

# WESTTOWN TOWNSHIP

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## AGENDA

### Westtown Township Board of Supervisors Regular Meeting Monday, March 18, 2019 - 7:30 PM

Westtown Township Municipal Building  
1039 Wilmington Pike, Westtown

- I. Call to Order
- II. Approval of Board of Supervisors Meeting Minutes – March 4, 2019
- III. Summary of Board of Supervisors Workshop – March 18, 2019
- IV. Departmental Reports
  - A. Westtown-East Goshen Regional Police Department – Chief Brenda Bernot
  - B. Parks & Recreation Commission – Allison Corcoran
  - C. Planning Commission – Jack Embick
  - D. Manager’s Report – Rob Pingar
- V. Public Comment (Non-Agenda Items)
- VI. Old Business
  - A. TMDL & Pollutant Reduction Plan – Presentation & Public Comments
  - B. The Malvern School – Preliminary/Final Land Development application
- VII. New Business
  - A. Parks & Recreation Commission Appointment
  - B. Resolution 2019-06 – Endorsement of Landscapes3, Chester County Comprehensive Plan
- VIII. The Supervisors meeting will be suspended to hold a hearing to consider and adopt Resolution 2019-07 to Amend the Comprehensive Plan of Westtown Township
- IX. Announcements
  - A. County Household Hazardous Waste Collection – Saturday, April 6<sup>th</sup> at CAT Pickering Campus, Phoenixville
  - B. Parks & Recreation Egg Hike – 10:00 AM, Saturday, April 13<sup>th</sup> at Oakbourne Park
  - C. CRC Streams Cleanup – 9:00 AM Saturday, April 13<sup>th</sup> at various locations
- X. Public Comment (All Topics)
- XI. Payment of Bills
- XII. Adjournment

## **How to Engage in the Public Comment Sections of a Township Meeting**

Public Comment is heard at three (3) different points during the meeting:

1. BEFORE OLD BUSINESS - The public is permitted to make public comment on any matter not on the agenda. This comment period is subject to the time constraint in (d) below
2. PRIOR TO any action on a motion on an Agenda item. Public Comment at this stage is limited to the item under discussion (e.g. it is not appropriate to initiate a discussion on police services if the body is acting upon a sewer issue).
3. AFTER NEW BUSINESS. - Public Comment is open to any legitimate item of business which can be considered by that Township Board/Commission (e.g. Planning Commission can discuss issues having to do with plan reviews, but cannot discuss why the Township does not plow your street sooner. Supervisors can discuss nearly every issue).

How to make a comment to any Township Board/Commission:

- a. The Chair will announce that the Board/Commission will now hear public comment, either on a specific issue or generally.
- b. You must then obtain recognition from the Chair prior to speaking.
- c. Once you have the floor, state your name and address for the record.
- d. You may then make your comment or ask your question. You will have three (3) minutes to make your statement, unless the Chair has announced otherwise, so please come prepared!

# WESTTOWN TOWNSHIP BOARD OF SUPERVISORS REGULAR MEETING

Westtown Township Municipal Building, 1039 Wilmington Pike, Westtown

Monday, March 4, 2019 – 7:30 PM

In attendance were Chair Scott Yaw, Vice Chair Mike Di Domenico, Police Commissioner Carol De Wolf, Township Manager Rob Pingar, Public Works Director Mark Gross, Historical Commissioner Dave Walter, Planning Commissioner Russ Hatton, and Township Solicitor Pat McKenna. There were 5 guests.

## I. Call to Order

Mr. Yaw called the meeting to order at 7:43 PM. He asked if anyone was recording the meeting. Eva Foster stated that she was recording.

## II. Approval of Minutes (February 19, 2019)

Mr. Di Domenico made a motion to approve the Board of Supervisors meeting minutes of February 19, 2019. Ms. De Wolf seconded the motion. There were no questions or comments and the minutes were unanimously approved.

## III. Workshop Meeting Summary (March 4, 2019)

Mr. Yaw stated that the workshop began with an Executive Session on police and personnel matters. The Board then discussed the license agreement for the Oakbourne Road Bridge Replacement Project. The Board also discussed a proposed Liquor License Transfer Ordinance, and a zoning variance application for 11 Kimberly Lane. Finally, the Board reviewed a proposal to the West Chester Area Council of Governments from Cadmus for a renewable energy transition plan.

There were no comments or questions.

## IV. Departmental Reports

### A. Public Works (PW) – Mark Gross

Mr. Gross reported there were four salting/plowing events in February, and March is coming in like the proverbial lion, with three events already. The road crew also addressed a timing issue with the traffic signal at Wawa and Rt. 3. Mr. Gross said he also attended a meeting with the new Mariner East II contractor (Michels) last week, as they will be mobilizing in Westtown soon.

The new public works building is nearly complete. Contractors are still working on a few punch list items, and he is working on interior outfitting. All municipal buildings on public water underwent annual backflow valve testing.

The Wastewater Department dealt with a clog in the main transmission line off of Diane Drive feeding into the treatment plant. The jet truck also cleared grease accumulation in the line from Westtown Marketplace Shopping Center. He stated that he hoped that the grease trap issues will be addressed with the landlord and tenants. Ms. De Wolf stated that the Board heard about the jetting causing backflow into the Giant. Mr. Gross stated that if there was a backup, then Giant needs to have their plumbing looked at. There are many other stores in the shopping center, and none of them reported backups. He stated there has been a strong odor of sewer gas in the store for months, which he suspects is an issue with venting. Mr. Pingar stated that Giant is aware of the problem.

Mr. Gross reported that there have been issues with the water main replacement being done by AQUA in the Sage Road development. The contractor has hit the township's sewage force main twice that comes out of the Cobblefield pump station and goes through that development. The

sewage line does not run where they are indicated on the development plans so the township does not know the exact location of the force main.

Future projects include completing the stormwater project on Springview Court once the ground is dry enough to work, and finalizing the bid package for exterior restoration of the Oakbourne Mansion and outbuildings. Ms. De Wolf asked who was preparing the bid package. Mr. Gross replied that the township is working with Linn Architects and Architectural Historian, John Bowie, to prepare the bid documents.

There were no other comments or questions.

**B. Historical Commission (HC) – Dave Walter**

Mr. Walter reported that the HC had a full agenda for their last meeting on February 21, 2019. They have started planning for Westtown Day on Sunday, September 29. They also discussed the status of the abandoned AME cemetery project on Shiloh Road, and wonder if the Board has any desire to move forward with the project, or whether the HC should seek private organizations to pursue it. Ms. De Wolf stated that the Board would discuss the future of the project and get back to the HC.

The History of Westtown book published by Arthur James in 1973 was 59 pages, and the HC is now up to 165 pages. The commission hopes to complete its edits and amendments by May.

The HC has reviewed the proposed plan for the Veteran's Memorial at Oakbourne Park, and hopes the Board will move forward with the bidding of the project. The HC would like to be consulted on the wording for the plaque.

Mr. Walter reported that Ray Sarnacki met with Dr. Wholey from WCU. Her archaeology students will work at the Huey ruins site. Any objects they find will be retained by the university until their disposition is determined.

Mila Robinson provided the commission with a standard process for updating the Historical Resource List.

Mr. Walter sought the Board's approval to purchase and place a historical marker at the entrance to the Oakbourne Mansion. Ms. De Wolf stated that the wording on the marker is too long to read in a drive by situation. The suggested location near the deceleration lane on S. Concord would likely interfere with the new park sign. She thought it would be better to place the sign nearer to the mansion, instead of as a roadside sign. Mr. Pingar stated that the location needs to be evaluated. Ms. De Wolf asked the HC to prepare a master list of proposed locations for roadside markers.

Mr. Walter stated that the HC have not found a descendant of Valentine Kergin, but discovered that his daughter and two granddaughters are buried in the Birmingham Lafayette cemetery. He is meeting with the cemetery this Wednesday to see if they would be interested in the gravestone.

There were no additional comments or questions.

**C. Planning Commission (PC) – Russ Hatton**

Mr. Hatton reported that the PC meeting scheduled for February 20, 2019 was cancelled due to snow. He stated that the PC had a joint meeting with the Board on February 27 to discuss 2019 goals and ways to improve their interactions and communications.

There were no comments or questions.

**D. Township Solicitor – Pat McKenna**



Mr. McKenna reported that his office finalized and filed the Crebilly brief. A tentative argument is scheduled for June 3 in Philadelphia, but it has not been finalized. The office also worked on the SEPTA license agreement and public notices for the hearing to adopt the Comprehensive Plan update.

Mr. Yaw commended Mr. McKenna for his work on the Crebilly brief.

There were no additional questions or comments.

#### **E. Manager's Report – Rob Pingar**

Mr. Pingar stated that there was a pre-bid meeting for the Oakbourne Road Bridge Replacement project on February 27<sup>th</sup>. The bid opening for this project is March 14<sup>th</sup>. Mr. Pingar reported that work on the Sunoco Pipeline project is set to begin in Westtown this month on Cavanaugh Court at Saints Simon & Jude Church heading south to Rt. 926.

Mr. Pingar shared that edits to the Historic Resources List are ongoing and should be before the Board for approval by late April or May.

Mr. Pingar also reported that he and East Goshen Township Manager Rick Smith have been working with their Boards to prepare for the June 25<sup>th</sup> arbitration hearing concerning the Police Union Contract.

Mr. Pingar commented that the township has advertised the public hearing for the Comprehensive Plan update on Monday, March 18<sup>th</sup> at the Board's regular meeting. The Board is expected to approve the plan at this meeting.

Finally, Mr. Pingar stated that he and the Board will attend the Chester County Association of Township Officials' (CCATO) Spring Conference on Thursday, March 7<sup>th</sup>.

Mr. Di Domenico requested confirmation of the Westtown School Conditional Use Hearing scheduled on March 25<sup>th</sup>. Mr. Pingar confirmed that it is still scheduled as planned.

There were no other comments or questions.

#### **V. Public Comment (Non Agenda Items)**

Ed McFalls, Clerk of Session at Westminster Presbyterian Church, referred to a letter the church sent on January 30<sup>th</sup> regarding the Comprehensive Plan Update. Mr. McFalls provided a brief history of their land acquisition. He commented that the coloration of the Future Land Use map showed different designations for parcels of land that the church acquired over the years. He requested that the property be recognized as a whole as "Church Use" in the Comprehensive Plan update. Mr. McFalls noted that this request does not stem from any particular plan for future projects. The church simply saw this update as the right time to suggest the change.

Mr. Yaw commented that the Future Land Use map is no more than a guidance document. Mr. McFalls acknowledged this, but requested the change nonetheless.

Ms. De Wolf suggested that changing the color on the map changes the zoning. Mr. McKenna replied that it does not change the zoning, but suggested that this type of revision be made after the plan has been adopted to avoid any delays. Ms. De Wolf agreed that further discussion is needed on this matter and likely will not occur before the plan is adopted.

Mr. McFalls inquired about the delays this would cause. Mr. McKenna replied that a change of this nature would need to be reviewed by several other agencies, such as the county planning commission, adjoining townships, and the School District, which could take several weeks.

Ms. De Wolf requested a clear proposal of future use from the church for review at a later date.

William David Todd, Member of the Student Veterans Group at West Chester University, requested a follow up on the township's plans for the Shiloh AME Cemetery. He commented on the importance of memorializing the resting places of those who gave their lives for our country. He urged the Board to protect the site and make sure these men are not forgotten. He suggested that by investing in this site, the Board would gain valuable social and historical capital.

Mr. Di Domenico commented that this project has been ongoing for the past two years. He also raised concerns regarding the effect a memorial would have on the surrounding neighbors.

Mr. Pingar noted that negotiations with the property owner resulted in a quote of \$70,000-\$80,000 for a half acre acquisition of land. It was then suggested upon further review that to achieve the highest and best use of the property, it would be necessary to purchase a full acre. This cost is out of the township's budget and cannot be fulfilled without outside contributions.

Mr. Todd inquired about what it would take to make this project a priority and get the appropriate funding. Ms. De Wolf replied that there are several funding options available, but that the biggest question right now is how to best preserve and memorialize the site. Despite extensive discussions on this topic, there has been no consensus on how to move forward.

Mr. Yaw stated that public input on the project has been limited, but that the Board has discussed the subject on many occasions. He thanked Mr. Todd for speaking on behalf of the site.

There were no other comments or questions.

## **VI. Old Business**

### **A. Zoning Hearing Board – Reappointment of Jeffrey House**

Mr. Di Domenico made a motion to confirm the reappointment of Jeffrey House to the Zoning Hearing Board for a 3-year term ending in 2021. Ms. De Wolf seconded the motion. There was no public comment and the motion was unanimously approved.

## **VII. New Business**

### **A. Oakbourne Road Bridge Replacement Project License Agreement**

Mr. Di Domenico made a motion to approve and execute the License Agreement between Westtown Township and SEPTA for a temporary construction license and an interim occupancy license necessary to complete the Oakbourne Road Bridge Replacement Project conditioned on no material change by SEPTA. Ms. De Wolf seconded the motion. There was no public comment and the motion was unanimously approved.

### **B. Zoning Hearing Board – Appointment of Alternate Member**

Mr. Di Domenico made a motion to appoint Seamus Lavin, Esq. as Alternate Member of the Zoning Hearing Board for the unexpired 3-year term ending in 2020. Ms. De Wolf seconded the motion. There was no public comment and the motion was unanimously approved.

## **VIII. Announcements**

Mr. Yaw made the following announcements:

1. Parks & Recreation Commission Egg Hike – 10:00 am to noon, Saturday, April 13th at Oakbourne Park.
2. Parks & Recreation Commission vacancy - The township is accepting applications for appointment to the Parks & Recreation (P&R) Commission. P&R plans and runs community

events at Oakbourne Park. It meets at 7:00 PM on the second Tuesday of the month at Oakbourne Mansion. If you would like to volunteer on P&R, please send your letter of interest and resume to the Township Manager, Rob Pingar.

**IX. Public Comment on All Topics**

Alec Costanzi, President of Student Veterans Group (SVG) at West Chester University, commented that their group does not want to demand anything from the township regarding Shiloh AME Cemetery, but wants to work with the Board and surrounding community to make sure that the site is preserved. He asked what the SVG can do to support the Board with this project. Mr. Yaw commented that the township would reach out to them if and when the time comes for support.

Mr. Pingar suggested Mr. Costanzi email him to establish a line of communication.

There were no other comments or questions.

**X. Payment of Bills**

Mr. Di Domenico made a motion to approve the General Fund bills in the amount of \$399,647.77, Wastewater Fund bills in the amount of \$6,288.81, Capital Projects Fund bills in the amount of \$72,297.00, for a grand total of \$478,233.58. Ms. De Wolf seconded the motion. There were no questions or comments, and the check registers were unanimously approved.

**XI. Adjournment**

Ms. De Wolf made a motion to adjourn the meeting. Mr. Yaw seconded the motion. The motion was unanimously approved and the meeting adjourned at 8:46 PM.

Respectfully submitted,

Robert Pingar  
Township Manager

# WESTTOWN TOWNSHIP PLANNING COMMISSION MEETING MINUTES

Stokes Assembly Hall  
1039 Wilmington Pike, Westtown Township  
Wednesday March 6, 2019 – 7:30PM

## **Present**

All Commissioners were present (7-0). Also present were Township Planning Director Will Ethridge and Township Solicitor Tony Verwey

## **Call to Order and Pledge of Allegiance**

Mr. Pomerantz called the meeting to order at 7:33 PM, Helene Swartz led those present in the Pledge of Allegiance.

## **Adoption of Agenda (JL/EA) 7-0**

One amendment was made. The PC added New Business item #2: *Cheyney University's Plans*

## **Approval of Minutes**

Planning Commission Meeting minutes for 02/06/2019 were approved. **(JL/SR) 6-0** (Elaine Adler was absent on 02/06/19)

## **Announcements**

Mr. Pomerantz welcomed Township Solicitor Tony Verwey.

## **Public Comment – Non Agenda Items**

None

## **Old Business**

**Malvern School Preliminary/Final Development Plans** - Lou Colagreco, Helene Swartz, Deb Jackson, and Andy Eberwein were present at the meeting regarding the Malvern School Preliminary/Final Development Plans. Mr. Colagreco acknowledged that there were several issues raised concerning the final development plans. The first issue was an additional waiver request to permit shrubs and trees closer than 10 feet from any side and rear property lines that was previously granted by the BOS. The other issue was to request a waiver from regulations that require curbing along Pleasant Grove Rd. Mr. Pomerantz also brought up the concerns regarding the need of bollards or a guardrail near the school and need for overflow parking. Mr. Eberwein explained that the the plan was designed to avoid the need for bollards. He noted that if the township felt strongly about placement of bollards, they were willing to install those. Mr. Pomerantz asked the PC to vote on the issue, and the PC agreed that it would be safer to have those in place. Mr. Eberwein explained the reason for the waiver request of curbing requirements. Mr. Pomerantz asked if the township consulting engineer had any objections to the waiver, and he didn't. Mr. Colagreco noted that they reached out to St. Max and have worked out a grading easement with them to avoid a retaining wall. He pointed out that even though they didn't hear back yet, he strongly believed that it was something that could be worked out. He also noted that they offered a reciprocal arrangement to the church to use Malvern School's parking at busy times if needed. Mr. Lees asked whether or not there were plans to put some sort of walkway or

steps and lighting at night from overflow parking. Mr. Colagreco responded that the church wanted to keep this arrangement informal, and if there was a need to utilize that parking at night, shuttle accommodations might be provided. Mr. Rodia raised a question on how often the school was planning to use the overflow parking. Mr. Colagreco responded that the use would highly depend on the number of events. **Motion to approve the plan for Malvern School last revised 01/28/2019, with safety bollards to be placed at the front of the building, along two waivers where one was already granted and one mentioned in EB Walsh letter on January 30, 2019. (EA/JL) 7-0**

**Sign Code Ordinance revision** - Mr. Verwey recapped that the Sign Code Ordinance was previously finalized, but there was a question raised regarding the digital signs regulations at the previous PC meeting resulted in the request to review the ordinance again. Mr. Verwey offered several options to address the concerns. One of the options would be to leave the ordinance as it was, but potentially open to legal challenge. He noted that unlike other prior instances with regard to challenges on billboard signs, the new compliant ordinances didn't define signs by their content, which meant that there was no such thing as an off premise sign anymore. He made a point that any business theoretically could advertise some business somewhere else, because there was no control over the content. Mr. Verwey offered another option of including additional allowable area for signs, such as in the C-1 district, which would provide locations for signs along Route 3 that runs through the northeastern portion of the township, and on the southern side of the township on Route 202 at 926. He offered the third option of decreasing the distance between signs, which would provide more opportunities in the C-2 zoning district. Mr. Verwey also made a point that the ordinances he drafted before were probably more restrictive than Westtown's, and that it wasn't the intention of this regulation to eliminate signs, but it was designed to restrict them to a particular area along the Route 202 corridor. Mr. Embick brought up a concern that if there was really no place allotted in the C-2 one could place a sign in, it would be a problem. Mr. Verwey responded that there were lots where you could theoretically place another billboard, but he was unsure regarding how PennDOT measures the proximity to the interchange and whether that would preclude putting a sign there. Ms. Adler asked what was the best option was. Mr. Verwey responded that either the option of decreasing the distance, which would open up more areas in C-2 for signs, or opening up C-1 areas. He also asked if any digital billboard was subject to being a conditional use. After discussion, the PC decided against the idea of adding it as a conditional use. Mr. Pomerantz also noted that there were some inconsistencies across the ordinance that Elaine Adler brought up before. Ms. Adler recapped those including the use of the language residential district versus residential use. **After the discussion on the best options for revisions, Mr. Pomerantz asked Mr. Verwey to make changes to the sign ordinance and send it to the PC for review and approval.**

### **New Business**

1. Mr. Ethridge presented Steven Italiano's application for a variance to allow a front yard fence to remain on his property. Mr. Italiano was not present. Mr. Ethridge provided some history on the lack of permit information on the fence citing that Mr. Italiano insisted that he was in contact with the township regarding the permit and was told that a permit was not required. Will Ethridge confirmed that Mr. Italiano previously stated that he contacted the township in 2014 and was told that he didn't have to apply for a permit; however, the Township doesn't have any record of that. Will Ethridge also noted that the previous Director, Chris Patriarca, kept a full log of everyone he spoke to, and Mr. Ethridge could check that log to see if there was any note of Mr. Italiano's fence permit question. He also pointed out that Ms. Adler confirmed that at that time there was a regulation in place that required a permit for fence. Mr. Ethridge noted that the fence

may be higher than allowed and doesn't comply with the setback requirements. Mr. Pomerantz noted that the PC had three options in that case: follow up with the applicant and request him to attend the next meeting to answer some questions regarding the history, provide recommendation to the Zoning Hearing Board for approval, or let the Zoning Hearing Board know that there were some problems with the application. **PC members chose to request the applicant to provide a more accurate drawing of the site and attend the meeting on March 20. PC intends on making a recommendation to the Zoning Hearing Board following March 20<sup>th</sup> meeting.**

2. Mr. Pomerantz recited the article in Daily Local concerning Cheyney University's plans to bolster the school by partnering with several private industry partners. The plan involves local company, the Epcot Crenshaw, which focuses on the environmental impact of food production, to relocate its headquarters to the university campus and to convert an existing university building into research labs, greenhouses and a new aquaponics facility. Another partner, Thomas Jefferson University, plans to construct a medical facility on the campus. In addition, Cheyney intends on building a hotel, conference center, and multipurpose buildings for large university gatherings. Mr. Pomerantz expressed his concerns on how much traffic and other long-term implications that effort would generate. He proposed to encourage the BOS to take a proactive role by reaching out to the adjacent municipality to let them know that Westtown would be interested in participating on a committee if one exists.

Lastly Mr. Flynn raised the subject matter of an article he had read that indicated other Townships in the state are requiring the installation of early warning systems to warn the community of a potential pipeline problem. This resulted in a discussion among PC members as to what, if any, plan Westtown Township has in place to address a potential pipeline problem.

### **Public Comment**

None

### **Reports**

Mr. Hatton summarized his observations of the BOS workshop and meeting.

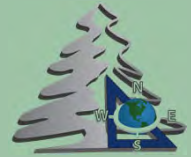
### **Adjournment (KF/JL) 7-0**

Meeting was adjourned at 9:19 pm.

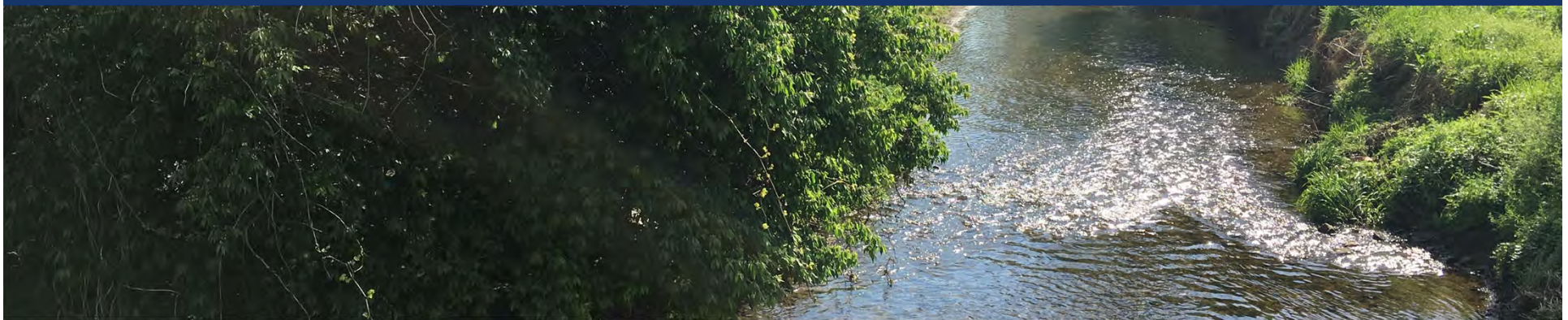
Next PC Meeting – March 20, 2019, 7:30 pm – Township Building

PC Representative at next Board of Supervisors Meeting: March 18, 2019 – Jack Embick (primary) or Dick Pomerantz (alternate)

Respectfully submitted,  
William Ethridge, Planning Commission Secretary



# Westtown Township TMDL / Pollutant Reduction Plan



**Beth Uhler, MS4 Program Manager**

**159 E. High Street, Suite 500**

**Pottstown, PA 19465**

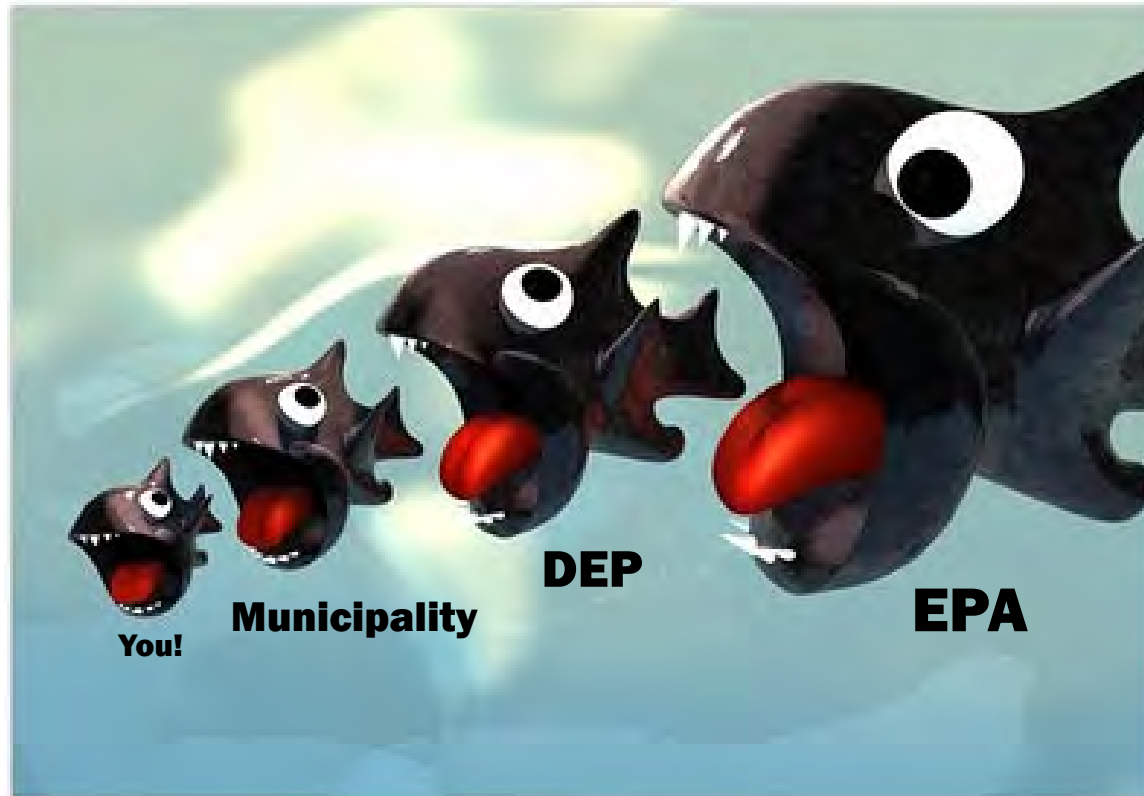
**Ph: 610-705-4500**

**[buhler@cedarvilleeng.com](mailto:buhler@cedarvilleeng.com)**



# National Pollutant Discharge Elimination System (NPDES) Municipal Separate Storm Sewer System (MS4)

**UNFUNDED  
MANDATE**







# What is the NPDES MS4 Program?

- **Five (5) year Permit Terms**
- **Ultimate goal for this Program**
  - Recognize and increase awareness of stormwater as a point-source pollutant
  - Manage stormwater as you would any other point-source pollutant (like sewage)



# Minimum Control Measures

- 1. Public Education & Outreach**
- 2. Public Involvement & Participation**
- 3. Illicit Discharge Detection & Elimination**
- 4. Construction Site Stormwater Runoff Control**
- 5. Post Construction Stormwater Management for Development & Redevelopment**
- 6. Pollution Prevention/Good Housekeeping**



# TMDL Plan and Pollutant Reduction Plan

## ➤ Total Maximum Daily Load (TMDL) Plan

- GOOSE CREEK TMDL (Phosphorous)

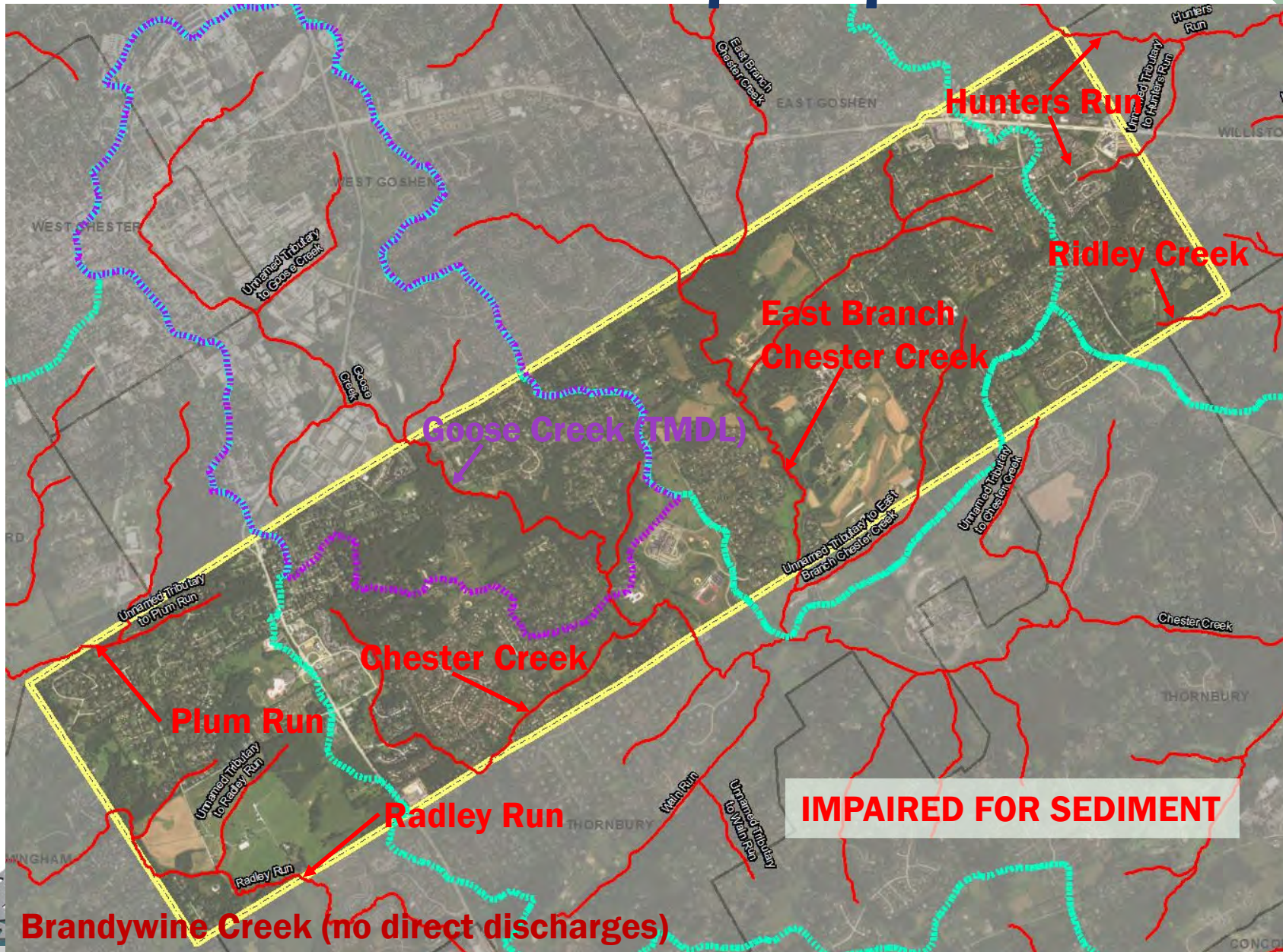
## ➤ Pollutant Reduction Plan (Sediment)

- PLUM RUN
- RADLEY RUN
- CHESTER CREEK (INCLUDES GOOSE CREEK)
  - EAST BRANCH CHESTER CREEK
  - HUNTERS RUN
  - RIDLEY CREEK

COMING SOON

## ➤ Pollutant Control Measures (Bacteria)

# Westtown Township Requirements







# What is a TMDL Plan?

Projects (i.e. BMPs) that will reduce the **PHOSPHOROUS** load to **GOOSE CREEK** by amounts set in an **EPA established report**:

- **Overall TMDL Requirement:**  
**53.9%** phosphorous reduction
- **Short-term (5-year permit term):** **5% reduction**
- **Long-term (>5 years):** Remaining **48.9%**

## Examples include:

- Rain Gardens
- Basin Retrofits
- Stream Restoration
- Porous Pavement
- Green Roofs
- Riparian Buffer Enhancement





# What is a Pollutant Reduction Plan?



Projects (i.e. BMPs) that will reduce the **SEDIMENT** load to **ALL SEDIMENT-IMPAIRED STREAMS** by:

- **10%** over the 5-year permit term
- **No long-term objectives**

## Examples include:

- Rain Gardens
- Basin Retrofits
- Stream Restoration
- Porous Pavement
- Green Roofs
- Riparian Buffer Enhancement



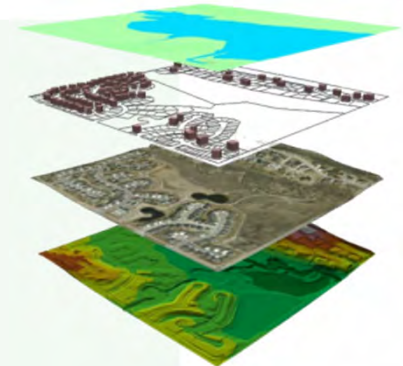
# TMDL/Pollutant Reduction Plan Status

- **Submitted TMDL/Pollutant Reduction Plan with NPDES MS4 Permit Application in **September 2017.****
- **Application and Plan approval is **PENDING****
- **DEP Comment Letter received **January 30, 2018.****
- **CEG has worked closely with Township on Proposed BMP locations**



# TMDL/Pollutant Reduction Plan Process

- 1. Map Stormwater Infrastructure (GIS)**
- 2. Delineate Storm Sewersheds**
- 3. Calculate Existing Pollutant Loads**
- 4. Identify Potential BMPs**
  - a) Desktop Review
  - b) Field Investigations for Site Suitability
  - c) Coordination with Township
- 5. Propose BMPs/Quantify Pollutant Load Reductions**
- 6. Finalize Report**
- 7. Public Participation**

