

located at 401 West Pleasant Grove Road (UPI No. 67-4-23), West Chester, Pennsylvania in the R-3 Residence Office Zoning District of the Township pursuant to §170-801.B(6) of the Westtown Township Zoning Ordinance ("Zoning Ordinance").

The hearing on this application was opened on January 20, 2015 and was continued, with the Applicant's consent, to February 17, 2015 and March 2, 2015. See N.T., pp. 68-69, 143-144. Chairman Michael T. DiDomenico and Supervisors Carol R. DeWolf and Thomas F. Haws, Jr., heard the application for the Board. Patrick M. McKenna, Esquire, appeared as the Board's Solicitor. The Applicant was represented by Andrew Rau, Esquire, and no other parties appeared of

## STOPPING SIGHT DISTANCE TARIILATION

ANCE	IABUI	<u>LATION</u>
GRADE	SPEED LIMIT	SIGHT DISTANCE
4%	25 MPH	142'
-2%	25 MPH	150'
-3%	35 MPH	260'
7%	35 MPH	228'
-7%	35 MPH	280' (per PENNDOT) 350' (per TWP CODE)
10%	35 MPH	221' (per PENNDOT) 350' (per TWP CODE)
1%	35 MPH	245'
-1%	35 MPH	252'
	GRADE  4%  -2%  -3%  7%  -7%  10%  1%	GRADE LIMIT  4% 25 MPH  -2% 25 MPH  -3% 35 MPH  7% 35 MPH  -7% 35 MPH  10% 35 MPH  1% 35 MPH

the date of the Decision and Order of the Board of Supervisors. This compliant conditional use plan shall demonstrate satisfaction with all stated conditions of the Order. 2. After its demolition, the Applicant shall incorporate stone taken from the former Orvis house into the overall design of the redeveloped site, where practicable. 3. The Applicant shall grant the Westtown Township Historical Commission access to the Orvis house prior to issuance of any demolition permit to fully document and photograph the property to

maintain as part of the Township historic registry. Historical Commission officials seeking to schedule this access must in all cases contact and arrange the visit with the Applicant and may not make unscheduled or unapproved site entry. 4. The Applicant shall fully comply with the requirements of the Township's landscaping ordinance(s) and further provide for adequate screening between the proposed commercial buildings and

existing residences during land development. 5. As part of land development, the Applicant shall demonstrate compliance with "Additional Comments" 1 and 5 of the McCormick Taylor February 3, 2015 Traffic Review letter (Exhibit A-18). Final additional traffic counts shall be deferred until construction of the traffic improvements, at which time said counts can be used to adjust traffic light timing at the existing traffic signal at US 202 and Stetson Middle School Drive/Skiles Blvd.

a. Construct the "Connector Road" between West Pleasant Grove Road and Stetson Middle School Drive in general conformance with Exhibit A-7, last revised December 30, 2014 and prepared by InLand Design; b. Reconstruct the jughandle in general conformance with Exhibit A-20, last revised February 4, 2015, as designed by Transportation Planning and Design, Inc.; c. Make reasonable modifications to West Pleasant Grove Road to provide a smooth transition between roads consistent with generally accepted design standards; d. Provide way-finding signage, including overhead signage if required by PennDOT, along US

6. Prior to issuance of a Certificate of Occupancy for any use on the subject property (UPI #67-4-23),

the Applicant shall, at its sole expense and subject to final approval of the Township Traffic

e. Provide signage along Stetson Middle School Drive prohibiting westbound left turns to the "Connector Road"; f. Modify eastbound Stetson Middle School Drive approaching US 202 to provide a new dedicated right turn lane, including pavement marking and signage; and g. Modify the existing traffic signal at US 202 and Stetson Middle School Drive/Skiles Blvd. to accommodate the previously noted improvements. 7. As directed by the Board of Supervisors and subject to Township Engineer review and approval, the design of the "Connector Road" will include:

a. Provisions for non-vehicular travel from Hidden Pond Way to the multi-use trail referenced in

b. Modifications to Hidden Pond Way to either provide a typical vehicular intersection with the

"Connector Road," or to provide for emergency access in a manner also approved by the Fire

Condition 13 as determined by the Board of Supervisors; and

202 South directing vehicles to the "Connector Road" and Stetson Middle School Drive, if

10. The Applicant shall confirm with the Township's Sewer Engineer and PADEP that there is adequate capacity for the proposed facilities. 11. The Applicant shall acknowledge that every effort shall be made to balance the cut and fills at the site, to avoid the unnecessary import or export of soils during construction. 12. The Applicant shall provide 120 parking spaces and shall maintain an additional 28 supplemental parking spaces as "reserved parking" as illustrated in Exhibit A-7B, dated February 17, 2015 as designed by InLand Design. The final design and location of the additional 28 supplemental

parking spaces held in reserve shall be determined in land development. The reserved parking spaces shall only be completed at such time as deemed necessary by the Board of Supervisors, based on the overall parking needs of the user at that time, subject to the final approval of the Township Engineer, and at the sole expense of the owner of the property. During land development, the Applicant shall demonstrate the proposed stormwater management can accommodate all parking spaces, including those held in reserve. 13. The Applicant shall provide an eight (8) foot wide asphalt paved multi-use trail from West Pleasant Grove Road to Stetson Middle School Drive, and connection to the existing trail located at the Arborview subdivision open space. 14. Following the design and construction process, the Applicant shall install a bi-directional amplifier within the daycare use if determined to be necessary by the Chief of Police of the Westtown - East Goshen Police Department.

15. During land development the Applicant must address fire and life safety concerns as identified in Exhibit A-17, a letter dated January 26, 2015 from Brian Gallagher of Bureau Veritas. Additional consideration shall be given to the selection of vegetation around the buildings which will not interfere with firefighting activities. 16. The Applicant shall install bollards or similar prevention system along the parking spaces adjacent to the daycare facility to inhibit motorized vehicles from entering the proposed daycare center and fenced play areas. The future proposed safety feature shall be reviewed by the Township for 17. The Applicant shall install a guiderail system along the Stetson Middle School Drive jughandle and connector road or similar prevention system that safeguards the daycare center. The future

18. The Applicant shall provide a detail and construct a fence that is durable and child safe in the pla areas associated with the daycare. The fence shall have gated accesses, discourage climbing, and

proposed safety feature shall be reviewed by the Township for approval.

2007 (Exhibit A-10) and the review comments of URS Corporation dated April 20, 2007 set forth in Exhibit A-13.

c. The waiver requests 1 through 7 (with an adjustment to waiver vii) set forth in the forgoing Discussion are approved. The waiver requests include: i. §170-402.D(2): Applicant proposes to do grading and construction in prohibitive slopes to the extent of 3,100 square feet (2.1% of gross lot area); ii. §170-802.D(2)(b)[1]: Applicant proposes to reduce building setback from 100 feet to

25 feet for the proposed office building; iii. §170-802.D(2)(b)[2]: Applicant proposes a 10-foot rather than 50-foot minimum buffer setback from the R-1 Zoning District boundary; iv. §170-1510(B)(3): Applicant seeks approval to have a 190-foot separation between Hidden Pond Way and the driveway intersection with the Connector Road rather than a 300-foot distance;

than the required 50-foot setback; vi. §170-1703(B)(2): Applicant proposes a 10% rather than a 5% parking space slope for 23 reserved parking spaces; and vii. §170-1707: Applicant proposes to have 43 parking spaces held in reserve (this parking condition and waiver is hereby adjusted to be in conformance with Condition 12 of this 2015 Decision and Order)

v. §170-1701(D): Applicant proposes a 10-foot setback for front yard parking rather

d. This approval shall not be construed to be a waiver of any other provision of the Westtown Township Zoning Ordinance, Subdivision and Land Development Ordinance or any other ordinance or requirement, it being the intention of the Board that the use and development of the Property shall comply with all applicable ordinances and requirements, except to the extent modified hereby.

