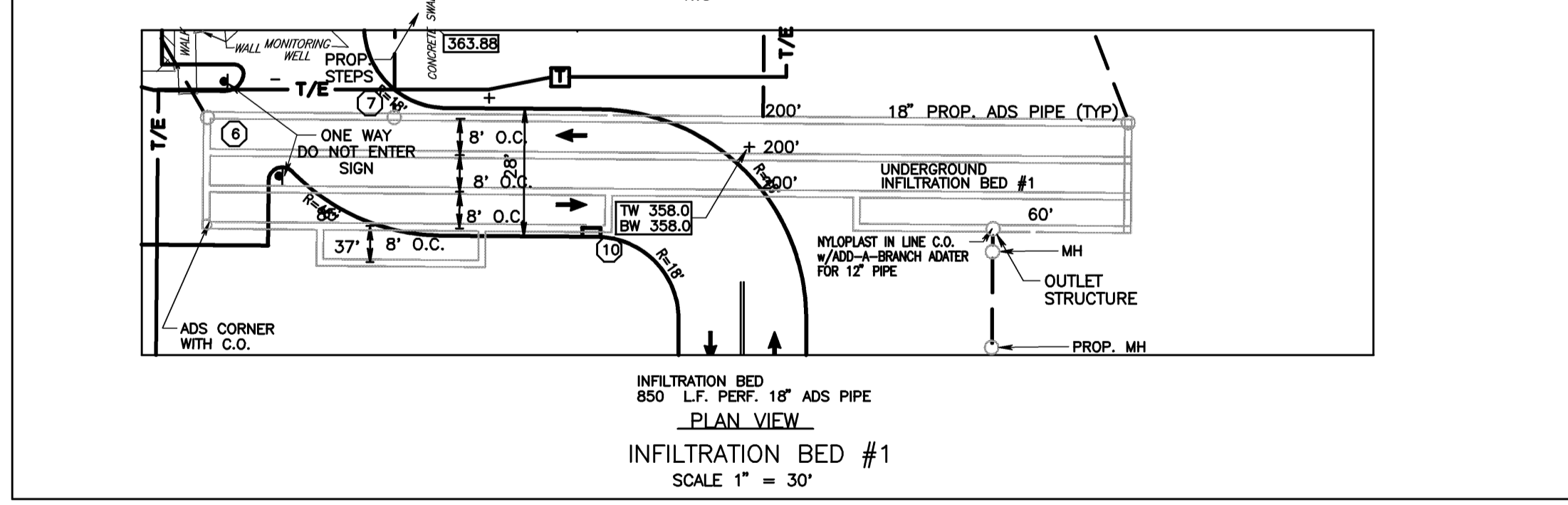
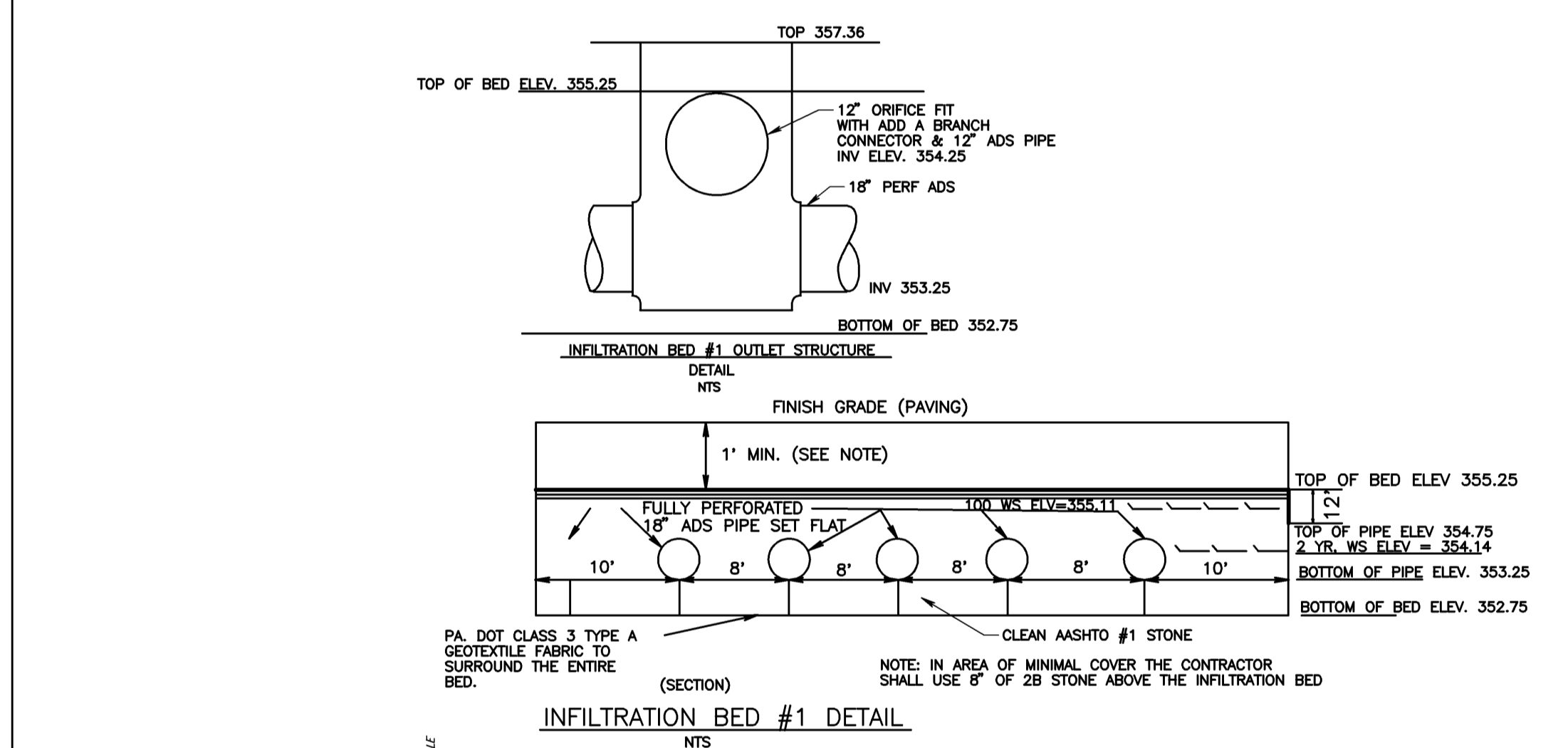
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 125 Dowlin Forge Rd. Eston, Pennsylvania 19341  
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Plotted: 7/26/2018 File: F:\J\4432\4432-B1-pro



THIS IS A TYPICAL DETAIL. A RETAINING WALL DESIGN PLAN MUST BE PREPARED BY A LICENSED GEOTECHNICAL OR STRUCTURAL ENGINEER BASED ON ACTUAL SOIL CONDITIONS PRESENT ON SITE. THE DESIGN MUST BE SUBMITTED TO WESTTOWN TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



CONSTRUCTION SPECIFICATIONS

1. LINER TO BE INSTALLED ON TOP, SIDES AND BOTTOM OF BED. CONTRACTOR TO REFER TO MANUFACTURERS SPECIFICATIONS FOR PROPER SEALING OF PIPE CONNECTIONS.
2. BASIN LINER = AMOCO 2016 OR APPROVED NON-WOVEN GEOTEXTILE EQUAL.
3. SEEPAGE BED FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENTATION DURING THE INSTALLATION PROCESS. IF THE INSPECTION INDICATES THAT SOIL HAS ENTERED ANY OF THE INFILTRATION SEEPAGE BEDS, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, BED ETC. AND/OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
4. ALL STONE FOR THE CONSTRUCTION OF THE STONE SEEPAGE BEDS SHOULD BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGATE. TOWNSHIP STAFF TO VERIFY MATERIAL IS ACCEPTABLE.
5. THE DESIGN AND TOWNSHIP ENGINEER MUST BE CONSULTED SHOULD ANY UNFAVORABLE CONDITIONS BE ENCOUNTERED DURING CONSTRUCTION (I.E. BEDROCK, HIGH WATER TABLE).
6. THIS IS A CRITICAL BMP. THE INSTALLATION MUST BE INSPECTED BY A LICENSED PROFESSIONAL ENGINEER.

CONSTRUCTION SEQUENCE

1. EXCAVATION TO BOTTOM OF SYSTEM TO BE PERFORMED WITH EQUIPMENT FROM OUTSIDE BED AREA OR RUBBER TIRE MACHINERY TO AVOID COMPACTION.
2. FINE GRADE BOTTOM OF SYSTEM WITH SMALL MACHINE.
3. SCARP'S SURFACE AND INSTALL GEOTEXTILE ON BOTTOM AND SIDES OF SYSTEM.
4. INSTALL INLET, STONE AND PIPE DISTRIBUTION SYSTEM
5. INSTALL FABRIC OVER TOP OF STONE AREA ENSURING FABRIC OVERLAP IS PROVIDED.
6. BACKFILL OVER FABRIC WITH SUBSOIL AND PARKING LOT SUBBASE.
7. INSTALL PAVING AND MULCH.
8. INSTALL PLYWOOD SHEET UNDER INLET GRATES. PLYWOOD IS TO REMAIN UNTIL ALL UPSLOPE AREAS ARE STABILIZED WITH VEGETATION. (MINIMUM OF 70% COVER).