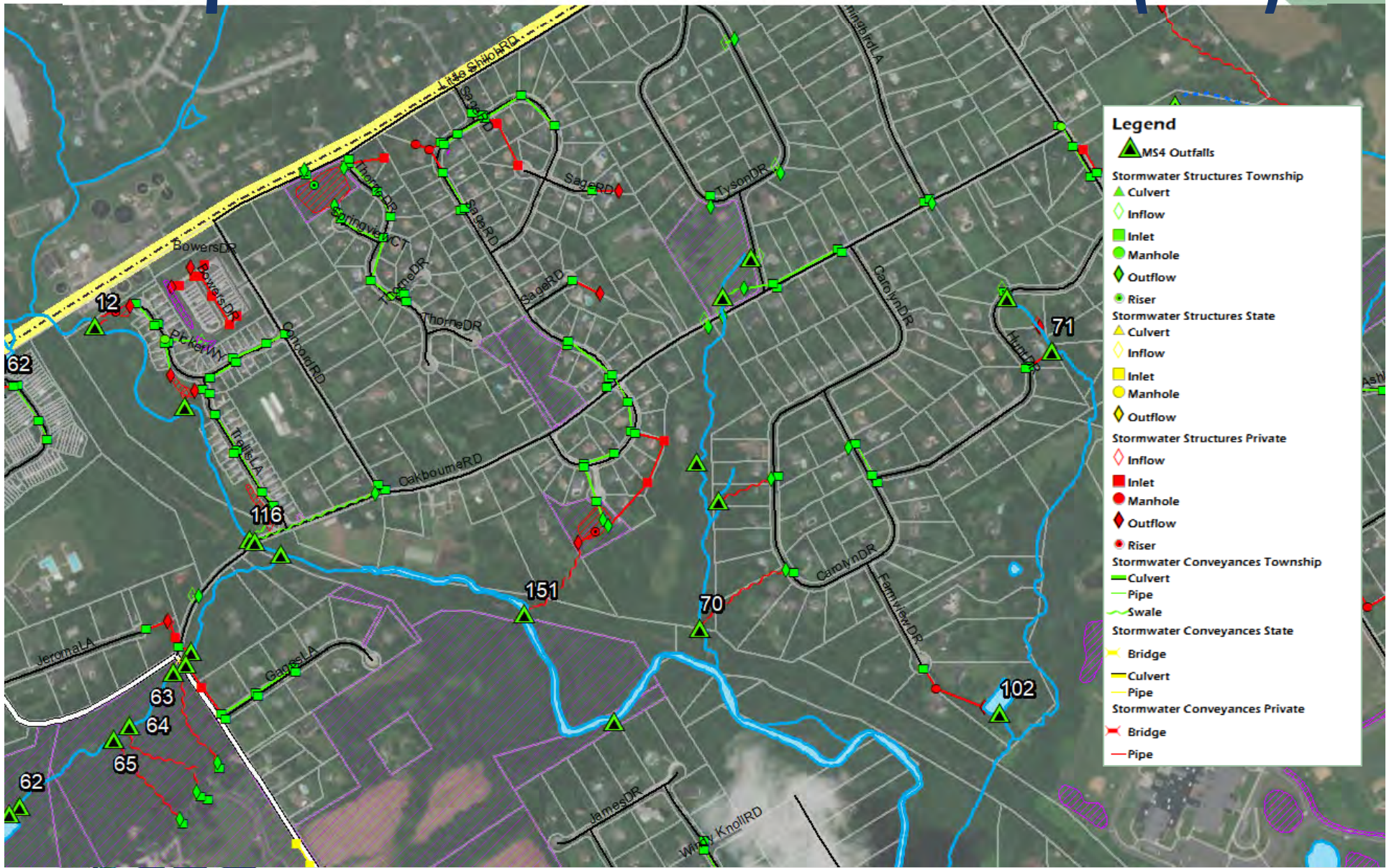


**CEG**  
CEDARVILLE

CEDARVILLE Engineering Group, LLC



# Map Stormwater Infrastructure (GIS)



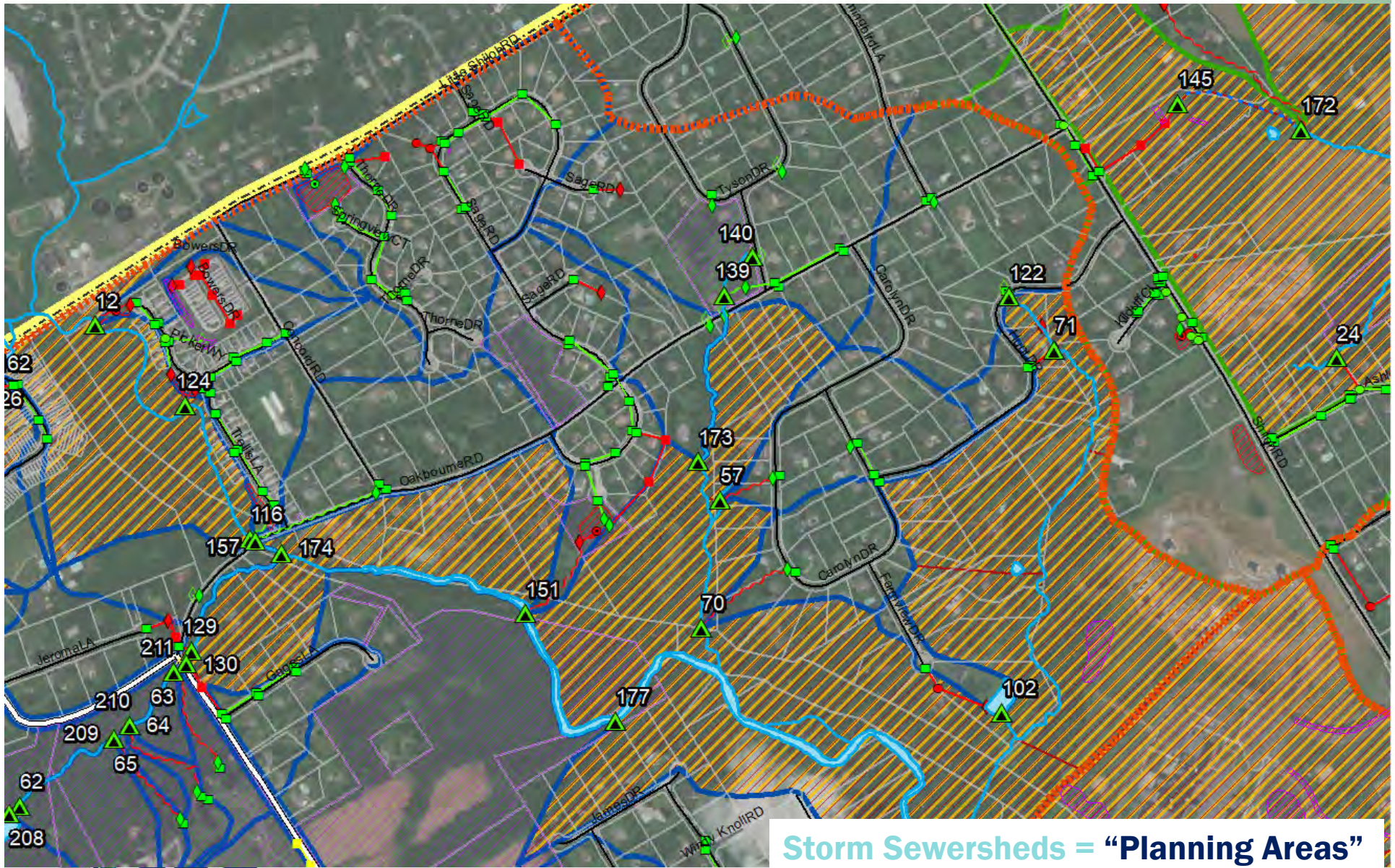
**Legend**

- ▲ MS4 Outfalls
- Stormwater Structures Township
  - ▲ Culvert
  - ◇ Inflow
  - Inlet
  - Manhole
  - ◇ Outflow
  - Riser
- Stormwater Structures State
  - ▲ Culvert
  - ◇ Inflow
  - Inlet
  - Manhole
  - ◇ Outflow
- Stormwater Structures Private
  - ◇ Inflow
  - Inlet
  - Manhole
  - ◇ Outflow
  - Riser
- Stormwater Conveyances Township
  - Culvert
  - Pipe
  - Swale
- Stormwater Conveyances State
  - Bridge
  - Culvert
  - Pipe
- Stormwater Conveyances Private
  - Bridge
  - Pipe





# Delineate Storm Sewersheds

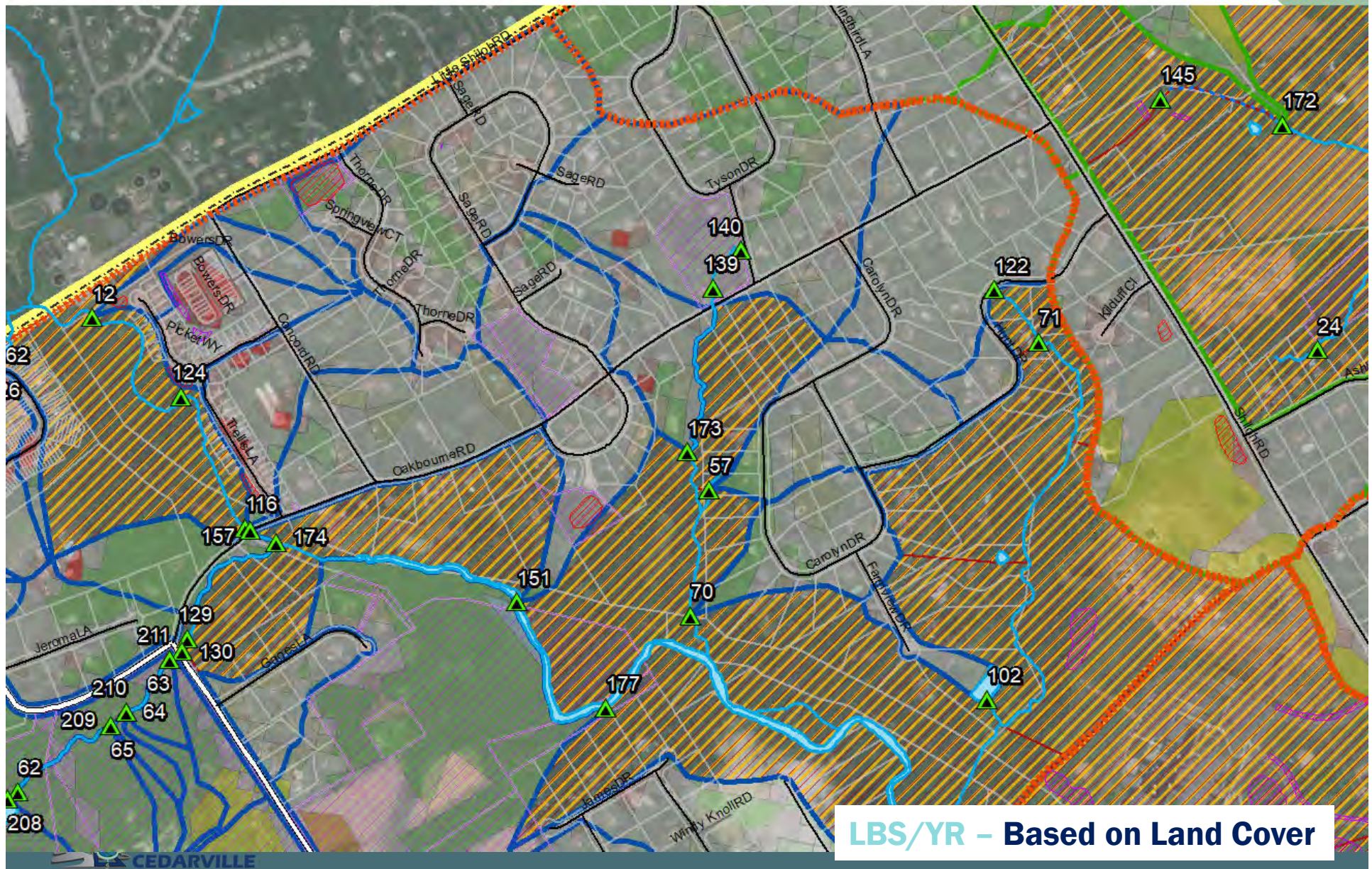


Storm Sewersheds = "Planning Areas"





# Determine Existing Sediment Load



LBS/YR - Based on Land Cover





# Identify Potential BMPs

**Existing BMPs within the Planning Area**



**Existing Basins Township-Owned Properties within the Planning Area**



**New BMPs on Township-Owned Property within the Planning Area**



**\*Same process but outside of Planning Area**

## **Other Factors:**

- Larger Drainage Area
- Space/Capacity
- Real-World Benefits
- **COST**



**CEG**  
CEDARVILLE

CEDARVILLE Engineering Group, LLC



# Goose Creek TMDL Phosphorous Load Reductions from Proposed BMPs

**Implement 4 BMPs within 5 years  
+ Stream Restoration > 5 years**

**Meets/exceeds the 5%  
required reduction**

Timeline	BMP Name	Drainage Area (ac)	TP Reduction		
			lbs/yr	% Reduction	% of Required Reduction to meet 53.9%
2019-2024	Tyson Park Bioswale (installed 2015)	41.4	17.01	5.57	10.32
	<b>Thorne Drive Basin Retrofit</b>	19.86	9.02	2.95	5.47
	<b>Sage Road Basin Retrofit</b>	22.44	9.65	3.16	5.86
	<b>Wild Goose Farms Basin B Retrofit</b>	9.95	5.04	1.65	3.06
	<b>Wild Goose Farms Basin A Retrofit</b>	14.29	7.32	2.39	4.
	<b>SUB-TOTAL:</b>	107.94	48.04	<b>15.72</b>	29.16
>2024	<b>Stream Restoration</b>	1750 LF	119.0	38.93	72.23
	<b>SUB-TOTAL:</b>		115.6	38.93	72.23
	<b>TOTAL:</b>	107.94	167.04	<b>54.65</b>	101.39

**Meets/exceeds the 53.9% required reduction**



# Total Sediment Load Reductions from Proposed BMPs

**Same 4 BMPs + 5 additional BMPs within 5 years**

PRP Planning Area	BMP Name	Drainage Area (ac)	TSS Reduction		
			lbs/yr	% Reduction	% of Required Reduction
Chester Creek/ East Branch Chester Creek/ Ridley Creek (contains Goose Creek TMDL Planning Area)	Tyson Park Bioswale (installed 2015)	36.63	11,516.31	1.33	13.31
	<b>Thorne Drive Basin Retrofit</b>	19.86	7,389.28	0.72	7.23
	<b>Sage Road Basin Retrofit</b>	22.44	8,212.53	0.80	8.04
	<b>Wild Goose Farms Basin B Retrofit</b>	9.95	4,645.54	0.45	4.55
	<b>Wild Goose Farms Basin A Retrofit</b>	14.29	6,550.35	0.64	6.41
	<b>Pleasant Grove Stream Restoration</b>	1600 LF	71,808.00	7.03	70.30
<b>TOTAL:</b>		107.94	94,248.87	<b>10.99</b>	109.9
Middle Brandywine Creek/Upper Brandywine Creek	<b>Dunvegan Road Basin Retrofit</b>	9.9	3,342.41	1.77	17.67
	<b>General Greene Basin B Retrofit</b>	12.39	3,204.12	1.69	16.94
	<b>General Greene Basin A Retrofit</b>	9.76	3,857.06	2.04	20.39
	<b>Radley Run Stream Restoration</b>	190 LF	8,527.20	4.51	45.08
<b>TOTAL:</b>		32.04	18,930.79	<b>10.01</b>	100.08

**Meets/exceeds the 10% required reduction**

**Meets the 10% required reduction**





# Existing BMP- Tyson Park Bioswale

**NOTES:**

1. Drainage area to the proposed BMP is within the planning area.
2. Property Owners:  
-Westtown Township  
67-2-1.29

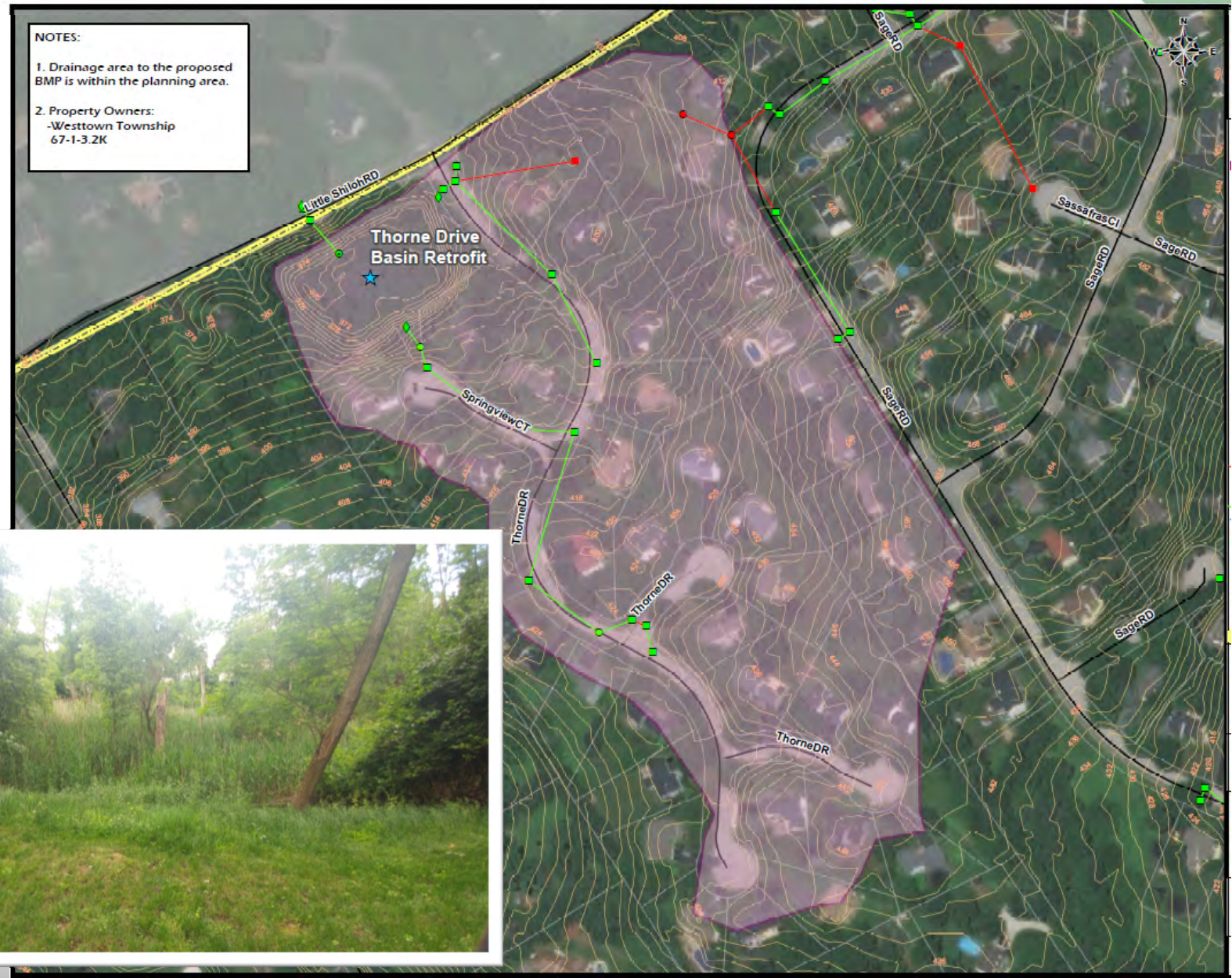






# Proposed BMPs- Thorne Drive Basin Retrofit

NOTES:  
1. Drainage area to the proposed BMP is within the planning area.  
2. Property Owners:  
-Westtown Township  
67-1-3.2K



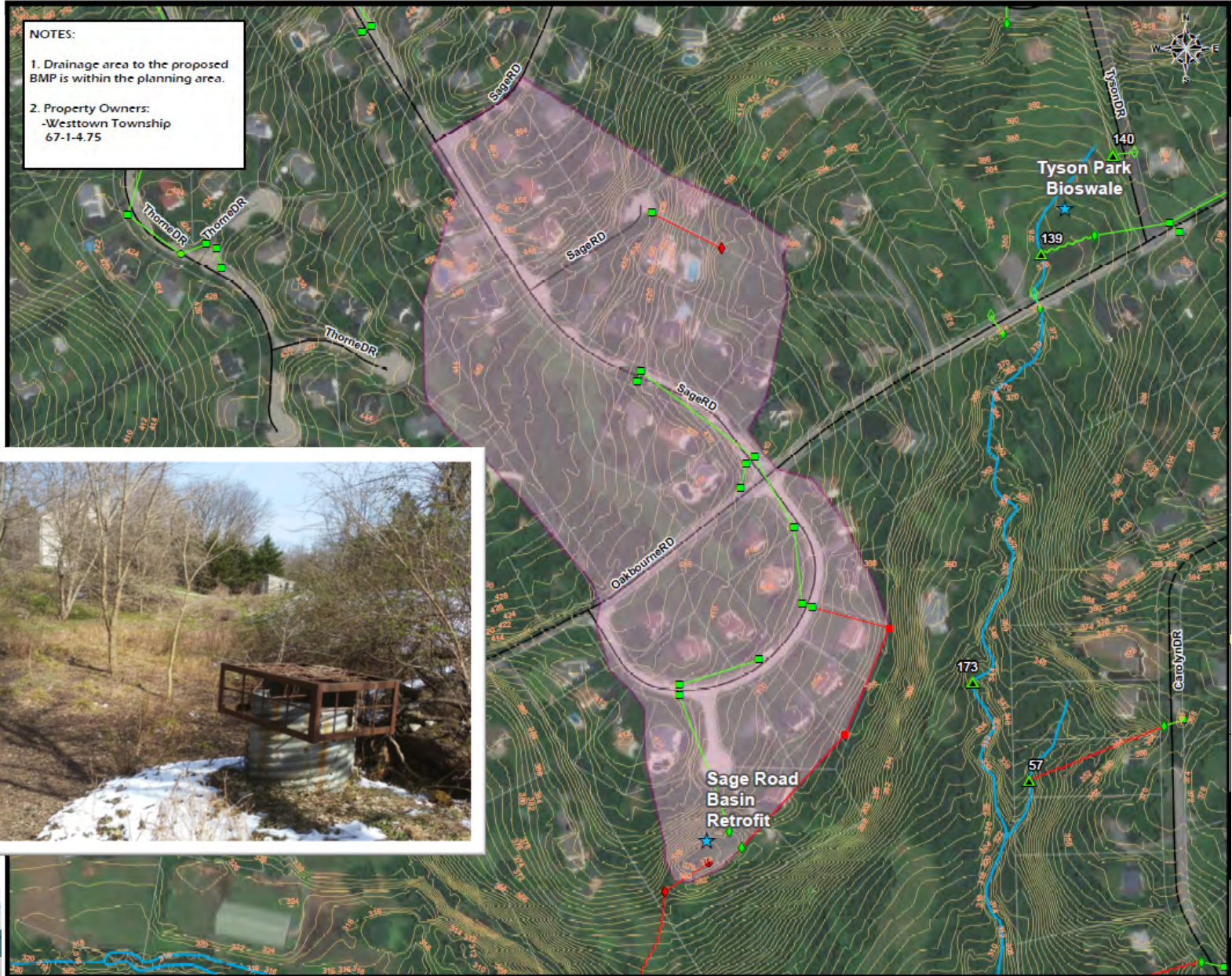




# Proposed BMPs- Sage Road Basin Retrofit

**NOTES:**

1. Drainage area to the proposed BMP is within the planning area.
2. Property Owners:  
-Westtown Township  
67-1-4.75







# Proposed BMPs- Wild Goose Farms Basin Retrofits

NOTES:  
1. Drainage area to the proposed BMP is within the planning area.  
2. Property Owners:  
-Wild Goose Farms HOA  
67-4D-76



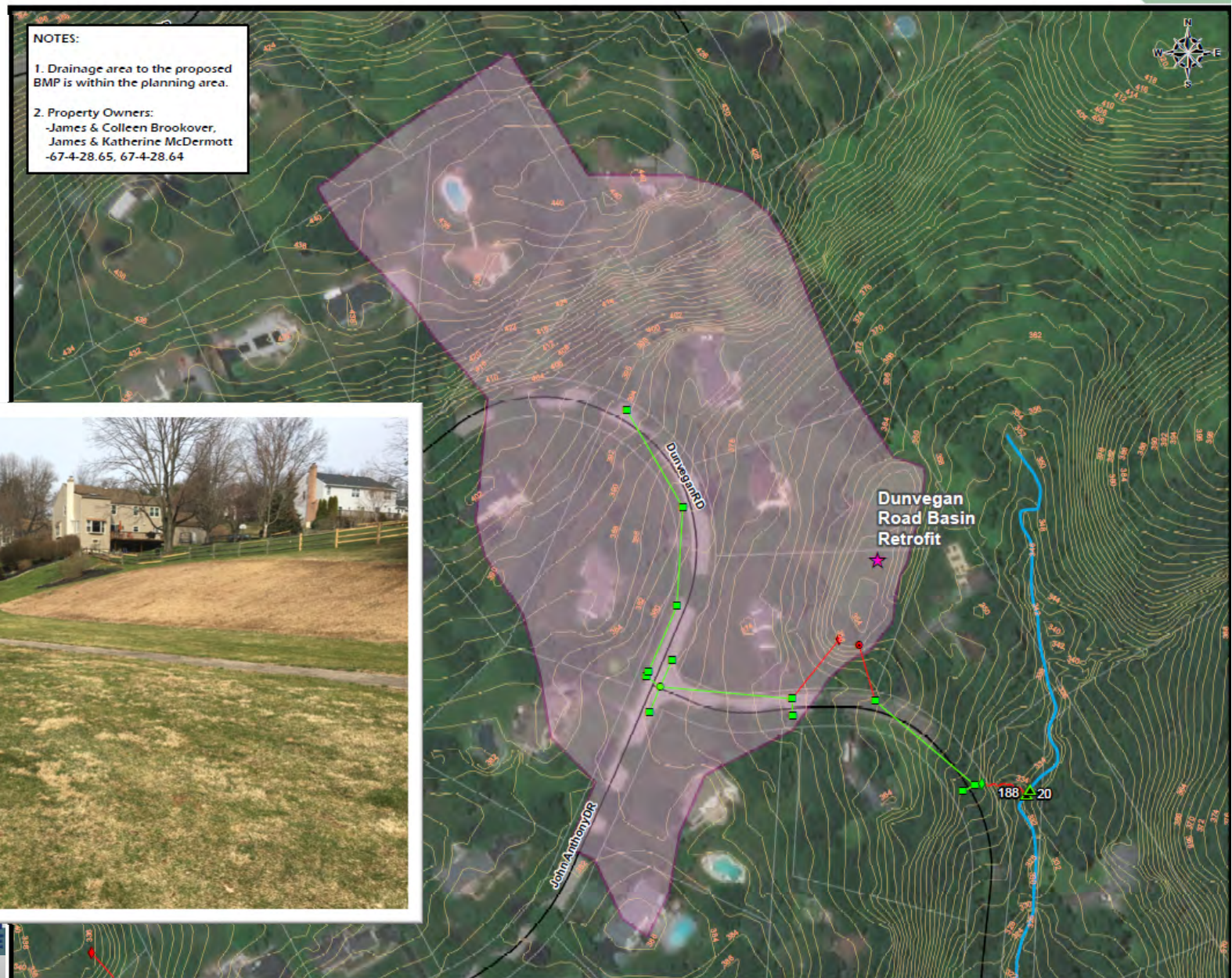




# Proposed BMPs- Dunvegan Road Basin Retrofit

**NOTES:**

1. Drainage area to the proposed BMP is within the planning area.
2. Property Owners:  
-James & Colleen Brookover,  
-James & Katherine McDermott  
-67-4-28.65, 67-4-28.64



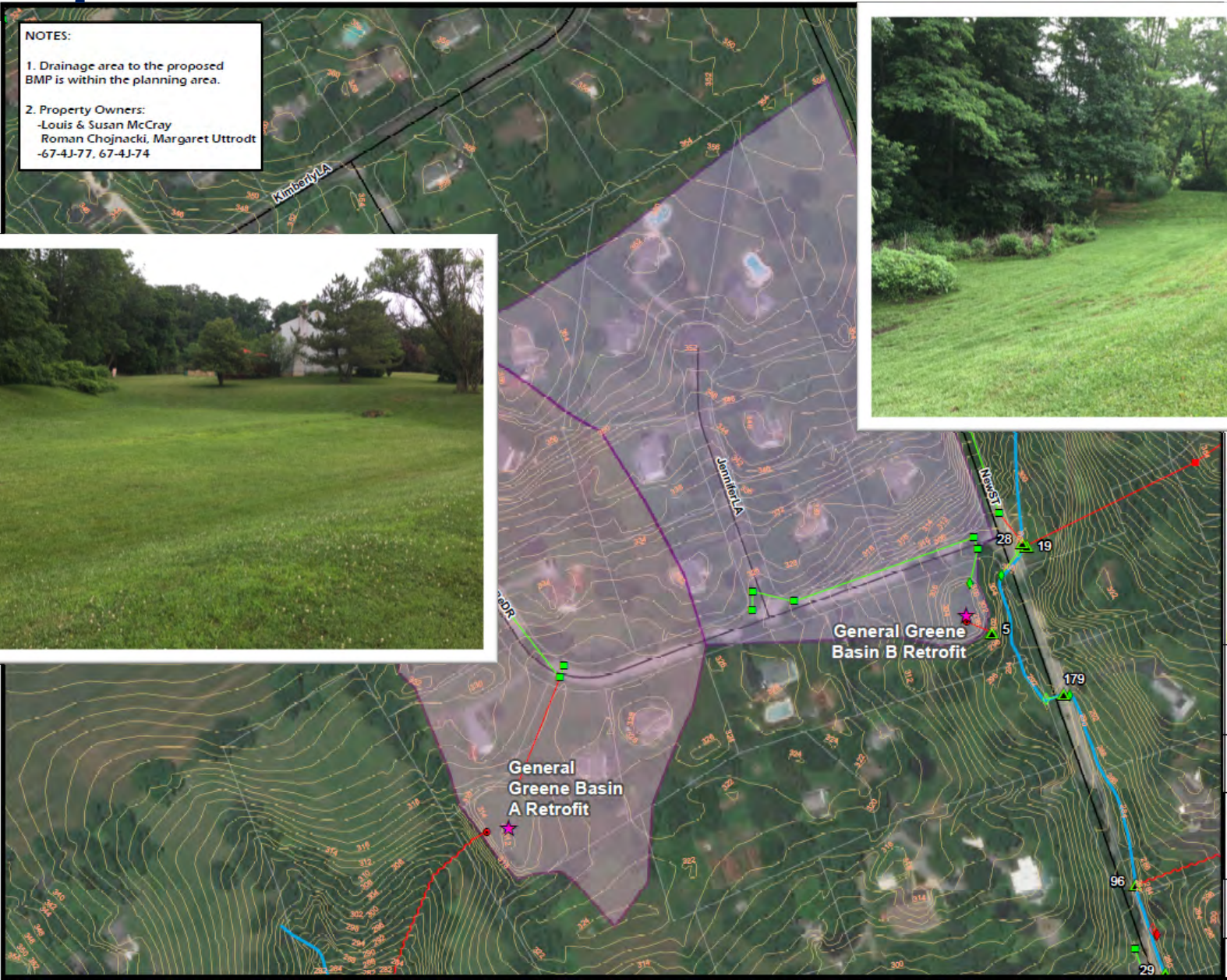




# Proposed BMPs- General Greene Drive Basin Retrofits

**NOTES:**

- 1. Drainage area to the proposed BMP is within the planning area.
- 2. Property Owners:
  - Louis & Susan McCray
  - Roman Chojnacki, Margaret Uttrodt
  - 67-4J-77, 67-4J-74





# Proposed BMPs- Radley Run Stream Restoration



**NOTES:**

1. Drainage area to the proposed BMP is within the planning area.
2. Stream restoration length of approximately 190 L.F.
3. Property Owners:  
-Brent & Celeste Celek  
-67-4-4.3





# Operations and Maintenance of BMPs

- Identify **RESPONSIBLE PARTY**.
  - HOA-owned BMPs- HOA or Township?
    - If Township, then permanent easements
- List what **O&M** is needed for each BMP.

Stream Restoration	Basin Retrofit
<ul style="list-style-type: none"><li>• Inspect at least 2x per year</li><li>• Avoid excess use of fertilizers, pesticides, or other chemicals</li><li>• Mow surrounding area as appropriate (remove clippings)</li><li>• Remove invasive species</li><li>• Remove debris</li></ul>	<ul style="list-style-type: none"><li>• Inspect at least 2x per year</li><li>• Clean inlets at least 2x per year</li><li>• Maintain vegetation</li><li>• Remove invasive species</li><li>• Prohibit vehicular access</li><li>• Avoid excessive compaction by mowers</li><li>• Drain-down time &lt; 72 hours</li><li>• Mow as appropriate (remove clippings)</li><li>• Remove accumulated sediment</li></ul>







# Funding Mechanisms

Proposed BMP	Property Owner	Funding Mechanism	Total Estimated Cost (Low)	Total Estimated Cost (High)	Total Estimated Cost (Median)	% Sediment Reduction
Tyson Park Bioswale	Westtown Township	Existing BMP	n/a	n/a	n/a	1.33%
Thorne Drive Basin Retrofit	Westtown Township	Westtown Township	\$98,728	\$148,093	<b>\$123,411</b>	<b>0.72%</b>
Sage Road Basin Retrofit	Westtown Township	Westtown Township	\$47,625	\$71,438	<b>\$59,532</b>	<b>0.80%</b>
Wild Goose Farms Basin B Retrofit	Wild Goose Farms HOA	Westtown Township	\$49,299	\$73,948	<b>\$61,624</b>	<b>0.45%</b>
Wild Goose Farms Basin A Retrofit	Wild Goose Farms HOA	Westtown Township	\$37,290	\$55,936	<b>\$46,613</b>	<b>0.64%</b>
Pleasant Grove Stream Restoration	Westtown Township	Westtown Township	\$438,811	\$658,217	<b>\$548,514</b>	<b>7.03%</b>
Dunvegan Road Basin Retrofit	Perry & Anna Marie Cozzone	Westtown Township	\$64,324	\$96,486	<b>\$80,405</b>	<b>1.77%</b>
General Greene Basin B Retrofit	Louis & Susan McCray	Westtown Township	\$52,837	\$79,256	<b>\$66,046</b>	<b>1.69%</b>
General Greene Basin A Retrofit	Roman Chojnacki & Margaret Uttrodt	Westtown Township	\$58,672	\$88,008	<b>\$73,340</b>	<b>2.04%</b>
Radley Run Stream Restoration	Brent & Celeste Celek	Westtown Township	\$58,222	\$69,866	<b>\$72,778</b>	<b>4.51%</b>
<b>TOTAL:</b>			<b>\$905,809</b>	<b>\$1,358,714</b>	<b>\$1,132,262</b>	

# Public Participation



GHS #Jhtxluhp hqw

Make a complete **copy of the TMDL/Pollutant Reduction Plan available for public review**

**Publish a public notice** containing a statement describing the plan, where it may be reviewed by the public, and the length of time the permittee will provide for the receipt of comments

**Accept written comments for a minimum of 30 days** from the date of public notice.

**Accept comments** from any interested member of the public at a **public meeting or hearing**, which may include a regularly scheduled meeting of the governing body of the municipality or municipal authority that is the permittee.

**Record consideration of each timely comment** received from the public during the public comment period concerning the plan, identifying any changes made to the plan in response to the comment.





# Next Steps

- 1) **Submit-** updated TMDL/Pollutant Reduction Plan to DEP.
- 2) **Feedback-** Public Participation process once informally approved by DEP.
- 3) **Implement-** The 5-year Implementation Period begins once approval is received and permit is issued.

## Additionally:

- **TMDL/Pollutant Reduction Plan** is a dynamic document and can be revised at any time.
- Township may want to consider **potential funding sources**.





# Funding Options

## 1) GRANTS

- a) **Watershed Resource Protection Program (WRPP) – Open NOW, due May 31.**
- b) **Growing Greener Watershed Protection – anticipated in July.**

## 2) LOW-INTEREST LOANS

- a) **PENNVEST**

## 3) Stormwater Fee



# MEMORANDUM

Westtown Township

DATE: March 15, 2019

TO: Rob Pingar

FROM: Will Ethridge

SUBJECT: **Malvern School Preliminary/Final land development application – Lou Colagreco & Andy Eberwein**

---

Rob,

The applicant is proposing to construct a two-story 5,375 sqft private preschool/nursery building (11,000 sqft total) with three (3) playgrounds and forty-nine (49) parking spaces. This is a 2.44 acre parcel, 67-4-38, located at the intersection of East Pleasant Grove Rd and 202 Wilmington Pike. The proposed building will provide care and education for a maximum of 170 children between the ages of six (6) weeks old to eight (8) years, with a maximum of thirty-four (34) employees at capacity. The property is zoned Residence-Office District (R-3) and the use is allowed as a Conditional Use.

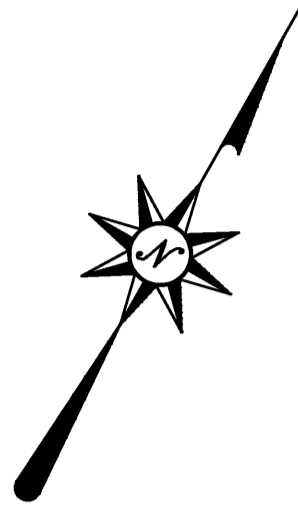
The site is served by an underground stormwater infiltration bed, a relocated full access driveway from East Pleasant Grove Rd, landscaping, lighting, public water, sewer, gas and electric service. The building will be served by a sprinkler system. The applicants noted that the building will be tested for first responder radio reception and if needed, a bi-directional antenna system would be installed.