20. Posting of financial security for the public improvements described herein shall be a condition of

the recording of any finally approved land development plan. Completion of the Connector Road

shall be a condition precedent to the issuance of any certificates of occupancy for any building development on UPI 67-4-23 (Lot 36). 21. The proposed construction and use of the subject property shall be in conformance with the plans,

BOARD OF SUPERVISORS

WESTTOWN TOWNSHIP

**BOUNDARY AND RIGHT-OF-WAY CURVE TABLE** 

CURVE	RADIUS	ARC LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C-1	11,459.19'	573.06'	02°51'55"	S21°30'41"E	573.00'
C-2	C-2 11,399.19'		02°51'55"	S21°30'41"E	570.00'
C-3	25.00'	39.35'	90°11'02"	S25°00'47"W	35.41'
C-4 15.00'		27.12'	103°35'08"	N58°06'08"W	23.57'
C-5 220.00'		176.95'	46°05'05"	N29°21'06"W	172.22'
C-6	220.00'	137.23'	35°44'27"	N24°10'47"W	135.02'
C-7	220.00'	39.72'	10°20'38"	N47°13'19"W	39.66'
C-8	125.00'	70.27'	32°12'39"	N36°17'19"W	69.35'
C-9	185.00'	104.00'	32°12'39"	S36°17'16"E	102.64'
C-10	160.00'	302.02'	108°09'05"	S01°40'54"W	259.13'
C-11	22.00'	34.56'	90°00'00"	S24°49'00"W	31.11'
C-12	60.00'	51.62'	49°17'42"	S22°35'14"E	50.04'
C-13	22.00'	34,56'	90°00'00"	S65°11'00"E	31.11'

DESCRIPTION	R-3 REQUIRED	LOT 1
TRACT AREA,	2.0 ACRES	3.242 ACRES
BLDG. SETBACK FROM BOUNDARY, MIN.	100 FT.	25 FT (1)
BUFFER SETBACK FROM R-1 DISTRICT, MIN.	50 FT.	10 FT. (1)
FLOOR AREA RATIO, MAX.	0.30	0.20 (2)
IMPERVIOUS COVERAGE, MAX.	60%	51.2% (2)
PARKING SPACE SLOPE MAY	50/	6% (1)

1) RELIEF GRANTED PER CONDITIONAL USE APPROVAL DATED 08/06/2007. 2) BASED ON TRACT AREA OF 141,200 S.F.

### PARKING ANALYSIS REQUIRED PARKING:

MEDICAL OFFICE = 16,800 S.F. @ 1 SPACE / 150 S.F. = 120 STUDENTS @ 1 SPACE/15 STUDENTS = 8 DAY CARE TOTAL REQUIRED = 120 SPACES

PROPOSED PARKING: INITIAL PARKING = 120 SPACES (INCL. 10 HC SPACES) RESERVED PARKING = 28 SPACES (18.9%)

TOTAL PROPOSED = 148 SPACES

## CONNECTOR ROAD CENTERLINE CURVE TABLE

CONNECTOR ROAD CENTERLINE CURVE TABLE							
CURVE	RADIUS	ARC LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE		
CL-1	2,500.00'	43.30'	0°59'32"	S20°40'46"E	43.30'		
CL-2	155.00'	87.14'	32°12'39"	S36°17'19"E	86.00'		
CL-3	190.00'	152.82'	46°05'05"	S29°21'06"E	148.74'		

**OWNER / APPLICANT:** FAIR SHARE PROPERTIES, L.P. 655 SWEDESFORD ROAD MALVERN, PA 19655 ATTN: TOM GALBALLY

610-695-8464

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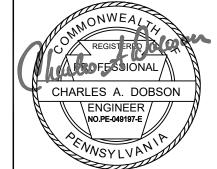
UPI: 67-4-23



PA. act 172 of 1986 requires three working days notice Serial Numbers: 20151101118 PENNSYLVANIA ACT 187 REQUIREMENTS: InLand Design, LLC does not guarantee the accuracy of the plans, nor does InLand Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the

before the start of work.

INLAND DESIGN Civil Engineers, Surveyors & Land Development Consultants location and elevation of all underground utilities and structures Phone: (484) 947-2928 16 Hagerty Blvd. West Chester, PA 19382 Fax: (484) 947-2946 www.InLandDesign.net Info@InLandDesign.net



prevent entrapment or associated injuries.

	No.	Date:	Description:	Ì
	2	7-15-2015	PER TWP ENGINEER REVIEW LETTER DATED 6-11-2015.	П
zer	3	9-3-2015	PER TWP ENGINEER REVIEW LETTER DATED 7-30-2015.	П
	4	9-14-2015	PER TWP SEWER ENGINEER REVIEW LETTER DATED 6-12-2015.	П
<u> </u>	5	12-4-2015	NPDES SUBMITTAL	П
_X I	6	03-11-2016	REVISED PER CCCD LETTER DATED 2-10-2016.	
N I	7	07-01-2016	REVISED BASIN MAINTENANCE RESPONSIBILITIES	l
′ I	8	10-11-2016	REVISED BASIN MAINTENANCE RESPONSIBILITIES	
	9	5-18-2018	REVISED SCHOOL BUILDING FOOTPRINT	
J				

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN 1 Inch = 40'

١	Date:	\ <i>(</i>
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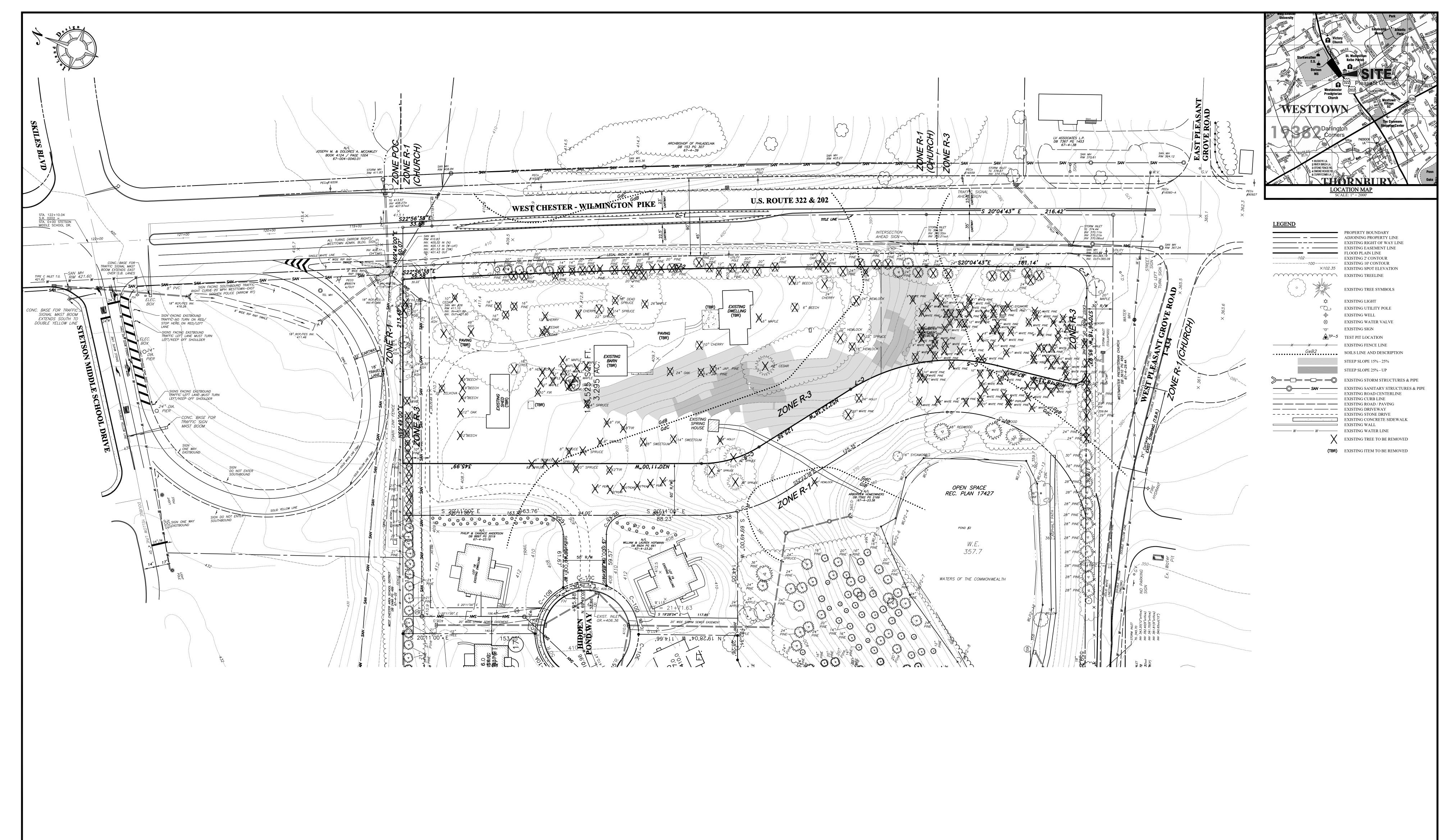
SITE PLAN **FOR** 

FAIR SHARE PROPERTIES, L.P.

WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

ARBORVIEW COMMERCIAL LOT

S H E E T



SOILS DESCRIPTION

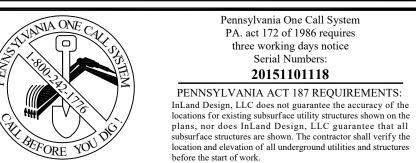
SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLIC SOIL GROUP
GdB	GLADSTONE GRAVELY LOAM	3% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60" TO 100"	2e	A
GdC	GLADSTONE GRAVELY LOAM	8% - 15%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60" TO 100"	3e	A
GiB	GLENELG SILT LOAM	3% - 8%	HIGH (ABOUT 9.3 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	72" TO 120"	2e	В
GgB	GLENVILLE SILT LOAM	3% - 8%	LOW (ABOUT 3.0 INCHES)	WELL DRAINED	ABOUT 6" - 36"	60" TO 99"	2e	C/D
SITE GEOL	SITE GEOLOGY: (FGH - FELSIC GNEISS): THIS FELSIC AND INTERMEDIATE GNEISS IS LIGHT BUFF TO LIGHT PINK AND FINE TO MEDIUM GRAINED.							

<b>EXISTING TREE REMOVAL TABULATION</b>					
# OF TREES TO BE REMOVED	TOTAL CALIPER INCHES TO BE REMOVED				
62 TREES	1,500 INCHES				
1 TREE	N/A				
47 TREES	2,135 INCHES				
115 TREES	N/A				
	# OF TREES TO BE REMOVED  62 TREES  1 TREE  47 TREES				

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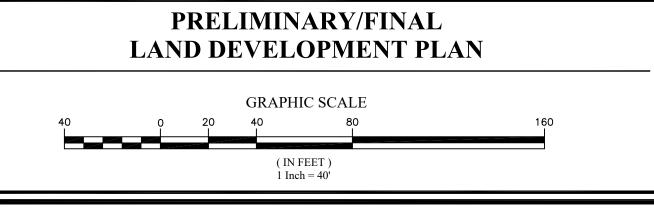
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NO.PE-049197-E

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3	9-3-2015	PER TWP ENGINEER REVIEW LETTER DATED 7-30-2015.
4	9-14-2015	PER TWP SEWER ENGINEER REVIEW LETTER DATED 6-12-2015.
5	12-4-2015	NPDES SUBMITTAL
6	03-11-2016	REVISED PER CCCD LETTER DATED 2-10-2016.
7	07-01-2016	REVISED BASIN MAINTENANCE RESPONSIBILITIES
8	10-11-2016	REVISED BASIN MAINTENANCE RESPONSIBILITIES
9	5-18-2018	REVISED SCHOOL BUILDING FOOTPRINT
-		



Date: 5/13/2015	EXISTING FEATURES AND DEMOLITION PLAN
Scale: 1'' = 40'	FOR
Drawn by:	
TAH Checked by:	FAIR SHARE PROPERTIES, L.P.
CAD	ARBORVIEW COMMERCIAL LOT
Drawn by: TAH Checked by:	FAIR SHARE PROPERTIES, L.P.

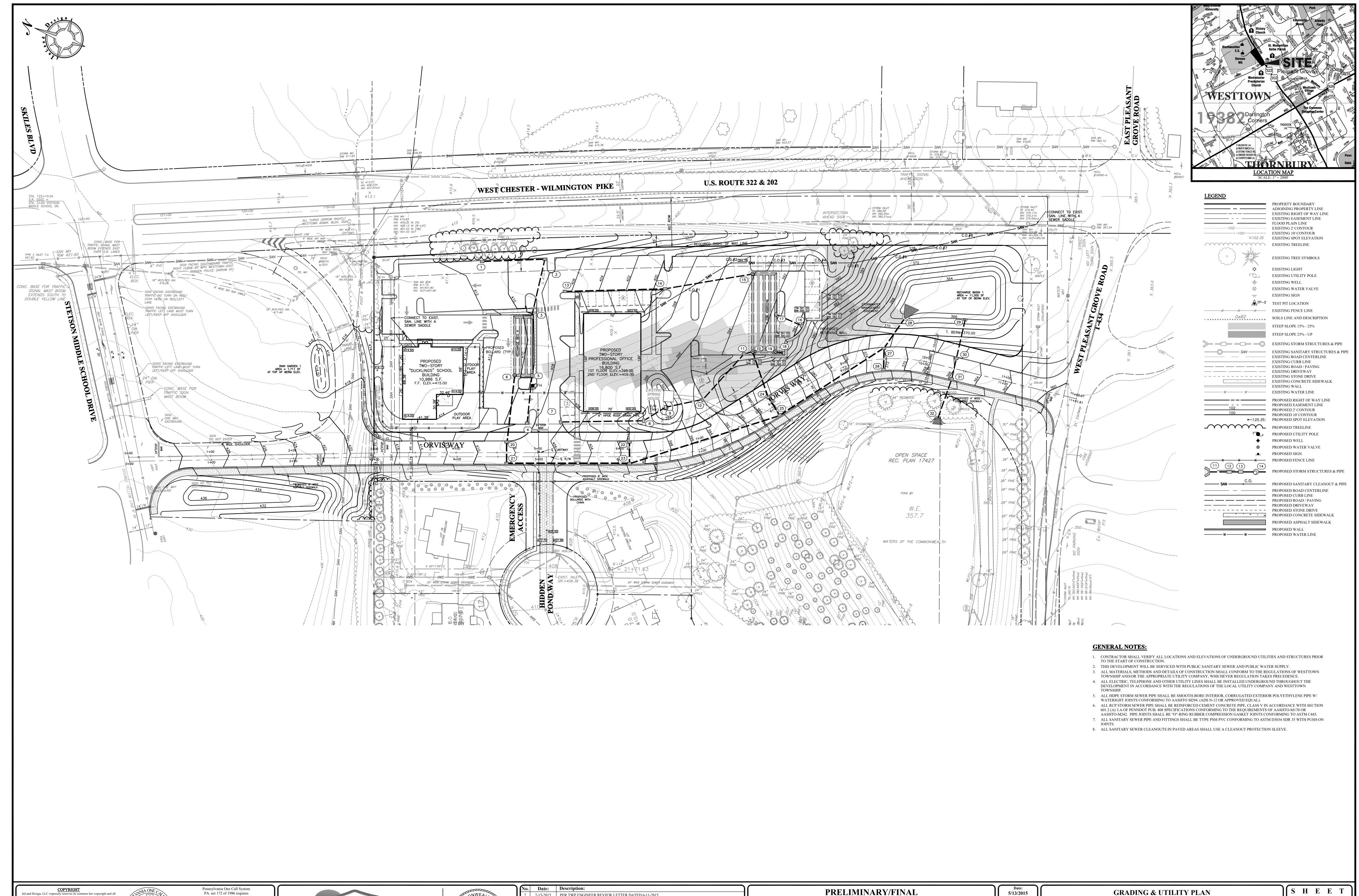
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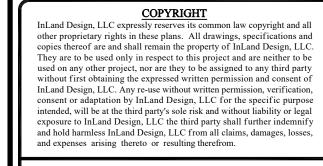
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FAIR SHARE PROPERTIES, L.P.
ARBORVIEW COMMERCIAL LOT