NOTES:  
 INSTALLATION OF INFILTRATION SYSTEMS IS TO BE CHECKED BY THE A LICENSED ENGINEER.  
 AFTER THE INFILTRATION OR RECHARGE BED IS COMPLETELY INSTALLED, ALL HEAVY CONSTRUCTION EQUIPMENT SHALL BE RESTRICTED FROM THE INFILTRATION OR RECHARGE BED AREA TO ELIMINATE IMPACTS WHICH MAY COMPROMISE IT. IN THE EVENT ANY IMPACTS COMPROMISE THE FUNCTIONALITY OF THE INFILTRATION OR RECHARGE BED, IT MUST BE IMMEDIATELY REPAIRED OR REPLACED TO DESIGN SPECIFICATIONS.



PLANT SCHEDULE					
DECIDUOUS TREES - CANOPY TREES AND ORNAMENTAL TREES					
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CONDITION
13	1	Acer Rubrum Red Sunset	Red Sunset Maple	13'-15'	3 1/2" B & B
7	1	Quercus Phellos	Willow Oak	13'-15'	3 1/2" B & B
6	1	Platanus Acerifolia Bloodgood	Bloodgood London Plane Tree	13'-15'	3 1/2" B & B
77	1	Gleditsia Triflorata Inermis True Shade	True Shade Honeylocust	13'-15'	3 1/2" B & B
6	1	Prunus Sargentii	Sargent Cherry	10'-12'	3 1/2" B & B
10	1	Malus Floribunda	Flowering Crapapple	10'-12'	3 1/2" B & B
2	1	Acer Griseum	Paper Bark Maple	10'-12'	3 1/2" B & B

DECIDUOUS TREES 51

LANDSCAPE REQUIREMENTS			
STREET FRONTAGE	CANOPY TREES	ORNAMENTAL TREES	SHRUBS
363' PLEASANT GROVE RD	8	6	23
282' WILMINGTON PIKE	6	5	18
PROPERTY LINES			
NE 60' ARC = 252'	3	3	8
NE 83' ARC = 130'	2	2	7
SE 01' ARC = 220'	3	3	7
PARKING LOT	10		100
TOTAL	32	19	160

LANDSCAPE REQUIREMENTS			
NON RESIDENTIAL			
PROPERTY LINES			
1 CANOPY TREE/100'			
1 ORNAMENTAL FLOWERING TREE/100'			
3 SHRUBS/100'			
STREET FRONTAGE			
2 CANOPY TREE/100'			
1.5 ORNAMENTAL FLOWERING TREE/100'			
6 SHRUBS/100'			

MINIMUM PLANTING SIZE			
REQUIRED			
DECIDUOUS TREES	3 1/2" CAL		
SHRUBS, HEDGES	2" HT		
EVERGREEN TREES	8" HT		

PLANT SCHEDULE					
SHRUBS					
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CONDITION
IG	52	Ilex Glabra Densa	Densa Inkberry	2'-1 1/2'	B & B
JS	58	Juniperus Chinensis Sargentii	Sargent Juniper	18"-24"	B & B
MP	61	Myrica Pennsylvanica	Northern Bayberry	2'	B & B
VP	27	Viburnum Prospanse	Prague Viburnum	3'	B & B
VR	36	Viburnum Rhytidophyllum	Leatherleaf Viburnum	3'	B & B
FG	17	Fothergilla Gardenii	Dwarf Fothergilla	2'	B & B

TOTAL SHRUBS = 251

PLANT SCHEDULE					
EVERGREEN TREES					
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CONDITION
TO	11	Thuja Occidentalis Nigra	Dark American Arborvitae	5'	B & B

TOTAL EVERGREEN TREES = 11

PLANT SCHEDULE					
COMPENSATORY TREES					
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CONDITION

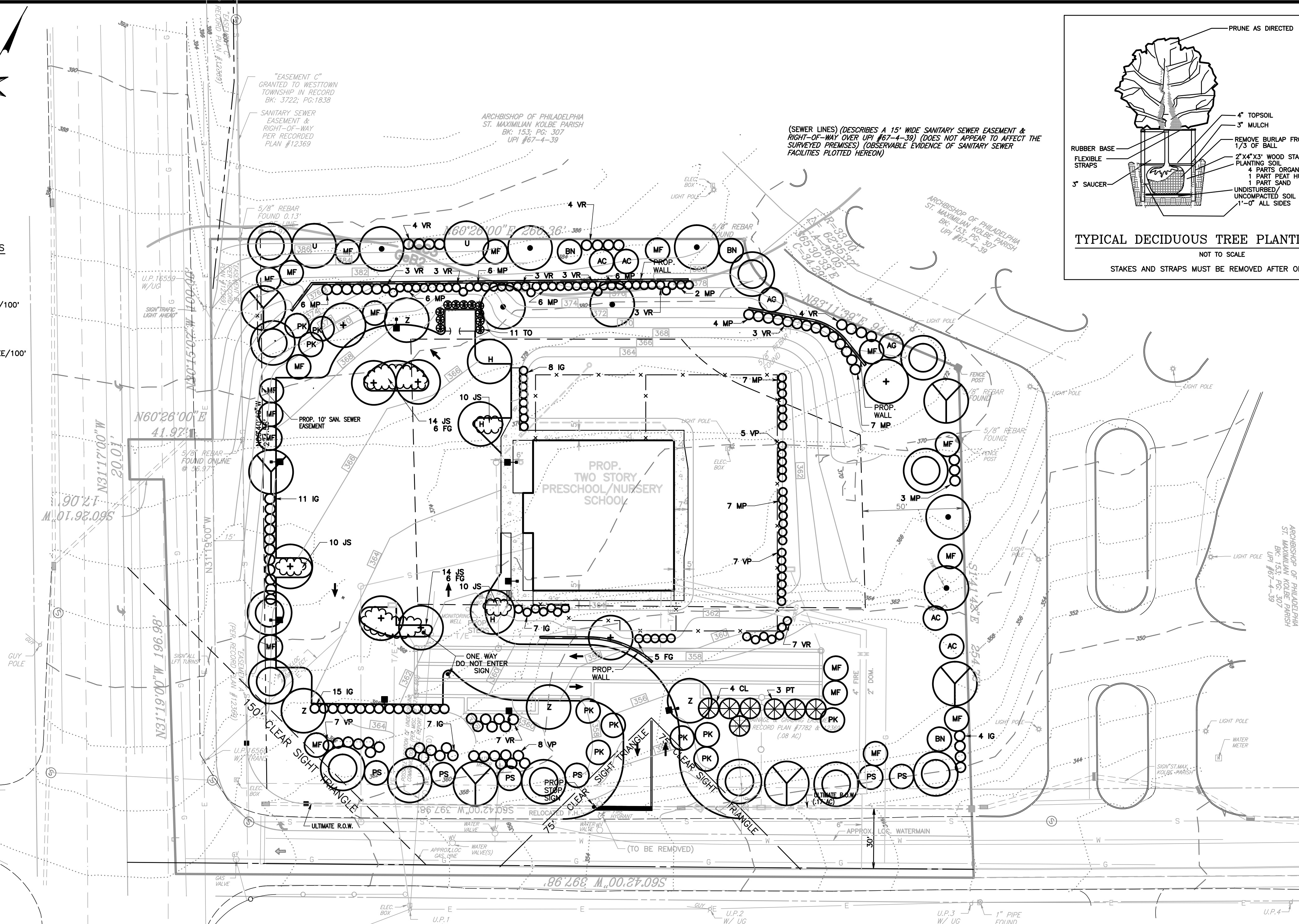
Z	4	Zelkova Serrata Village Green	Village Green Zelkova	10'-12'	3 1/2" B & B
H	3	Halesia Carolina	Carolina Silverbell	10'-12'	3 1/2" B & B
U	2	Liliodendron Tulipifera	Tulip Tree	10'-12'	3 1/2" B & B
PK	10	Prunus Serrulata Kwanzan	Kwanzan Cherry	10'-12'	3 1/2" B & B
CL	4	Cuyressus X Leylandii	Leyland Cypress	8'	3 1/2" B & B
PT	3	Pinus Strobus	Eastern White Pine	8'	3 1/2" B & B Sheared
FA	4	Prunus Subhirtella Aurumalis	Autumn Flowering Cherry	8'-10'	3 1/2" B & B
MF	7	Malus Floribunda	Japanese Flowering Cherry	8'-10'	3 1/2" B & B
AC	4	Acer Compostre	Hedge Maple	8'-10'	3 1/2" B & B
BN	3	Betula Nigra Heritage	Heritage Birch	10'-12'	3 1/2" B & B