Two waivers are requested and were supported by the Planning Commission:

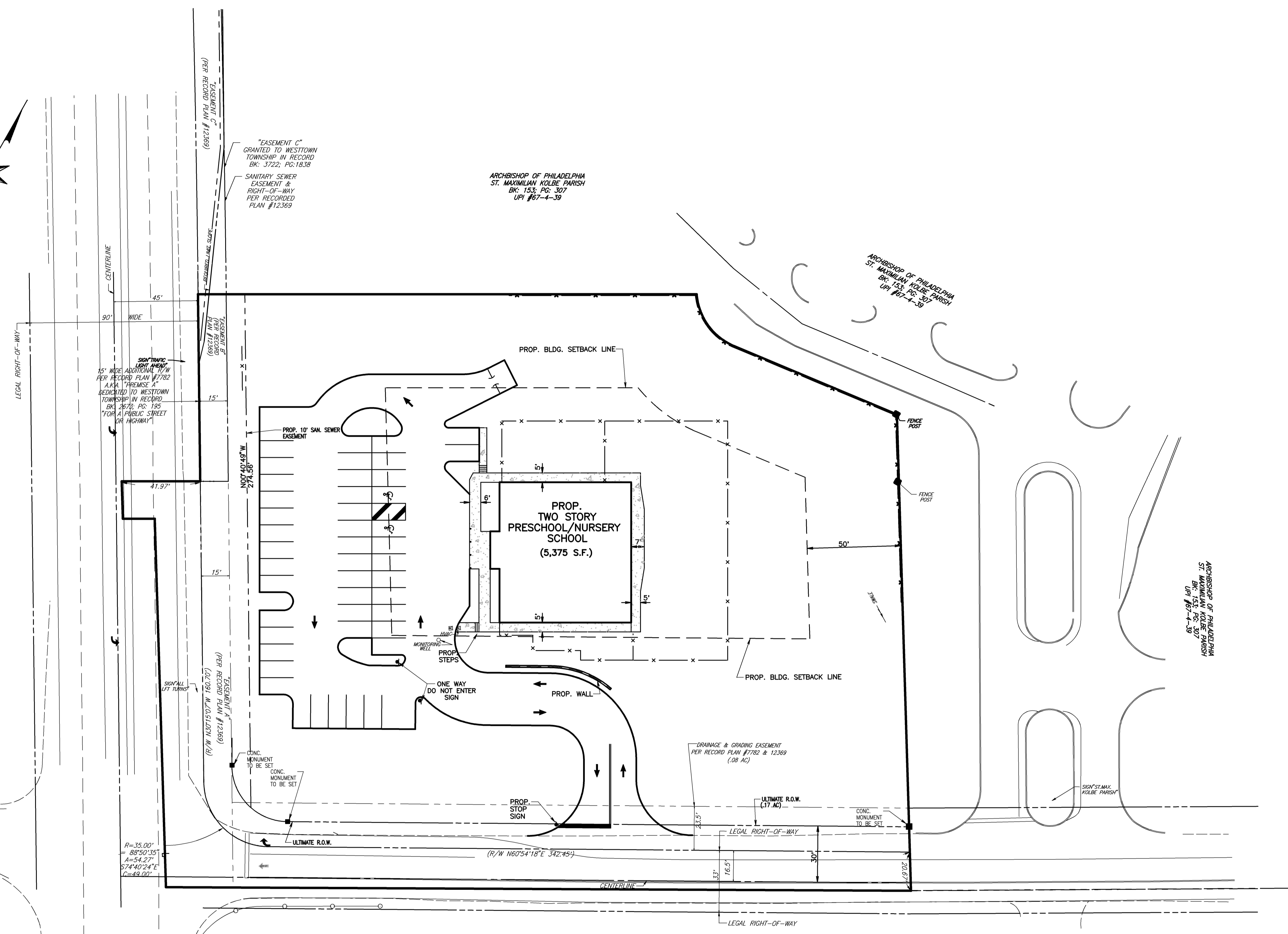
- 1) Relief is requested to permit plantings closer than 10' to a right-of-way or property line.
- 2) Relief is requested from the requirement for curbing along E. Pleasant Grove Rd

Mr. Ethridge asked the PC at the 3/6 meeting to recommend the prelim/final plans to the Board of Supervisors for approval. The PC and the Twp Engineer, after some discussion, agreed to approve the submitted prelim/final development plan for Malvern School provided the plans were amended to include traffic safety bollards at the entrance. Malvern School also promised to stagger special events so as not to overwhelm their parking lot, or seek overflow parking from the adjacent St. Maximillian Kolbe School. The inclusion of the bollards being made, the application was forwarded to the Board of Supervisors for their consideration and approval. **Motion: Elaine Adler, 2<sup>nd</sup>:Jim Lees, Vote: 7-0**

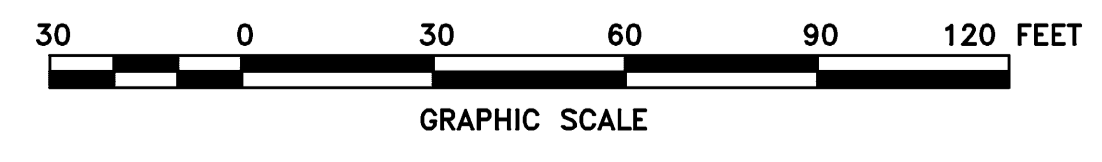
-Will



**WILMINGTON PIKE  
(ROUTE 202)**



**EAST PLEASANT GROVE ROAD**



- 2 3-24-19 ADDED BOLLARDS AT ENTRANCE
- 1 1-28-19 REVISED PER ENGINEER COMMENTS

LAND DEVELOPMENT  
FOR  
**THE MALVERN SCHOOL**

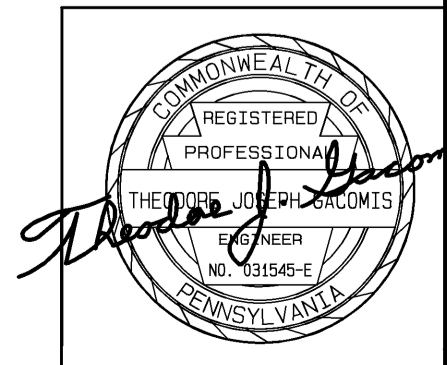
WESTOWN TOWNSHIP CHESTER COUNTY, PA.

**Edward B. Walsh & Associates, Inc.**  
CIVIL ENGINEERS & SURVEYORS

125 DOWLIN FORGE RD.  
ESTON, PENNSYLVANIA 19341  
Phone: 610-903-0060  
Fax: 610-903-0080

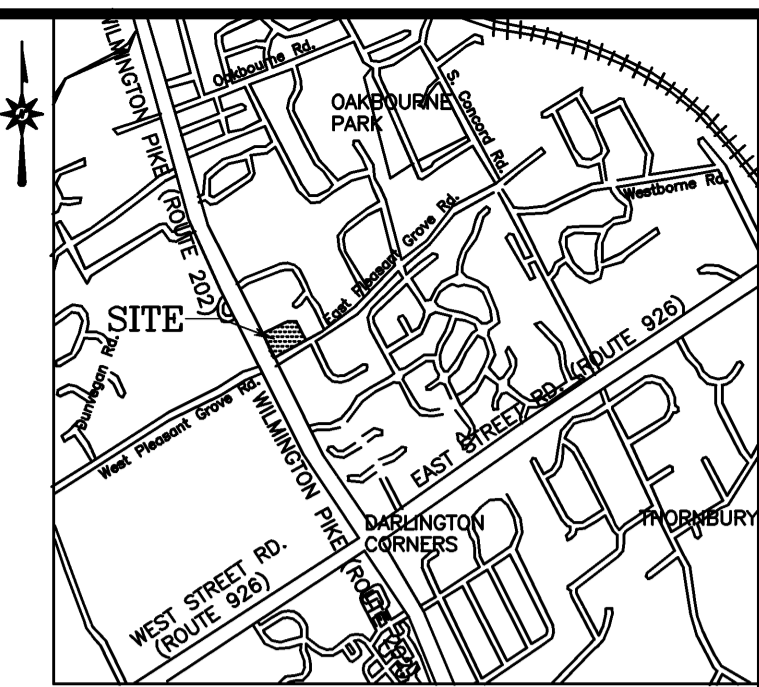
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Date- 11-14-18  
Scale- 1" = 30'  
Drawn- LR  
Checked- AE  
Sheet- COVER

Plotted: 3/14/2019 File: F:\JB\4432\4432-B2.pro









LOCATION MAP  
SCALE: 1" = 2000'

LEGEND

---	430	EXISTING INDEX CONTOUR
---	---	EXISTING INTERIOR CONTOUR
---	---	EXISTING STORM SEWER PIPE
S	---	EXISTING SANITARY SEWER PIPE
G	---	EXISTING GAS LINE
E	---	EXISTING ELECTRIC LINE
---	---	EXISTING EDGE OF PAVING
---	---	EXISTING CURB
---	---	PROPOSED CURB
x	x	PROPOSED FENCE
⊗	---	EXISTING INLET
⊙	---	EXISTING SANITARY MANHOLE
⊕	---	EXISTING UTILITY POLE
⊖	---	EXISTING WATER VALVE
⊗	---	EXISTING GATE VALVE
⊘	---	EXISTING SIGN
⊙	---	EXISTING LIGHT POLE
⊕	---	EXISTING LIGHT POLE
▨	---	≥25% SLOPE

NOTE: ALL EXISTING TREES ON SITE ARE TO BE REMOVED.

PRELIMINARY/FINAL  
EXISTING FEATURES  
& CONSERVATION PLAN

- 2 3-24-19 ADDED BOLLARDS AT ENTRANCE
- 1 1-28-19 REVISED PER ENGINEER COMMENTS

SUBDIVISION/LAND DEVELOPMENT  
FOR  
THE MALVERN SCHOOL

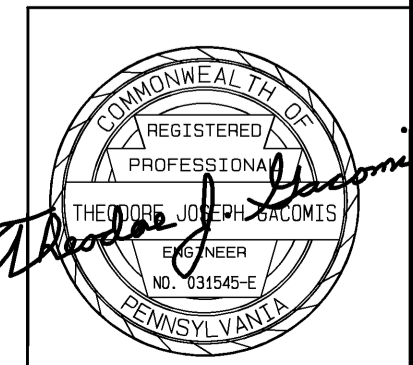
WESTTOWN TOWNSHIP CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS

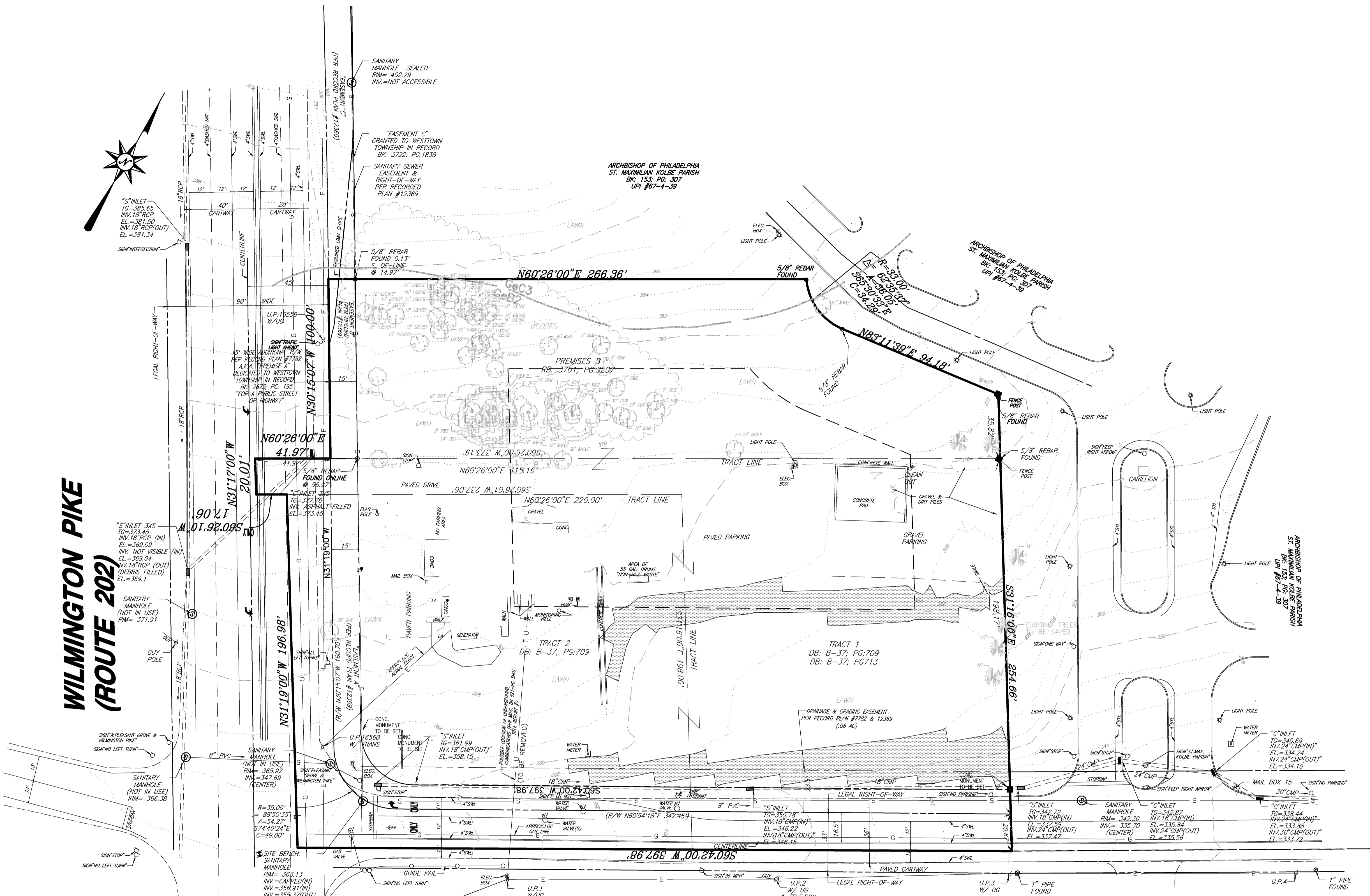
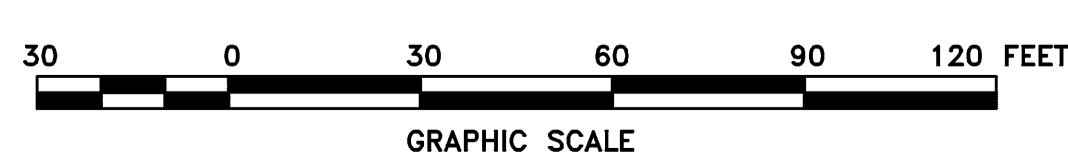
125 Dowlin Forge Rd.  
Eaton, Pennsylvania 19341  
Phone: 610-903-0060  
Fax: 610-903-0080



Plotted: 3/14/2019 File: F:\JB\4432\4432-02.plt

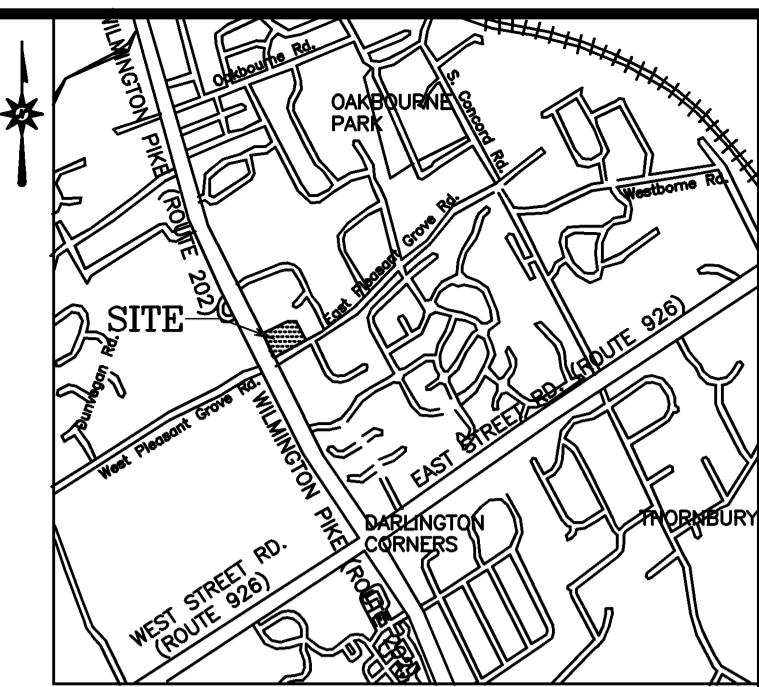


EAST PLEASANT GROVE ROAD

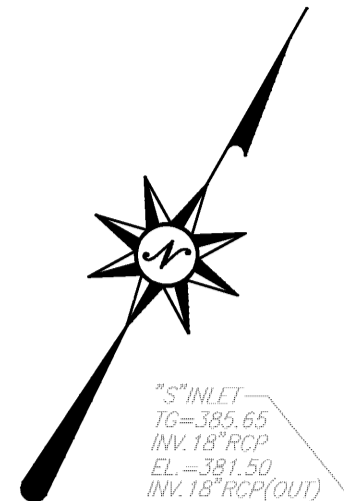


WILMINGTON PIKE  
(ROUTE 202)

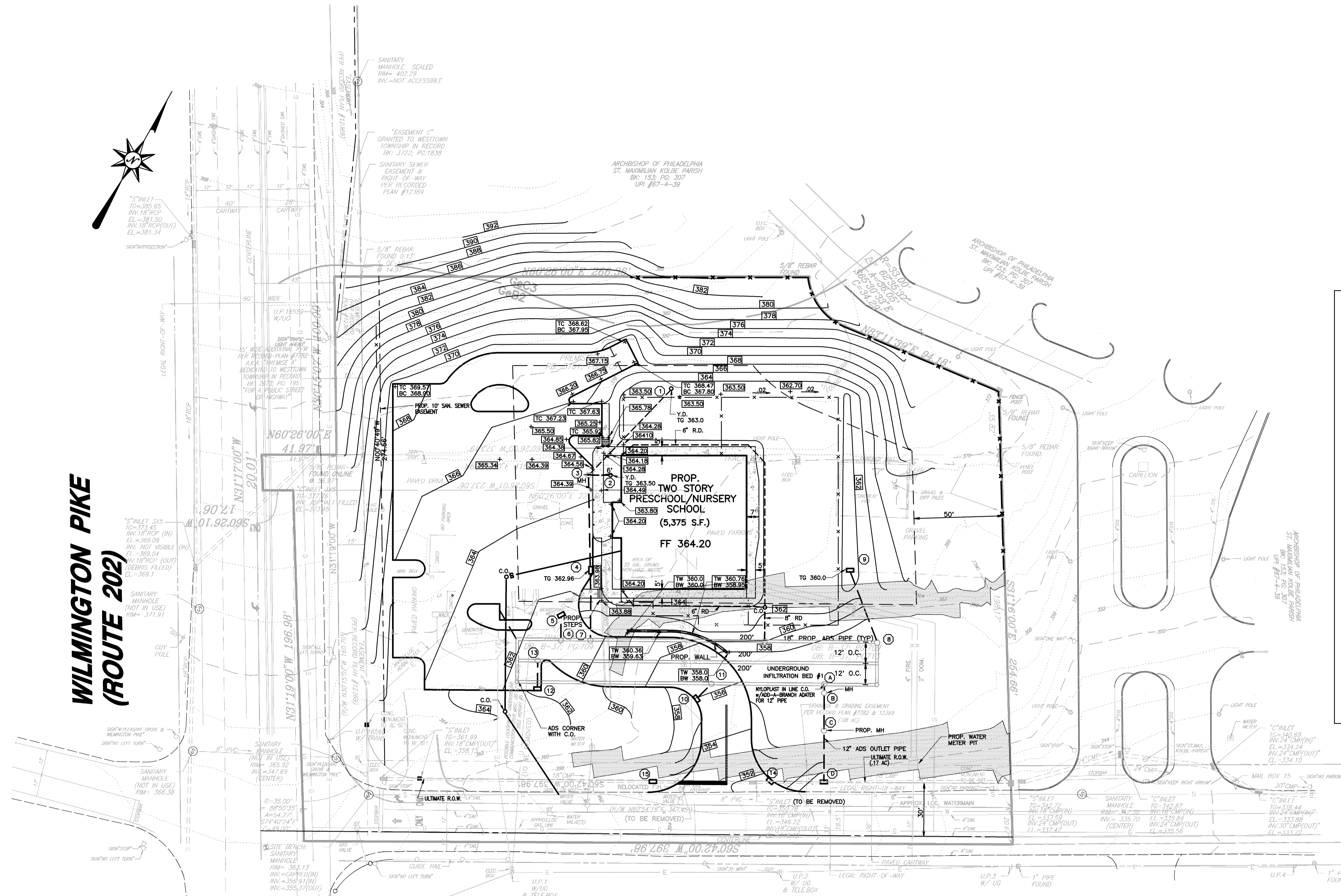




LOCATION MAP  
SCALE: 1" = 200'



**WILMINGTON PIKE  
(ROUTE 202)**



**LEGEND**

---	430	EXISTING INDEX CONTOUR
---	---	EXISTING INTERIOR CONTOUR
---	---	PROPOSED CONTOUR
---	364.20 +	PROPOSED SPOT ELEVATION
---	---	EXISTING CURB
---	---	PROPOSED CURB
---	---	EXISTING EDGE OF PAVING
---	X	EXISTING FENCE
---	---	EXISTING STORM SEWER PIPE
---	---	PROPOSED STORM SEWER PIPE
---	S	EXISTING SANITARY SEWER PIPE
---	S	PROPOSED SANITARY SEWER PIPE
---	G	EXISTING GAS LINE
---	G	PROPOSED GAS LINE
---	E	EXISTING ELECTRIC LINE
---	E	PROPOSED TELEPHONE/ELECTRIC LINE
---	W	PROPOSED WATER LINE
---	O	PROPOSED YARD DRAIN
---	⊙	EXISTING SANITARY MANHOLE
---	⊙	PROPOSED SANITARY MANHOLE
---	⊙	EXISTING STORM MANHOLE
---	⊙	PROPOSED STORM MANHOLE
---	⊙	EXISTING INLET
---	⊙	PROPOSED INLET
---	⊙	EXISTING UTILITY POLE
---	⊙	EXISTING LIGHT POLE
---	⊙	EXISTING LIGHT POLE
---	⊙	EXISTING WATER VALVE
---	⊙	EXISTING GATE VALVE
---	⊙	EXISTING SIGN
---	⊙	PROPOSED SIGN
---	---	≥25% SLOPE

**EAST PLEASANT GROVE ROAD**

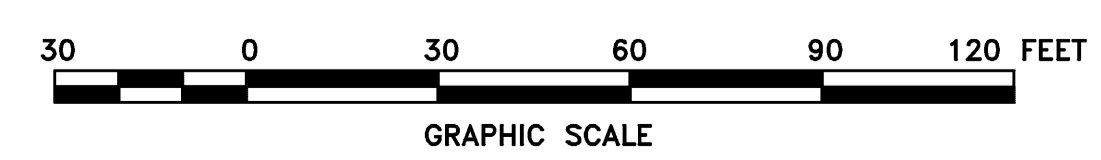
**PRELIMINARY/FINAL  
GRADING AND UTILITY PLAN**

- NOTE: 1) SIGNAGE MUST COMPLY WITH ARTICLE XVIII.  
2) THE WATER MAIN SIZES MUST BE DETERMINED BY THE ARCHITECT PRIOR TO CONSTRUCTION. FINAL MAIN TIE-IN POINT AND TIE-IN TO BUILDING TO BE COORDINATED WITH AQUA PENNSYLVANIA.

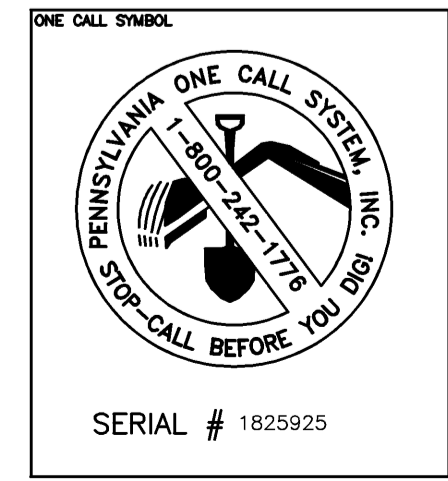
**OWNERS AFFIDAVIT OF ACKNOWLEDGMENT**  
I, JOSEPH SCANDONE HEREBY ACKNOWLEDGE THAT THE STORMWATER BEST MANAGEMENT PRACTICES (BMP'S) DEPICTED ON THIS PLAN SHALL BE A PERMANENT FIXTURE ON THE PROPERTY AND SHALL NOT BE ALTERED, OR REMOVED, WITHOUT THE APPROVAL OF A REVISED PLAN BY WESTTOWN TOWNSHIP.

**OWNER**  
NOTE: THE OWNER OF THIS PROPERTY KNOWN AS CHESTER COUNTY UPI NO. 67-2-38 SHALL BE RESPONSIBLE FOR OWNING, OPERATING, AND MAINTAINING THE STORMWATER MANAGEMENT BMP (S) DEPICTED ON THIS PLAN IN PERPETUITY.

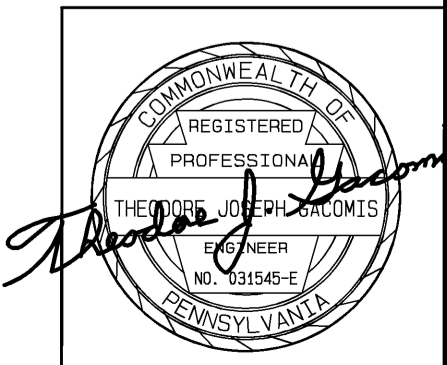
I, THEODORE GACOMIS P.E. ON THIS DATE \_\_\_\_\_, HAVE REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF WESTTOWN TOWNSHIP ORDINANCE NO. 8 OF 20004.



ACT 187 SERIAL NUMBER 008-6945  
EDWARD B. WALSH & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY LINES, STRUCTURES, ETC. SHOWN ON THE PLANS, NOR DOES E. B. WALSH & ASSOC., INC. GUARANTEE THAT ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. ARE SHOWN. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776.  
UTILITIES NOTIFIED  
VERIZON  
COMCAST CABLE TV  
COMCAST COMMUNICATION  
TEPPCO  
BUCKETE PIPELINE  
AQUA PENNSYLVANIA  
PECO ENERGY  
TRANSCONTINENTAL GAS PIPELINE  
PPL INTERSTATE ENERGY  
WESTTOWN TOWNSHIP  
SUNOCO PIPELINE



2	3-24-19	ADDED BOLLARDS AT ENTRANCE
1	1-28-19	REVISED PER ENGINEER COMMENTS
SUBDIVISION/ LAND DEVELOPMENT FOR <b>THE MALVERN SCHOOL</b>		
WESTTOWN TOWNSHIP		CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS		
125 DOWLIN FORGE RD. ESTON, PENNSYLVANIA 19341 Phone: 610-903-0060 Fax: 610-903-0080		Project- 4432 Date- 11-14-18 Scale- 1" = 30' Drawn- LR Checked- A.E. Sheet- 3 OF 10
Plotted: 3/14/2019	File:	F:\JD\4432\4432-82.prc





**EROSION AND SEDIMENTATION CONTROL NOTES**

- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EAS CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CHESTER COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 6A EROSION CONTROLS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 100, EROSION CONTROL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT ALL TIMES. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 2801 ET SEQ., 2711 ET SEQ., AND 2871 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- PROTECTION TO EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.
- UNTIL THE SITE IS STABILIZED ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.
- PREVENTATIVE AND REMEDIAL MAINTENANCE WORK INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING, MUST BE PERFORMED IMMEDIATELY. EROSION AND SEDIMENTATION BMP'S MUST BE PERFORMED AS EXPECTED. REPLACEMENT BMP'S OF MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED WHERE BMP'S ARE FOUND TO FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION. THE PERMITTEE OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:
  - THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.
  - ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE REOCCURRENCE OF THE NON-COMPLIANCE.
  - THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- 3:1 SLOPES TO BE STABILIZED W/ EROSION CONTROL BLANKET NORTH AMERICAN S-75.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERENNIAL NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E & S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CHESTER COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE CONTRACTOR IS RESPONSIBLE TO PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE THAT IMPORTED FILL MATERIAL MEETS THE PADEP QUALIFICATIONS FOR "CLEAN FILL" AND TO ENSURE THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-RECOMBINABLE, INERT SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.) ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, HISTORY OF PROPERTY HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IT MUST BE RESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE PA DEP'S POLICY "MANAGEMENT OF FILL." FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE PADEP'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
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- SEDIMENT TRACKED ONTO ANY ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORKDAY, OR AS NEEDED OR AS DIRECTED BY THE MUNICIPALITY OF THE OCC, AND DISPOSED AS A MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED OR SWEEP INTO ANY ROAD SIDE DITCH, STORM SEWER OR SURFACE WATER.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SURFACE DRAIN OR OTHER APPROVED METHOD.
- UPON REQUEST, THE PERMIT HOLDER AND/OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR DEP.
- UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED 4 DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION. (PLEASE NOTE THAT HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES.) HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE. §102.22(i)
- CONSTRUCTION OF THE SITE MUST BE COMPLETED IN A MANNER TO MINIMIZE SOIL COMPACTION IN PROPOSED GRASS AREAS.
- ALL EXISTING DRAINAGE FEATURES MUST BE PROTECTED AND NOT DISTURBED IN ANY WAY.
- THE PROPOSED E & S BMP'S HAVE BEEN PROVIDED TO PREVENT SEDIMENT DISCHARGE FROM THE SITE AND TO ENSURE AN INCREASE IN THE RATE OF RUNOFF DOES NOT OCCUR DURING CONSTRUCTION.
- THE SITE DEVELOPMENT AND CONSTRUCTION SEQUENCE HAS BEEN GENERATED TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE.
- THE E & S DESIGN HAS BEEN COMPLETED IN A MANNER TO PREVENT PONDING FOR EXTENDED PERIODS OF TIME TO AVOID THERMAL ISSUES.

**WILMINGTON PIKE  
(ROUTE 202)**

**DRAINAGE LINE TO  
SEDIMENT TRAP**

SOILS SERIES AND MAP SYMBOL	DEPTH TO—		PERMEABILITY (IN. PER HR.)	AVAILABLE MOISTURE CAPACITY (IN. PER IN. OF SOIL DEPTH)	REACTION PH	OPTIMUM MOISTURE FOR COMPACTION PCT	MAXIMUM DRY DENSITY (LB. PER CU. FT.)	SHRINK-SWELL POTENTIAL	SULTABILITY AS SOURCE OF	
	SEASONAL HIGH WATER TABLE (FT.)	BEDROCK (FT.)							TOPSOIL	ROAD FILL
Glenelg GeB2 GeC GeC2 GeC3 GeA	5+	3-5	.63-2.0	.25 .11	6.0 5.4 5.2	12-16 13-16	115-118 113-117	LOW	Fair-Good	Good

**SOILS**  
 GeB2 - GLENELG CHANNERY SILT LOAM, 3-8% SLOPE, MODERATELY ERODED.  
 GeC3 - GLENELG CHANNERY SILT LOAM, 8-15% SLOPE, SEVERELY ERODED.

**SOIL RESOLUTION NOTES**

- ANY WATER THAT IS ENCOUNTERED DURING EXCAVATION MUST BE PUMPED TO AN APPROVED DRAINAGE DEVICE.
- DISTURBED AREAS MUST BE KEPT TO A MINIMUM AND STABILIZED IMMEDIATELY UPON COMPLETION OF WORK.
- IF ANY ROCK IS ENCOUNTERED THAT MUST BE BLASTED TO BE REMOVED, THE TOWNSHIP MUST BE NOTIFIED.

**SITE GEOLOGY**

THE SITE GEOLOGY DOES NOT HAVE CHARACTERISTICS THAT ARE UNUSUAL TO POSSIBLE GROUND WATER POLLUTION.

**CONSTRUCTION SEQUENCE**

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE IS INITIATED, CLEARING AND GRUBBING SHALL BE LIMITED ONLY THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL NOTIFY ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENTATION OF THE CHESTER COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.

- A PRE-CONSTRUCTION MEETING IS REQUIRED ON SITE PRIOR TO THE START OF CONSTRUCTION. THE ATTENDEES MUST BE THE OWNER, SITE CONTRACTOR, TOWNSHIP ENGINEER, DESIGN ENGINEER AND A REPRESENTATIVE FROM THE CONSERVATION DISTRICT. THE CONSERVATION DISTRICT REQUIRES 7 DAYS NOTICE PRIOR TO THE MEETING.
- DELINEATE THE LIMIT OF DISTURBANCE IN THE FIELD. INSTALL THE ROCK CONSTRUCTION ENTRANCE. REMOVE ONLY THE EXISTING PAVING LOCATED WITHIN THE DRIVEWAY WHERE THE CONSTRUCTION ENTRANCE IS TO BE INSTALLED AT THIS TIME. INSTALL THE PERIMETER SILT FENCE.
- CONSTRUCT THE STORM SEWER RUN FROM THE NEW INLET TIE-IN TO THE EXISTING STORM SEWER ALONG EAST PLEASANT GROVE ROAD. INSTALL THE INLET PROTECTION ON THE INLET AND CONSTRUCT THE SEDIMENT TRAP AND UTILIZE THAT SOIL AND THE REMAINING TOPSOIL TO BUILD THE TEMPORARY DIVERSION BERM. THE AREA NECESSARY TO CONSTRUCT THESE FACILITIES IS THE ONLY AREA THAT IS TO BE DISTURBED AT THIS TIME. STRIP ONLY THE TOPSOIL NECESSARY FOR THE TRAP AND THE BERM. SEED, MULCH AND STABILIZE THE AREA. IMMEDIATELY INSTALL THE CURLEX BLANKET WITHIN THE SEDIMENT TRAP. SURROUND THE TOPSOIL BERM WITH 18" SILT FENCE. ALL OTHER TOPSOIL NOT BEING USED ON SITE SHOULD BE REMOVED FROM THE SITE.
- THE SEDIMENT TRAP MUST BE STABILIZED AND FUNCTION PROPERLY PRIOR TO ANY FURTHER EARTH DISTURBANCE. UPON INSTALLATION OF THE TEMPORARY SEDIMENT TRAP RISER(S), AN IMMEDIATE INSPECTION OF THE RISER(S) SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND THE CHESTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE PROPER RISER IS INSTALLED AND SEALED PER PLAN. SEDIMENT TRAPS MUST BE PROTECTED FROM UNAUTHORIZED ACCESS AT ALL TIMES.
- ONCE STEP 1-4 ABOVE ARE COMPLETE THEN DEMOLITION OF THE EXISTING PARKING LOTS, UTILITIES AND STRUCTURES CAN COMMENCE. CONCURRENTLY THE REMOVAL OF TREES AND ROUGH GRADING FOR THE PARKING LOT AND BUILDING CAN BEGIN. THE PERIMETER OF THE INFILTRATION BED SHALL BE FINISHED WITH GRADE CONSTRUCTION FENCE. THIS AREA MUST REMAIN RELATIVELY UNDISTURBED AND UN-COMPACTED DURING CONSTRUCTION.
- CONTINUE TO ROUGH GRADE THE SITE.
- INSTALL THE CURB. INSTALL ALL OF IT EXCEPT WHERE THE SEDIMENT TRAP AND CONSTRUCTION ENTRANCE IS LOCATED. INSTALL THE STORM SEWER FROM DOWN STREAM TO UP. KEEP THE INLET CLOSED SO WATER DOES NOT ENTER THE GROUT FLYWOOD ABOVE THE BASE. PLACE THE BASE PLATE AND THE PERIMETER SILT FENCE.
- AFTER THE STONE IS INSTALLED FOR THE PARKING LOT AREA EXCEPT WHERE INFILTRATION BED 1 IS LOCATED THEN REMOVE THE SEDIMENT TRAP AND INSTALL THE 24" SILT SOCK ALONG EAST PLEASANT GROVE ROAD AND STORM SEWER. THE ENTRANCE DRIVE COMPLETE THE REMAINING GRADING AND INSTALL THE INFILTRATION BED. (THIS IS A CRITICAL BMP AND MUST BE INSTALLED UNDER ENGINEERING SUPERVISION)
- PRIOR TO THE INSTALLATION OF BED 1 THE AREA SHALL BE RETESTED TO ENSURE THAT COMPACTION OF CONSTRUCTION ACTIVITIES DID NOT AFFECT STABILIZATION RATES. THE RESULTS OF THE TESTING MUST BE SUBMITTED TO OCCD AND THE TOWNSHIP ENGINEERS PRIOR TO INSTALLATION. IF RESULTS ARE DIFFERENT THAN ORIGINALLY OBTAINED THAN REMEDIAL DESIGN ALTERATIONS MUST BE PROVIDED.
- COMPLETE BED 1. KEEP ALL SEDIMENT LADEN WATER FROM THIS FACILITY. ONCE INSTALLED AND BACKFILLED AND THE REMAINING STONE BASE IS IN PLACE THE PAVE THE PARKING LOT, FINISH GRADE THE PERIMETER, INSTALL THE PERMANENT PERIMETER LANDSCAPING AND STABILIZATION.
- COMPLETE THE BUILDING CONSTRUCTION. FINISH GRADE THE INTERNAL AREAS. INSTALL THE PERMANENT LANDSCAPING, SEEDING, MULCHING AND STABILIZATION.
- ALL SEDIMENT LADEN WATER MUST BE KEPT FROM ENTERING THE INFILTRATION BEDS UNTIL 70% UNIFORM STABILIZATION IS ACHIEVED WITHIN THEIR RESPECTIVE DRAINAGE AREAS. WATER MAY NEED TO BE PUMPED FROM THE SITE THROUGH A FILTER BAG UNTIL THIS OCCURS.
- ONCE 70% UNIFORM STABILIZATION IS ACHIEVED OPEN THE INLETS TO THE INFILTRATION BEDS AND REMOVE ALL PERIMETER SILT FENCE. THE CONTRACTOR MUST SCHEDULE AN INSPECTION WITH THE CONSERVATION DISTRICT TO VERIFY AND APPROVE 70% STABILIZATION PRIOR TO THE REMOVAL OF THE FACILITIES.
- SUBMIT THE N.O.T.

**EROSION & SEDIMENTATION CONTROL LEGEND**

- DRAINAGE AREA TO BASIN
- LIMIT OF DISTURBANCE
- - - TEMPORARY GRADING
- x - x - ORANGE CONST. FENCE
- 18" SILT FENCE
- 24" FILTER SOCK
- INLET PROTECTION
- TOPSOIL STOCKPILE
- ROCK CONSTR. ENTRANCE
- CURLEX BLANKET
- ≥25% SLOPE

**EAST PLEASANT GROVE ROAD**

LIMIT OF DISTURBANCE = 2.49 AC

**NOTES:**

- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FACILITIES WEEKLY AND AFTER EACH RAINFALL EVENT. ANY DAMAGED OR BROKEN FACILITY MUST BE REPAIRED OR REPLACED IMMEDIATELY.
- PRIOR TO THE REMOVAL OF E AND S CONTROLS, THE CHESTER COUNTY CONSERVATION DISTRICT MUST BE NOTIFIED.
- ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH N-635-75 EROSION CONTROL BLANKET.
- ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EAS CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CHESTER COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- THE E & S PLAN/DESIGN PROVIDES THE FOLLOWING:
  - MINIMIZE EXTENT AND DURATION OF EARTH DISTURBANCE BY CONSTRUCTING THE PROJECT IN PHASES AND AS A CLUSTER STYLE DEVELOPMENT.
  - MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION BY LIMITING TREE REMOVAL AND MAINTAINING EXISTING SYSTEMS.
  - MINIMIZE SOIL COMPACTION BY ONLY DISTURBING AREAS NECESSARY FOR CONSTRUCTION.
  - UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF BY INSTALLING THE MULTIPLE STORMWATER MANAGEMENT SYSTEMS AS NOTED.
  - SITE STABILIZATION THAT MUST BE ACHIEVED PRIOR TO REMOVAL OF EAS CONTROLS IS DEFINED AS VEGETATED AREAS MUST PROVIDE A MINIMUM UNIFORM 70% PERENNIAL VEGETATED COVER OVER THE ENTIRE DISTURBED AREA.