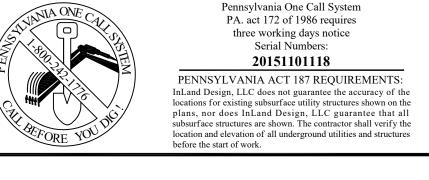
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S H E E T



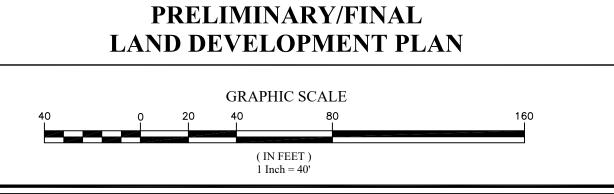


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WALL	5	12-4-2015	NPDES SUBMITTAL
CHARLES A. DOBSON	6	03-11-2016	REVISED PER CCCD LETTER DATED 2-10-2016.
NO.PE-049197-E	7	07-01-2016	REVISED BASIN MAINTENANCE RESPONSIBILITIES
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SENNSY LVAN IP	9	5-18-2018	REVISED SCHOOL BUILDING FOOTPRINT



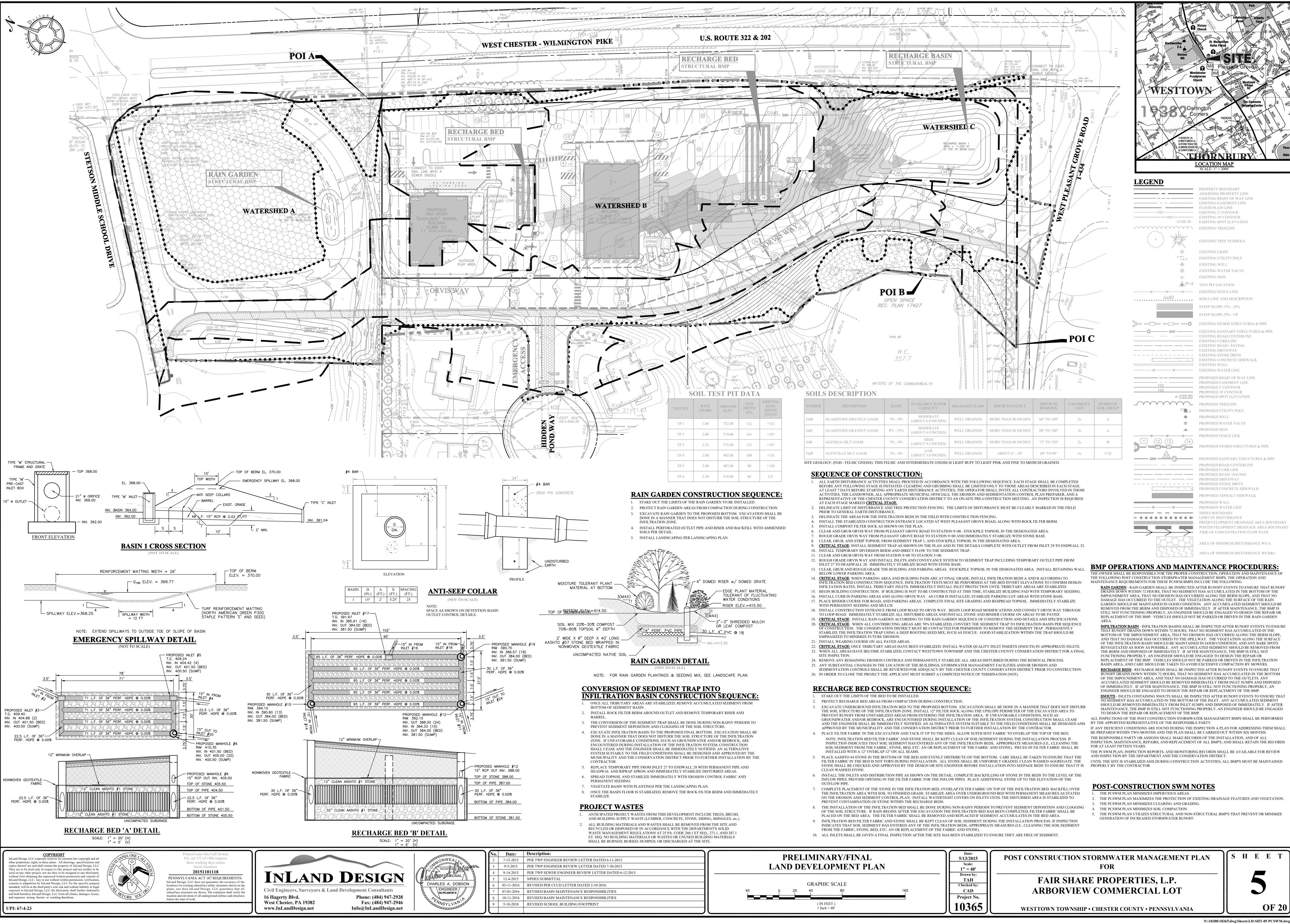
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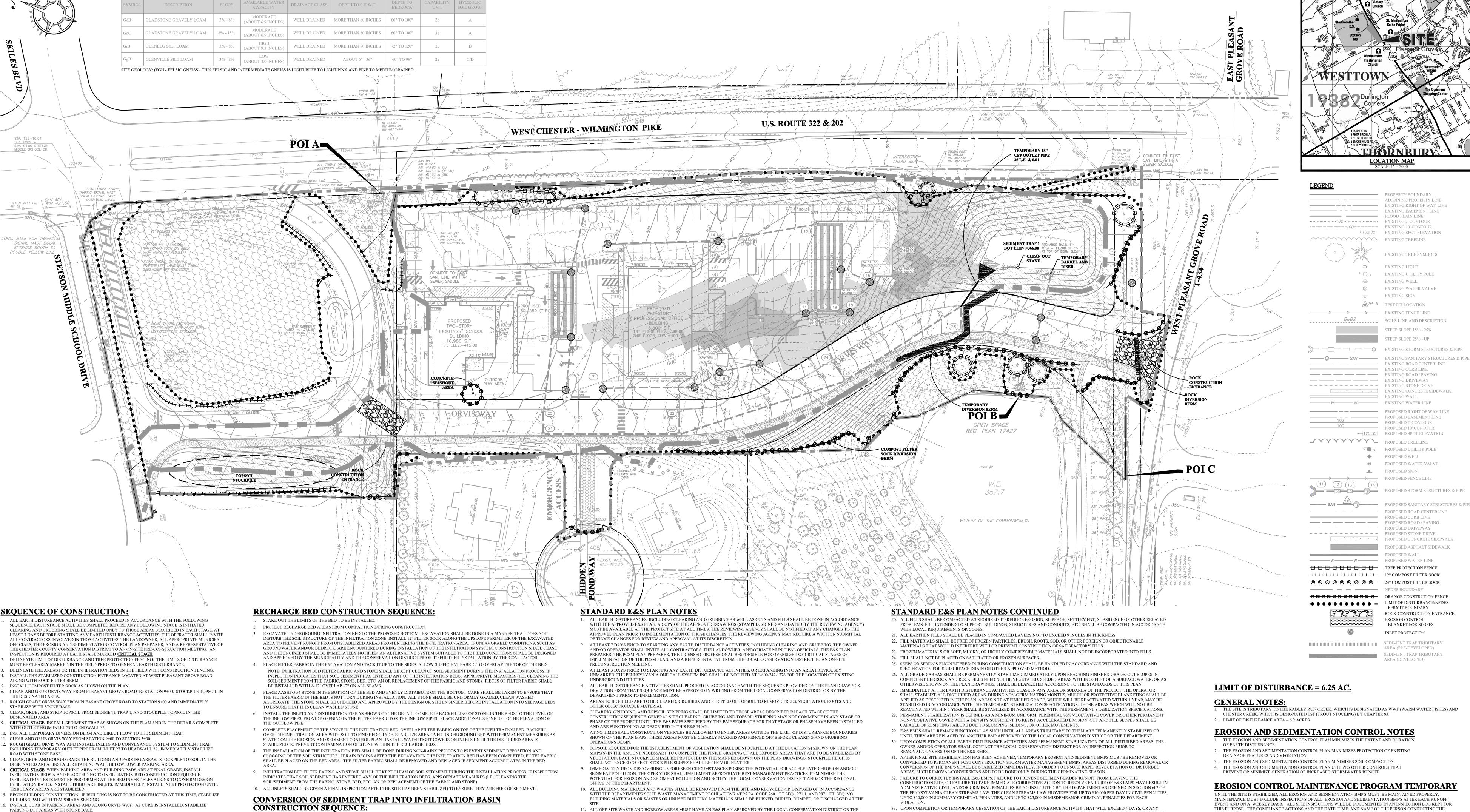
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GRADING & UTILITY PLAN
FOR