TOTAL COMPENSATORY DECIDUOUS TREES = 44

PARKING LOT  
 PLANTER ISLAND >20" = 2 TREES + 20 SHRUBS - 2 ISLANDS = 4 TREES + 40 SHRUBS  
 <20" = 1 TREE + 10 SHRUBS - 3 ISLANDS = 3 TREES + 30 SHRUBS  
 TOTAL PARKING LOT PLANTER ISLAND = 7 TREES + 70 SHRUBS

COMPENSATORY TREES PROVIDED  
 44 COMPENSATORY TREES

COMPENSATORY TREE CALCULATION  
 TOTAL CALIPER INCHES TO BE REMOVED = 608"  
 1" REPLACEMENT/4" REMOVED = 152" NEW TREE CALIPER REQUIRED  
 152"/3 1/2" = 44 COMPENSATORY TREES REQUIRED  
 44 COMPENSATORY TREES PROVIDED



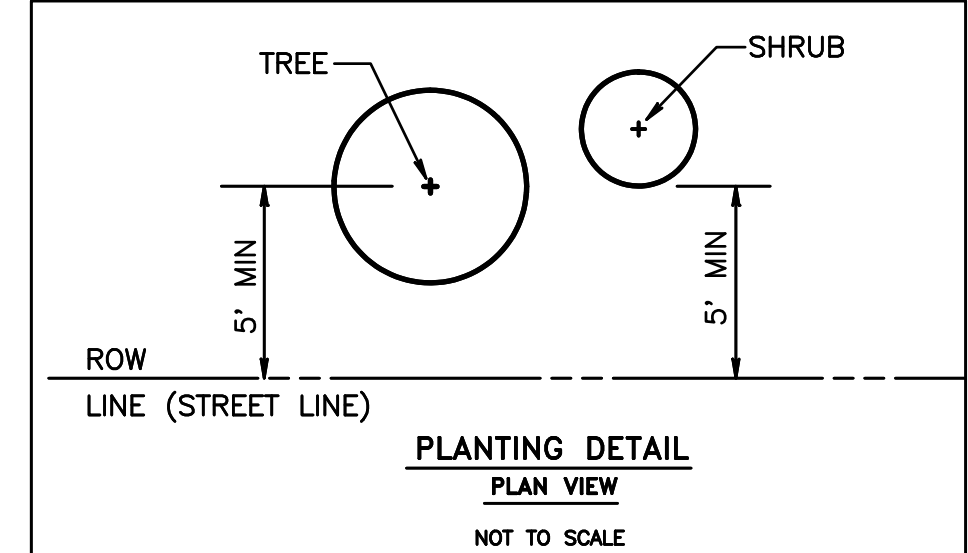
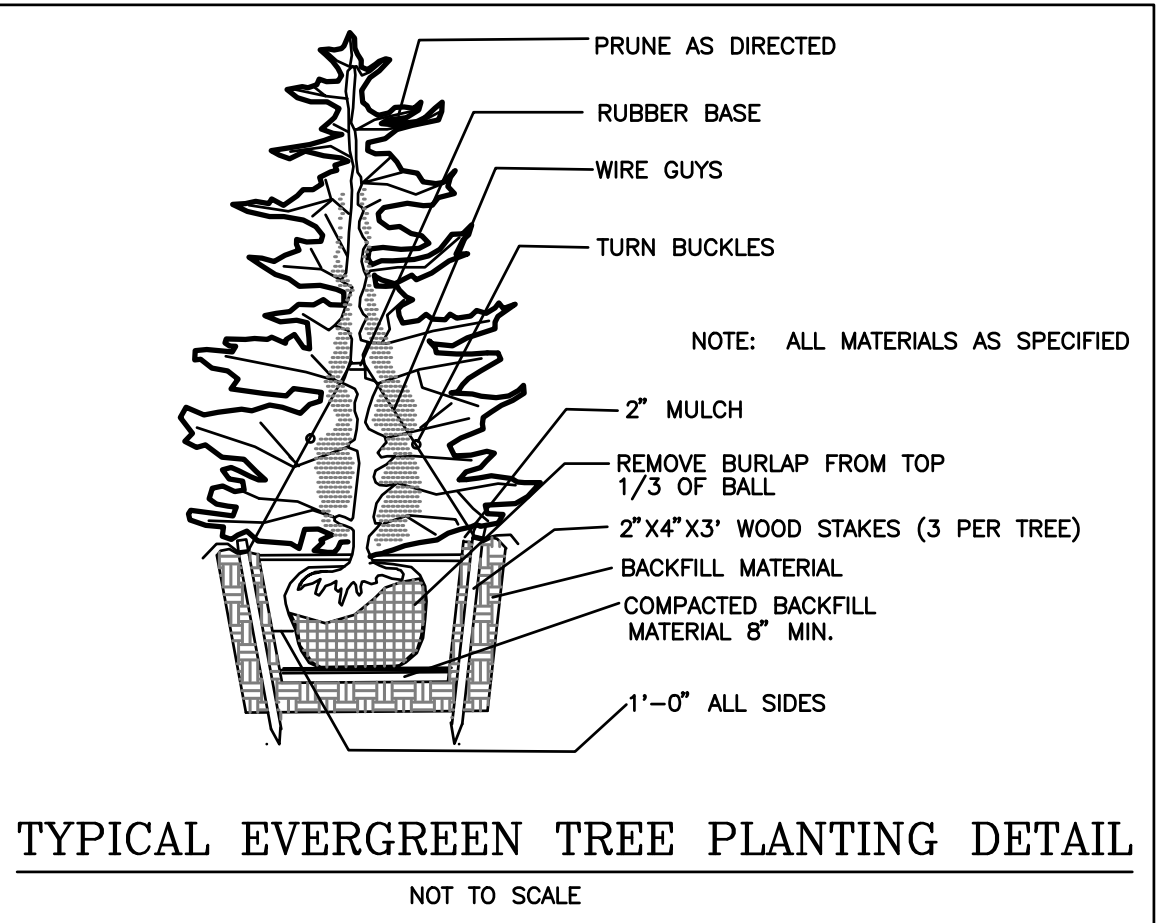
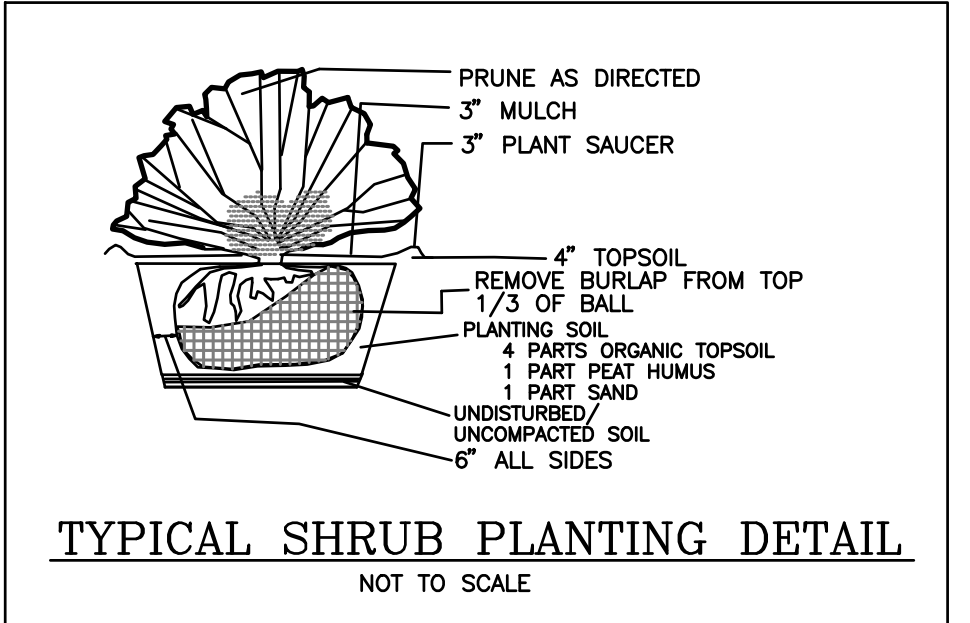
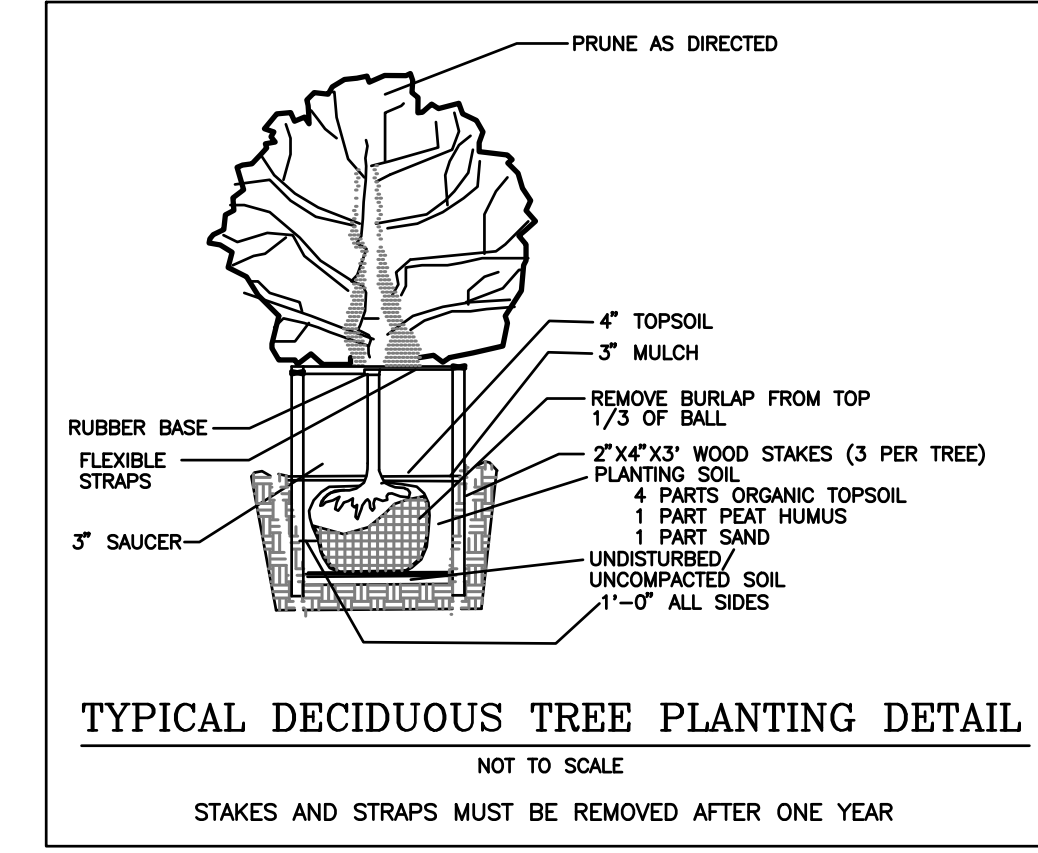
## EAST PLEASANT GROVE ROAD