**UTILITY LINE TRENCH EXCAVATION NOTES:**

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATION FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER THAT ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREAS WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

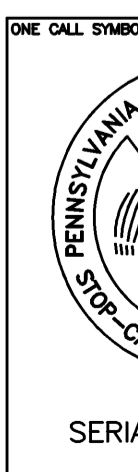
30 0 30 60 90 120 FEET

GRAPHIC SCALE

ACT 187 SERIAL NUMBER 1825925

EDWARD B. WALSH & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY LINES, STRUCTURES, ETC. SHOWN ON THE PLANS, NOR DOES E. B. WALSH & ASSOC., INC. GUARANTEE THAT ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. ARE SHOWN. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776.

- UTILITIES NOTIFIED**
- VERIZON
  - COMCAST CABLE TV
  - COMCAST COMMUNICATION
  - TEPCO
  - BUCKEYE PIPELINE
  - AQUA PENNSYLVANIA
  - PECO ENERGY
  - TRANSCONTINENTAL GAS PIPELINE
  - PPL INTERSTATE ENERGY
  - WESTTOWN TOWNSHIP
  - SUNOCO PIPELINE



ASSESSMENT MAP 67-4, PARCEL 38 (UPI NO. 67-4-38)

**PRELIMINARY/FINAL  
EROSION AND SEDIMENTATION  
CONTROL PLAN**

2 3-24-19 ADDED BOLLARDS AT ENTRANCE

1 1-28-19 REVISED PER ENGINEER COMMENTS

**SUBDIVISION/LAND DEVELOPMENT  
FOR  
THE MALVERN SCHOOL**

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.

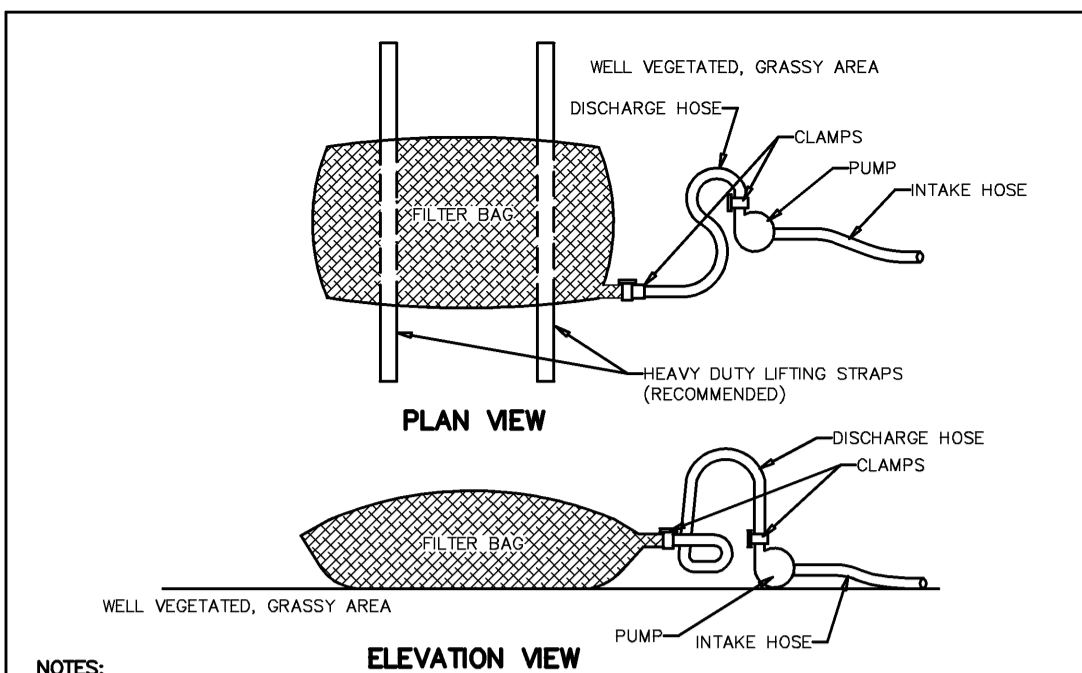
Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS

125 Dowlin Forge Rd.  
Eaton, Pennsylvania 19341  
Phone: 610-903-0060  
Fax: 610-903-0080

Project- 4432  
Date- 11-14-18  
Scale- 1" = 30'  
Drawn- LR  
Checked- A.E.  
Sheet- 4 OF 10

Plotted: 3/14/2019 File: F:\JD\4432\4432-92.pro





**NOTES:**

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL WITH HIGH STRENGTH, DOUBLE STITCHED 7" TYPE SEAMS, THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AWS. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	200 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
ASS. IS RETAINED	ASTM D-4721	80 SIZE

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE INTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON STONE OR INCREASED DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

**INSTALLATION SEQUENCE:**

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT AND WELL-VEGETATED SURFACE IS PROVIDED.
2. UPON COMPLETION OF USE, THE FILTER BAG MUST BE REMOVED. ACCUMULATED SEDIMENT MUST BE PROPERLY PLACED IN PROTECTED AREA ON SITE AND STABILIZED WITH TEMPORARY SEED MIX AND MULCH.

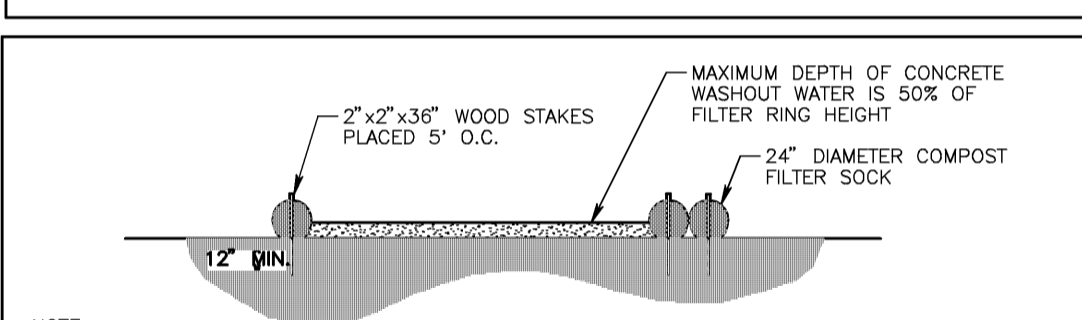
**MAINTENANCE NOTES:**

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. STAKE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRIPS ALREADY ATTACHED.

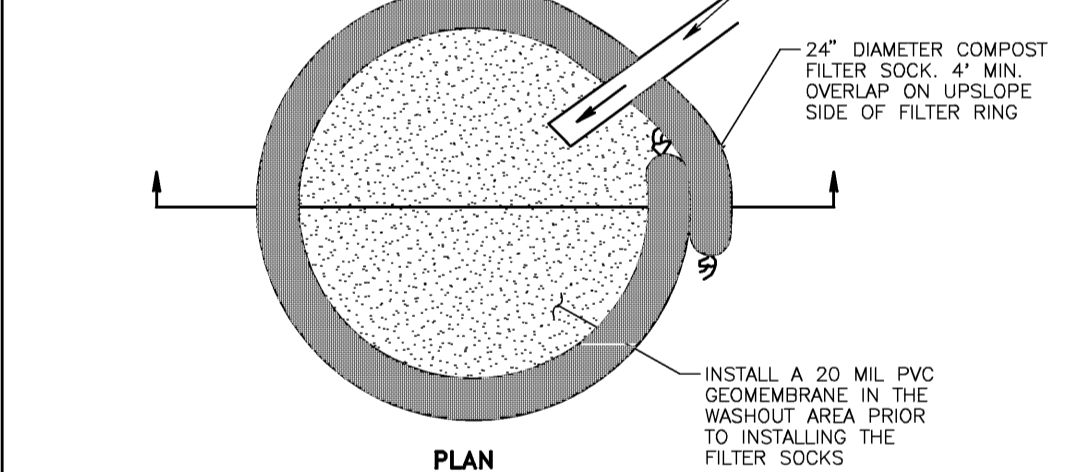
**INSPECTIONS:**

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #3-16  
PUMPED WATER FILTER BAG**  
NOT TO SCALE



- NOTE:**
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
  2. 16" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.



**INSTALLATION SEQUENCE:**

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
2. INSTALL PVC GEOMEMBRANE IN WASHOUT AREA.
3. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL OVERLAP TO FORM A CIRCLE AS SHOWN.
4. UPON REMOVAL OF THE WASHOUT AREA STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
5. ALL CONCRETE AND THE GEOMEMBRANE MUST BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DEP FACILITY.

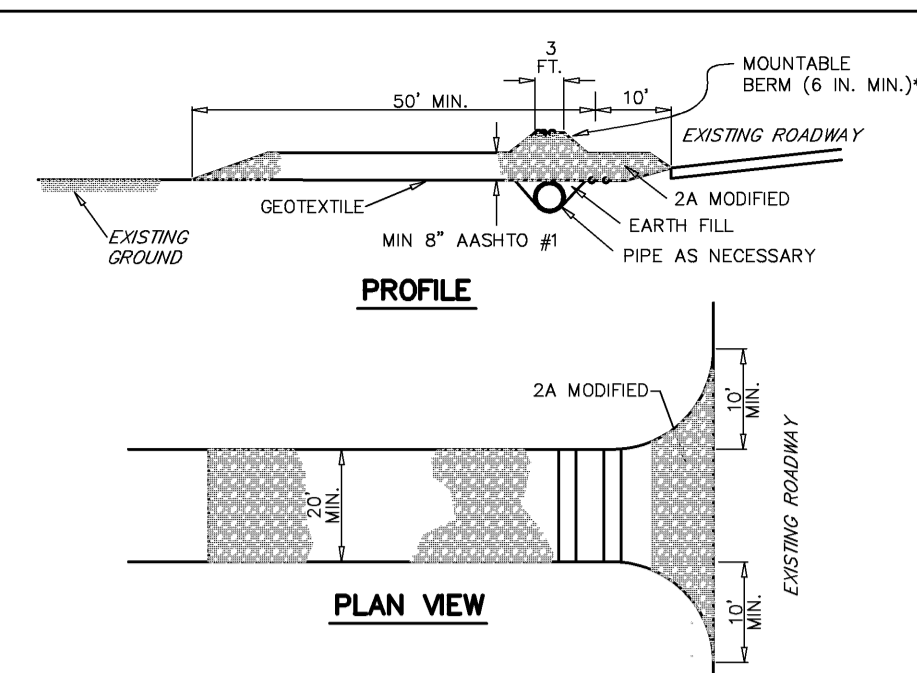
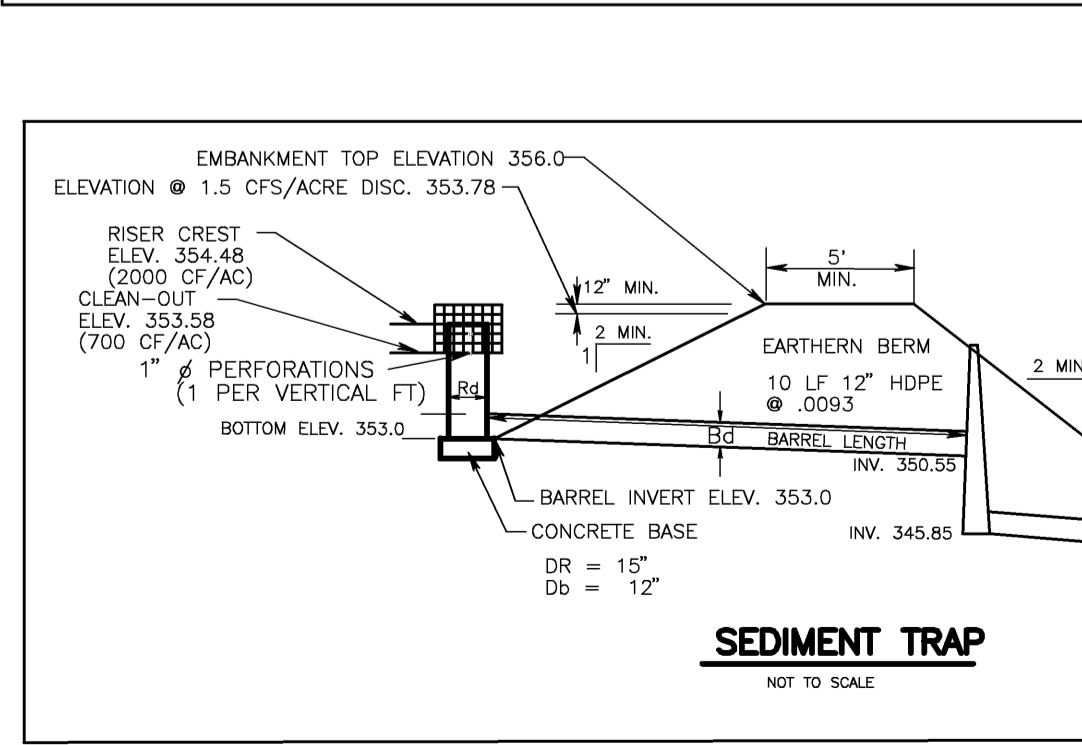
**MAINTENANCE NOTES:**

WASHOUT AREA SHALL BE INSPECTED WEEKLY. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

**INSPECTIONS:**

INSPECTIONS MUST BE PERFORMED ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

**CONCRETE WASHOUT AREA DETAIL**  
N.T.S.



**INSTALLATION SEQUENCE:**

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND TOPSOIL.
2. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
3. UPON REMOVAL OF CONSTRUCTION ENTRANCE, REMOVE STONE AS NEEDED AND STABILIZE ACCORDINGLY DEPENDENT ON THE PERMANENT USE OF THE AREA.

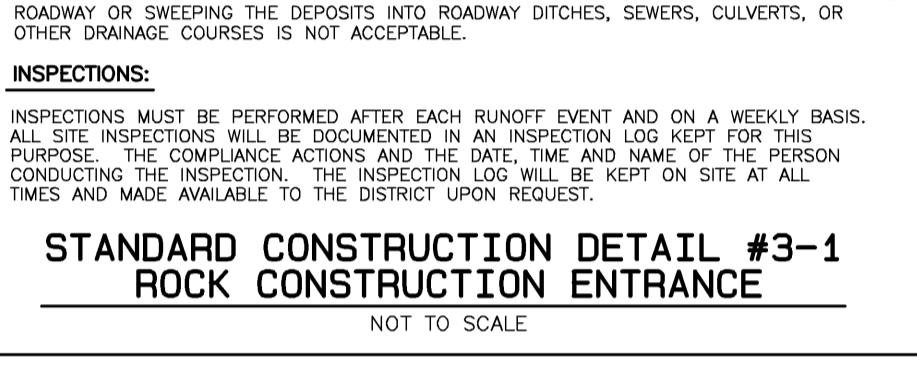
**MAINTENANCE NOTES:**

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SHEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**INSPECTIONS:**

INSPECTIONS MUST BE PERFORMED AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

**STANDARD CONSTRUCTION DETAIL #3-1  
ROCK CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**INSTALLATION SEQUENCE:**

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
2. INSTALL PVC GEOMEMBRANE IN WASHOUT AREA.
3. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL OVERLAP TO FORM A CIRCLE AS SHOWN.
4. UPON REMOVAL OF THE WASHOUT AREA STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
5. ALL CONCRETE AND THE GEOMEMBRANE MUST BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DEP FACILITY.

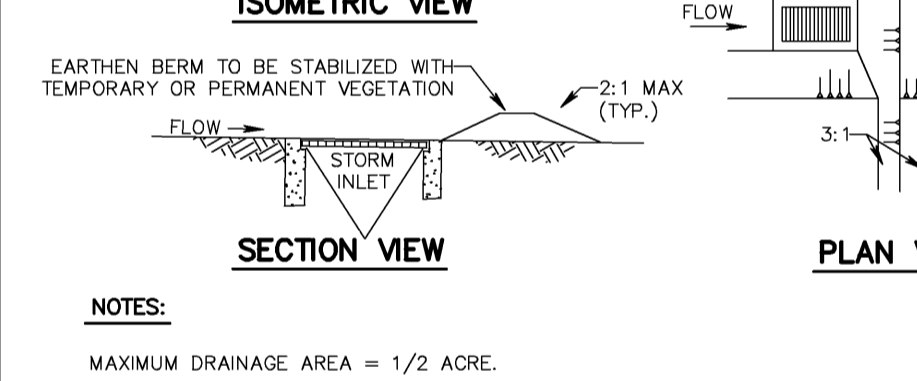
**MAINTENANCE NOTES:**

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**INSPECTIONS:**

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**STANDARD CONSTRUCTION DETAIL #4-16  
FILTER BAG INLET PROTECTION - TYPE M INLET**  
NOT TO SCALE



**INSTALLATION SEQUENCE:**

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
2. INSTALL PVC GEOMEMBRANE IN WASHOUT AREA.
3. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL OVERLAP TO FORM A CIRCLE AS SHOWN.
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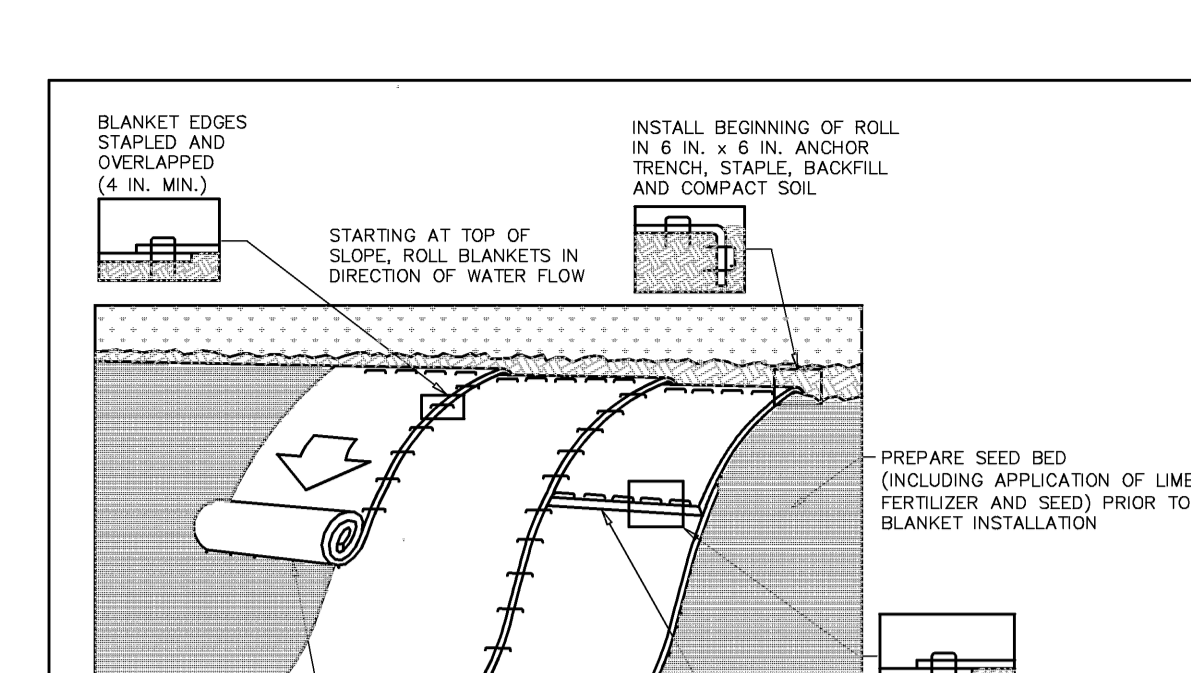
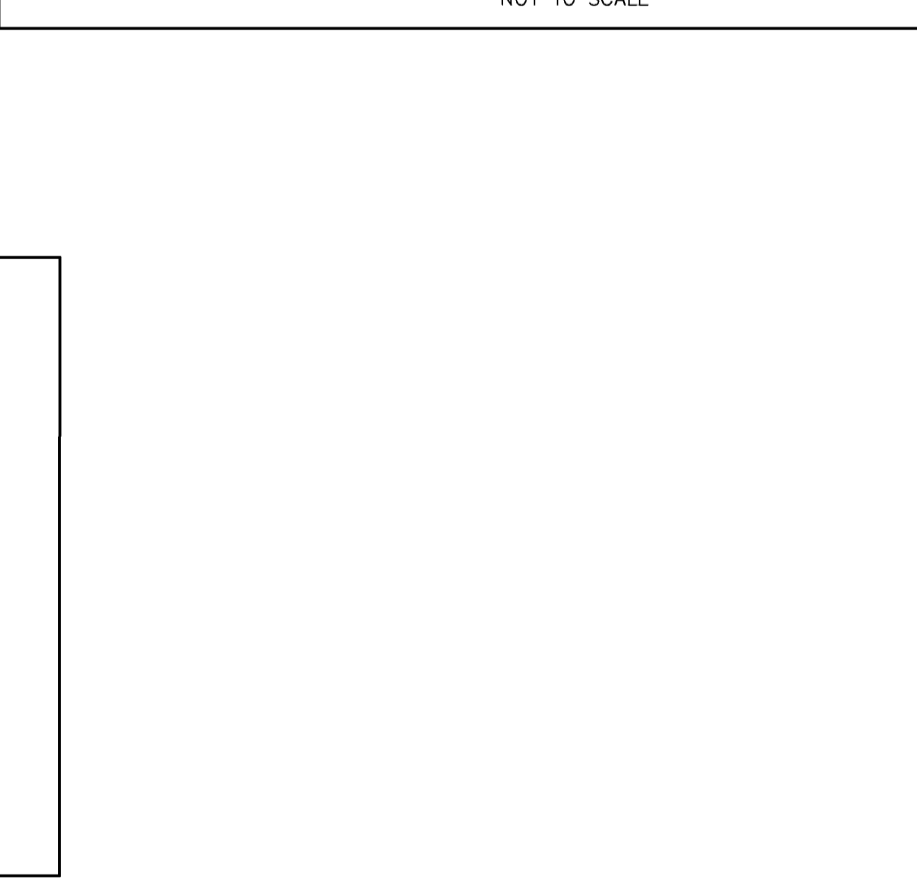
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**STANDARD CONSTRUCTION DETAIL #4-16  
FILTER BAG INLET PROTECTION - TYPE M INLET**  
NOT TO SCALE



**INSTALLATION SEQUENCE:**

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
2. INSTALL PVC GEOMEMBRANE IN WASHOUT AREA.
3. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL OVERLAP TO FORM A CIRCLE AS SHOWN.
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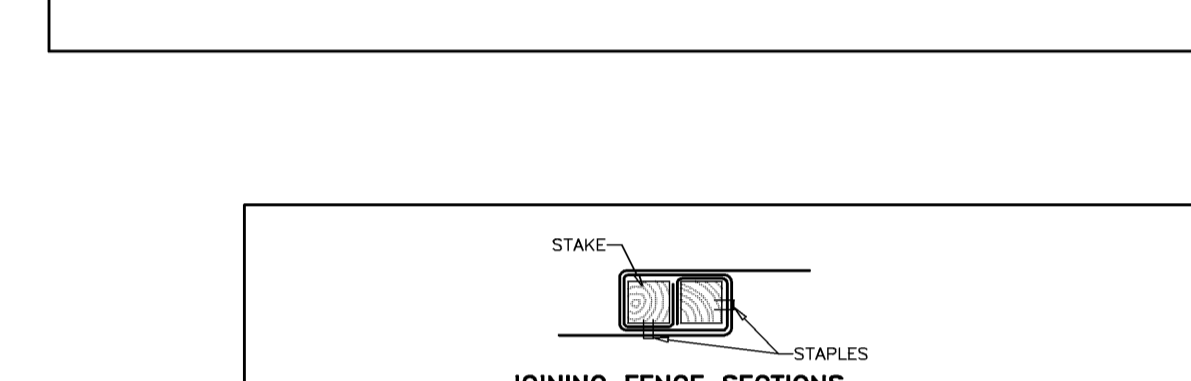
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**STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK**  
NOT TO SCALE



**INSTALLATION SEQUENCE:**

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
2. SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
3. FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

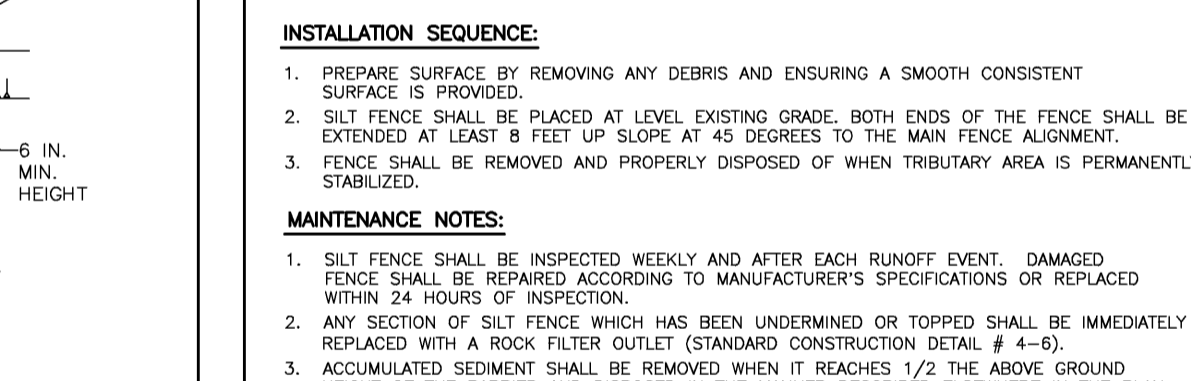
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**STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK**  
NOT TO SCALE



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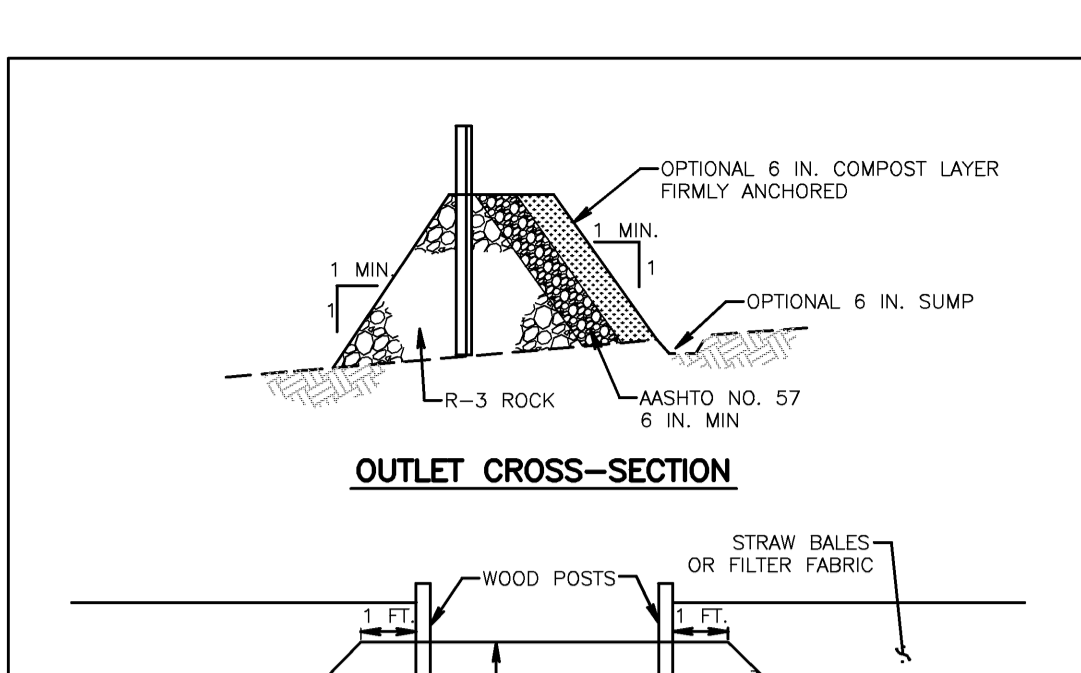
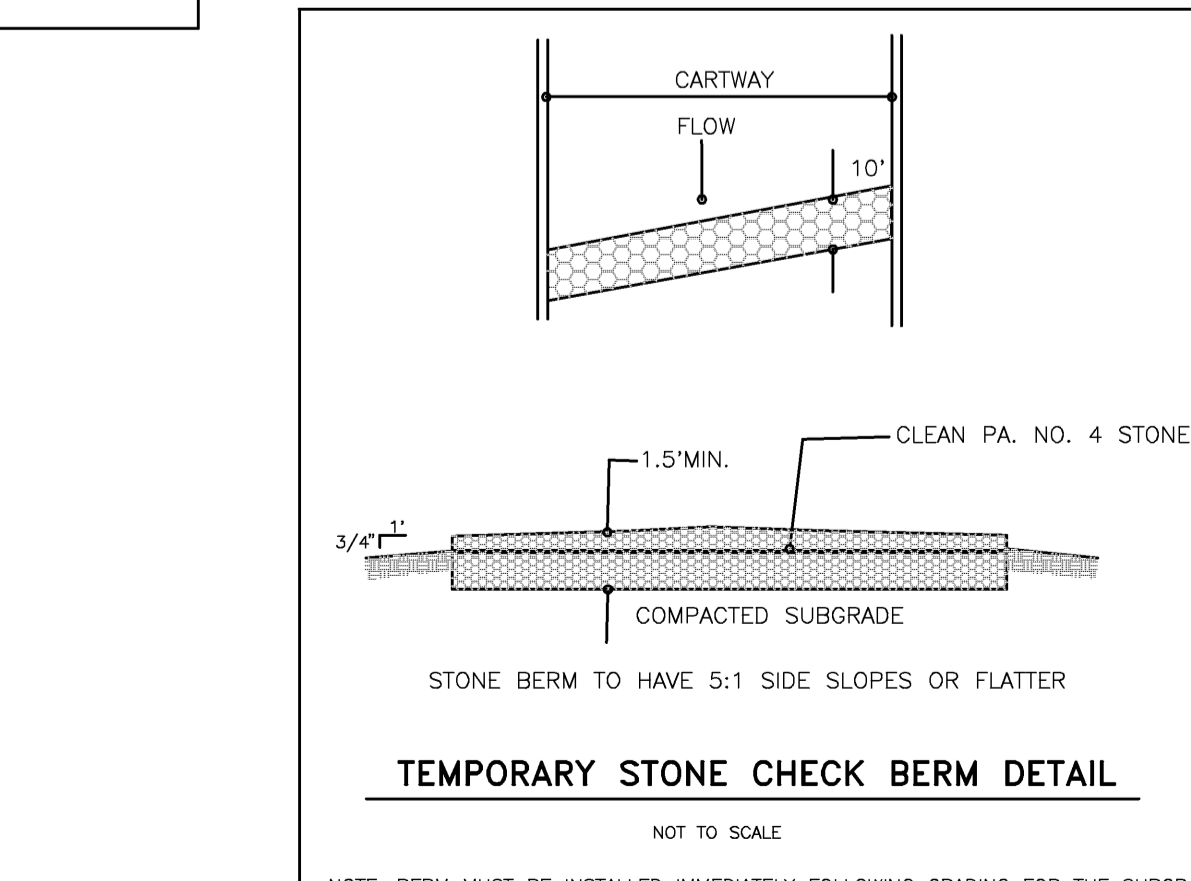
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**STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK**  
NOT TO SCALE



**INSTALLATION SEQUENCE:**

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
2. INSTALL PVC GEOMEMBRANE IN WASHOUT AREA.
3. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL OVERLAP TO FORM A CIRCLE AS SHOWN.
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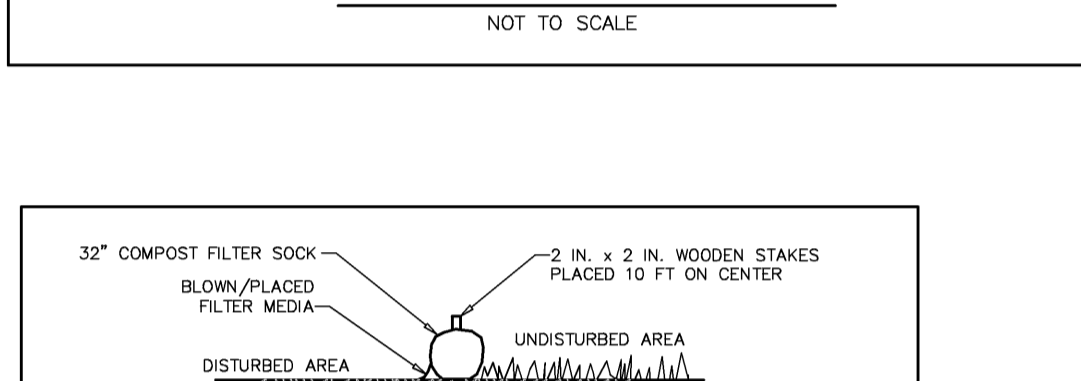
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**STANDARD CONSTRUCTION DETAIL #4-6  
ROCK FILTER OUTLET**  
NOT TO SCALE



**INSTALLATION SEQUENCE:**

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
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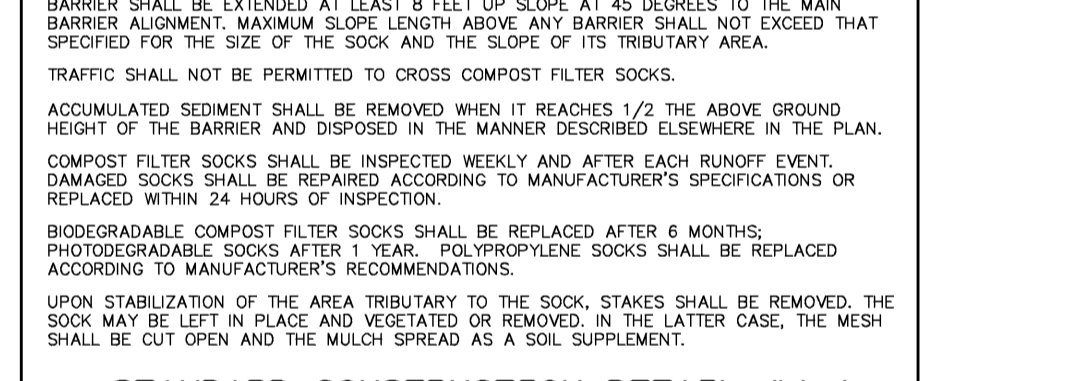
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**STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK**  
NOT TO SCALE



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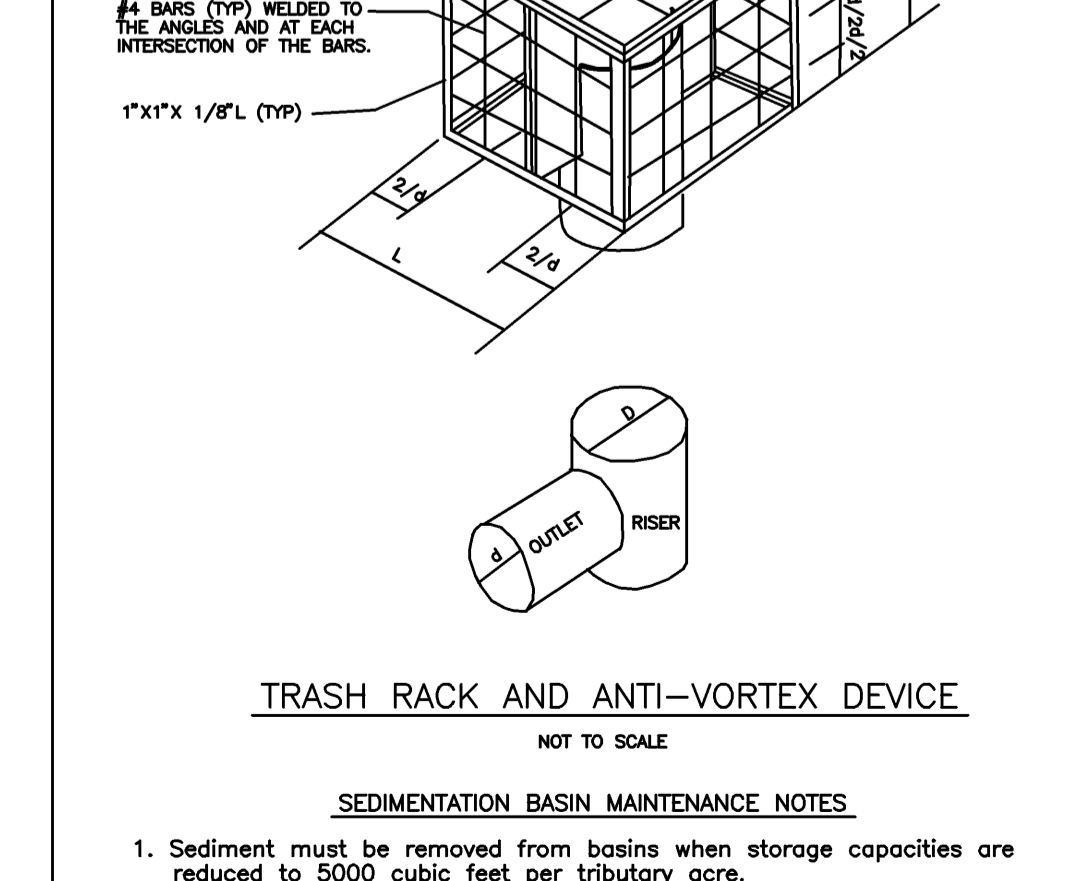
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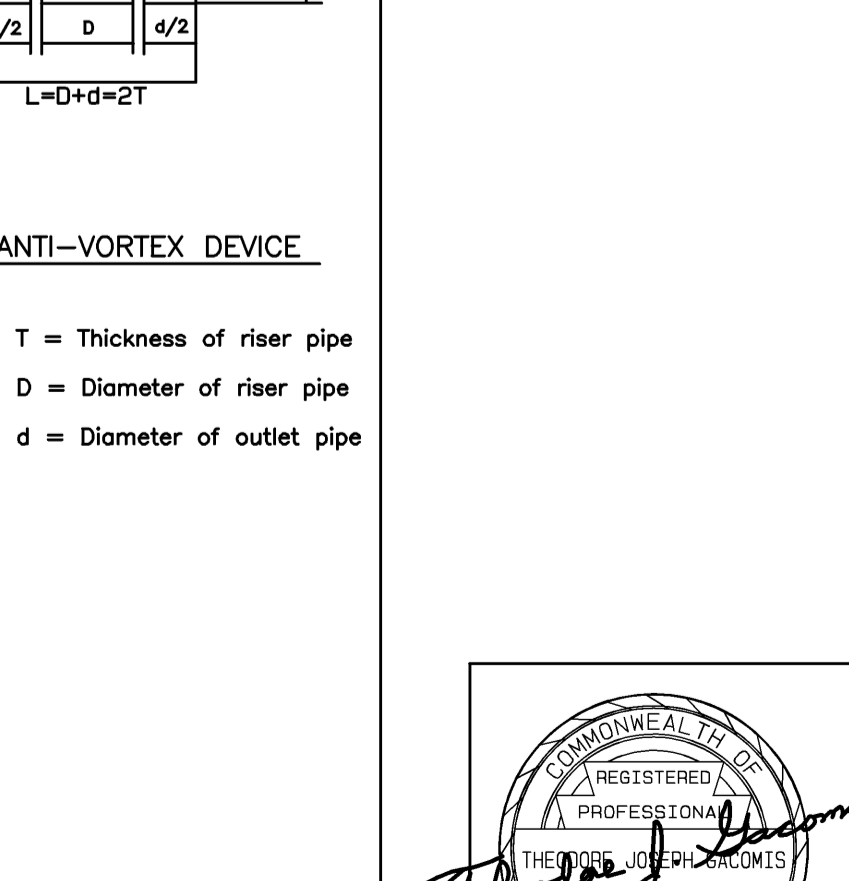
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**STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK**  
NOT TO SCALE



**SEED MIX SPECIFICATIONS**

Grass Seed: All seed shall be fresh, and new crop seed shall be labeled in accordance with the U.S. Department of Agriculture's Rules and Regulations under the Federal Seed Act in effect on the date of invitation for bids. All seed shall be furnished in sealed standard containers, bearing the warranty of the supplier and certifying as to the kind, percent by weight, purity and germination. The grass seed shall contain the percentages of purity and germination indicated on the list furnished with the applicable plan. Seed mix shall be as specified. Spread at the rate of 4 lbs. per 1000 sq. ft. minimum for slopes <math>1:1</math> or greater, use 5 lbs. per 1000 sq. ft.