FAIR SHARE PROPERTIES, L.P. ARBORVIEW COMMERCIAL LOT

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THE SITE IS TRIBUTARY TO THE RADLEY RUN CREEK, WHICH IS DESIGNATED AS WWF (WARM WATER FISHES) AND CHESTER CREEK, WHICH IS DESIGNATED TSF (TROUT STOCKING) BY CHAPTER 93.

**LOCATION MAP** 

-100---- EXISTING 10' CONTOUR ×102.35 EXISTING SPOT ELEVATION

STEEP SLOPE 25% - UP

EXISTING STORM STRUCTURES & PIPE

EXISTING WALL

EXISTING CONCRETE SIDEWALK

PROPOSED 2' CONTOUR

PROPOSED 10' CONTOUR

● 125.35 PROPOSED SPOT ELEVATION

PROPOSED WELL

PROPOSED SIGN

PROPOSED CONCRETE SIDEWALK

PROPOSED ASPHALT SIDEWALK

PERMIT BOUNDARY

BLANKET FOR SLOPES

SEDIMENT TRAP TRIBUTARY

SEDIMENT TRAP TRIBUTARY

AREA (PRE-DEVELOPED)

REA (DEVELOPED)

EROSION CONTROL

INLET PROTECTION

ROCK CONSTRUCTION ENTRANCE

PROPOSED WATER VALVE

## **EROSION AND SEDIMENTATION CONTROL NOTES**

- 1. THE EROSION AND SEDIMENTATION CONTROL PLAN MINIMIZES THE EXTENT AND DURATION
- 3. THE EROSION AND SEDIMENTATION CONTROL PLAN MINIMIZES SOIL COMPACTION. 4. THE EROSION AND SEDIMENTATION CONTROL PLAN UTILIZES OTHER CONTROLS THAT
- PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF.

## EROSION CONTROL MAINTENANCE PROGRAM TEMPORARY

UNTIL THE SITE IS STABILIZED. ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION MUST BE NOTED. THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REOUEST

ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS OR MODIFICATIONS OF THOSE

WHERE BMPS ARE FOUND TO FAIL TO ALLEVIATE EROSION AND SEDIMENTATION POLLUTION, THE PERMITTEE OR THE

CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:

A. THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.

B. ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRENCE OF THE NON-COMPLIANCE.

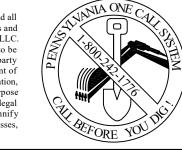
THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WIL

EROSION CONTROL MAINTENANCE PROGRAM PERMANENT

PERMANENT EROSION CONTROL MAINTENANCE WILL CONSIST OF MAINTAINING THE STORMWATER CONTROL BASINS, INCLUDING THE VEGETATIVE COVER OF THE BASIN, THE OUTLET STRUCTURE IN THE BASIN, THE OUTLET PIPING AND THE ROCK ENERGY DISSIPATER AT THE END OF THE OUTLET PIPE. THE VEGETATIVE COVER OF THE STORMWATER BASIN WILL BE GRASS WHICH WILL REQUIRE REGULAR MOWING AND FERTILIZATION. BARE SPOTS WHICH DEVELOP IN THE GRASS SURFACE WILL BE REPAIRED WITH NEW SOIL, SEED AND MULCH AS NECESSARY. THE

PERMANENT FACILITIES MAINTENANCE WILL BE THE RESPONSIBILITY OF THE LANDOWNER.

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PLACE BINDER COURSE FOR ROAD, AND PARKING AREAS. COMPLETE FINAL SITE GRADING AND

MODIFICATIONS AND CONNECT ORVIS WAY THROUGH TO LOOP ROAD. IMMEDIATELY STABILIZE ALL

CRITICAL STAGE: WHEN ALL CONTRIBUTING AREAS ARE 70% STABILIZED, CONVERT THE SEDIMENT

BE CONTACTED FOR PERMISSION TO REMOVE THE SEDIMENT TRAP. PERMANENTLY STABILIZE THE

CRITICAL STAGE: ONCE TRIBUTARY AREAS HAVE BEEN STABILIZED. INSTALL WATER QUALITY INLET

WHEN ALL AREAS HAVE BECOME STABILIZED, CONTACT WESTTOWN TOWNSHIP AND THE CHESTER

REMOVE ANY REMAINING EROSION CONTROLS AND PERMANENTLY STABILIZE ALL AREAS DISTURBED

FACILITIES AND/OR EROSION AND SEDIMENTATION CONTROLS SHALL BE REVIEWED FOR ADEQUACY

ANY SUBSTANTIAL CHANGES IN THE LOCATION OF THE BUILDINGS, STORMWATER MANAGEMENT

IN ORDER TO CLOSE THE PROJECT THE APPLICANT MUST SUBMIT A COMPETED NOTICE OF

INFILTRATION TRAP USING A DEEP ROOTING SEED MIX, SUCH AS FESCUE. GOOD STABILIZATION

TRAP TO INFILTRATION BASIN PER SEQUENCE OF CONSTRUCTION. THE CONSERVATION DISTRICT MUST

RESPREAD TOPSOIL. IMMEDIATELY STABILIZE WITH PERMANENT SEEDING AND MULCH.

DISTURBED AREAS AND INSTALL STONE AND BINDER COURSE ON AREAS TO BE PAVED.

WITHIN THE TRAP SHOULD BE EMPHASIZED TO MINIMIZE FUTURE EROSION.

BY THE CHESTER COUNTY CONSERVATION DISTRICT PRIOR TO CONSTRUCTION

COUNTY CONSERVATION DISTRICT FOR A FINAL SITE INSPECTION.

CONSTRUCTION AND DETAILS AND SPECIFICATIONS.

INSTALL WEARING COURSE ON ALL PAVED AREAS.

INSERTS (SNOUTS) IN APPROPRIATE INLETS.

DURING THE REMOVAL PROCESS

TERMINATION (NOT).

UPI: 67-4-23

INSTALL CONSTRUCTION ENTRANCE FROM LOOP ROAD TO ORVIS WAY. BEGIN LOOP ROAD

CRITICAL STAGE: INSTALL RAIN GARDEN ACCORDING TO THE RAIN GARDEN SEQUENCE OF

SOILS DESCRIPTION

three working days notice Serial Numbers: 20151101118 PENNSYLVANIA ACT 187 REQUIREMENTS: InLand Design, LLC does not guarantee the accuracy of the plans, nor does InLand Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

PA. act 172 of 1986 requires INLAND DESIGN Civil Engineers, Surveyors & Land Development Consultants 16 Hagerty Blvd. Phone: (484) 947-2928 West Chester, PA 19382 Fax: (484) 947-2946

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ONCE ALL TRIBUTARY AREAS ARE STABILIZED, REMOVE ACCUMULATED SEDIMENT FROM BOTTOM OF SEDIMENT BASIN .

MUNICIPALITY AND THE CONSERVATION DISTRICT PRIOR TO FURTHER INSTALLATION BY THE CONTRACTOR.