### LANDSCAPE NOTES:

- PLANT LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL STAKE LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- PROVIDE CONTINUOUS MULCH (3" THICK) IN ALL SHRUB BEDS AND GROUND COVER AREAS AND AT THE BASE OF SPECIMEN TREES.
- SIZES OF PLANT MATERIAL GIVEN ARE TO BE CONSIDERED MINIMUM.
- NO SUBSTITUTIONS FOR PLANT MATERIAL ARE ACCEPTABLE UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE, INCLUDING WATERING OF PLANT MATERIAL UNTIL JOB IS TURNED OVER TO OWNER.
- CONTRACTOR SHALL LOOSEN SUBGRADE OF PLANTING BED AREAS TO A MINIMUM DEPTH OF TWENTY-FOUR INCHES (24") USING A CULTIVATOR OR SIMILAR EQUIPMENT. REMOVE STONES ONE TO ONE AND A HALF INCHES (1 - 1 1/2") IN ANY DIMENSIONS AND STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER.
- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED OR SUSPECTED, SUCH AS RUBBLE FILL, UNACCEPTABLE SOILS, ADVERSE DRAINAGE CONDITIONS OR OTHER OBSTRUCTIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IN WRITING BEFORE PLANTING ANY TREES, SHRUBS OR LAWN AREAS.
- TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
- TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE FROM DISEASES AND INSECT INFESTATIONS.
- TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
- ALL PLANTING BEDS SHALL BE MULCHED WITH DOUBLE GROUND SHREDED HARDWOOD MULCH INSTALLED AT A MINIMUM DEPTH OF THREE INCHES (3").
- ALL CANOPY TREES MUST HAVE A SPREAD EQUAL TO FIFTY PERCENT (50%) OF THE HEIGHT.
- ALL DISTURBED LAWN AREAS WITHOUT SHRUB OR GROUND COVER PLANT MATERIAL SHALL BE PLANTED WITH A BLUE GRASS SEED MIX.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PLAN.

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER AND/OR LANDSCAPE ARCHITECT.
- THIS PLAN IS INTENDED FOR LANDSCAPE PURPOSES ONLY.
- NO MORE THAN FIVE INCHES (5") OF SOIL SHALL BE PLACED AROUND THE TRUNKS OF TREES WHICH ARE TO REMAIN. FOR THOSE TREES WHICH ARE TO REMAIN, WHERE MORE THAN FIVE INCHES (5") OF SOIL ARE TO BE PLACED, TREE WELLS SHALL BE CONSTRUCTED TO PRESERVE SUCH TREES.
- ALL SIZES AND GRADING STANDARD FOR PLANT MATERIALS SHALL CONFORM WITH THE LATEST EDITION OF AMERICAN STANDARD OF NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATES OF NURSERYMEN, INC., AND APPROVED MAY 2, 1986 BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC., OR THE LATEST REVISED EDITION OF THIS STANDARD.
- TOPSOIL REMOVED BY GRADING OPERATIONS SHALL BE REDISTRIBUTED AND STABILIZED AS SOON AS POSSIBLE FOLLOWING THE COMPLETION OF A PHASE OF WORK OR THE ENTIRE PROJECT. ALL EXPOSED EARTH SURFACES SHALL BE STABILIZED BY THE FOLLOWING METHODS OR APPROVED EQUAL: (A) SEEDING OR PLANTING OF SLOPES WITH A GRADIENT OF THIRTY THREE PERCENT (33%) OR LESS STEEP; (B) SOODING OR HYDRO SEEDING OF SLOPES WITH A GRADIENT OF THIRTY THREE PERCENT (33%) OR MORE STEEP.
- ALL TREES TO BE RETAINED SHALL BE PROTECTED DURING CONSTRUCTION FROM EQUIPMENT DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS.
- THE CONTRACTOR SHALL LABEL EACH TREE AND SHRUB WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- ALL DISTURBED AREAS ARE TO BE SEED TO ESTABLISH A Viable LAWN.
- ANY TREE OR SHRUB WITH DIES WITHIN TWENTY FOUR (24) MONTHS OF THE DEDICATION OF PUBLIC IMPROVEMENTS OF OCCUPANCY SHALL BE REPLACED. AT THE OWNERS EXPENSE. ANY TREE OR SHRUB WHICH WITHIN THE AFORESAIDED TIME PERIOD IS DETERMINED BY THE OPINION OF AN AGENT AUTHORIZED BY THE TOWNSHIP, NOT TO HAVE SURVIVED OR GROWN IN A MANNER CHARACTERISTIC OF ITS TYPE SHALL BE REPLACED. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE TOWNSHIP.
- ALL SHRUBS ARE TO BE PLANTED MASSES TOGETHER IN GROUPS IN MULCHED PLANTING BEDS.
- ALL STAKES AND STRAPS AT THE TREES MUST BE REMOVED AFTER ONE YEAR.
- ALL PLANTS SHALL CONFORM WITH THE STANDARDS FOR NURSERY STOCK OF AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANTING SOIL SHALL CONSIST OF 4 PARTS ORGANIC TOPSOIL AND 1 PART PEAT HUMUS, 1 PART WASHED SAND.

- TOPSOIL SHALL HAVE THE FOLLOWING COMPOSITION AND MAKE UP: BE FRABLE  
 SHALL CONTAIN ORGANIC MATTER SUITABLE TO SUPPORT PLANT LIFE, INCLUDING A COMPOSITION OF APPROXIMATELY 5-10% SAND, 7-16% ORGANIC MATERIAL, NO MORE THAN 30% WEIGHT OF CLAY.  
 SHALL BE WEED FREE (ABSENCE OF LIVING/DYING WEED CONTAMINANT) AS STONES (NO LARGER THAN 12mm IN DIAMETER IN THE TOP 50mm, CONCRETE, STEEL, CLAY LUMPS, TREE ROOTS, STICKS OR OTHER INORGANIC MATERIAL).
- NO TREES SHALL BE PLANTED CLOSER THAN FIFTEEN (15) FEET FROM THE FIRE HYDRANTS OR STOP SIGNS.
- EXISTING TREES AND SHRUBS AT THE CORNER OF AN INTERSECTION OF STREETS AND/OR DRIVEWAYS, SHALL BE CUT TO THE HEIGHT OF TWENTY-FOUR INCHES (24") FROM POINT OF INTERSECTION OF CORNER PROPERTY LINES TO AVOID BLOCKING SIGHT DISTANCE TO ONCOMING TRAFFIC; AND SHRUBS OR GROUNDCOVERS TO BE PLANTED SHALL BE OF THE DWARF VARIETY AND SHALL NOT EXCEED TWENTY-FOUR INCHES (24") IN HEIGHT AT MATURITY.
- ALL TREES ALONG THE RIGHT-OF-WAY OF ANY PROPERTY SHALL BE KEPT TRIMMED NINE FEET (9') ABOVE ANY SIDEWALK AND ELEVEN FEET (11') ABOVE ALL STREETS.
- PROPER SIGHT LINES SHALL BE MAINTAINED AT ALL INTERSECTIONS OF STREETS. THERE SHALL BE A CLEAR SIGHT TRIANGLE ALONG THE INTERSECTING STREET LINES FROM THE POINT OF INTERSECTION INDICATING ON THE PLAN, THAT IS MAINTAINED FREE AND CLEAR OF STRUCTURES, SIGNS AND OTHER VISUAL OBSTRUCTIONS.
- ALL TREES TO BE RETAINED WITHIN TWENTY-FIVE FEET (25') OF A BUILDING, PARKING OR OTHER PROPOSED IMPROVEMENTS SHALL BE PROTECTED DURING CONSTRUCTION FROM EQUIPMENT DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS.
- ALL PLANTING BEDS, LAWN AREAS AND TREE BASES ARE TO BE TOP DRESSED WITH 4" OF ORGANIC TOPSOIL.
- ALL PARKING LOT TREES ARE TO BE PLANTED TO PROVIDE SEVEN FEET (7') CLEARANCE FROM THE GROUND AT TIME OF TREE.
- PLANT MATERIAL QUANTITIES LISTED FOR THE CONVENIENCE OF THE CONTRACTOR. ACTUAL NUMBERS OF SYMBOLS SHALL TAKE PRECEDENCE OVER QUANTITIES LISTED IN CASES OF CONFLICT.
- ALL PLANT MATERIAL SHALL BE OF THE MINIMUM SIZE NOTED ON THE PLANS. PLANT MATERIAL SHALL BE MEASURED ACROSS THE MAIN BODY OF THE PLANT, NOT TO THE FURTHEST MOST TIPS OF GROWTH.
- ALL AREAS TO BE LANDSCAPED, ESPECIALLY NEXT TO BUILDING AREAS, SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS AND BACKFILLED WITH A GOOD, MEDIUM TEXTURED PLANTING SOIL. ALL LAWN AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL.