**PERMANENT SEEDING DATES MARCH 1 TO JUNE 1, AUGUST 1 TO OCTOBER 1**

NAME	GRASS SEED	PARTS BY WEIGHT	%PURITY	GERMINATION
Kentucky Blue Grass		35%	95%	85%
Perennial Ryegrass		35%	95%	90%
Pennlawn Fescue		15%	95%	85%
Annual Ryegrass		15%	90%	80%

Mulch: Shall be hay which is free of weeds and seeds, not moldy or rotten, and shall be applied at all disturbed areas at a rate of 3 tons per acre.

Kentucky Bluegrass Sod (if called for) Sod shall be graded under supervision of the Bureau of Plant Industry Pennsylvania Department of Agriculture or shall be composed of only Blue Tag Certified Seed.

Temporary Seeding Dates: Anytime



POST-CONSTRUCTION MAINTENANCE OF STORMWATER FACILITIES AND OVERALL SITE

THE OPERATION AND MAINTENANCE OF THE BMP'S ON THE SITE ARE THE RESPONSIBILITY OF THE OWNER.

- STORMWATER MANAGEMENT FACILITY DETENTION BASIN
1. SEDIMENT MUST BE REMOVED WHEN SEDIMENT IS THREE INCHES DEEP. SEDIMENT REMOVAL MUST BE PERFORMED WHEN IT HAS NO STANDING WATER...

- RECHARGE BED
1. SEDIMENT MUST BE REMOVED WHEN SEDIMENT IS THREE INCHES DEEP IN ANY STRUCTURE IN THE SYSTEM. SEDIMENT REMOVAL MUST BE PERFORMED WHEN IT HAS NO STANDING WATER...

OVERALL SITE
REGULAR REMOVAL OF LITTER AND DEBRIS WITHIN THE PROPERTY SHALL BE PERFORMED. ANY TRASH, DEBRIS, SEDIMENT, ETC., SHALL BE REMOVED AND PROPERLY DISPOSED OF...

REMEDY FOR LACK OF MAINTENANCE AND NECESSARY REPAIRS

THE STORMWATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS, INCLUDING INLETS, STORM DRAIN PIPES, DETENTION SYSTEMS AND THE RECHARGE BEDS ARE PERMANENT AND ARE NOT TO BE REMOVED...

PCSM SHORT AND LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

THE SHORT TERM OPERATION REFERS TO THE TIME PERIOD WHEN THE NPDES PERMIT IS ACTIVE FOR THE SITE.

UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE DURING THE SHORT TERM FOR COMPLIANCE WITH THE PERMIT TERMS...

FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE THE CONTINUING OPERATION AND MAINTENANCE OF THE PCSM BMP...

POST-CONSTRUCTION STORMWATER MANAGEMENT FACILITIES INSPECTIONS

THE HOMEOWNERS ASSOC. IS RESPONSIBLE FOR ENSURING INSPECTIONS OF THE SUBDIVISION BMP SYSTEMS ARE PERFORMED BY A PROFESSIONAL ENGINEER.

THE PCSM PLAN/DESIGN PROVIDES THE FOLLOWING:

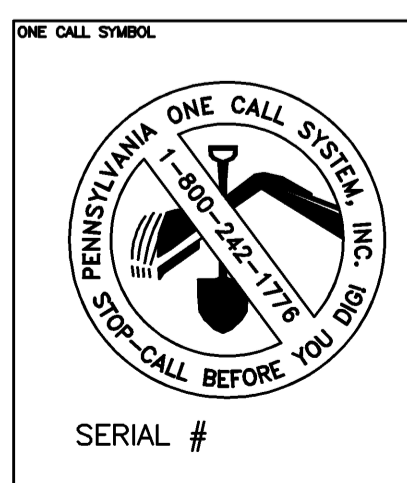
- 1. PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.
2. PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF.

CONSTRUCTION DEBRIS HANDLING:

- 1. CONSTRUCTION DEBRIS MUST BE STORED IN REFUSE CONTAINERS FOR REMOVAL FROM THE SITE. THE CONTAINERS MUST BE PLACED IN ACCESSIBLE LOCATIONS.
2. NO DEBRIS MAY BE STORED/LEFT IN AREAS OR DEPRESSIONS ON THE SITE.

ACT 187 SERIAL NUMBER 008-6945

EDWARD B. WALSH & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY LINES, STRUCTURES, ETC. SHOWN ON THE PLANS...



- UTILITIES NOTIFIED
VERIZON
COMCAST CABLE TV
COMCAST COMMUNICATION
PEPCO
BUCKETS PIPELINE
AQUA PENNSYLVANIA
PECO ENERGY
TRANSCONTINENTAL GAS PIPELINE
PPL INTERSTATE ENERGY
WESTTOWN TOWNSHIP
SUNOCO PIPELINE

POST CONSTRUCTION

SNOUT BMP MAINTENANCE NOTES:

MONTHLY MONITORING FOR THE FIRST YEAR OF A NEW INSTALLATION. MONTHLY MONITORING FOR THE FIRST YEAR OF A NEW INSTALLATION. RECOMMENDED AFTER THE SITE HAS BEEN STABILIZED...

THE STRUCTURE SHALL BE CLEANED WHEN THE SUMP IS HALF FULL WHEN A SPILL OR OTHER INCIDENT CAUSES A LARGER THAN NORMAL ACCUMULATION OF POLLUTANTS...

AN ANNUAL INSPECTION OF THE ANTI-SIPHON VENT AND ACCESS HATCH ARE RECOMMENDED. A SIMPLE FLUSHING OF THE VENT, OR GENTLE RODDING WITH A FLEXIBLE WIRE SHOULD BE PERFORMED TO MAINTAIN THE ANTI-SIPHON PROPERTIES...

ALL COLLECTED WASTES MUST BE HANDLED AND DISPOSED OF ACCORDING TO LOCAL ENVIRONMENTAL REQUIREMENTS.

POST CONSTRUCTION STORM WATER NOTES

- 1. AS-BUILT PLANS OF THE STORMWATER BMP'S FOR EACH PROJECT PHASE SHALL BE PROVIDED WITHIN SIX MONTHS FOLLOWING THE COMPLETION OF EACH FACILITY AND/OR PHASE.
2. A NOTICE OF TERMINATION (NOT) WILL BE REQUIRED TO BE SUBMITTED FOLLOWING APPROVAL OF THE FINAL AS-BUILT PLANS.
3. THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE STORMWATER BMP'S...

LEGEND

- 430 EXISTING INDEX CONTOUR
EXISTING INTERIOR CONTOUR
PROPOSED CONTOUR
PROPOSED SPOT ELEVATION
EXISTING INLET
PROPOSED INLET
EXISTING STORM SEWER PIPE
PROPOSED STORM SEWER PIPE
PROPOSED STORM MANHOLE
EXISTING SANITARY MANHOLE
EXISTING SANITARY SEWER PIPE
PROPOSED FORCE MAIN
EXISTING WATER LINE
PROPOSED DRAINAGE LINE
LIMIT OF DISTURBANCE LINE
EXISTING EDGE OF PAVING
EXISTING CURB
PROPOSED CURB
EXISTING FENCE
EXISTING CONCRETE SIDEWALK
PROPOSED CONCRETE SIDEWALK
25% SLOPE
LIGHT POLE & FIXTURE
EXISTING SIGN
PROPOSED SIGN

POST-CONSTRUCTION STORMWATER MANAGEMENT BMP SYSTEMS

INCLUDE THE FOLLOWING:

- 1. RECHARGE BED THIS IS A CRITICAL BMP.
2. SNOUTS

BMP CONSTRUCTION OVERSIGHT AND NPDES NOTICE OF TERMINATION REQUIREMENTS NOTES

THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMP'S. A LICENSED PROFESSIONAL ENGINEER IN THE DESIGN AND CONSTRUCTION OF STORMWATER BMP'S...

AS-BUILT PLANS OF STORMWATER BMP'S SHALL BE PROVIDED WITH THE NOTICE OF TERMINATION. THE AS-BUILT PLANS SHALL BE SIGNED AND SEALED BY A PA REGISTERED PROFESSIONAL ENGINEER.

A NOTICE OF TERMINATION (NOT) WILL BE REQUIRED TO BE SUBMITTED. PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMP'S.

PCSM REPORTING AND RECORDKEEPING. THE PCSM PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

FINAL CERTIFICATION. THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL ENGINEER...

THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION...

UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(A)(2) (REG. TO PERMANENT STABILIZATION) AND § 102.22(B)(2) (REG. TO PERMANENT STABILIZATION) SHALL BE COMPLETED AND IMPLEMENTED IN ACCORDANCE WITH § 102.22(A)(2) AND § 102.22(B)(2) (REG. TO PERMANENT STABILIZATION)...

PROOF TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION.

STORMWATER MANAGEMENT FACILITY CONSTRUCTION NOTES

- 1. AREAS TO BE USED FOR STORMWATER INFILTRATION (HEREAFTER "SUBJECT AREAS") SHALL BE DELIMITED WITH ORANGE SAFETY FENCE PRIOR TO START OF CONSTRUCTION.
2. COMPACTION OF THE SUBJECT AREAS IS PROHIBITED. EQUIPMENT AND OTHER TRAFFIC SHALL BE PROHIBITED FROM ENTERING THE SUBJECT AREAS...
3. THE BOTTOM OF RECHARGE BEDS SHALL BE SCARIFIED IMMEDIATELY PRIOR TO THE PLACEMENT OF THE GEOTEXTILE FABRIC...
4. ONLY UNIFORM GRADE, CLEAN AGGREGATE, FREE OF FINES, SLATE, CLAY, SILT, AND VEGETATIVE MATERIAL SHALL BE USED...
5. WHEREVER DRAINAGE FILTER FABRIC IS SPECIFIED, IT SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS...
6. SUBJECT AREAS SHALL BE PROTECTED DURING CONSTRUCTION. SEDIMENT SHALL NOT BE ALLOWED TO BE MAINTAINED OVER SUBJECT AREAS...
7. IF SEDIMENT DOES ENTER INTO A SUBJECT AREA, THE CONTRACTOR SHALL CLEAN OUT THE SEDIMENT TO THE TOWNSHIP'S SATISFACTION...
8. A MINIMUM 2-FOOT SEPARATION SHALL BE PROVIDED BETWEEN THE SEASONAL HIGH GROUNDWATER TABLE AND/OR BEDROCK, AND THE BOTTOM OF THE INFILTRATION FACILITY...
9. THE DEVELOPER SHALL TEST INFILTRATION FACILITIES TO CONFIRM THAT THEY FUNCTION AS DESIGNED PRIOR TO TRANSFERRING RESPONSIBILITY TO THE PROPERTY OWNER...
10. THE DEVELOPER SHALL TEST INFILTRATION FACILITIES TO CONFIRM THAT THEY FUNCTION AS DESIGNED PRIOR TO TRANSFERRING RESPONSIBILITY TO THE PROPERTY OWNER...

EAST PLEASANT GROVE ROAD

CRITICAL STAGES

- 1. INSTALLATION OF THE INFILTRATION BED.

FINAL CERTIFICATION

THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL ENGINEER...

DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 PA.C.S.A. SECTION 4804 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS...

- (1) THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
(2) THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION...



GRAPHIC SCALE

SOIL RESOLUTION NOTES

- 1. ANY WATER THAT IS ENCOUNTERED DURING EXCAVATION MUST BE PUMPED TO AN APPROVED DRAINAGE FACILITY.
2. DISTURBED AREAS MUST BE KEPT TO A MINIMUM AND STABILIZED IMMEDIATELY UPON COMPLETION OF WORK.
3. IF ANY ROCK IS ENCOUNTERED THAT MUST BE BLASTED TO BE REMOVED, THE TOWNSHIP MUST BE NOTIFIED.

SITE GEOLOGY

THE SITE GEOLOGY DOES NOT HAVE CHARACTERISTICS THAT ARE PRONE TO POSSIBLE GROUND WATER POLLUTION.

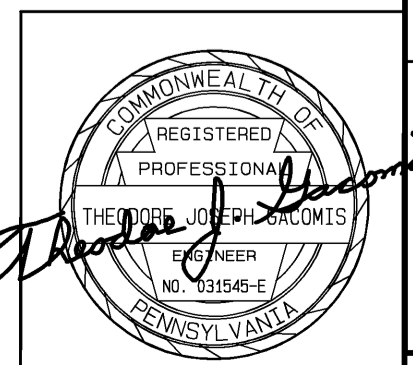
OWNERS AFFIDAVIT OF ACKNOWLEDGMENT

I, JOSEPH SCANDONE, HEREBY ACKNOWLEDGE THAT THE STORMWATER BEST MANAGEMENT PRACTICES (BMP'S) DEPICTED ON THIS PLAN SHALL BE A PERMANENT FIXTURE ON THE PROPERTY AND SHALL NOT BE ALTERED, OR REMOVED, WITHOUT THE APPROVAL OF A REVISED PLAN BY WESTTOWN TOWNSHIP.

OWNER

NOTE: THE OWNER OF THIS PROPERTY KNOWN AS CHESTER COUNTY UPI NO. 67-2-38 SHALL BE RESPONSIBLE FOR OWNING, OPERATING, AND MAINTAINING THE STORMWATER MANAGEMENT BMP (S) DEPICTED ON THIS PLAN IN PERPETUITY.

I, THEODORE GACOMIS P.E., ON THIS DATE, HAVE REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF WESTTOWN TOWNSHIP ORDINANCE NO. 8 OF 2000A.



POST CONSTRUCTION STORMWATER MANAGEMENT

Table with 2 columns: Item, Description. 1. 1-28-19 REVISED PER ENGINEER COMMENTS.

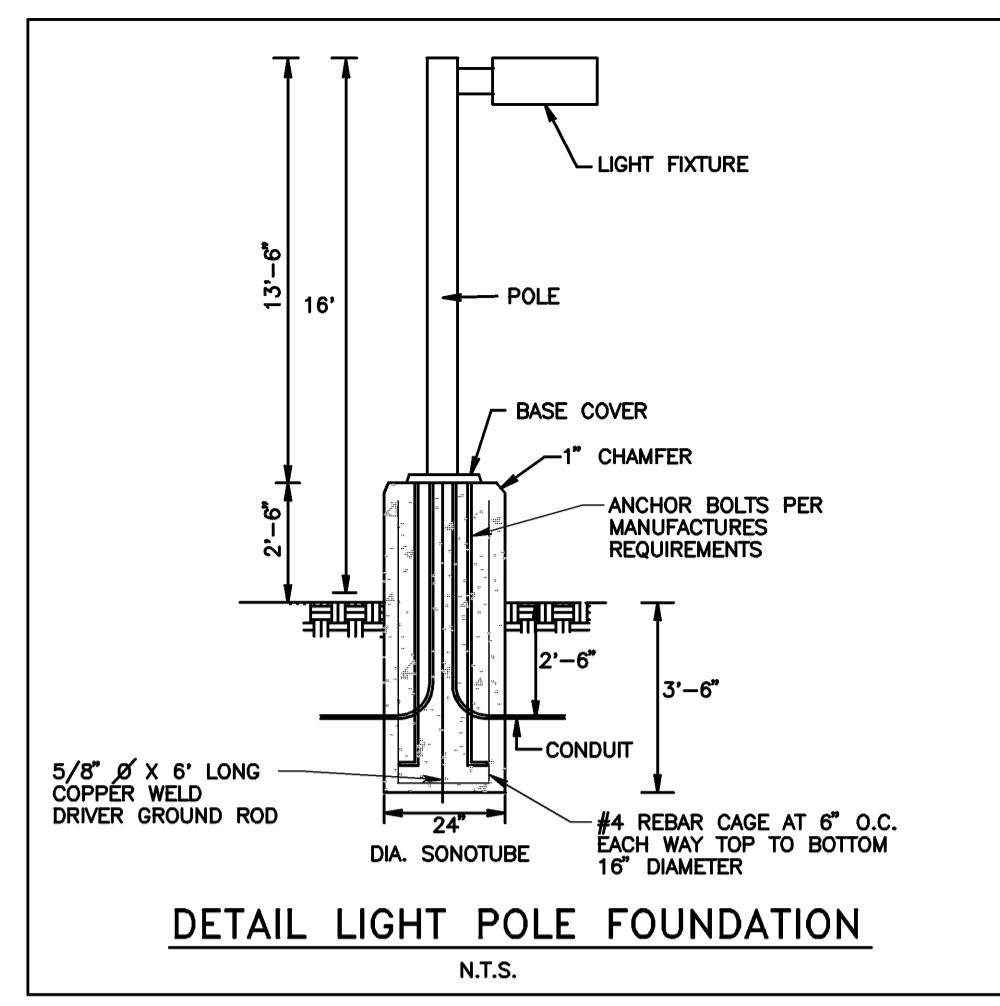
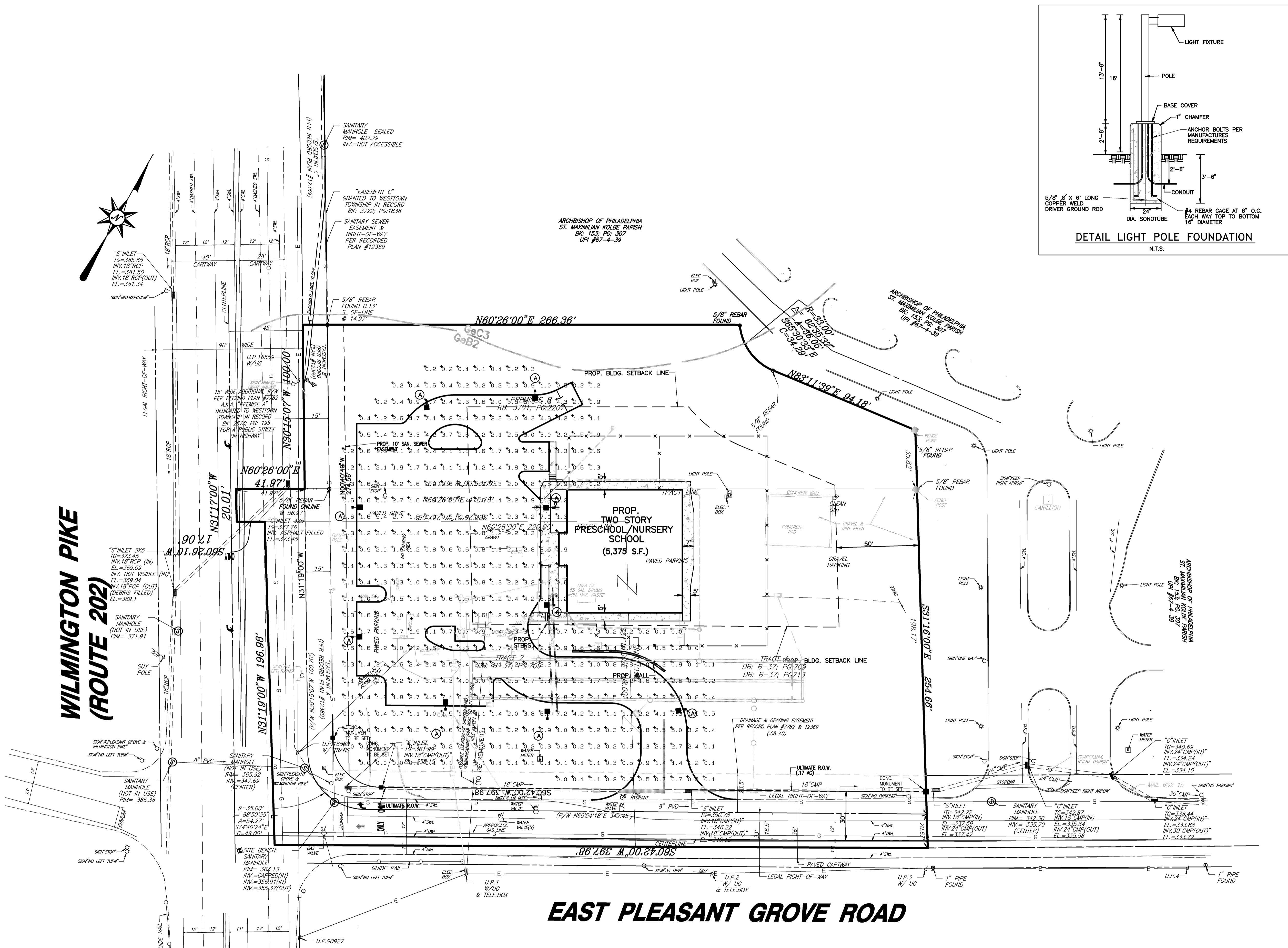
SUBDIVISION/LAND DEVELOPMENT FOR THE MALVERN SCHOOL

Project information for Edward B. Walsh & Associates, Inc. including address (125 Dowtin Forge Rd., Easton, PA), phone (610-903-0060), and sheet number (6 of 10).









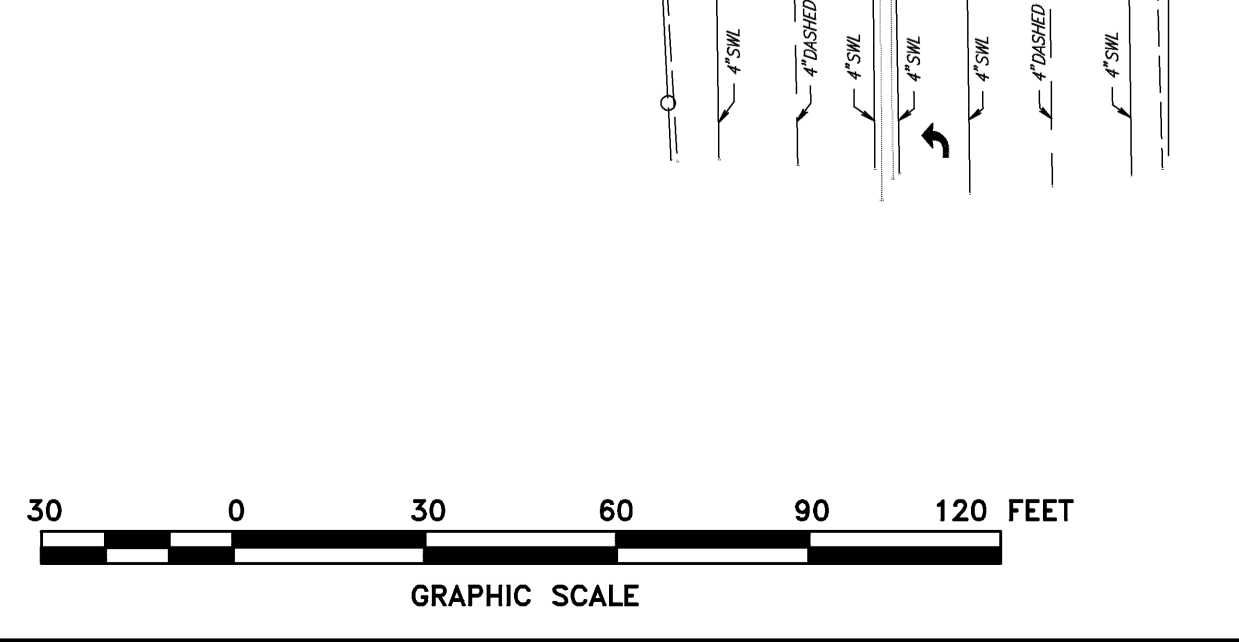
**PHILIPS GARDCO**

Site & Area  
Form 10 LED  
Square foot mount

Ordering guide

Part	Quantity	Order	LED Color	Mounting	Size	Voltage	Control	Electrical	Finish	Notes
DHLL	32	400	4000K	Form 10	10"	120V	00	00	Black	48 LED's
DHLL	32	400	4000K	Form 10	10"	120V	00	00	Black	48 LED's

Return to ordering guide



- GENERAL NOTES**
- POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL.
  - THE TOWNSHIP RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION NIGHTTIME INSPECTIONS TO VERIFY COMPLIANCE WITH THE ZONING ORDINANCE AND IF APPROPRIATE, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE TOWNSHIP.
  - THIS PROJECT WAS DESIGNED ACCORDING TO THE 9TH EDITION OF THE IESNA LIGHTING HANDBOOK. THE FOLLOWING CRITERIA WERE HELD.
    - THE MAINTAINED AVERAGE FOOT CANDLES IN A PARKING LOT FOR A COMMERCIAL USE OF MEDIUM ACTIVITY SHALL NOT EXCEED 2.0 (0.5 x 4) USING A UNIFORMITY RATIO OF 4:1
    - THE INTENSITY OF ILLUMINATION PROJECTED ONTO A RESIDENTIAL PROPERTY FROM ANOTHER PROPERTY SHALL NOT EXCEED 0.1 VERTICAL FOOTCANDLE MEASURED LINE-OF-SIGHT, FROM ANY POINT ON THE ADJACENT RESIDENTIAL PROPERTY.
    - ALL FIXTURES SHALL MEET IESNA FULL CUTOFF CRITERIA.
- 5. EXTERIOR LIGHTING OPERATION NOTES:**
- ALL EXTERIOR LIGHTING FIXTURES TO BE CONTROLLED BY AN AUTOMATIC SWITCHING DEVICE(S) EQUIPMENT, APPROVED BY WESTTOWN TOWNSHIP. THE PROPOSED LUMINAIRE WILL BE EQUIPPED WITH LIGHT SENSITIVE PHOTOCONTROL, AND, THE DAILY OPERATION OF EXTERIOR FIXTURES SHALL BE SUPPLEMENTED BY TIME CLOCK CONTROL IN ORDER TO ACCOMPLISH THE FOLLOWING OPERATION SCHEDULE:
    - HOURS OF OPERATION
    - SITE LIGHTING ON AT DUSK, EXTINGUISHED AT 11:00 P.M. OR WITHIN ONE HOUR FOLLOWING THE CLOSE OF BUSINESS, WHICHEVER COMES FIRST.
    - SITE LIGHTING ON AT 7:30 A.M., IF NECESSARY, EXTINGUISHED AT DAWN.
    - AT THIS TIME THE APPLICANT DOES NOT PROPOSE AFTER-HOURS SECURITY LIGHTING FOR THE PROJECT. IF AND WHEN SECURITY LIGHTING IS PROPOSED, A BUILDING PERMIT APPLICATION WILL BE SUBMITTED.

**LUMINAIRE SCHEDULE**

Symbol	Qty	Catalog Number	Description	Lamp	Mounting Height	File	Lumens	LLF
■	9	H14L-48-700-W 62-4-HIS	GARDCO FORM TEN SQUARE AREA LED TYPE 4 OPTICS	48 LED's 4000K	16'	H14L-48L-700- HW-62-4-HIS-IES	ABSOLUTE	0.95