4. INSTALL PERFORATED OUTLET PIPE AND RISER AND BACKFILL WITH AMMENDED SOILS PER DETAIL.

6. SPREAD TOPSOIL AND STABILIZE IMMEDIATELY WITH EROSION CONTROL FABRIC AND PERMANENT SEEDING.

8. ONCE THE BASIN FLOOR IS STABILIZED, REMOVE THE ROCK FILTER BERM AND IMMEDIATELY STABILIZE.

RAIN GARDEN CONSTRUCTION SEQUENCE

2. PROTECT RAIN GARDEN AREAS FROM COMPACTION DURING CONSTRUCTION.

3. THE CONVERSION OF THE SEDIMENT TRAP SHALL BE DONE DURING NON-RAINY PERIODS TO PREVENT SEDIMENT DEPOSITION AND CLOGGING

4. EXCAVATE INFILTRATION BASIN TO THE PROPOSED FINAL BOTTOM. EXCAVATION SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB

THE SOIL STRUCTURE OF THE INFILTRATION ZONE. IF UNFAVORABLE CONDITIONS, SUCH AS GROUNDWATER AND/OR BEDROCK, ARE

IMMEDIATELY NOTIFIED. AN ALTERNATIVE SYSTEM SUITABLE TO THE FIELD CONDITIONS SHALL BE DESIGNED AND APPROVED BY THE

5. REPLACE TEMPORARY PIPE FROM INLET 27 TO ENDWALL 28 WITH PERMANENT PIPE AND HEADWAL AND RIPRAP APRON AND IMMEDIATELY

3. EXCAVATE RAIN GARDEN TO THE PROPOSED BOTTOM. EXCAVATION SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB THE SOIL

Info@InLandDesign.net

ENCOLINTERED DURING INSTALLATION OF THE INFILTRATION SYSTEM CONSTRUCTION SHALL CEASE AND THE ENGINEER SHALL BE

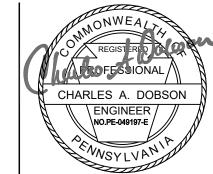
2. INSTALL ROCK FILTER BERM AROUND OUTLET AND REMOVE TEMPORARY RISER AND BARREL.

7. VEGETATE BASIN WITH PLANTINGS PER THE LANDSCAPING PLAN.

STRUCTURE OF THE INFILTRATION ZONE.

5. INSTALL LANDSCAPING PER LANDSCAPING PLAN.

1. STAKE OUT THE LIMITS OF THE RAIN GARDEN TO BE INSTALLED



PER TWP ENGINEER REVIEW LETTER DATED 6-11-2015 9-3-2015 PER TWP ENGINEER REVIEW LETTER DATED 7-30-2015. PER TWP SEWER ENGINEER REVIEW LETTER DATED 6-12-2015 12-4-2015 NPDES SUBMITTAL 03-11-2016 | REVISED PER CCCD LETTER DATED 2-10-2016. 07-01-2016 REVISED BASIN MAINTENANCE RESPONSIBILITIES 10-11-2016 REVISED BASIN MAINTENANCE RESPONSIBILITIES REVISED SCHOOL BUILDING FOOTPRINT

DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.

BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.

UNDISTURBED VEGETATED AREAS.

DITCH, STORM SEWER, OR SURFACE WATER

12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE

RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE

13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER

PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING,

CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF

7. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF

EACH WORK DAY OR AS NEEDED OR AS REQUIRED BY THE MUNICIPALITY OR THE CONSERVATION DISTRICT AND DISPOSED IN THE

19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES -- 6 TO 12 INCHES ON COMPACTED

SOILS -- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE

MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE

18. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.

PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.

TTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPEC

15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL

INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL

16. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE

14. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY FROM NOR EXIT DIRECTLY ONTO ROUTE 202.

REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

1 Inch = 40'

MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.

ANTICIPATED PROJECT WASTES FROM THIS DEVELOPMENT INCLUDE TREES, BRUSH,

2. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND

SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID

WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1

ET. SEO. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS

AND BUILDING SUPPLY WASTE (LUMBER, CONCRETE, STONE, SIDING, SHINGLES, etc.).

5/13/2015 1'' = 40'Drawn by: Checked by: CAD Project No.

10365

STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT

STABILIZATION. (PLEASE NOTE THAT HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES) HAY OR STRAW

SEDIMENTATION & EROSION CONTROL PLAN

FAIR SHARE PROPERTIES, L.P.

WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

ARBORVIEW COMMERCIAL LOT

S H E E T

N:\10300\10365\dwg\Sheets\LD-SHT-06 SED.dwg

### CLEAN FILL NOTE CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMOSABLE, INERT, SOLID MATERIAL. THE TERM NCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPERATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE). CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1a ABD FP-1b FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL". ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS. ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL ASSESSMENST OR AUDITS ANALYTICAL TESTING IS NOT A REOUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENTS MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM SEEDING AND MULCHING REQUIREMENTS IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY AT LEAST SIX (6) TONS OF AGRICULTURAL GRADE LIMESTONE AND 100-200-200 (100 POUNDS OF N, 200 POUNDS OF $P_2O_5$ AND 200 POUNDS OF $K_2O_1$ PER ACRE TO DISTURBED AREAS. ALL ON-LOT DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED BY SEEDING WITH THE FOLLOWING SEED MIXTURE AT THE RATE OF 176 POUNDS PER ACRE: 50% KENTUCKY BLUEGRASS BARON MIX, 25% RED FESCUE-PENNLAWN, 20% CHAMPION PERENNIAL RYEGRASS, AND 5% ANNUAL. THE SEEDING DATES FOR THIS MIXTURE SHALL BE MARCH 15 TO JUNE 15 AND/OR AUGUST 15 TO OCTOBER 15. AFTER SEEDING IS COMPLETE, MULCH THE SEEDED AREAS WITH CLEAN UN-ROTTED SMALL GRAIN STRAW OR SALT HAY AT A RATE OF THREE (3) TONS PER ACRE. (OTHER SEED MIXTURES MAY BE SUBSTITUTED IF APPROVED BY THE COUNTY CONSERVATION DISTRICT OR THE MUNICIPAL ENGINEER) IF THE ABOVE SEED MIXTURES DO NOT GERMINATE SATISFACTORILY IN AREAS OF THE SITE DUE TO WET SOIL CONDITIONS. THOSE AREAS SHALL BE RESEEDED WITH REED CANARY GRASS AT THE RATE OF 100 POUNDS PER ACRE. PERMANENT SEEDING SHALL ONLY OCCUR DURING THE DATES LISTED ABOVE. IF AREAS ARE PREPARED FOR SEEDING AT OTHER TIMES, THEN THE PREPARED SEEDBED SHALL BE HEAVILY MULCHED WITH CLEAN UN-ROTTED SMALL GRAIN STRAW OR SALT HAY AT THE RATE OF THREE (3) TONS PER ACRE. THE MULCH SHALL THEN BE REMOVED AND THE AREA SHALL BE DRESSED, SEEDED AND RE-MULCHED AS DESCRIBED ABOVE DISTURBED AREAS ON WHICH ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 15 DAYS MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT FINISHED AT GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MAY BE SEEDED AND TYP. AT EACH CORNER MULCHED WITH A OUICK GROWING, TEMPORARY SEEDING MIXTURE (ANNUAL RYEGRASS, 40 POUNDS PER ACRE, OR SEE PENNSYLVANIA STATE UNIVERSITY AGRONOMY GUIDE FOR OTHER SEEDING RECOMMENDATIONS). APPLY 1 TON OF AGRICULTURAL LIMESTONE PER ACRE, PLUS FERTILIZER, AT THE RATE OF 50-50-200 PER ACRE. (50 LBS. OF N, 50 LBS OF P 205, AND 200 LBS. OF K2O). UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. UTILITY LINE TRENCH EXCAVATION CONSTRUCTION REQUIREMENTS

LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION

WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE

LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY

WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR

ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS

AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING

SILTSACK —

FROM CLEARING AND GRUBBING. SITE RESTORATION. AND STABILIZATION OPERATION

AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK .

BACKFILLING BEGINS. WATER WILL BE PUMPED TO THE SEDIMENT BASINS.

**BAG DETAIL** 

INSTALLATION DETAIL

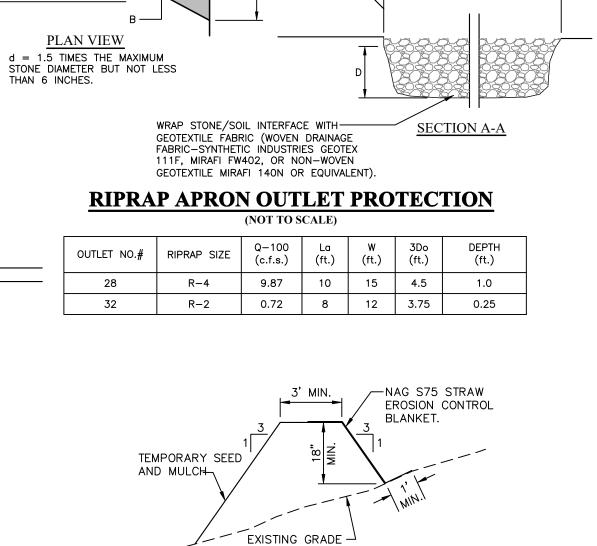
THAT CAN BE COMPLETED IN ONE DAY.

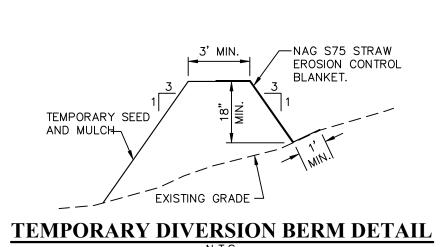
EXPANSION RESTRAINT

(1/4" NYLON ROPE.

2" FLAT WASHERS)

# WIRE MESH OR EQUIVALENT W/ 1/4" MAXIMUM OPENING TYP. AT EACH CORNER THAN 6 INCHES. **SECTION** STANDARD BRICK — **PLAN VIEW** ISOMETRIC VIEW ALTERNATE TYPE C INLET PROTECTION - NOT AT GRADE DETAIL (PADEP STANDARD CONSTRUCTION DETAIL #4-22) (NOT TO SCALE) 1. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLETS TRIBUTARY TO SEDIMENT BASINS OR SEDIMENT TRAPS. ALTERNATE TYPE C INLET PROTECTION CAN BE USED ON ONE ACRE MAXIMUM DRAINAGE AREA WITH 15"





NOTE: CONTRACTOR SHALL HAVE THE OPTION OF

OF SEEDING AND MULCH.

MULTI-FILAMENT

POLYPROPYLENE

PHOTO-DEGRADABI

0'-0 1/8"

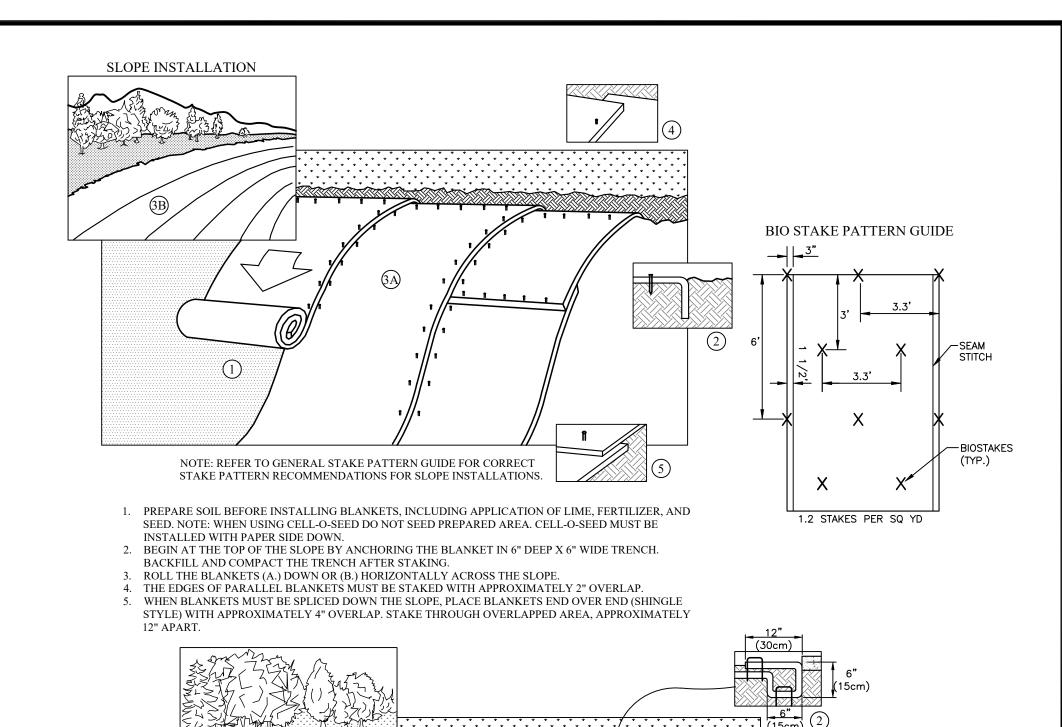
202 PSI

100% AT 1000 HR.

2 YEARS

USING S75 EROSION CONTROL BLANKET ON

THE DOWNSLOPE SIDE OF THE BERM INSTEAD



TO CONSOLIDATE THE SEEDBED. EROSION BLANKET INSTALLATION FOR SLOPES

CULTIVATE THE SOIL TO A DEPTH OF 6 INCHES, INCORPORATING

SURFACE, FREE FROM EXCESSIVE STONES, CLODS OR TRASH.

3. SEED AND MULCH THE AREA AS OUTLINED IN SEEDING SCHEDULE

4. UNREEL THE MATTING UP AND DOWN THE SLOPE. THIS IS BEST

FERTILIZER AND LIME WHERE NECESSARY, PROVIDING AN EVEN

ACHIEVED BY PLACING A METAL PIPE THROUGH THE CENTER OF THE ROLL THROUGH WHICH IS PASSED A ROPE. BY HOLDING EACH END OF

THE ROPE, THE ROLL CAN BE UNWOUND SLOWLY DOWN THE SLOPE.

MANUFACTURER'S RECOMMENDATIONS FOR OVERLAPPING ADJACENT

AND STAPLED, AS SHOWN, AT 12-INCH CENTERS ACROSS THE WIDTH OF

5. UPHILL ENDS OF THE MATTING SHALL BE BURIED IN A 6-INCH DEEP SLOT

THE MAT. AT JOINTS, THE DOWNHILL END SHOULD BE OVERLAPPED

INSTRUCTIONS, BUT GENERALLY STAPLES SHOULD BE INSERTED ON

7. FOLLOWING INSTALLATION, MESH MATTINGS SHOULD BE ROLLED WITH

A SMOOTH ROLLER TO BRING INTO CLOSE CONTACT WITH THE SOIL AND

6. MATTING SHOULD BE STAPLED ACCORDING TO THE MANUFACTURER'S

12-INCH CENTERS DOWN EACH EDGE OF THE MAT AND DOWN ITS

THE MATTING SHOULD NOT BE STRETCHED NOR ALLOWED TO LIE

LOOSELY, BUT TO TAKE UP THE CONTOURS OF THE GROUND. THE

CONSTRUCT SLOT USING

. COMPLETE GRADING OF SLOPE.

STRIPS SHALL BE FOLLOWED.

(SHINGLE FASHION)

CENTERLINE.