### CONDITIONAL USE LANDSCAPE PLAN

2	7-10-18	REVISED BUILDING LAYOUT
1	4-30-18	REVISED PER TOWNSHIP ZONING OFFICERS COMMENT OF 4-19-18

LAND DEVELOPMENT FOR  
**THE MALVERN SCHOOL**

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.  
 CIVIL ENGINEERS & SURVEYORS

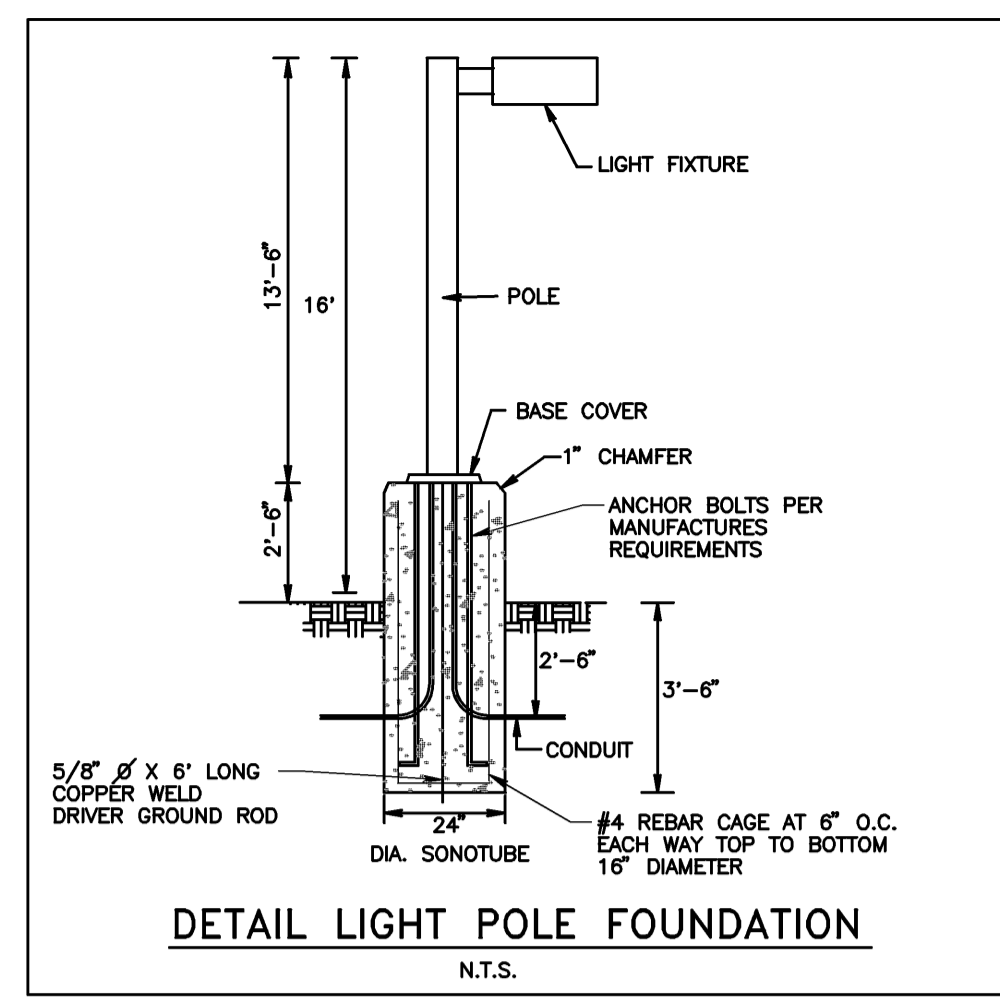
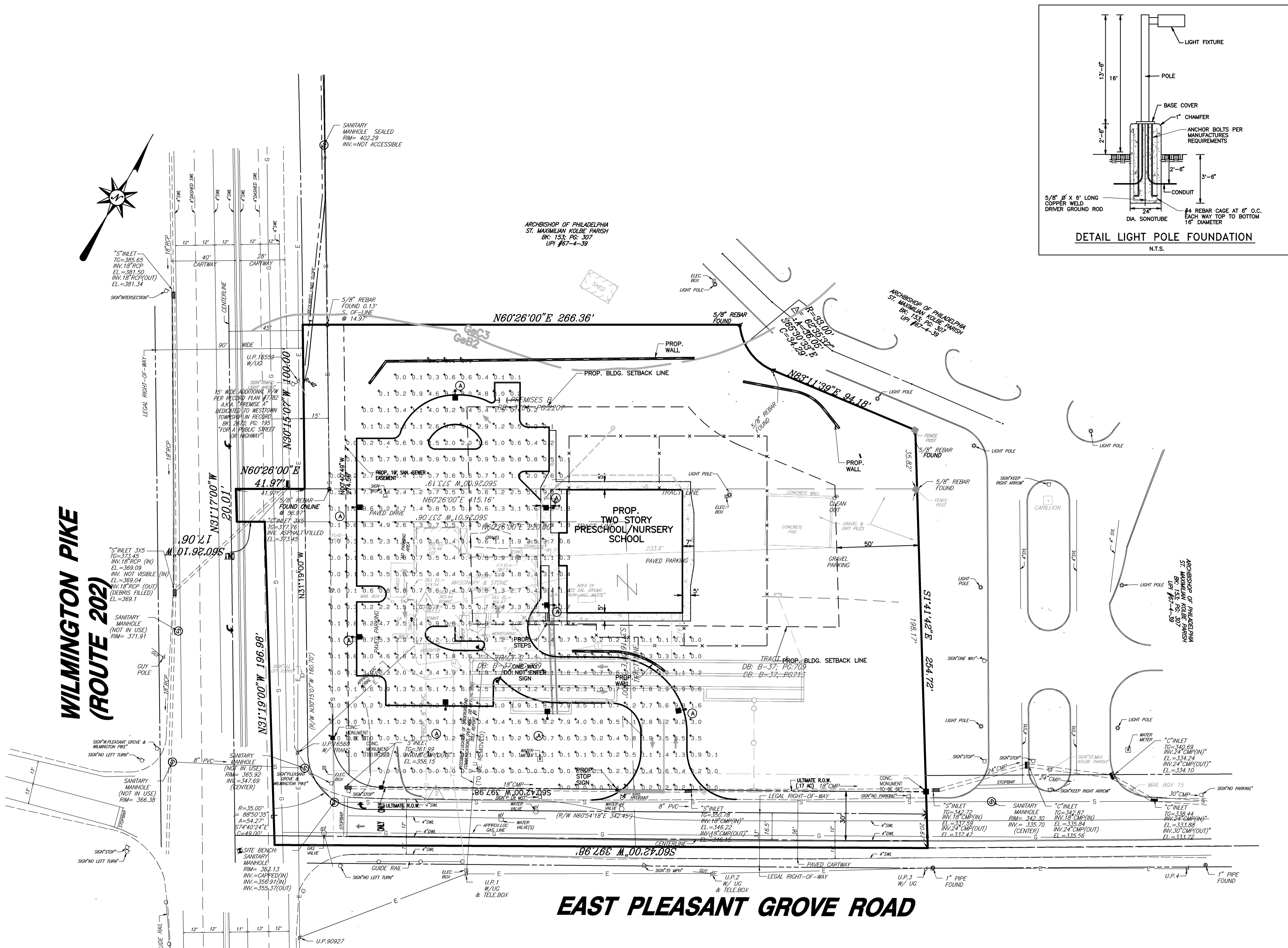
125 Doulton Forge Rd.  
 Exton, Pennsylvania 19341  
 Phone: 610-903-0060  
 Fax: 610-903-0080

Project- 4432  
 Date- 4-9-18  
 Scale- 1" = 30'  
 Drawn- DJD  
 Checked- A.E.  
 Sheet- 5 OF 7



GRAPHIC SCALE





Notes: Job: \_\_\_\_\_

### ECOLINE ECA/ECW

GENERAL DESCRIPTION: The ECOLINE ECA/ECW is a maintenance-free luminaire. The photometric optical system provides light levels, even illumination, wide pole spacing and glare control. The luminaire is adjustable for the field and is adjustable. The ECOLINE luminaire is completely sealed and gasketed, providing excellent protection from moisture, insects and contaminants.