MAINTAINED FOOTCANDLES

AVERAGE Fc = 1.6  
MAXIMUM Fc = 7.3  
MINIMUM Fc = 0.5

INITIAL FOOTCANDLES

AVERAGE Fc = 1.68  
MAXIMUM Fc = 7.68  
MINIMUM Fc = 0.52

**PRELIMINARY/FINAL LIGHTING PLAN**

2 3-24-19 ADDED BOLLARDS AT ENTRANCE  
1 1-28-19 REVISED PER ENGINEER COMMENTS

SUBDIVISION/LAND DEVELOPMENT FOR  
**THE MALVERN SCHOOL**

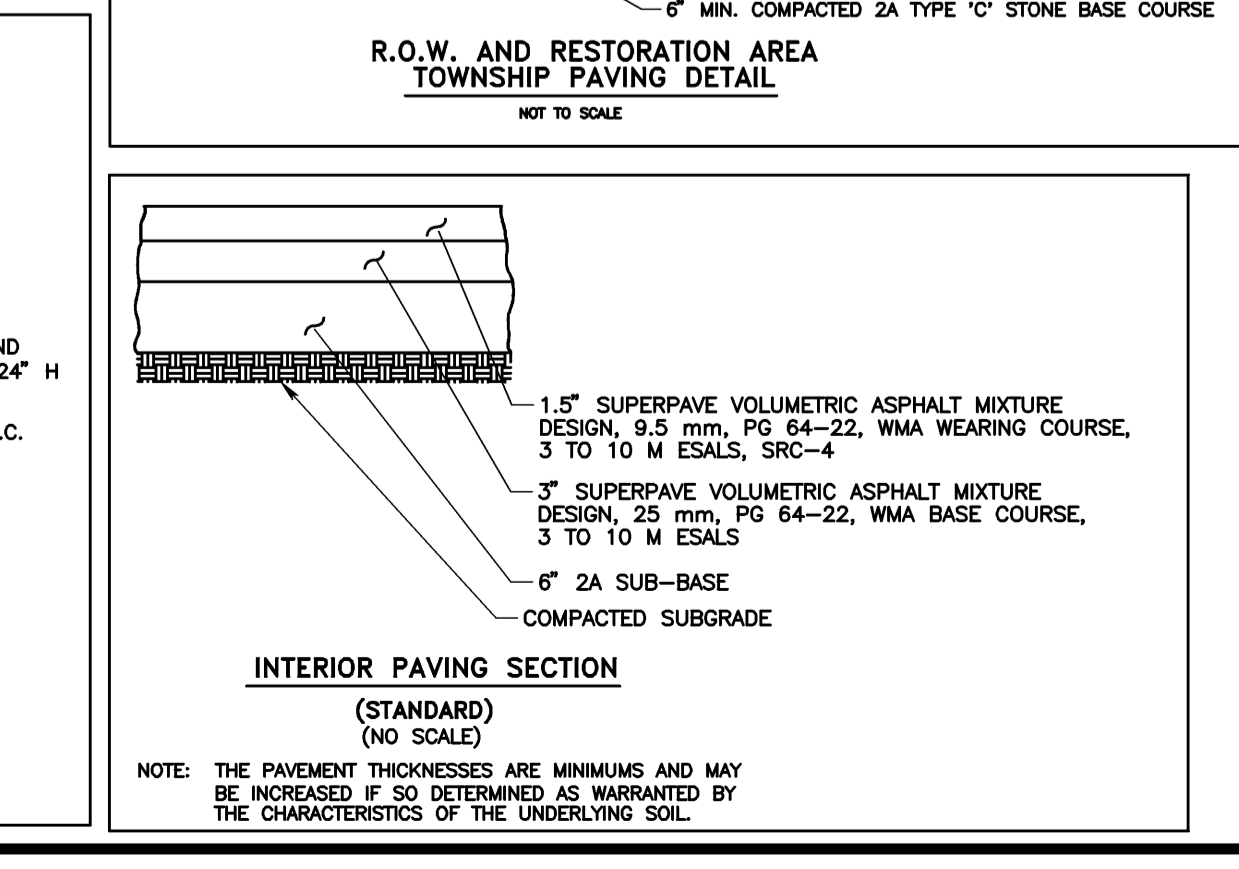
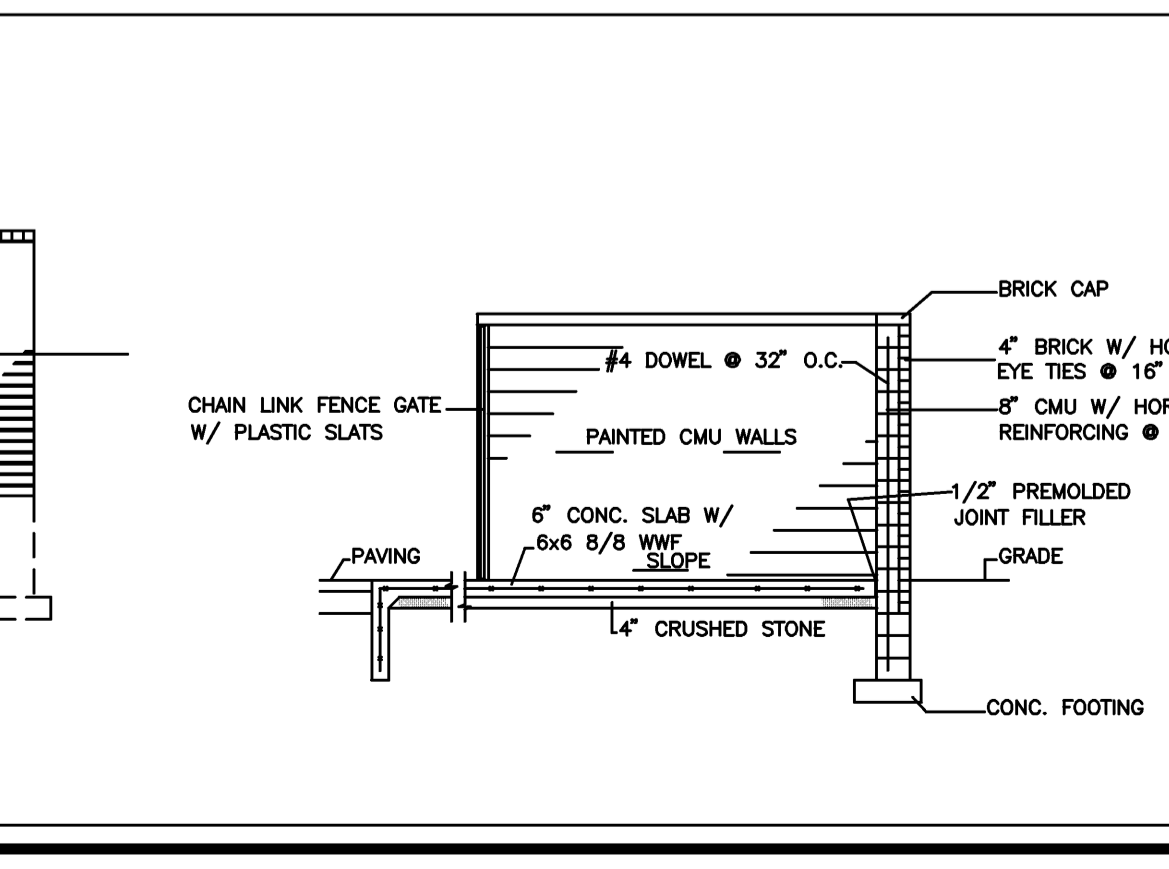
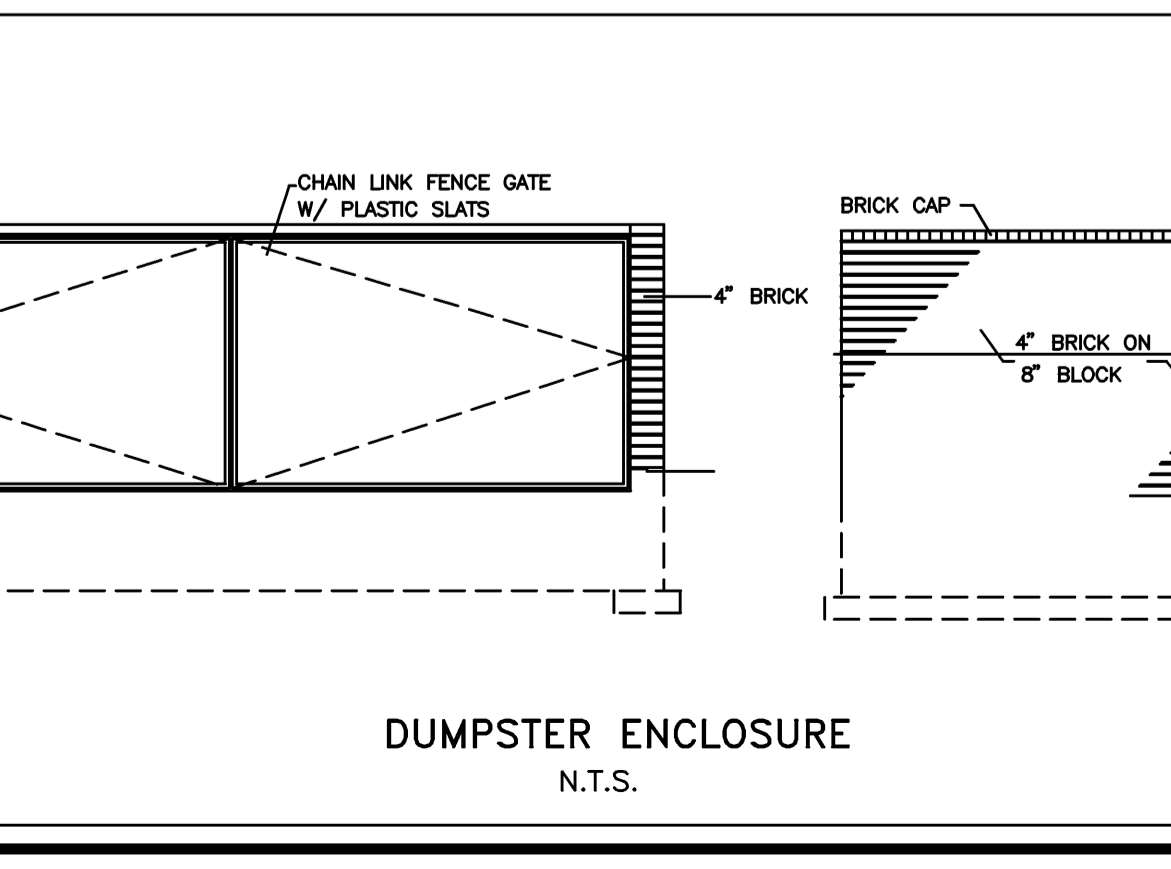
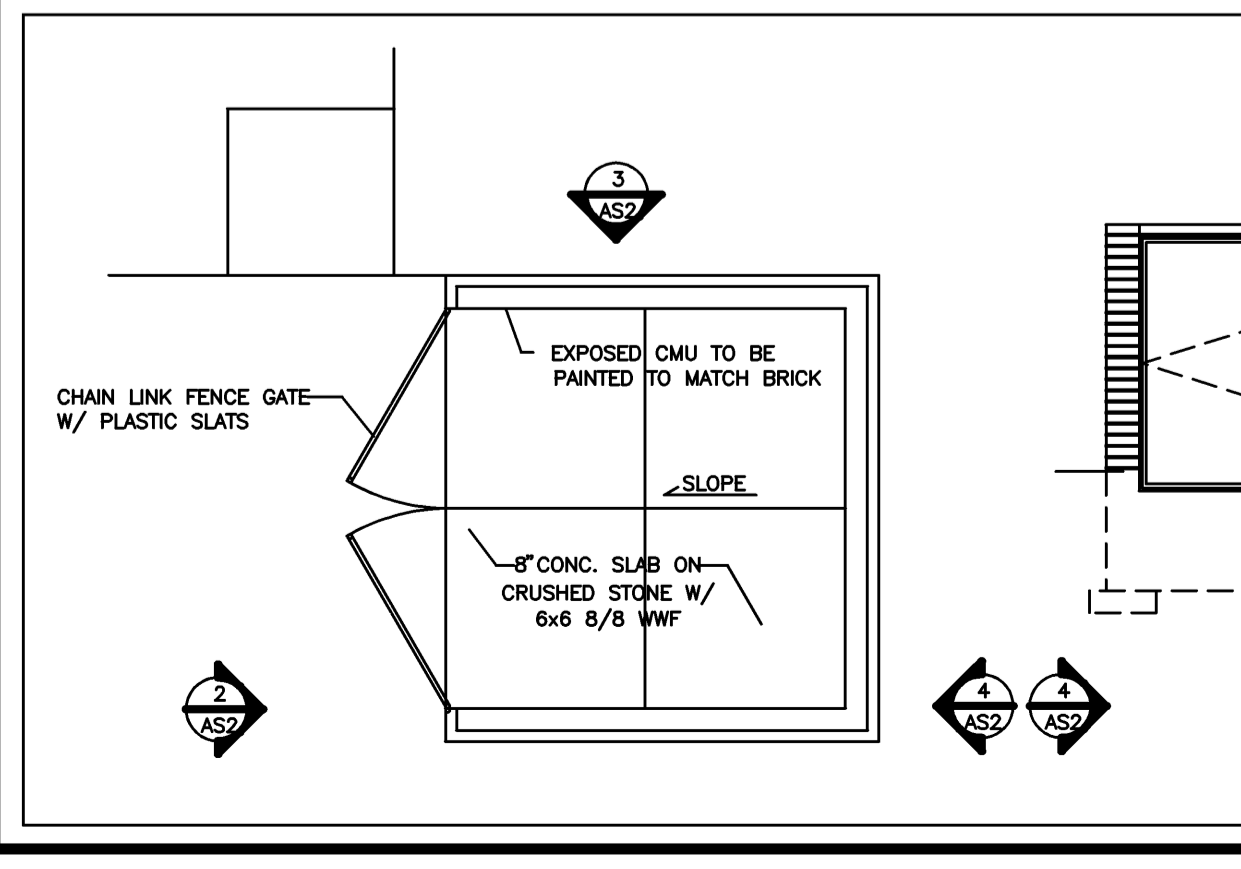
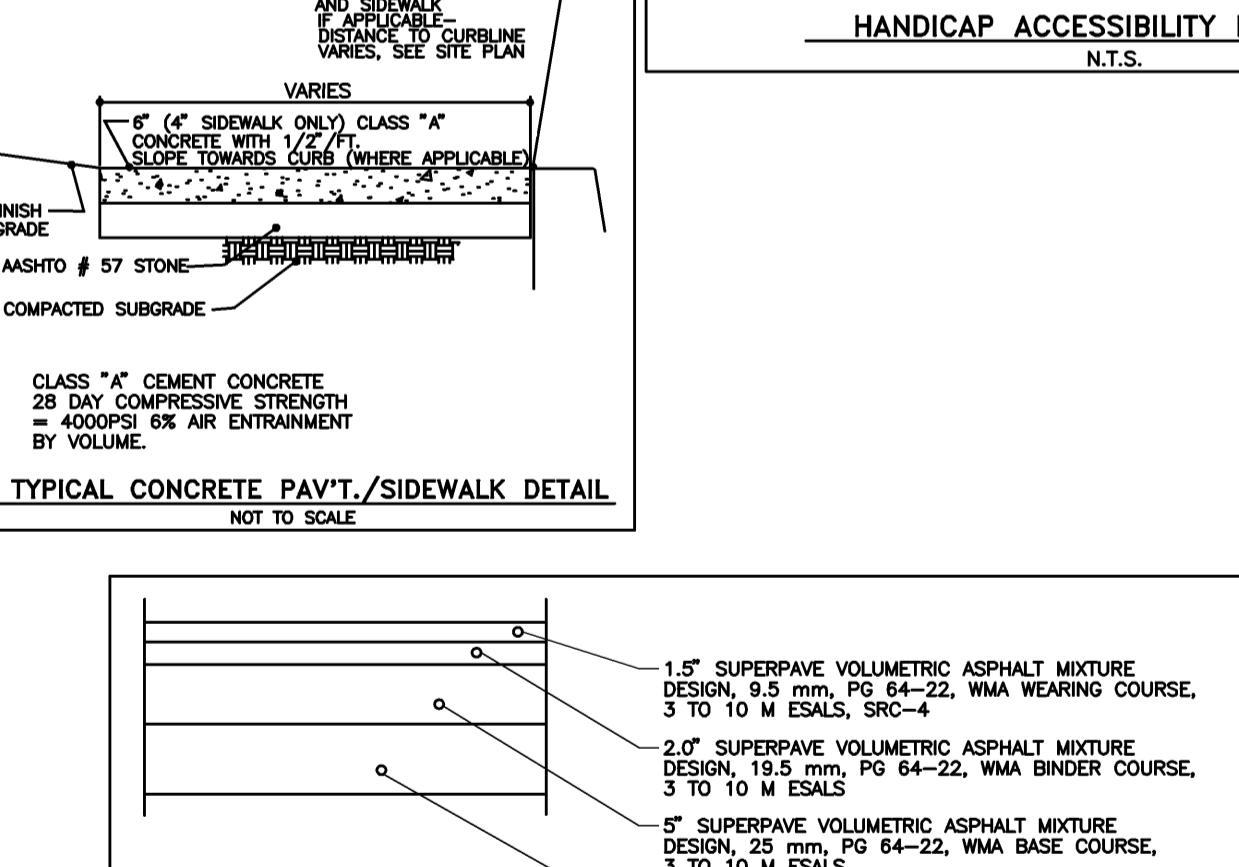
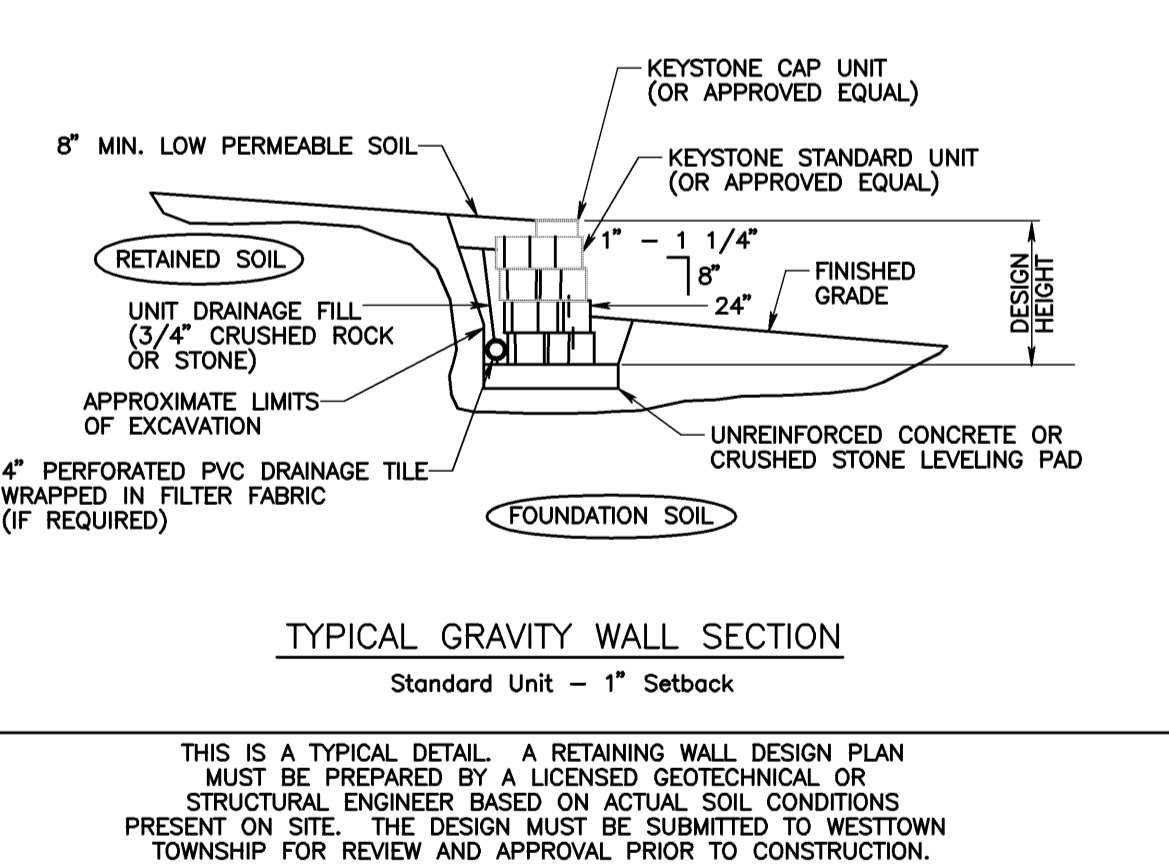
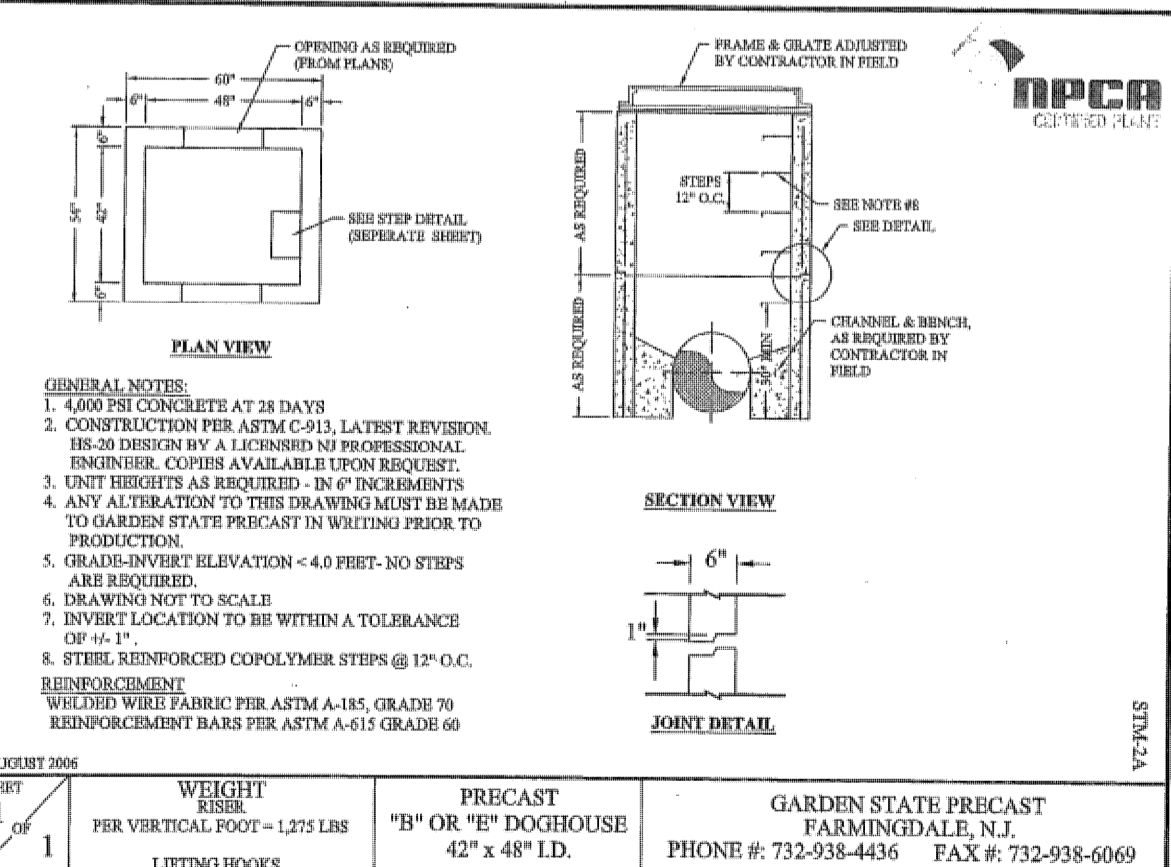
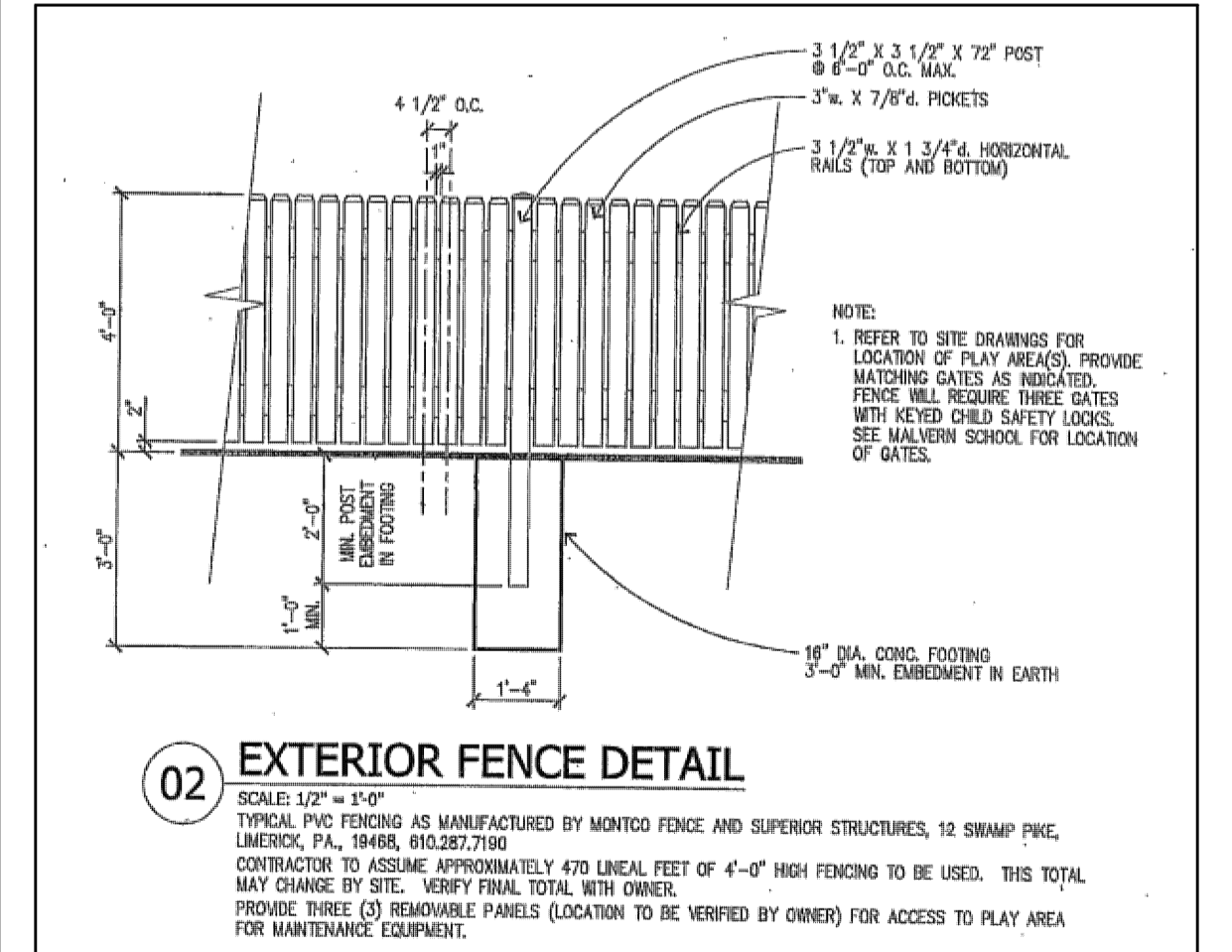
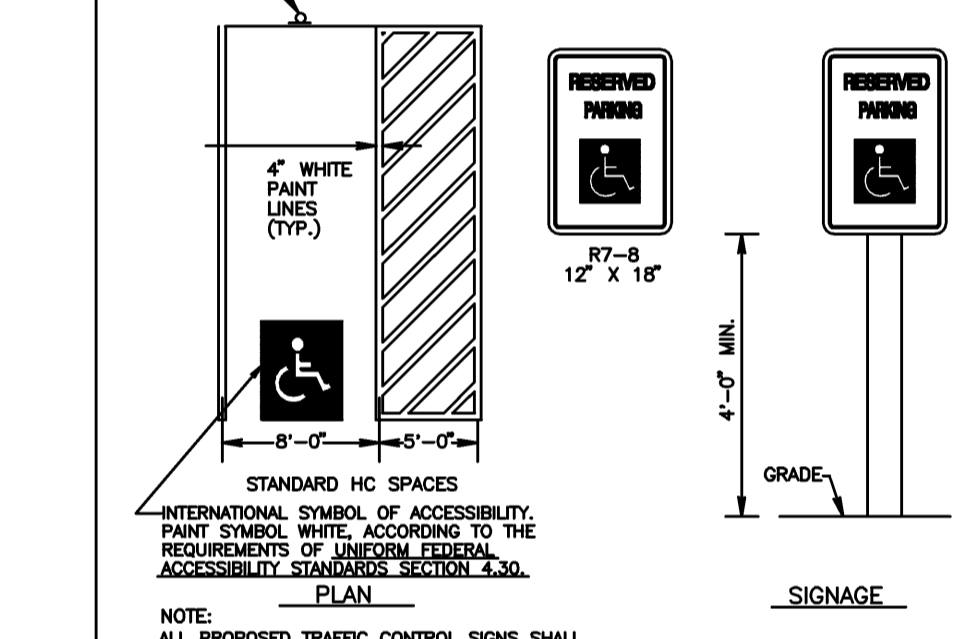
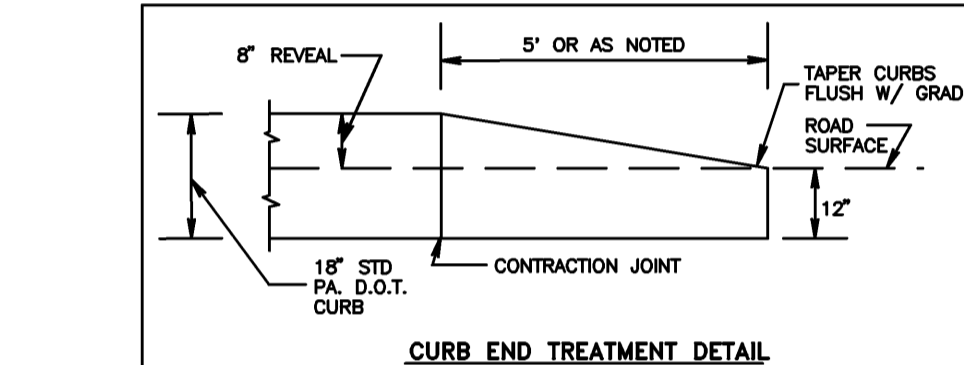
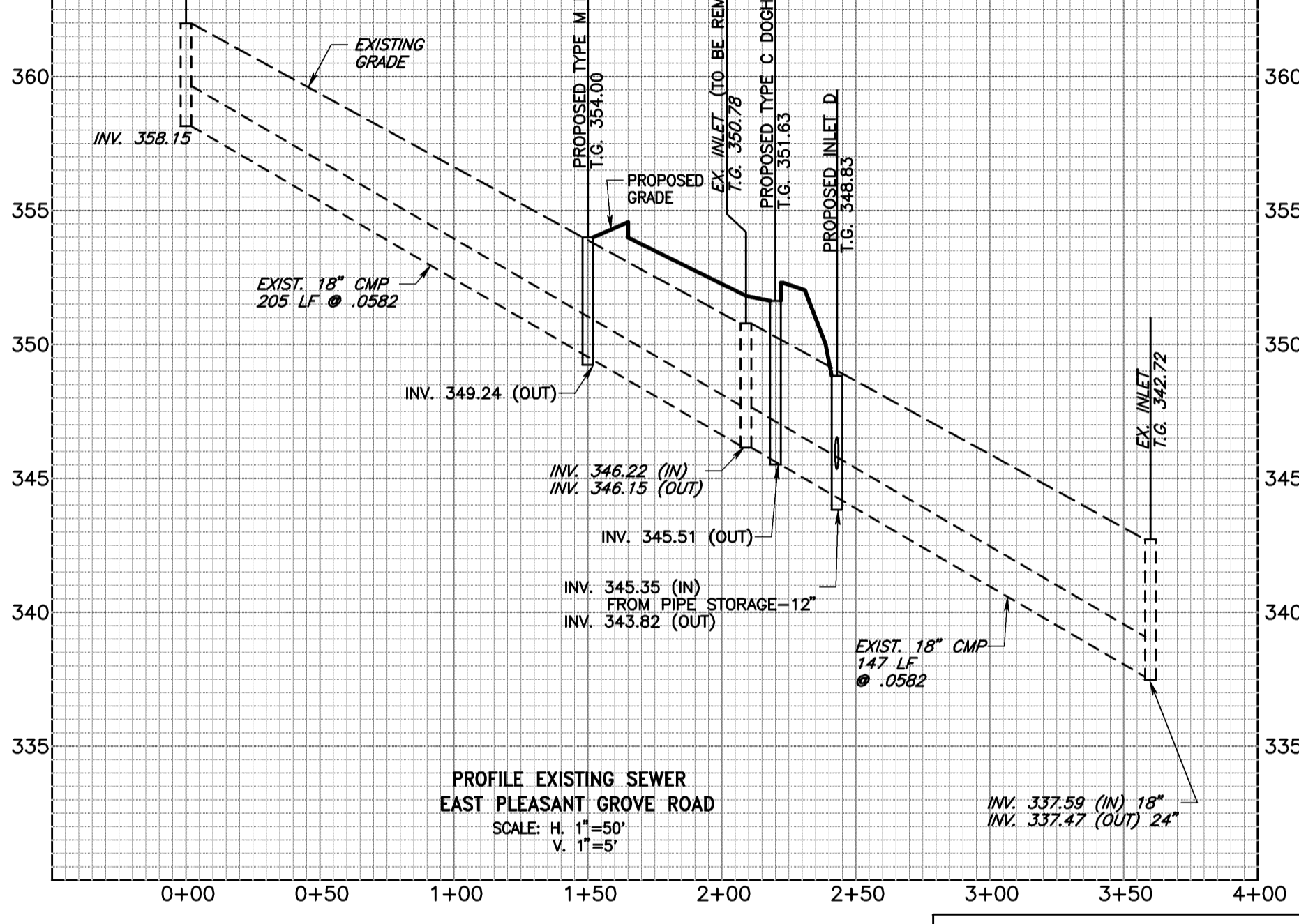
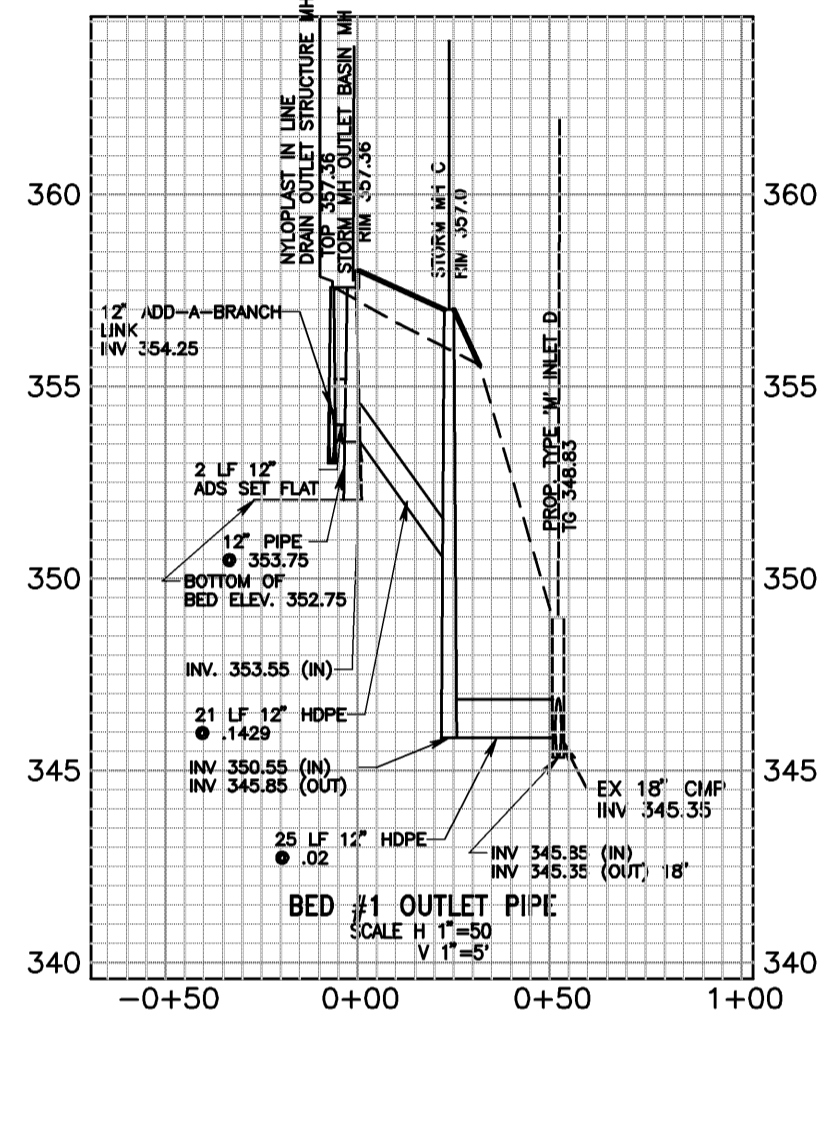
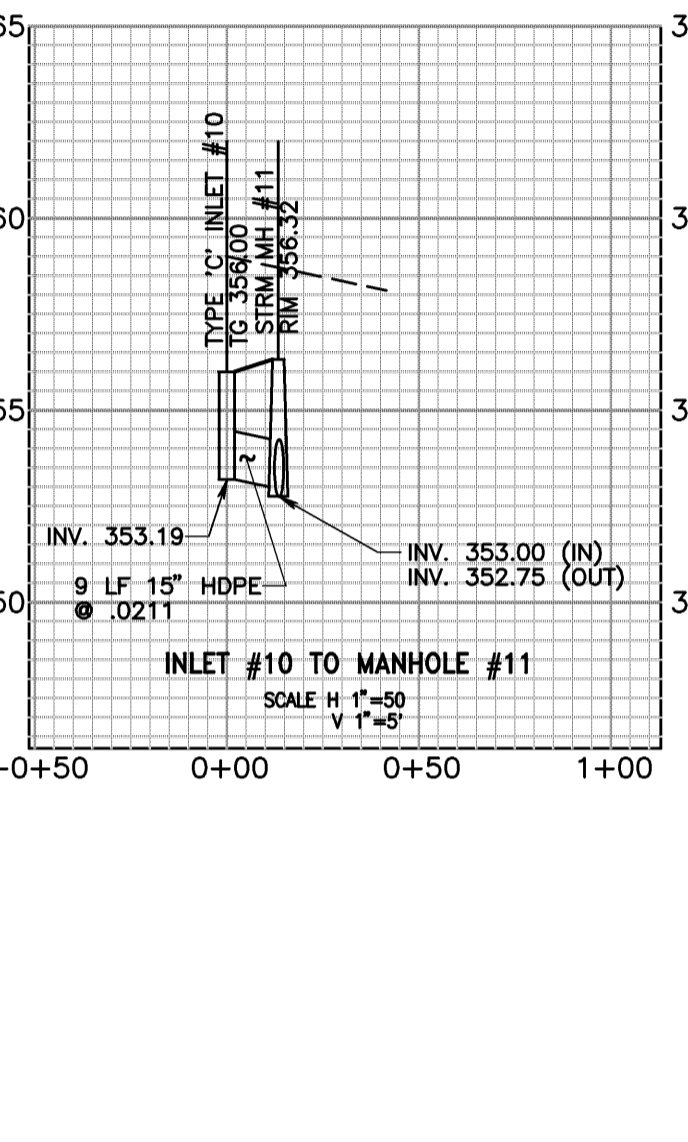
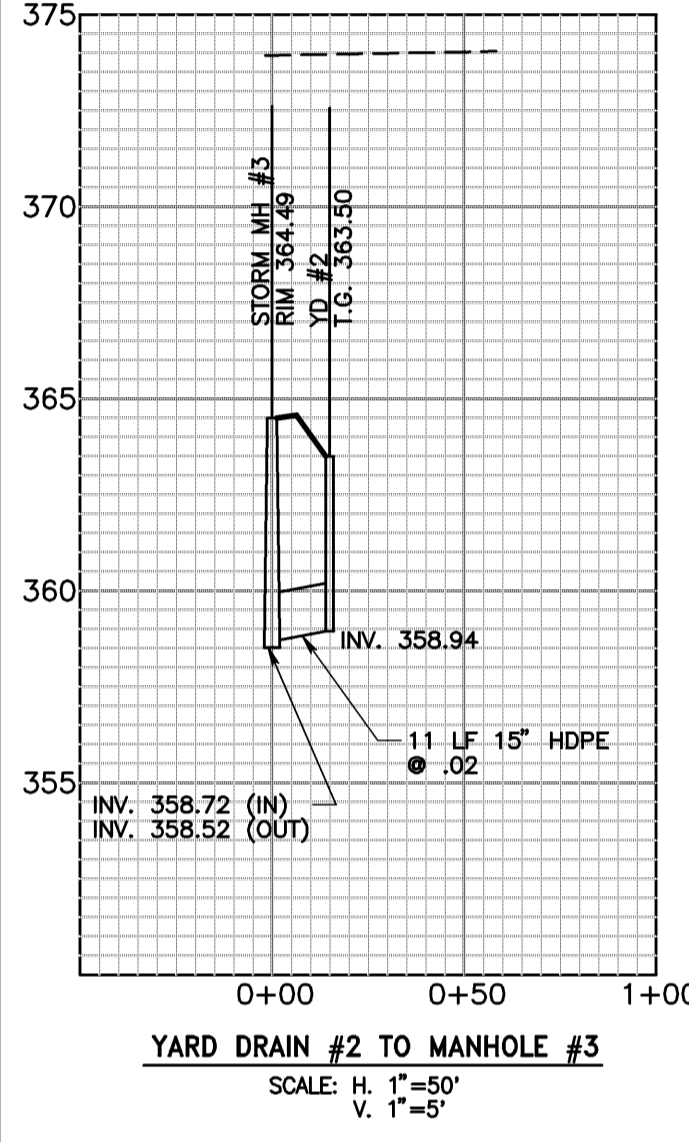
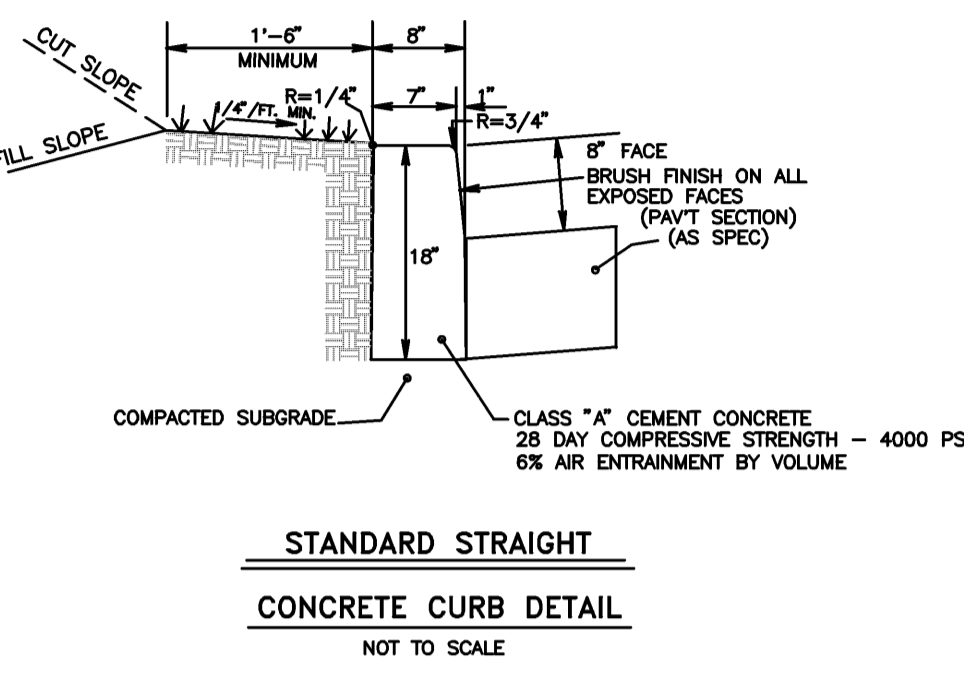
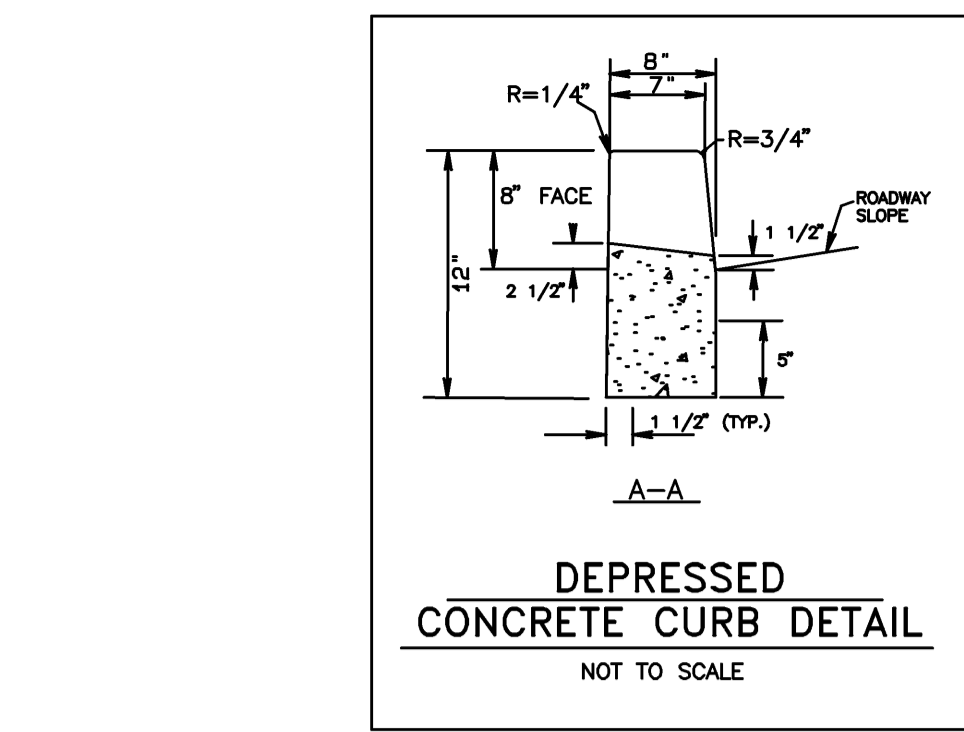
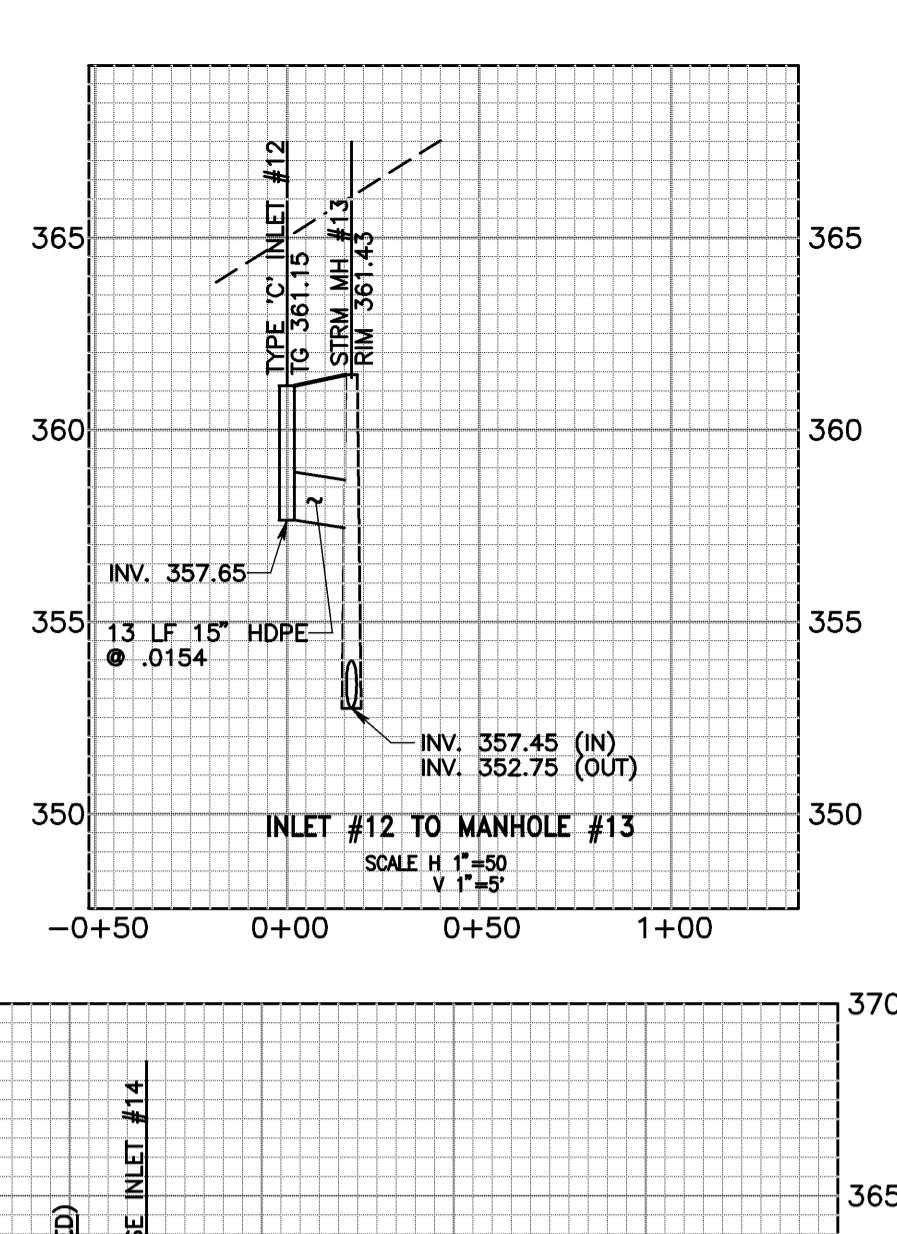
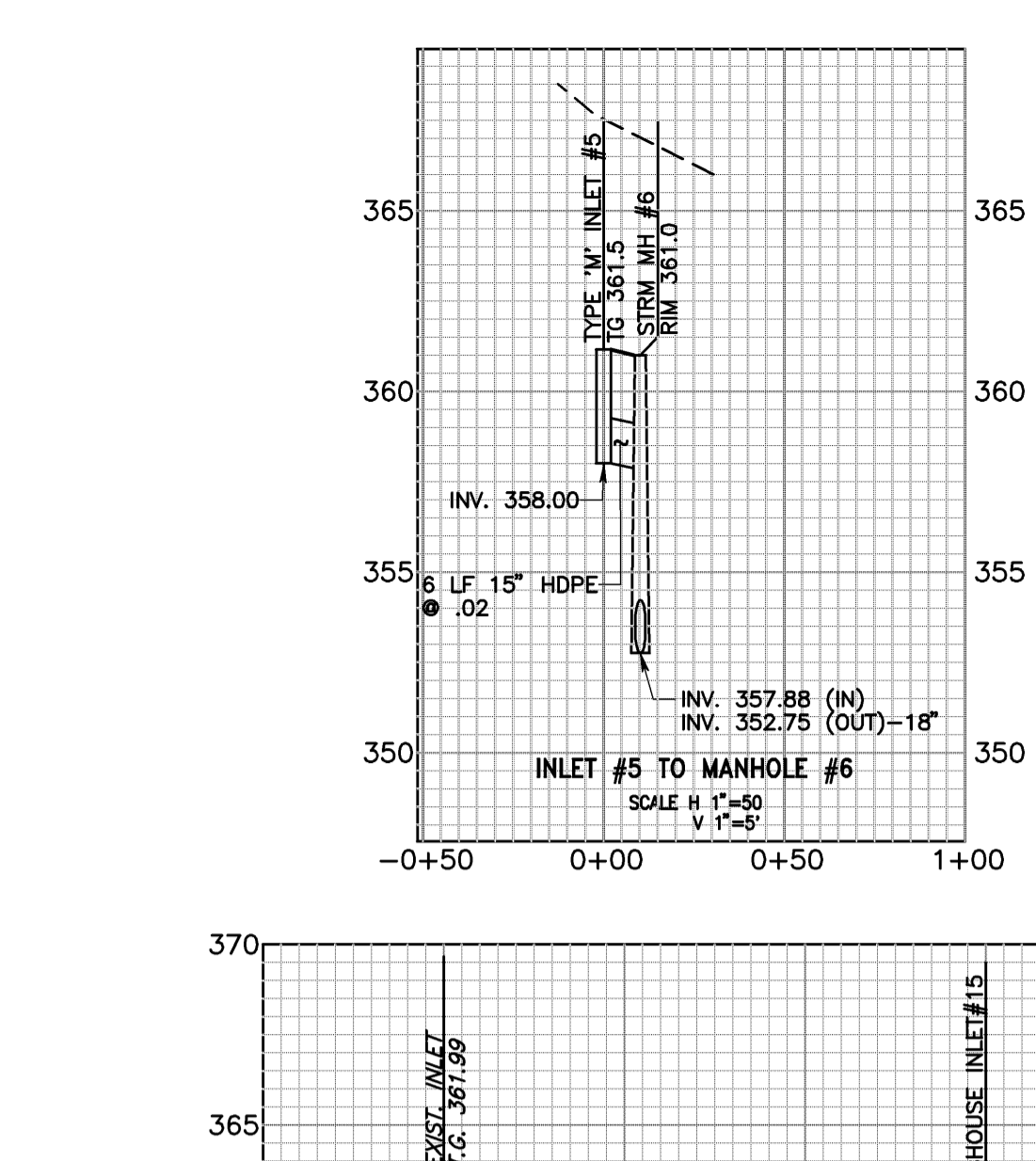
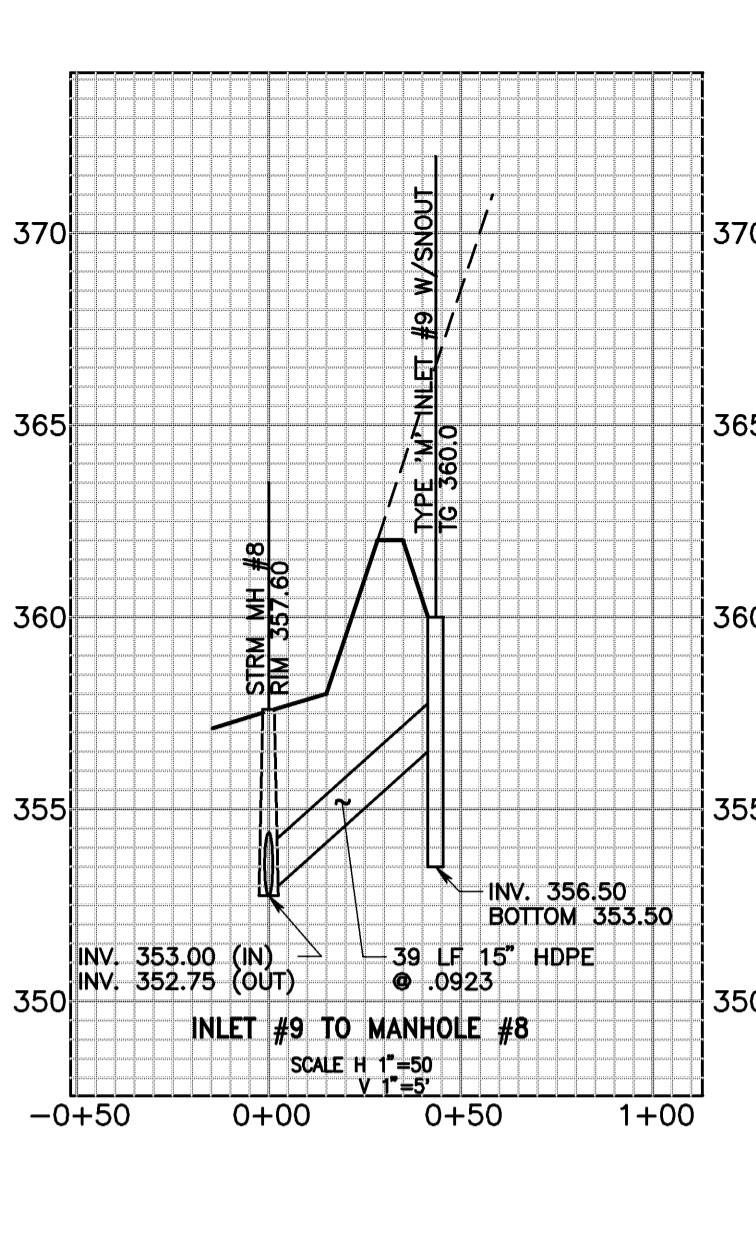
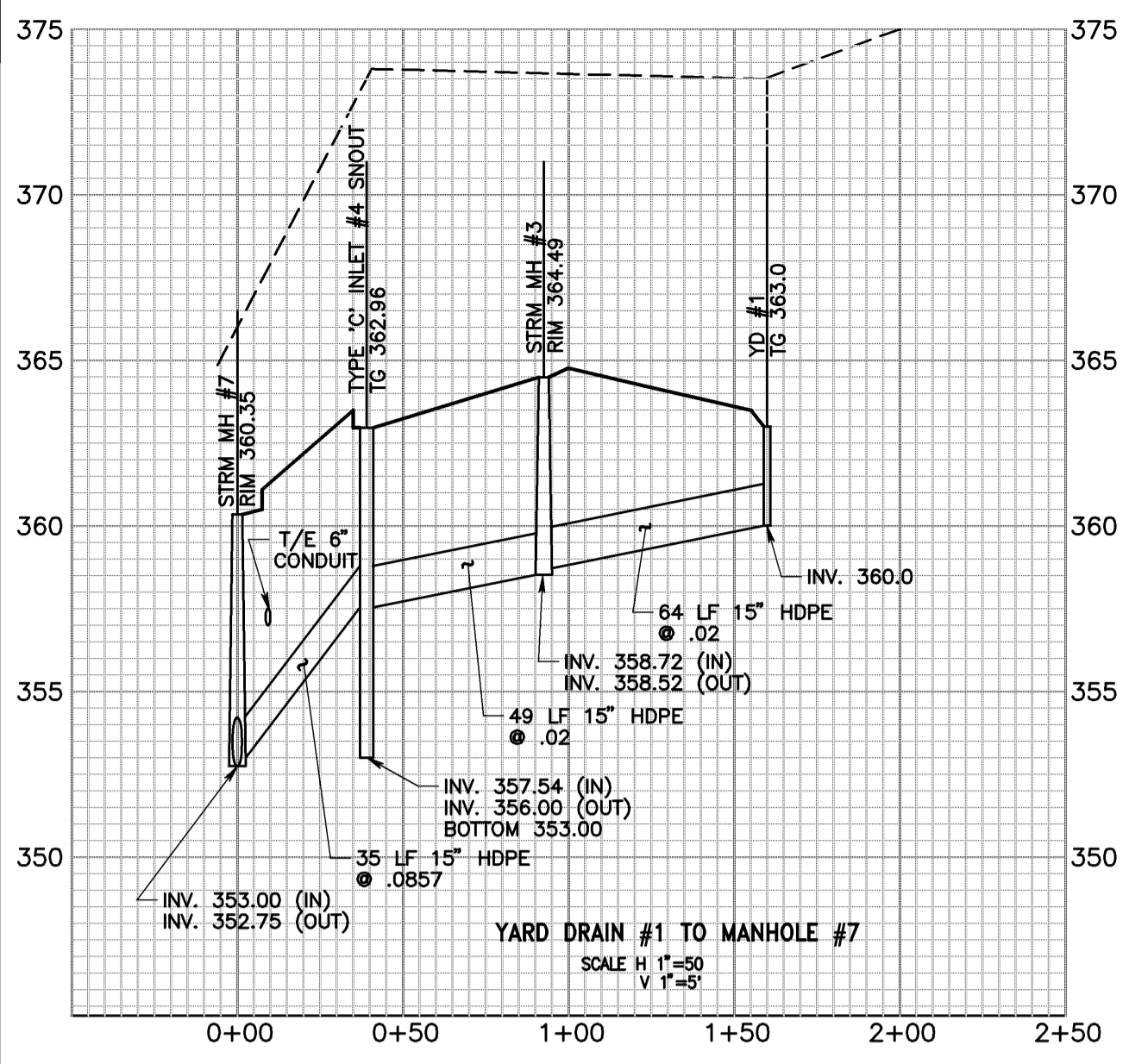
WESTTOWN TOWNSHIP CHESTER COUNTY, PA.  
Edward B. Walsh & Associates, Inc.  
CIVIL ENGINEERS & SURVEYORS