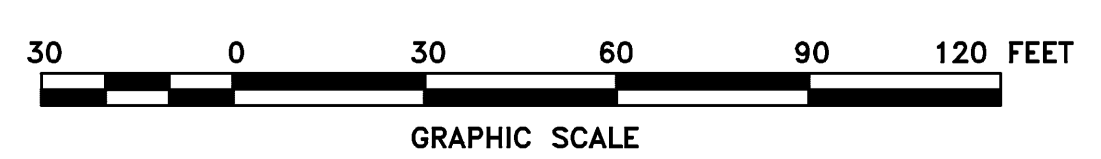
CUTOFF PERFORMANCE: Flat glass lens luminaires provide full cutoff performance. Sagittae luminaires using 300V optics will meet or exceed the performance of Maintenance-free optics. Other sagittae luminaires provide useful performance.

ORDERING	CONFIGURATION	DISTRIBUTION	WATTAGE	VOLTAGE	FINISH	OPTIONS																																																																																																																																																																																																			
EC1A	18 Square Arm Mount Luminaire	EC1A1	18 Square Direct Wall Mount Luminaire	EC1A2	24 Square Arm Mount Luminaire	EC1A3	24 Square Direct Wall Mount Luminaire	EC1A4	24 Square Direct Wall Mount Luminaire	EC1A5	24 Square Direct Wall Mount Luminaire	EC1A6	24 Square Direct Wall Mount Luminaire	EC1A7	24 Square Direct Wall Mount Luminaire	EC1A8	24 Square Direct Wall Mount Luminaire	EC1A9	24 Square Direct Wall Mount Luminaire	EC1A10	24 Square Direct Wall Mount Luminaire	EC1A11	24 Square Direct Wall Mount Luminaire	EC1A12	24 Square Direct Wall Mount Luminaire	EC1A13	24 Square Direct Wall Mount Luminaire	EC1A14	24 Square Direct Wall Mount Luminaire	EC1A15	24 Square Direct Wall Mount Luminaire	EC1A16	24 Square Direct Wall Mount Luminaire	EC1A17	24 Square Direct Wall Mount Luminaire	EC1A18	24 Square Direct Wall Mount Luminaire	EC1A19	24 Square Direct Wall Mount Luminaire	EC1A20	24 Square Direct Wall Mount Luminaire	EC1A21	24 Square Direct Wall Mount Luminaire	EC1A22	24 Square Direct Wall Mount Luminaire	EC1A23	24 Square Direct Wall Mount Luminaire	EC1A24	24 Square Direct Wall Mount Luminaire	EC1A25	24 Square Direct Wall Mount Luminaire	EC1A26	24 Square Direct Wall Mount Luminaire	EC1A27	24 Square Direct Wall Mount Luminaire	EC1A28	24 Square Direct Wall Mount Luminaire	EC1A29	24 Square Direct Wall Mount Luminaire	EC1A30	24 Square Direct Wall Mount Luminaire	EC1A31	24 Square Direct Wall Mount Luminaire	EC1A32	24 Square Direct Wall Mount Luminaire	EC1A33	24 Square Direct Wall Mount Luminaire	EC1A34	24 Square Direct Wall Mount Luminaire	EC1A35	24 Square Direct Wall Mount Luminaire	EC1A36	24 Square Direct Wall Mount Luminaire	EC1A37	24 Square Direct Wall Mount Luminaire	EC1A38	24 Square Direct Wall Mount Luminaire	EC1A39	24 Square Direct Wall Mount Luminaire	EC1A40	24 Square Direct Wall Mount Luminaire	EC1A41	24 Square Direct Wall Mount Luminaire	EC1A42	24 Square Direct Wall Mount Luminaire	EC1A43	24 Square Direct Wall Mount Luminaire	EC1A44	24 Square Direct Wall Mount Luminaire	EC1A45	24 Square Direct Wall Mount Luminaire	EC1A46	24 Square Direct Wall Mount Luminaire	EC1A47	24 Square Direct Wall Mount Luminaire	EC1A48	24 Square Direct Wall Mount Luminaire	EC1A49	24 Square Direct Wall Mount Luminaire	EC1A50	24 Square Direct Wall Mount Luminaire	EC1A51	24 Square Direct Wall Mount Luminaire	EC1A52	24 Square Direct Wall Mount Luminaire	EC1A53	24 Square Direct Wall Mount Luminaire	EC1A54	24 Square Direct Wall Mount Luminaire	EC1A55	24 Square Direct Wall Mount Luminaire	EC1A56	24 Square Direct Wall Mount Luminaire	EC1A57	24 Square Direct Wall Mount Luminaire	EC1A58	24 Square Direct Wall Mount Luminaire	EC1A59	24 Square Direct Wall Mount Luminaire	EC1A60	24 Square Direct Wall Mount Luminaire	EC1A61	24 Square Direct Wall Mount Luminaire	EC1A62	24 Square Direct Wall Mount Luminaire	EC1A63	24 Square Direct Wall Mount Luminaire	EC1A64	24 Square Direct Wall Mount Luminaire	EC1A65	24 Square Direct Wall Mount Luminaire	EC1A66	24 Square Direct Wall Mount Luminaire	EC1A67	24 Square Direct Wall Mount Luminaire	EC1A68	24 Square Direct Wall Mount Luminaire	EC1A69	24 Square Direct Wall Mount Luminaire	EC1A70	24 Square Direct Wall Mount Luminaire	EC1A71	24 Square Direct Wall Mount Luminaire	EC1A72	24 Square Direct Wall Mount Luminaire	EC1A73	24 Square Direct Wall Mount Luminaire	EC1A74	24 Square Direct Wall Mount Luminaire	EC1A75	24 Square Direct Wall Mount Luminaire	EC1A76	24 Square Direct Wall Mount Luminaire	EC1A77	24 Square Direct Wall Mount Luminaire	EC1A78	24 Square Direct Wall Mount Luminaire	EC1A79	24 Square Direct Wall Mount Luminaire	EC1A80	24 Square Direct Wall Mount Luminaire	EC1A81	24 Square Direct Wall Mount Luminaire	EC1A82	24 Square Direct Wall Mount Luminaire	EC1A83	24 Square Direct Wall Mount Luminaire	EC1A84	24 Square Direct Wall Mount Luminaire	EC1A85	24 Square Direct Wall Mount Luminaire	EC1A86	24 Square Direct Wall Mount Luminaire	EC1A87	24 Square Direct Wall Mount Luminaire	EC1A88	24 Square Direct Wall Mount Luminaire	EC1A89	24 Square Direct Wall Mount Luminaire	EC1A90	24 Square Direct Wall Mount Luminaire	EC1A91	24 Square Direct Wall Mount Luminaire	EC1A92	24 Square Direct Wall Mount Luminaire	EC1A93	24 Square Direct Wall Mount Luminaire	EC1A94	24 Square Direct Wall Mount Luminaire	EC1A95	24 Square Direct Wall Mount Luminaire	EC1A96	24 Square Direct Wall Mount Luminaire	EC1A97	24 Square Direct Wall Mount Luminaire	EC1A98	24 Square Direct Wall Mount Luminaire	EC1A99	24 Square Direct Wall Mount Luminaire	EC1A100	24 Square Direct Wall Mount Luminaire

### LEGEND

---	EXISTING CURB
- - -	PROPOSED CURB
- - -	EXISTING EDGE OF PAVING
- - -	EXISTING FENCE
- - -	PROPOSED FENCE
- - -	EXISTING STORM SEWER PIPE
- - -	PROPOSED STORM SEWER PIPE
- - -	EXISTING SANITARY SEWER PIPE
- - -	PROPOSED SANITARY SEWER PIPE
- - -	EXISTING GAS LINE
- - -	PROPOSED GAS LINE
- - -	EXISTING ELECTRIC LINE
- - -	PROPOSED TELEPHONE/ELECTRIC LINE
- - -	PROPOSED WATER LINE
- - -	PROPOSED YARD DRAIN
○	EXISTING SANITARY MANHOLE
○	PROPOSED SANITARY MANHOLE
○	EXISTING STORM MANHOLE
○	PROPOSED STORM MANHOLE
○	EXISTING INLET
○	PROPOSED INLET
○	EXISTING UTILITY POLE
○	EXISTING LIGHT POLE
○	EXISTING WATER VALVE
○	EXISTING GAS VALVE
○	EXISTING SIGN
○	PROPOSED SIGN
○	PROPOSED LIGHT

## EAST PLEASANT GROVE ROAD



- ### GENERAL NOTES
- POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL.
  - THE TOWNSHIP RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION NIGHTTIME INSPECTIONS TO VERIFY COMPLIANCE WITH THE ZONING ORDINANCE AND IF APPROPRIATE, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE TOWNSHIP.
  - THIS PROJECT WAS DESIGNED ACCORDING TO THE 9TH EDITION OF THE IESNA LIGHTING HANDBOOK. THE FOLLOWING CRITERIA WAS HELD.
    - THE MAINTAINED AVERAGE FOOT CANDLES IN A PARKING LOT FOR A COMMERCIAL USE OF MEDIUM ACTIVITY SHALL NOT EXCEED 2.0 (0.5 x 4) USING A UNIFORMITY RATIO OF 4:1
    - THE INTENSITY OF ILLUMINATION PROJECTED ONTO A RESIDENTIAL PROPERTY FROM ANOTHER PROPERTY SHALL NOT EXCEED 0.1 VERTICAL FOOTCANDLE MEASURED LINE-OF-SIGHT, FROM ANY POINT ON THE ADJACENT RESIDENTIAL PROPERTY.
    - ALL FIXTURES SHALL MEET IESNA FULL CUTOFF CRITERIA.
- ### EXTERIOR LIGHTING OPERATION NOTES:
- ALL EXTERIOR LIGHTING FIXTURES TO BE CONTROLLED BY AN AUTOMATIC SWITCHING DEVICE(S) EQUIPMENT, APPROVED BY WESTTOWN TOWNSHIP. THE PROPOSED LUMINAIRES WILL BE EQUIPPED WITH LIGHT SENSITIVE PHOTOCONTROL, AND, THE DAILY OPERATION OF EXTERIOR FIXTURES SHALL BE SUPPLEMENTED BY TIME CLOCK CONTROL IN ORDER TO ACCOMPLISH THE FOLLOWING OPERATION SCHEDULE:
    - HOURS OF OPERATION
    - SITE LIGHTING ON AT DUSK, EXTINGUISHED AT 11:00 P.M. OR WITHIN ONE HOUR FOLLOWING THE CLOSE OF BUSINESS, WHICHEVER COMES FIRST.
    - SITE LIGHTING ON AT 7:30 A.M., IF NECESSARY, EXTINGUISHED AT DAWN.
    - AT THIS TIME THE APPLICANT DOES NOT PROPOSE AFTER-HOURS SECURITY LIGHTING FOR THE PROJECT. IF AND WHEN SECURITY LIGHTING IS PROPOSED, A BUILDING PERMIT APPLICATION WILL BE SUBMITTED.

### LUMINAIRE SCHEDULE

Symbol	Qty	Catalog Number	Description	Lamp	Mounting Height	File	Lumens	LLF
■	8	ECA 181 FH	ECOLINE TYPE FH OPTICS POST MOUNT SINGLE FIXTURE HORIZ. POS.	250 WATT METAL HALIDE LAMP	16'	ECF250M.IES	23000	0.72

MAINTAINED FOOTCANDLES	INITIAL FOOTCANDLES
AVERAGE Fc = 1.6	AVERAGE Fc = 2.22
MAXIMUM Fc = 10.0	MAXIMUM Fc = 13.88
MINIMUM Fc = 0.4	MINIMUM Fc = 0.55
AVE : MIN = 4.0:1	AVE : MIN = 4.0:1
MAX : MIN = 25:1	MAX : MIN = 25:1

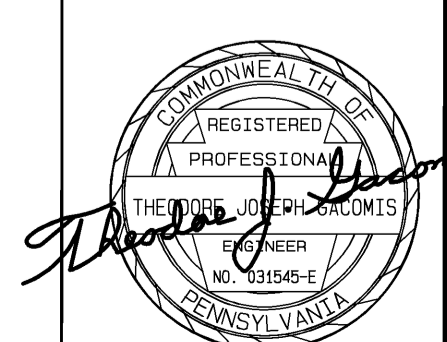
### CONDITIONAL USE LIGHTING PLAN

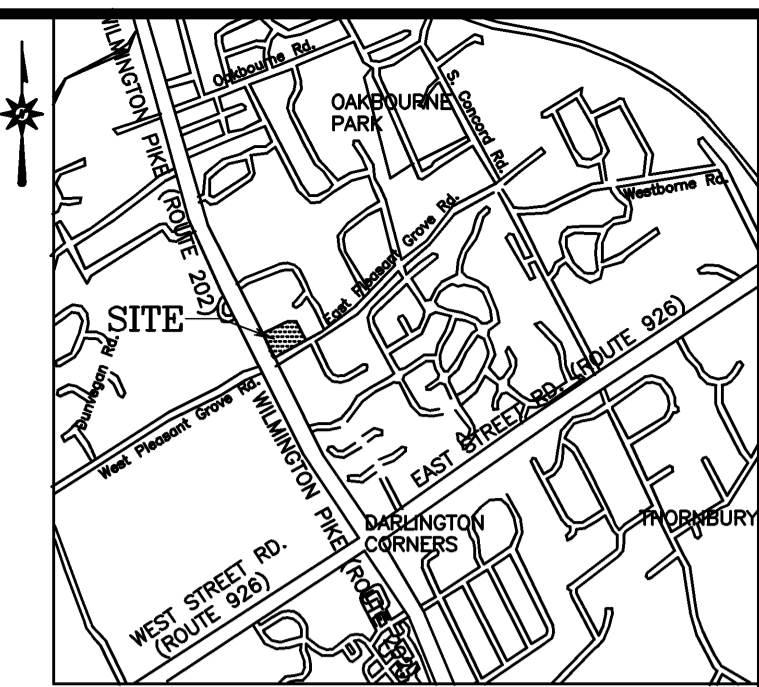
2 7-10-18 REVISED BUILDING LAYOUT  
 1 4-30-18 REVISED PER TOWNSHIP ZONING OFFICERS COMMENT OF 4-19-18

## LAND DEVELOPMENT FOR THE MALVERN SCHOOL

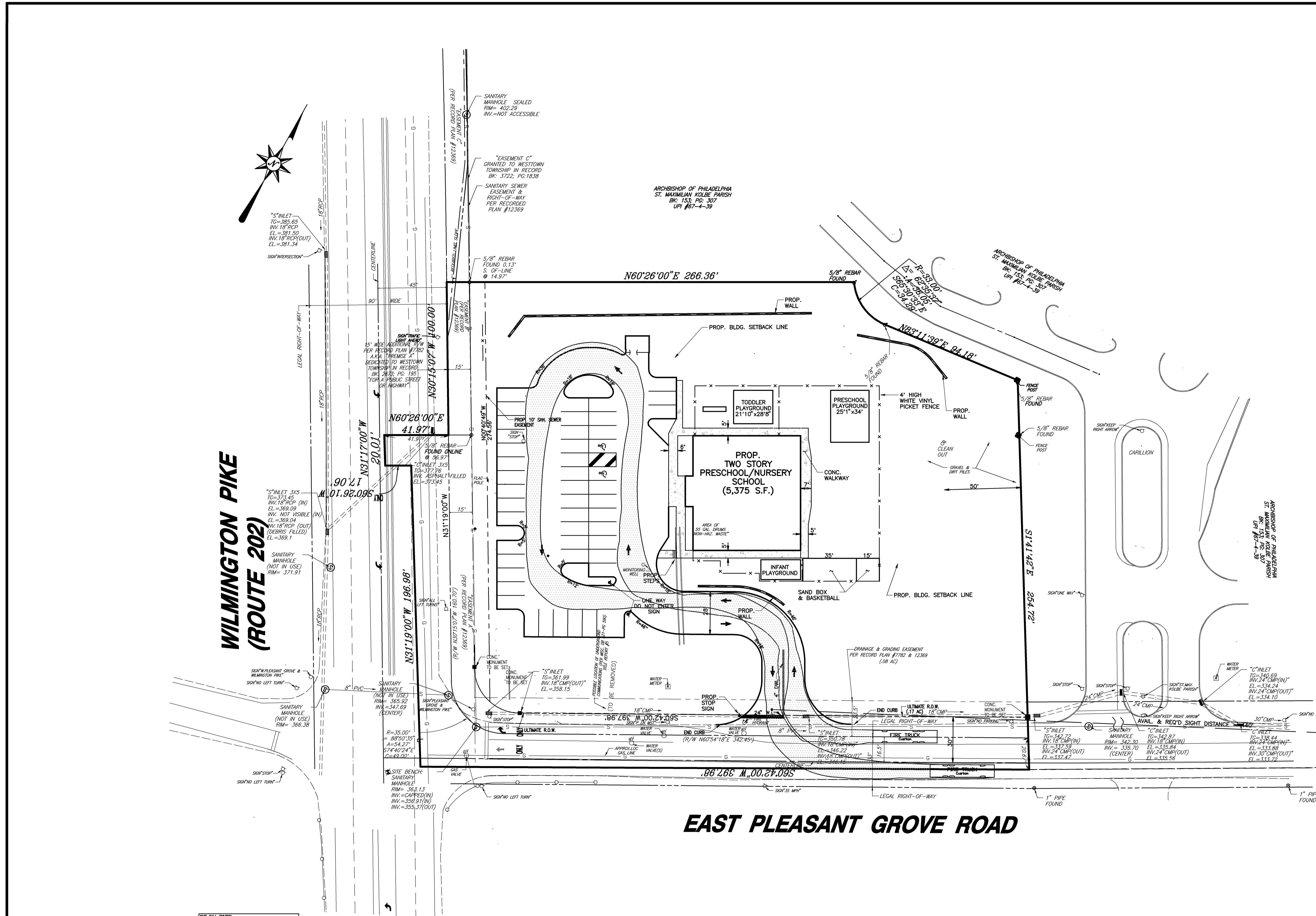
WESTTOWN TOWNSHIP CHESTER COUNTY, PA.  
 Edward B. Walsh & Associates, Inc.  
 CIVIL ENGINEERS & SURVEYORS  
 125 Dowtin Forge Rd.  
 Exton, Pennsylvania 19341  
 Phone: 610-903-0060  
 Fax: 610-903-0080