Project- 4432  
Date- 11-14-18  
Scale- 1"= 30'  
Drawn- LR/MF  
Checked- A.E.  
Sheet- 8 OF 10

125 Dowtin Forge Rd.  
Eaton, Pennsylvania 19341  
Phone: 610-903-0060  
Fax: 610-903-0080

Plotted: 3/14/2019 File: F:\JB\4432\4432-92.pro





**ORDER**

AND NOW, this 15<sup>th</sup> day of October, 2018, upon the application of Malvern School Real Estate, L.P., for conditional use approval pursuant to §170.2009 and §170.801.B of the Westtown Township Zoning Ordinance to permit a two-story 11,000 square foot building to be used for an educational use and daycare center with 49 parking spaces and a 10,000 square foot outside playground area for the property located at 1081 Wilmington Pike (UPI No. 67-4-38), West Chester, Pennsylvania in the R-3 Residence Office Zoning District of the Township, IT IS HEREBY

ORDERED that the relief requested shall be GRANTED, subject to the following conditions:

- The Applicant shall prepare and submit a compliant land development plan within six months of the date of the Decision and Order of the Board of Supervisors. This compliant land development plan shall demonstrate satisfaction with all stated conditions of the Order.
- The Applicant shall fully comply with the requirements of the Township's landscaping ordinance(s) and provide for adequate screening during land development except as modified by waiver herein.
- As part of land development, the Applicant shall demonstrate compliance with all outstanding comments in the June 15, 2018 and August 3, 2018 review letters from McCormick Taylor (Exhibits B-5 and B-6, respectively).
- The Applicant shall coordinate with the Township Engineer during land development to select the vegetation and landscaping that will best assist the Township to reach the goals and requirements of the Pennsylvania Department of Environmental Protection (PADEP) MS4 Program. Such provisions will address concerns regarding water quality such as phosphorus reduction in the watersheds.
- The Applicant shall confirm with the Township's Sewer Engineer and PADEP that there is adequate capacity for the proposed facilities.
- Following the design and construction process, the Applicant shall install a bi-directional amplifier within the daycare use if determined to be necessary by the Chief of Police of the Westtown - East Golden Police Department.
- The Applicant shall provide a detail and construct a fence that is durable and child safe in the play areas associated with the daycare. The fence shall have gated access, discourage climbing, and prevent entrapment or associated injuries.
- The proposed construction and use of the subject property shall be in conformance with the plans, specifications, testimony and evidence presented to the Board except as modified by these conditions.

BOARD OF SUPERVISORS  
WESTTOWN TOWNSHIP

Carol R. DeWolf, Chairman  
Scott H. Yaw  
Michael T. DiDomenico

SIGNATURE PAGE TO THE DECISION OF THE WESTTOWN TOWNSHIP BOARD OF SUPERVISORS ON THE CONDITIONAL USE APPLICATION OF MALVERN SCHOOL REAL ESTATE, L.P. DATED OCTOBER 15, 2018

**PRELIMINARY/FINAL  
PROFILES AND DETAILS PLAN**

2	3-24-19	ADDED BOLLARDS AT ENTRANCE
1	1-28-19	REVISED PER ENGINEER COMMENTS

**SUBDIVISION/LAND DEVELOPMENT  
FOR  
THE MALVERN SCHOOL**

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.  
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS

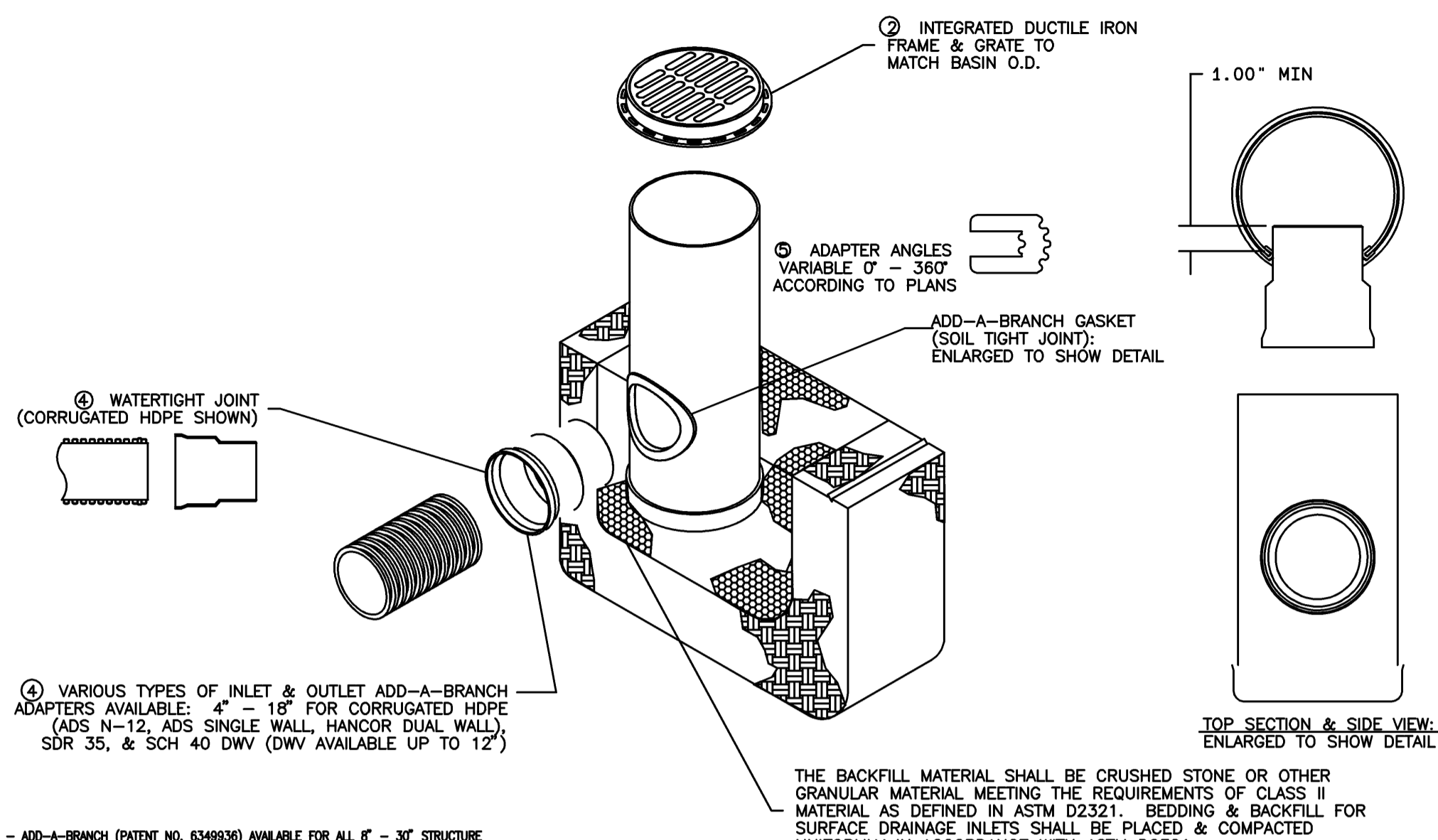
125 Dowlin Forge Rd.  
Eston, Pennsylvania 19341  
Phone: 610-903-0060  
Fax: 610-903-0080

Project- 4432  
Date- 11-14-18  
Scale- 1"= 30'  
Drawn- LR  
Checked- A.E.  
Sheet- 9 OF 10

Plotted: 3/14/2019 File: F:\JB\4432\4432-B2.plo



NYLOPLAST DRAIN BASIN WITH ADD-A-BRANCH



1 - ADD-A-BRANCH (PATENT NO. 634930) AVAILABLE FOR ALL 6\"/>

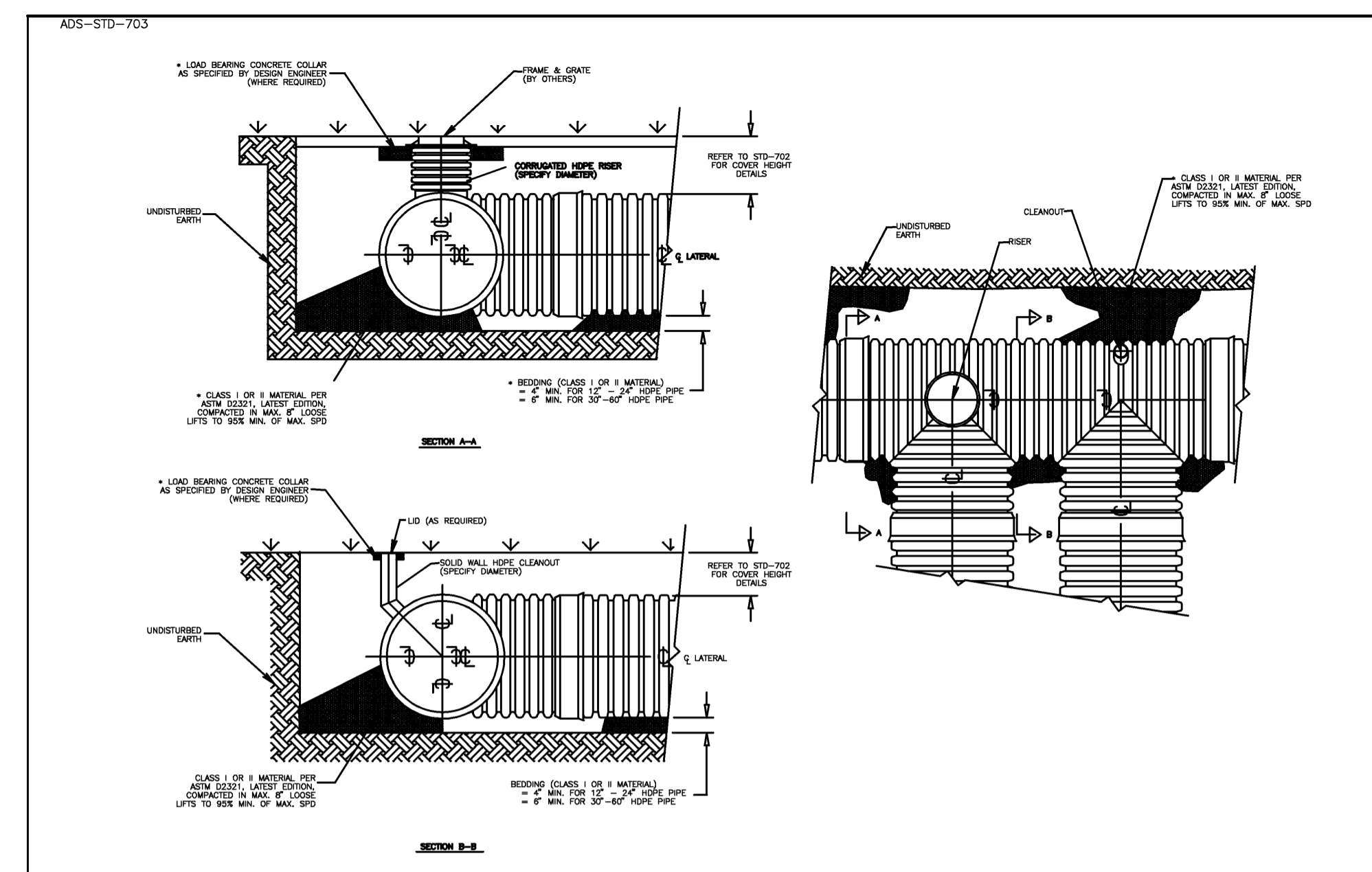
2 - FRAMES, GRATES, HOODS, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-30, WITH THE EXCEPTION OF THE BRIDGE GRATES.

3 - BRASS BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. BRASS CONNECTION STUB JOINT THICKNESS SHALL CONFORM TO ASTM D312 FOR CORRUGATED HDPE AND HANOKR DUAL WALL & 3/8\"/>

4 - ADD-A-BRANCH ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 0110-110-005, 0110-110-006, 0110-110-007, & 0110-110-008.

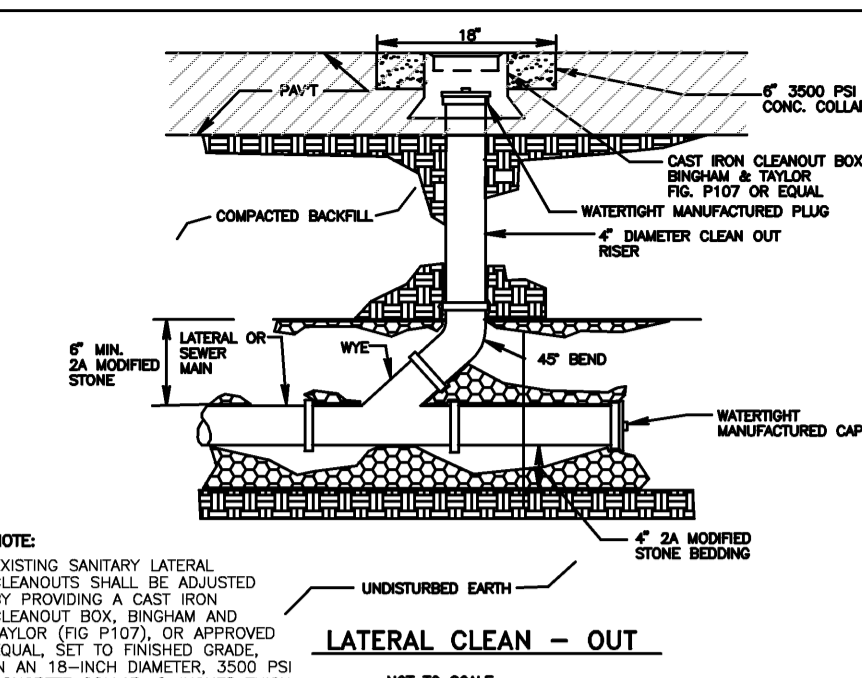
THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE REPRODUCTION OR POSSESSION OF THIS PRINT DOES NOT CONSTITUTE AN AGREEMENT BY NYLOPLAST TO LICENSE OR TO TRANSFER OR TO ASSIGN THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF NYLOPLAST IS STRICTLY FORBIDDEN EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

DRAWN BY: EBC DATE: 5-9-06 MATERIAL: NYLOPLAST  
 APP'D BY: CJA PROJECT NO./NAME: DRAIN BASIN WITH ADD-A-BRANCH  
 DATE: 5-9-06 DWG NO.: 0110-110-009 REV B



ADVANCED DRAINAGE SYSTEMS, INC. (ADS) HAS PREPARED THIS DESIGN BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO DETECT THE COMPONENTS FOR REVISIONS AND HAS NOT PERFORMED ANY INVESTIGATION OF DESIGN CONDITIONS FOR THE PROJECT. THE DESIGN ENGINEER SHALL VERIFY THE INFORMATION PROVIDED FOR REVISIONS AND GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC TO THIS PROJECT. THE DESIGN ENGINEER SHALL VERIFY THE DESIGN PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DESIGN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO INSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

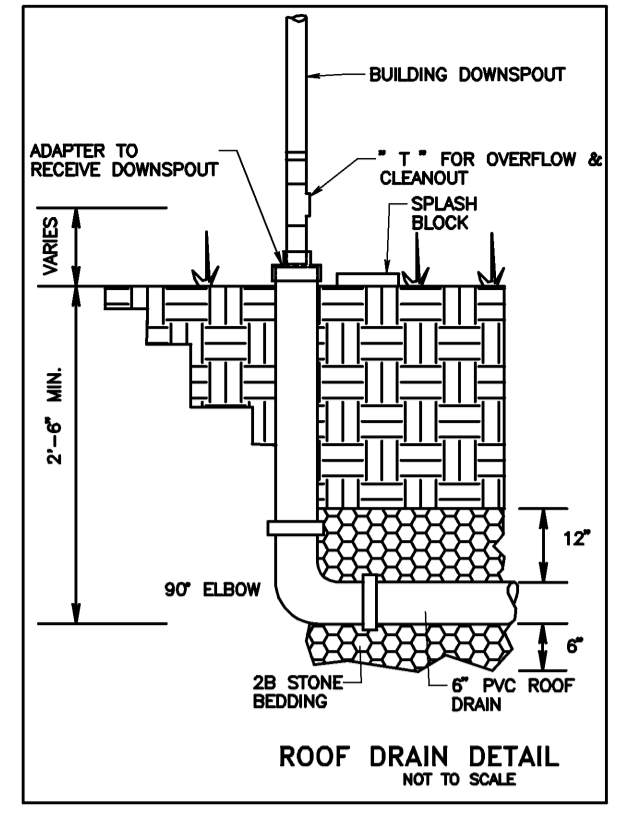
2007 ADS, INC.



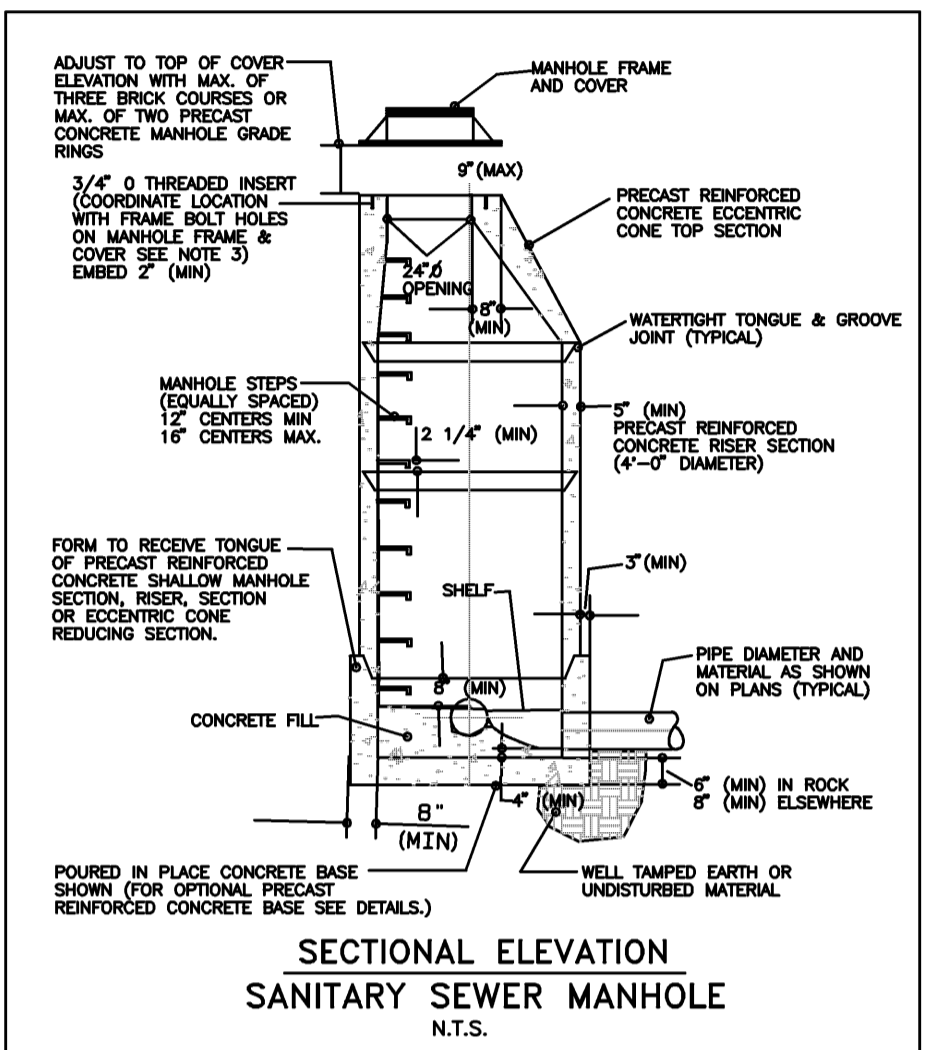
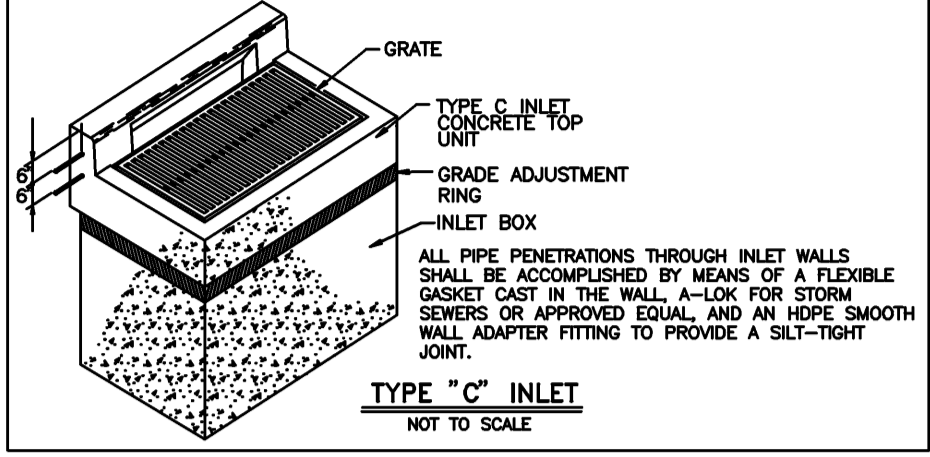
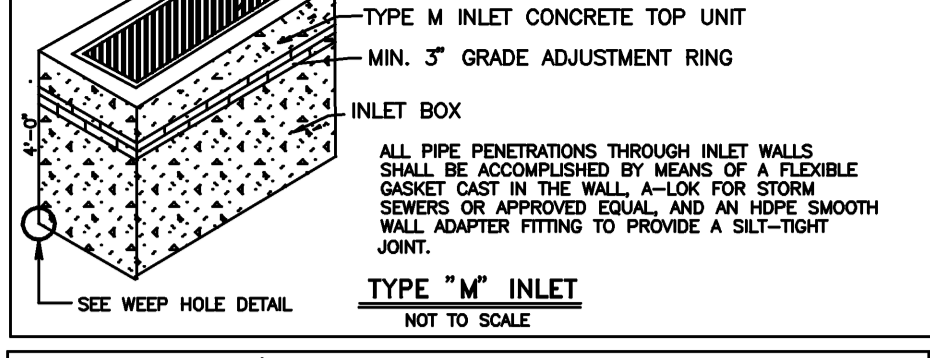
EXISTING SANITARY LATERAL CLEANOUTS SHALL BE ABOLISHED BY PROVIDING A CAST IRON CLEANOUT BOX, BRASS AND TAYLOR (T2 P107), OR APPROVED EQUAL, SET TO FINISHED GRADE IN AN 18-INCH DIAMETER, 3500 PSI CONCRETE COLLAR, 6-INCHES THICK.

WESTTOWN TOWNSHIP

NOTE: CONTRACTOR IS RESPONSIBLE FOR TRENCH WALL OUTBACK TO MEET OSHA STANDARDS.



EXISTING SANITARY LATERAL CLEANOUTS SHALL BE ABOLISHED BY PROVIDING A CAST IRON CLEANOUT BOX, BRASS AND TAYLOR (T2 P107), OR APPROVED EQUAL, SET TO FINISHED GRADE IN AN 18-INCH DIAMETER, 3500 PSI CONCRETE COLLAR, 6-INCHES THICK.



ADJUST TO TOP OF COVER ELEVATION WITH MAX. OF THREE BRICK COURSES OR MAX. OF TWO PRECAST CONCRETE MANHOLE RINGS.

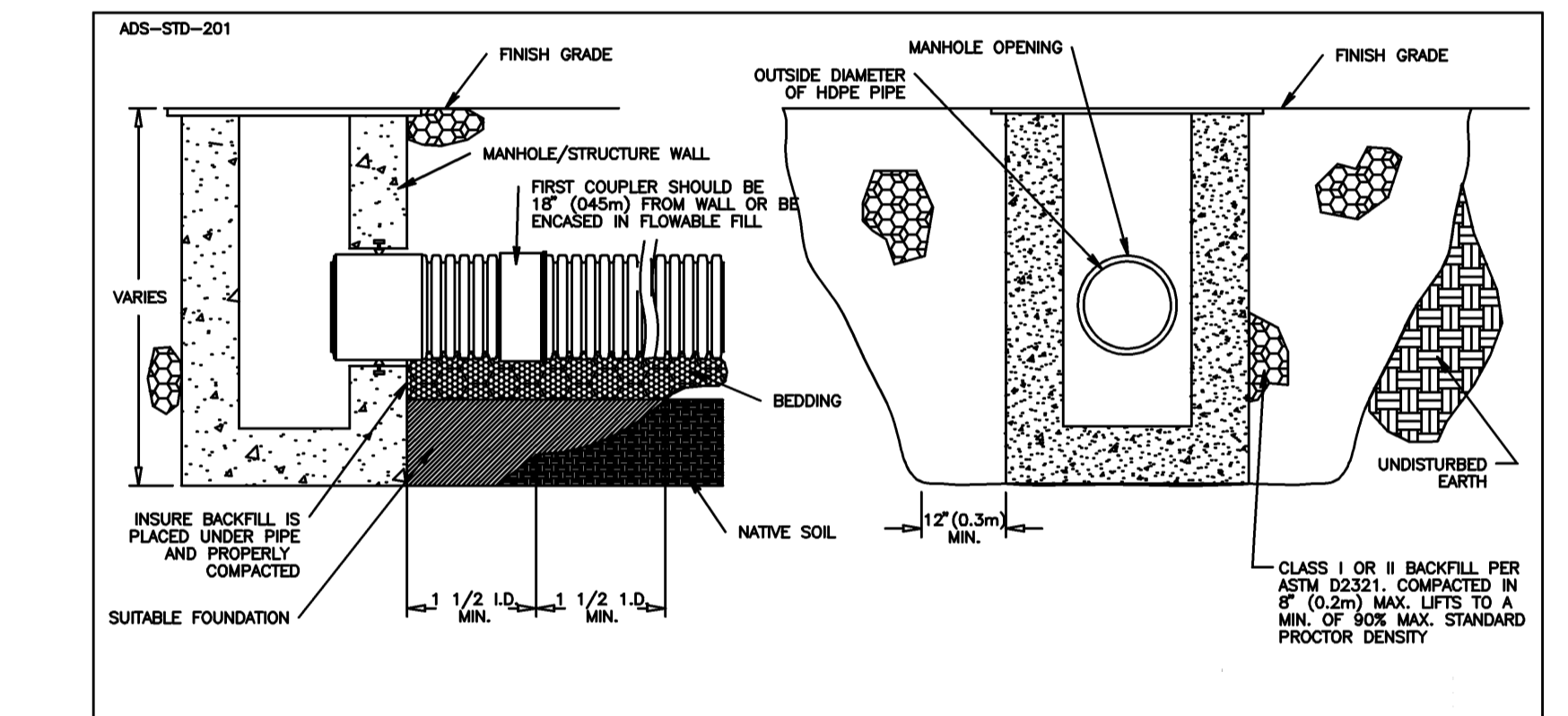
3/4\"/>

FORM TO RECEIVE TONGUE OF PRECAST REINFORCED CONCRETE SHALLOW MANHOLE SECTION, RISER SECTION OR ECCENTRIC CONE REDUCING SECTION.

CONCRETE FILL

POURED IN PLACE CONCRETE BASE SHOWN FOR OPTIONAL PRECAST REINFORCED CONCRETE BASE (SEE DETAILS).

SECTIONAL ELEVATION  
SANITARY SEWER MANHOLE  
N.T.S.



INSURE BACKFILL IS PLACED UNDER PIPE AND PROPERLY COMPACTED.

SUITABLE FOUNDATION

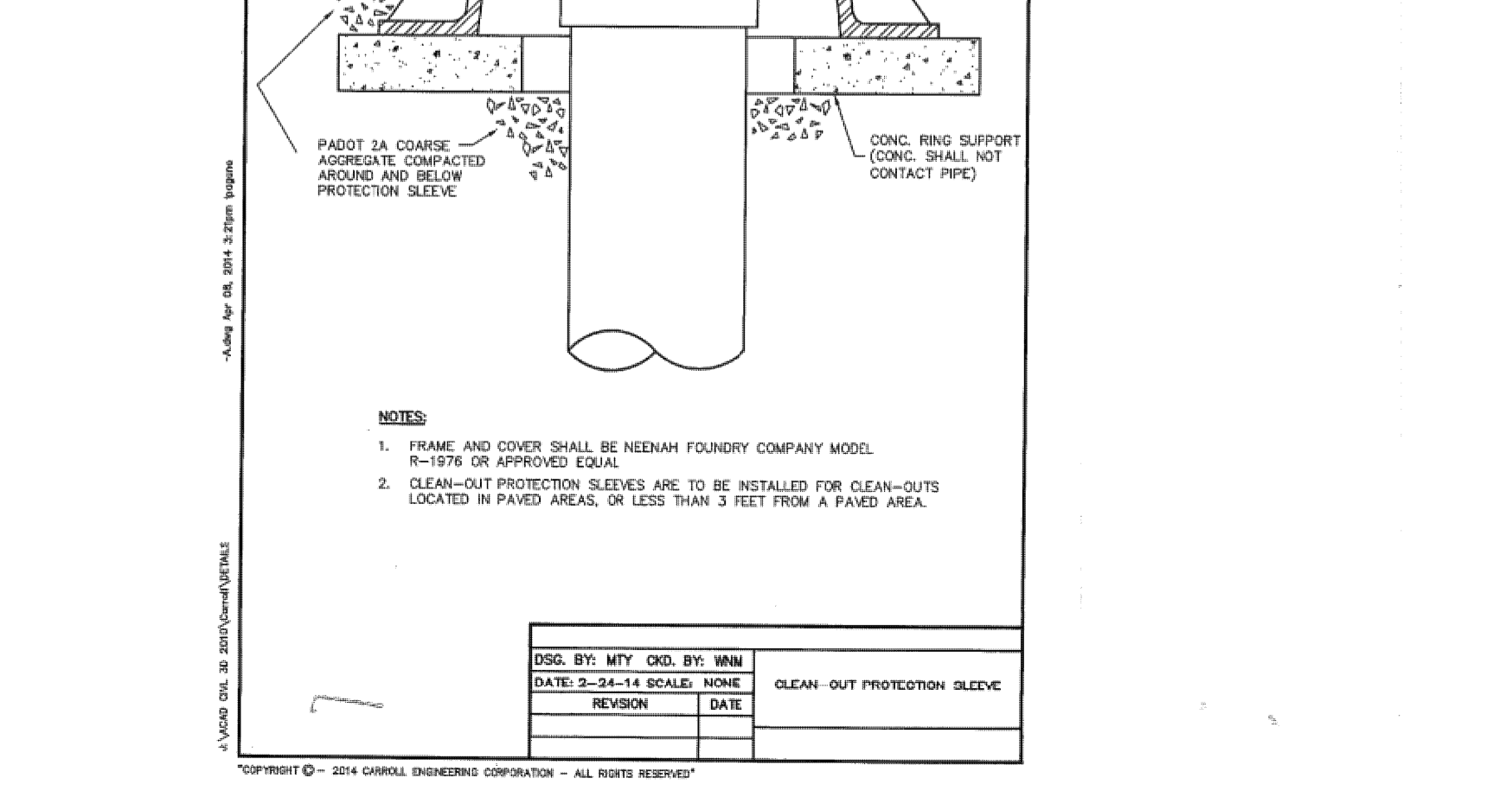
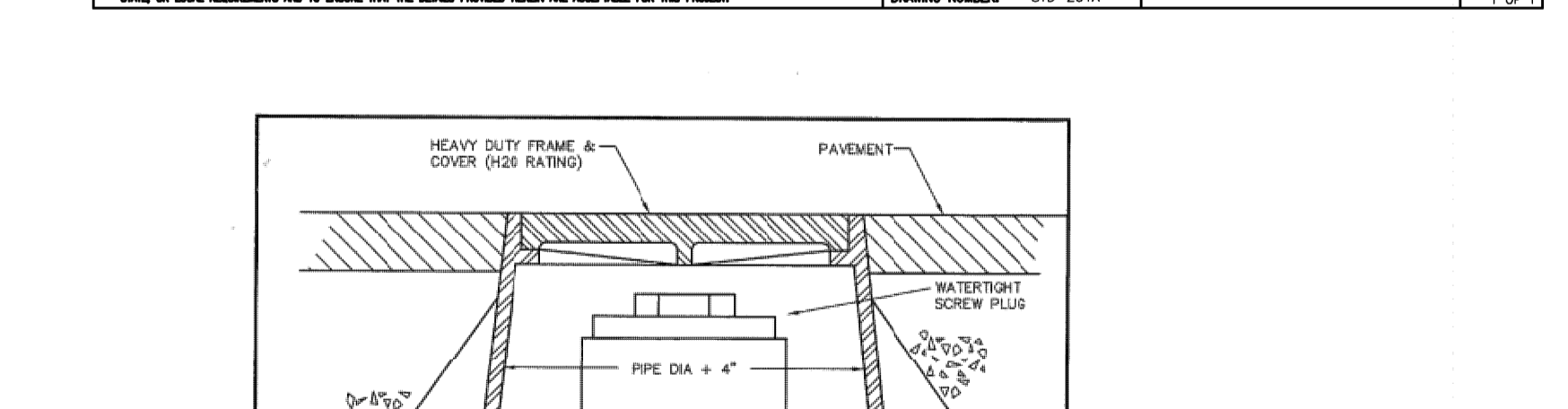
1 1/2\"/>

1 1/2\"/>

CLASS I OR II BACKFILL PER ASTM D2321, COMPACTED IN 6\"/>

NOTES:

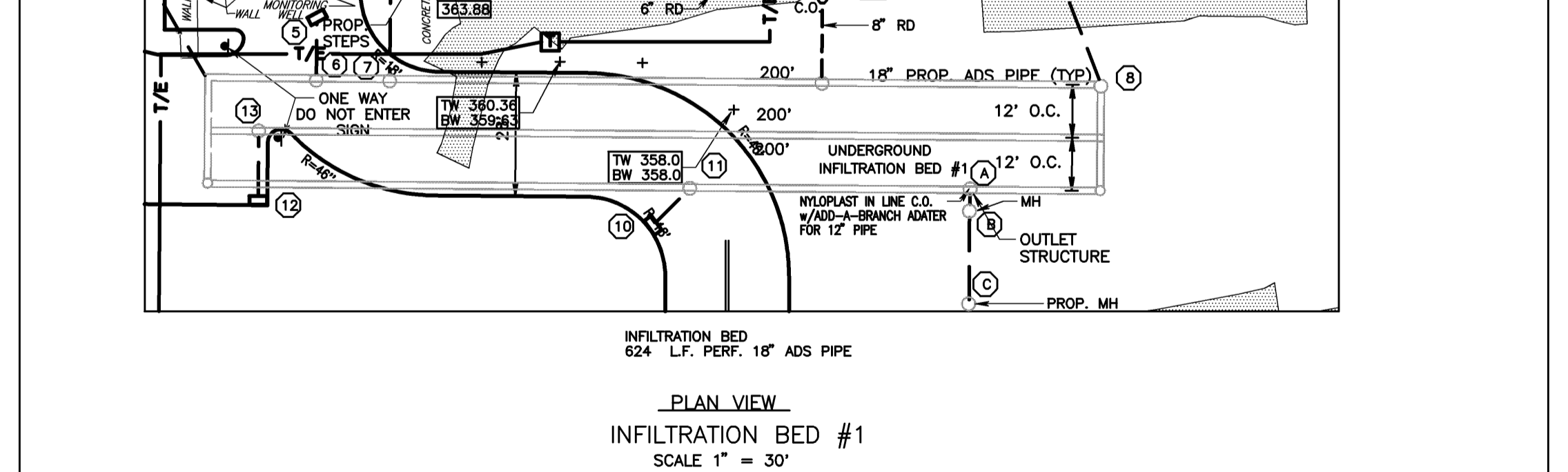
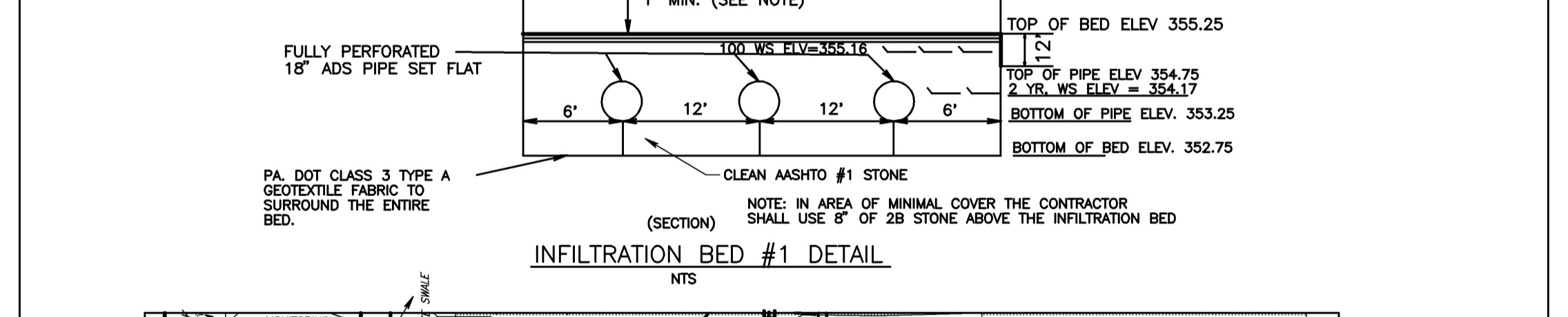
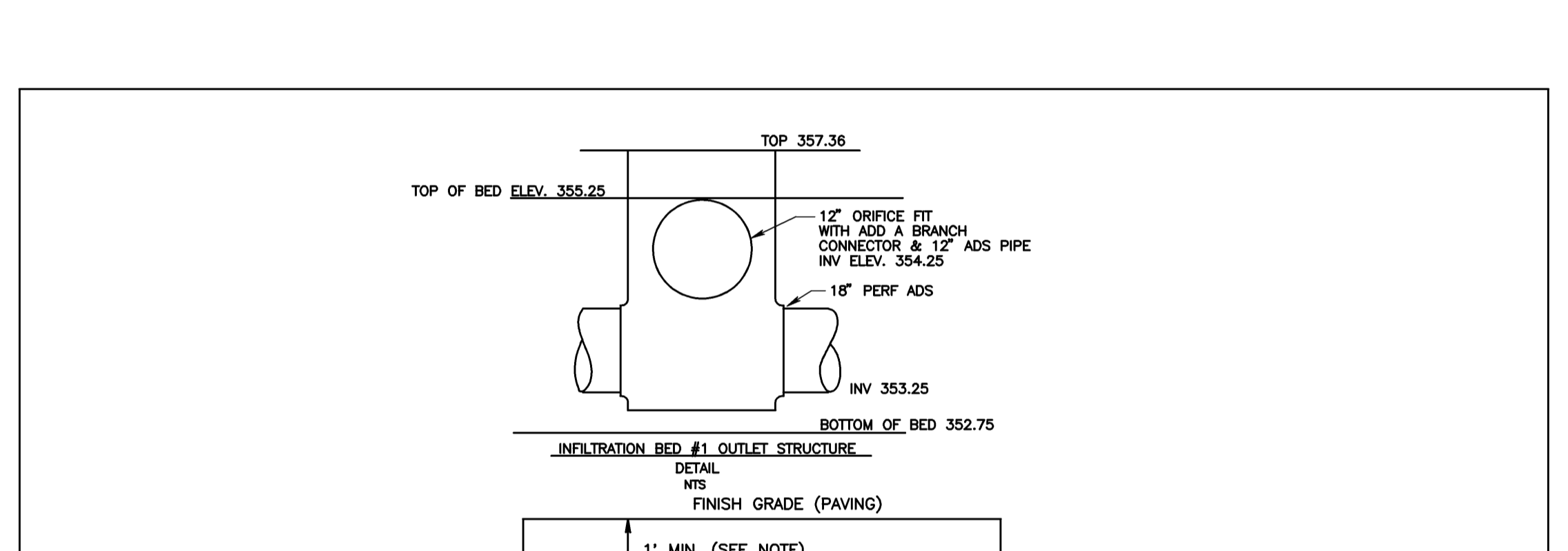
- MAXIMUM INSERTION ANGLE SHALL NOT EXCEED REQUIREMENTS AS SPECIFIED BY THE MANUFACTURER.
- SEE STANDARD DETAILS STD-202 (A-B) THROUGH STD-204 (A-E) FOR STRUCTURE CONNECTIONS, PRODUCT INFORMATION AND DIMENSIONAL PIPE DATA. INSTALLATION RECOMMENDATIONS ARE ALSO SPECIFIED IN TECHNICAL NOTE ADS-HR CONNECTIONS TO MANHOLES AND STRUCTURES.
- PERFORMANCE HIGHLY DEPENDENT ON INSTALLATION. CONTRACTOR MUST INSURE MANHOLE GASKET IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA PRECAUTIONS MUST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE AND MANHOLE.



NOTES:

- FRAME AND COVER SHALL BE NENAH FOUNDRY COMPANY MODEL 8-1876 OR APPROVED EQUAL.
- CLEAN-OUT PROTECTION SLEEVES ARE TO BE INSTALLED FOR CLEAN-OUTS LOCATED IN PAVED AREAS, OR LESS THAN 3 FEET FROM A PAVED AREA.

DATE: 3-28-18 SCALE: NONE  
 REVISION: DATE: CLEAN-OUT PROTECTION SLEEVE



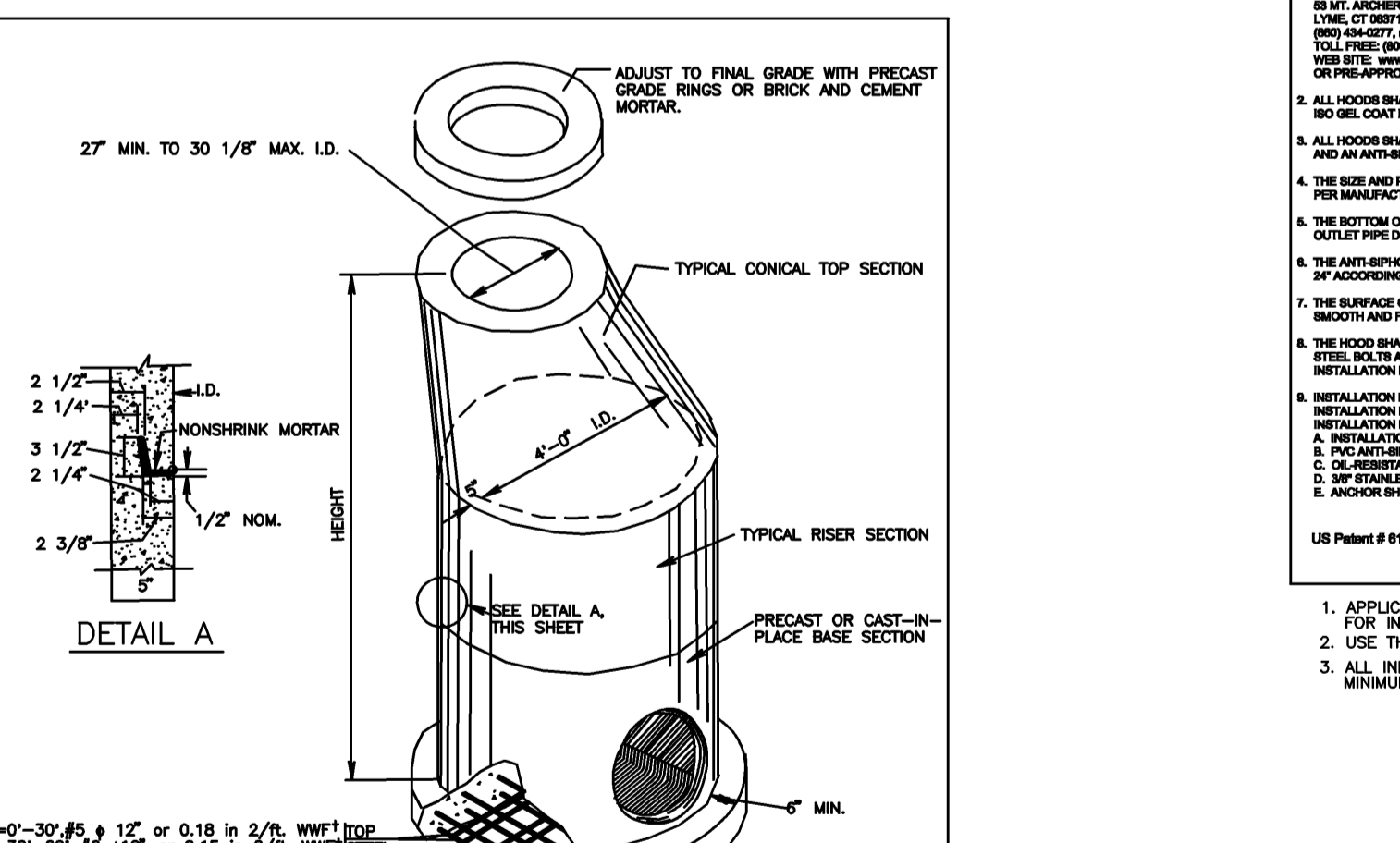
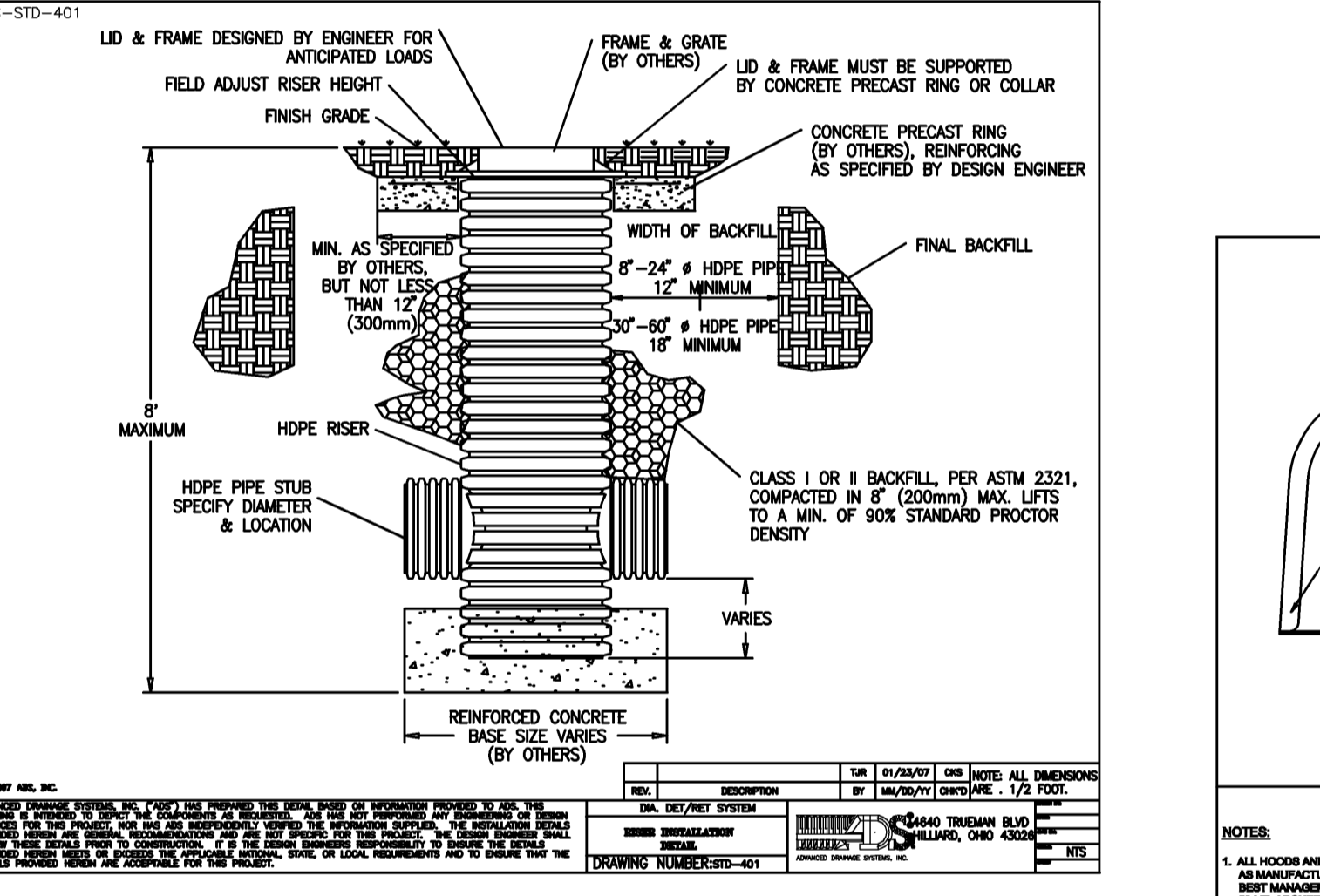
CONSTRUCTION SEQUENCE

- EXCAVATION TO BOTTOM OF SYSTEM TO BE PERFORMED WITH EQUIPMENT FROM OUTSIDE BED AREA OR RUBBER TIRE MACHINE TO AVOID COMPACTION.
- FINE GRADE BOTTOM OF SYSTEM WITH SMALL MACHINE.
- SCARIFY SURFACE AND INSTALL GEOTEXTILE ON BOTTOM AND SIDES OF SYSTEM.
- INSTALL INLET, STONE AND PIPE DISTRIBUTION SYSTEM.
- INSTALL FABRIC OVER TOP OF STONE AREA ENSURING FABRIC OVERLAP IS PROVIDED.
- BACKFILL OVER FABRIC WITH SUBSOIL AND PARKING LOT SUBBASE.
- INSTALL PAVING.
- INSTALL PLYWOOD SHEET UNDER INLET GRATES. PLYWOOD IS TO REMAIN UNTIL ALL UPSLOPE AREAS ARE STABILIZED WITH VEGETATION. (MINIMUM OF 70% COVER).

NOTES:

INSTALLATION OF INFILTRATION SYSTEMS IS TO BE CHECKED BY THE A LICENSED ENGINEER.

AFTER THE INFILTRATION OR RECHARGE BED IS COMPLETELY INSTALLED, ALL HEAVY CONSTRUCTION EQUIPMENT SHALL BE RESTRICTED FROM THE INFILTRATION OR RECHARGE BED AREA TO ELIMINATE IMPACTS WHICH MAY COMPROMISE IT. IN THE EVENT ANY IMPACTS COMPROMISE THE FUNCTIONALITY OF THE INFILTRATION OR RECHARGE BED, IT MUST BE IMMEDIATELY REPAIRED OR REPLACED TO DESIGN SPECIFICATIONS.



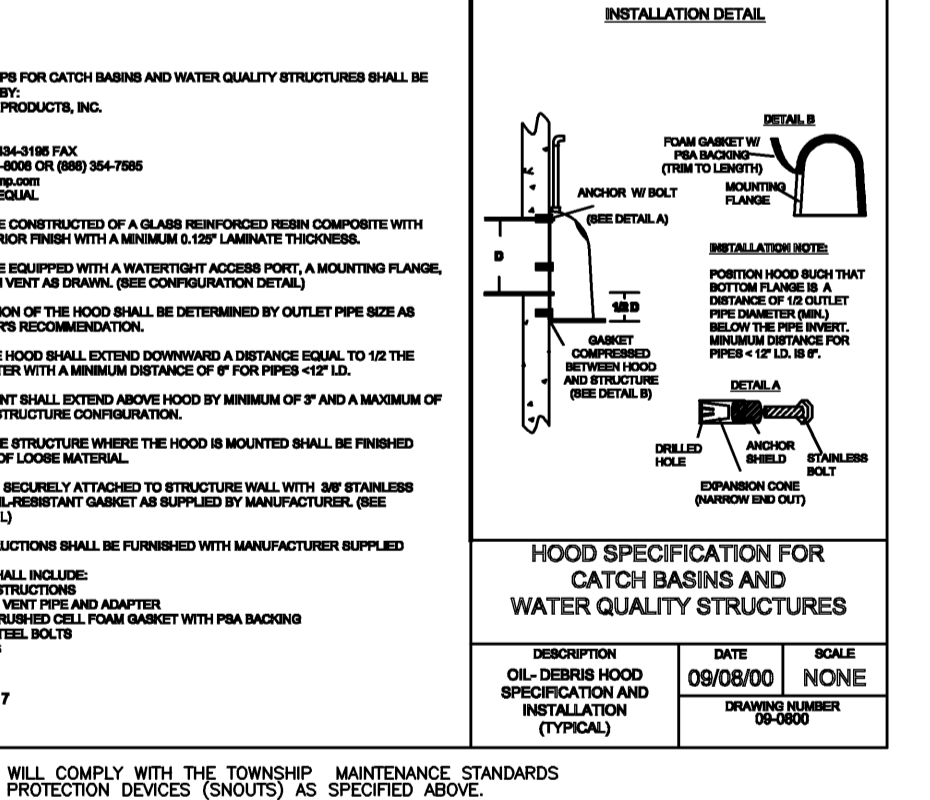
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HOOD SPECIFICATION FOR CATCH BASIN AND WATER QUALITY STRUCTURES

DESCRIPTION: OIL-DEBRIS HOOD SPECIFICATION AND INSTALLATION (TYPICAL)

DATE: 09/08/00

SCALE: NONE

DRAWN BY: EBC

1. APPLICANT WILL COMPLY WITH THE TOWNSHIP MAINTENANCE STANDARDS FOR INLET PROTECTION DEVICES (SHOUTS) AS SPECIFIED ABOVE.

2. USE THIS DETAIL IF NYLOPLAST MH IS NOT USED.

3. MINIMUM INTERIOR DIMENSIONS OF 4'x4'.

PRELIMINARY/FINAL DETAILS

2 3-24-19 ADDED BOLLARDS AT ENTRANCE

1 1-28-19 REVISED PER ENGINEER COMMENTS

SUBDIVISION/LAND DEVELOPMENT FOR THE MALVERN SCHOOL

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS

125 Dowlin Forge Rd. Easton, Pennsylvania 19341  
 Phone: 610-903-0060  
 Fax: 610-903-0080

Project- 4432  
 Date- 11-14-18  
 Scale- 1" = 30'  
 Drawn- LR  
 Checked- A.E.  
 Sheet- 10 OF 10

Plotted: 3/14/2019 File: F:\JB\4432\4432-02.prt



**RESOLUTION 2019-06**

**A RESOLUTION OF THE BOARD OF SUPERVISORS OF WESTTOWN TOWNSHIP  
CHESTER COUNTY, PENNSYLVANIA  
ENDORING LANDSCAPES3, CHESTER COUNTY'S COMPREHENSIVE PLAN**

**WHEREAS**, Chester County continues to be a highly desirable place to live, work, and play, and while continued growth presents challenges, it also creates opportunities to further a vision that embraces place, enhances choice, and engages communities; and

**WHEREAS**, Chester County has identified a comprehensive vision for how we preserve, protect, appreciate, live, prosper, and connect over the next thirty years; and

**WHEREAS**, Chester County, in collaborative partnership with stakeholders, including its municipalities, has prepared *Landscapes3* and provided opportunity for input throughout the process; and

**WHEREAS**, the success of *Landscapes3* will require implementation and cooperation at the municipal level.

**BE IT RESOLVED** that the Board of Supervisors will strive to make planning decisions consistent with *Landscapes3* by using the plan as a guide in the update of planning documents, review of development proposals, installation of infrastructure improvements, and implementation of other public improvements and programs.

The Board of Supervisors hereby endorses *Landscapes3*, Chester County's comprehensive policy plan.

**ADOPTED** as a Resolution this 18<sup>th</sup> day of March, 2019.

Westtown Township  
Board of Supervisors

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Scott E. Yaw, Chair

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Michael T. Di Domenico, Vice Chair

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Carol R. De Wolf, Police Commissioner

ATTEST:

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Robert R. Pingar, P.E.  
Township Secretary

**RESOLUTION 2019-07**

**A RESOLUTION BY THE WESTTOWN TOWNSHIP BOARD OF SUPERVISORS  
TO AMEND THE WESTTOWN TOWNSHIP COMPREHENSIVE PLAN**

**WHEREAS**, Article III of the Pennsylvania Municipalities Planning Code (Act 247 of 1968, as amended) authorizes municipalities to prepare and adopt municipal comprehensive plans; and

**WHEREAS**, the Westtown Township Board of Supervisors authorized the preparation of an amendment to the Westtown Township Comprehensive Plan; and

**WHEREAS**, the Amendment to the Westtown Comprehensive Plan was prepared by the Brandywine Conservancy and Thomas Comitta Associates, Inc, with input from the Comprehensive Plan Update Task Force, which was comprised of members of the Township Planning Commission and Township residents; and

**WHEREAS**, the Amendment to the Westtown Comprehensive Plan was thereafter presented to and recommended by the Westtown Township Planning Commission to the Board of Supervisors at a public meeting on June 6, 2018; and

**WHEREAS**, the Amendment to the Westtown Comprehensive Plan was forwarded to the Chester County Planning Commission, the West Chester Area School District, and adjoining municipalities for their review and comment; and

**WHEREAS**, the Westtown Township Board of Supervisors held a public hearing on the Amendment to the Westtown Comprehensive Plan on March 18, 2019, pursuant to public notice, as required by the Municipalities Planning Code; and

**WHEREAS**, the Westtown Township Board of Supervisors desires to amend the Westtown Comprehensive Plan in accordance with the provisions of the Municipalities Planning Code in the form attached hereto as Exhibit "A."

**NOW, THEREFORE, BE IT RESOLVED THAT:**

SECTION 1. The Westtown Township Board of Supervisors adopts this Amendment to the Westtown Comprehensive Plan entitled "Westtown Comprehensive Plan Update 2019," hereinafter referred to as "Amendment," in accordance with Article III of the Pennsylvania Municipalities Code.

SECTION 2. The Amendment revises the Township's Growth Management Plan (2001) and builds upon the Township's Open Space, Recreation and Environmental Resources Plan (2014). A true and correct copy of the Amendment is attached hereto as Exhibit "A" and incorporated herein by reference as though set forth fully herein, including all charts, tables, diagrams, appendices and textual matter contained therein.



SECTION 3. Nothing in this Resolution shall be construed to affect any suit or proceeding pending in any court, or any rights or liability incurred, or any permit issued or approval granted, or any cause or causes of action existing prior to the adoption of this Resolution.

SECTION 4. This Resolution shall become effective and be in force immediately.

**ADOPTED** as a Resolution this 18<sup>th</sup> day of March, 2019.

Westtown Township  
Board of Supervisors

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Scott E. Yaw, Chair

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Michael T. Di Domenico, Vice-Chair

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Carol R. De Wolf, Police Commissioner

ATTEST:

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Robert R. Pingar, P.E.  
Township Secretary

# Streams Cleanup

Register before March 25 and receive a



Streams Cleanup T-shirt

## 22<sup>ND</sup> ANNUAL CRC STREAMS CLEANUP

SATURDAY, APRIL 13, 2019 9:00 - 11:30 A.M.

**REGISTER ONLINE**

34 SITES TO CHOOSE FROM  
[CRCWATERSHEDS.ORG](http://CRCWATERSHEDS.ORG)

Register before March 25 and receive a

Streams Cleanup T-shirt



# Check Register

Westtown Township

15-Mar-19

From: 05-Mar-19 To: 18-Mar-19

Check No	Check Date	VendorNo	Vendor	Check Amount	Status
<b>Bank Account: 1 GENERAL FUND</b>					
14841	3/12/2019	1009	Ann Marie Cassidy	\$520.00	O
14842	3/12/2019	6958	Capital One Bank	\$87,526.55	O
14843	3/12/2019	5943	G.L. Armington Construction	\$700.00	O
14844	3/12/2019	1189	General Highway Products, In	\$1,280.00	O
14845	3/12/2019	492	H. A. Thomson Co.	\$249.00	O
14846	3/12/2019	48	H. A. Weigand Inc	\$1,464.95	O
14847	3/13/2019	405540	Albert Federico Consulting, LL	\$500.00	O
14848	3/13/2019	222	Brandywine Valley SPCA	\$163.90	O
14849	3/13/2019	7191	Code Inspections Inc	\$5,433.10	O
14850	3/13/2019	31	Gawthrop Greenwood, Attorn	\$20,646.72	O
14851	3/13/2019	405765	Lyndsey Ratasiewicz	\$120.00	O
14852	3/13/2019	1157	Nationwide Testing Associatio	\$138.25	O
14853	3/13/2019	7241	Susan Alloway	\$109.26	O
<b>Bank Total:</b>				<b>\$118,851.73</b>	
<b>Bank Account: 8 WASTEWATER FUND</b>					
3307	3/13/2019	1074	LENNI ELECTRIC CORPORA	\$195.00	O
3308	3/13/2019	862	Pipe Xpress, Inc.	\$108.72	O
3309	3/13/2019	7205	Timothy F. Sullivan	\$2,375.00	O
<b>Bank Total:</b>				<b>\$2,678.72</b>	
<b>Bank Account: 18 CAPITAL PROJECTS FUND</b>					
1159	3/6/2019	405496	Rogers Mechanical Co.	\$12,090.00	O
1160	3/12/2019	1074	LENNI ELECTRIC CORPORA	\$12,899.30	O
<b>Bank Total:</b>				<b>\$24,989.30</b>	
<b>Total Of Checks:</b>				<b>\$146,519.75</b>	