Project- 4432  
 Date- 10-7-08  
 Scale- 1"= 30'  
 Drawn- LR/MF  
 Checked- A.E.  
 Sheet- 6 OF 7



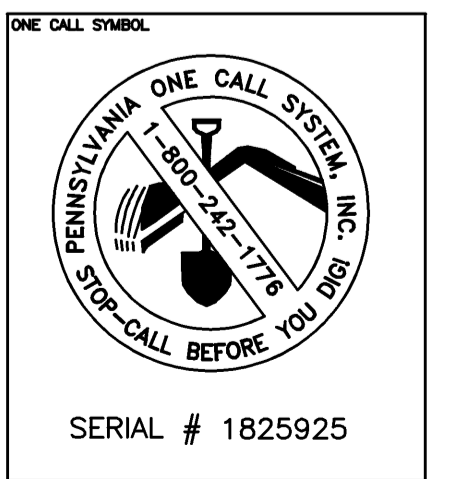


LOCATION MAP  
SCALE: 1" = 2000'



**WILMINGTON PIKE  
(ROUTE 202)**

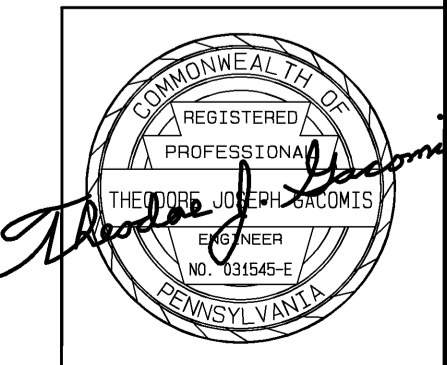
**EAST PLEASANT GROVE ROAD**



ASSESSMENT MAP 67-4, PARCEL 38 (UPI NO. 67-4-38)

**CONDITIONAL USE  
FIRE TRUCK TURNING PLAN**

2 7-10-18 REVISED BUILDING LAYOUT	
1 4-30-18 REVISED PER TOWNSHIP ZONING OFFICERS COMMENT OF 4-19-18	
LAND DEVELOPMENT FOR <b>THE MALVERN SCHOOL</b>	
WESTTOWN TOWNSHIP	CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS	
125 DOWLIN FORGE RD. ESTON, PENNSYLVANIA 19341 Phone: 610-903-0060 Fax: 610-903-0080	Project- 4432 Date- 4-2-18 Scale- 1" = 30' Drawn- AE Checked- A.E. Sheet- 7 OF 7
Plotted: 7/26/2018	File: F:\J0\4432\4432-01-190





**EDWARD B. WALSH & ASSOCIATES, INC.**  
*Complete Civil Engineering Design / Consultation Services*  
Lionville Professional Center  
125 Dowlin Forge Road  
Exton, PA 19341

July 27, 2018

Mr. Will Ethridge, AICP  
Director of Planning and Zoning Administrator  
Westtown Township  
1039 Wilmington Pike  
West Chester, Pa. 19382

Re: Malvern School Conditional Use Plan  
Westtown Township  
EBWA No. 4432

Dear Will;

The following letter is being written to accompany the resubmission of the above referenced project. We have revised the plans in accordance with the June 15, 2018 letter from McCormick Taylor and the staff meetings that we have had discussing the project. This letter's enumeration follows that of the McCormick Taylor's letter.

### **McCormick Taylor Review Comments**

#### **Waivers**

One waiver requested has been added.

- A. A waiver request from Section 149-925.I.5 to allow landscape planting closer than 10' to a property of ROW line.

#### **Conditional Uses**

- 1a & b. An Existing Features plan has been added to the plan set.
2. Commentary.
3. Found adequate no revisions necessary.

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4. LEED design principles will be discussed and provided by others.
5. The tree removal and existing features/conservation plan can be found on sheet 2.
6. The subject property was previously approved for a 30,000 s.f. Office building that had sewer and water capacity the sewer capacity and water capacity availability has not changed since the prior approval. There is no reason to believe that the current proposal would not have adequate services. Therefore, we believe that we have met this requirement and that during Land Development the specific approvals and details will be worked out. With regard to Emergency services it is in my client's best interest to coordinate with the Emergency services providers and they will do so during the Land Development approval process. Lastly we have added a Fire Truck turning template plan to the plan set.

### **Zoning**

7. The Malvern School gets licensed as both a Preschool and Day Care. See note 7 on sheet 1.
- 8a-c. We have modified the net area calculations to show each deduction as required. The steep slopes on site are not natural steep slopes they were created when the former user constructed their facility. As such they are not regulated.
9. The Day Care building has been shifted away from Pleasant Grove to comply with the 100' setback from the Ultimate ROW. At the staff meeting it was concluded that the St. Maximilian campus is a similar use and that the reduction is acceptable.
10. The zoning data chart has been amended.

### **Conditional Use Design Standards**

- 11a-b. The dumpster location has been shifted out of the front yard setback and an enclosure has been specified as well as screening. The Facility will comply with any and all trash storage requirements.
- 12ai. We have added the Existing conditions plan that depicts the trees and their sizes.
- 12aii. See response above. The Existing Features plan shows all existing trees to be removed.
- 12aiii. The Landscape plan has been revised to incorporate the additional trees and shrubs.
- 12aiv. The Landscape plan has been modified to incorporate the additional island plantings.
- 12av. The Landscape plan submitted with the land development plans will be sealed by a Licensed Landscape Architect.

- 12vi. A waiver of the 10' foot setback has been requested.
- 12b. No vegetation will be planted within the ROW areas and the sign location note has been removed.
13. We have modified the design to show 28' wide travel lanes within the area of the site that will have two way traffic. That is only the access drive. Once you enter the parking area all lanes are one-way.
14. We have revised the lighting plan to meet the current ordinance provisions. All fixtures are cut off fixtures that direct the light down and reduce or eliminate glare.
- 15a-c. The plan has been revised to shift the parking parallel to Pleasant Grove 50' from the ultimate ROW. The parking along Rt 202 is closer as it is an existing non-conforming feature. This was discussed at the staff meeting and all concurred. The handicapped accessible spaces and access meet the aDA requirements. The entire front curb through the fire lane area is depressed. A parking stall paint detail has been added to sheet 4.
16. The exact location of the facilities signage is not known at this time. When it is determined and shown on the Land Development plans it will conform with the Township requirements.

### **General**

17. Legends have been added to the plan sheets.
18. The owner and equitable owner have been added to sheet 1.
19. The property consists of three parcels that will be consolidated with the proposed development. Any additional details, notes or plans that may be required by the solicitor will be prepared and submitted with the Land Development plans.
20. My client does not use bollards along the frontage.
21. The fencing detail will be provided with the land Development submission. The Malvern School utilizes the same 4' high white picket fence at all of their facilities. This fence has proven to be durable and child safe.
22. The site grading is dictated by the need to have ADA accessible entrances and reasonably sloped, not exceeding 6% grade drive and parking lots. It is predominately in a cut situation and that is unavoidable. The contractor will follow all township and DEP requirements for the disposal and removal of excess fill.
23. The trees have been shifted out of the sanitary sewer easement.
- 24-26 These items are to be addressed by the Malvern School during the Conditional Use Hearing and Land Development process.
27. The Curb offset has been modified as requested.



28. See comment 24-26 above.
29. As we discussed in the staff meetings, this requirement is no longer applicable.
30. See comment 24-26 above.
31. We do not know all of the waivers that may be necessary at this time. We have listed the ones that we know of. Addition waivers may be needed during Land Development as more detailed design is developed.

I believe we have incorporated all of the concerns and issues raised and discussed within this submission. Should you have any questions or need any additional information please contact me.

Very Truly Yours  
Edward B. Walsh and Associates, Inc.



Andrew Eberwein  
Enc.