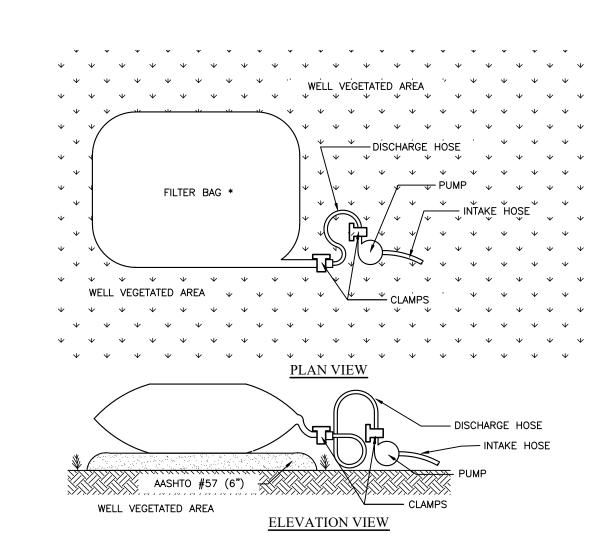
'DITCH WITCH' OR

SIMILAR EQUIPMENT

NORTH AMERICAN GREEN S75

EROSION CONTROL BLANKET

OR APPROVED EQUAL



### PUMPED WATER FILTER BAG

- 1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE ITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. 2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
- ON SLOPES GREATER THAN 5% 4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER. WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.

## CRITICAL POINTS 3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED

CAD

Project No.

### 7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9m-12m) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10cm) APART AND 4" (10cm) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL. 8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. \* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL OVERLAPS AND SEAMS POINTS ALONG THE CHANNEL SURFACE. PROJECTED WATER LINE CHANNEL BOTTOM/SIDE \*\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE SLOPE VERTICES LENGTHS GREATER THAN 6" (15 cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS. DETAIL PROVIDED BY: NORTH AMERICAN GREEN 14649 HIGHWAY 41 NORTH, EVANSVILLE, INDIANA 47725 USA 1-800-772-2040 CANADA 1-800-448-2040

. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO

BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF

BLANKET BACK OVER SEED AND COMPACTED SOIL, SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm)

8. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE.

4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" (10cm-15cm) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10cm) APART

5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN A 6" (15cm)

ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET

NORTH AMERICAN GREEN MATTING DETAIL

(NOT TO SCALE)

6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (5cm-12.5cm) (DEPENDING ON BLANKET TYPE) AND STAPLED. TO ENSURE PROPER SEAM

ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE

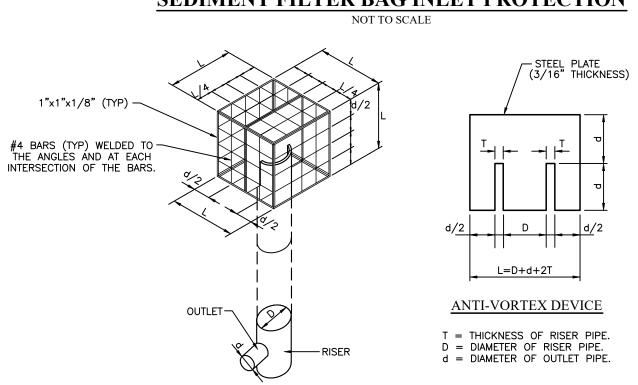
NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.

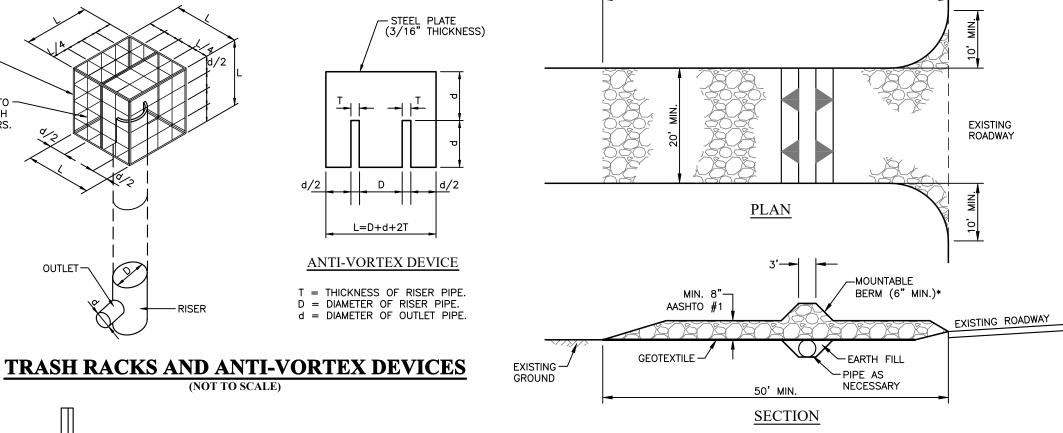
DEEP X 6" (15cm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

APART ACROSS THE WIDTH OF THE BLANKET

AND 4" (10cm) ON CENTER TO SECURE BLANKETS.

## SEDIMENT FILTER BAG INLET PROTECTION





ROCK CONSTRUCTION ENTRANCE DETAIL (PADEP STANDARD CONSTRUCTION DETAIL #3-1) (NOT TO SCALE)

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND

2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP

4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY

. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE

MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK, A STOCKPILE SHALL BE

SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF

OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS LINTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS

MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS

EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH

ROCK OVER FULL WIDTH OF ENTRANCE.

NOTE: SILT FENCE SHALL BE TRENCHED AND STAKED DOWN SLOPE OF THE STOCKPILE AREA.

TYPICAL TOPSOIL STOCKPILE

**CROSS SECTION** 

(NOT TO SCALE)

PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE

SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

-SILT FENCE

BX2051

FOR EXTRA PROTECTION:

TENSAR SAFETY FENCE BX 2051, 4' HT., ORANGE

TENSAR SAFETY FENCE UX 4250, 4' HT., ORANGE

INSTALLATION: ATTACH FENCE TO 2" x 2" PINE STAKES DRIVEN AT LEAST 18" INTO

ORANGE CONSTRUCTION FENCE DETAIL

THE GROUND, SPACED 8' ON CENTER, WITH WIRE FASTENERS IN 3 PLACES PER STAKE.

OVERFLOW PIPE AND 4" HEAD.

UNTIL ROADWAY IS PAVED.

REPLACED WITHIN 24 HOURS OF INSPECTION.

BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT LOW

PERMANENTLY VEGETATED. ROAD SUBBASE BERMS SHALL BE MAINTAINED

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE

COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP

UX4250

HEIGHT OF THE STONE. DAMAGED INSTALLATIONS SHALL BE REPAIRED OR

4. FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 INCH THICK

OF STONE. COMPOST SHALL MEET THE STANDARDS OF TABLE. 4.2.

POINTS. EARTHEN BERMS SHALL BE STABILIZED WITH VEGETATION AND

. INLETS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT.

MAINTAINED UNTIL ROADWAY IS STONED OR TRIBUTARY AREA IS

### MULTI-FILAMENT POLYPROPYLENE MATERIAL TYPE 3 MIL HDPE 5 MIL HDPE MATERIAL OTO-DEGRADABLE | PHOTO-DEGRADABLE | BIO-DEGRADABLE PHOTO-DEGRADABLE CHARACTERISTIC SOCK DIAMETERS MESH OPENING 0'-0 3/8" 0'-0 3/8" 26 PSI TENSILE STRENGT 26 PSI 44 PSI ULTRAVIOLENT STABILITY % ORIGINAL 23% AT 1000 HR. 23% AT 1000 HR. 100% AT 1000 HR. STRENGTH (ASTM G-155) MINIMUM 6 MONTHS 9 MONTHS 1 YEAR FUNCTIONAL LONGEVITY

TABLE 4.1 - COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

TWO-PLY	SYSTEN	1S							
	HDP	E BIAXAL NET					VOODEN STAKE OMPOST FILTE		) 10' 0
INNER CONTAINMENT	CONTINUOUSLY WOUND		BLOWN/PI	ACED FILTER MEDIA-			OMPOSI FILIE	.R SOCK	
NETTING		USION-WELDED JUNCTURES		ISTURBED AREA		)	JNDISTURBED A	AREA	
		BY 3/4" MAX. ERTURE SIZE					<u>ue Wesser Wu</u>		
OUTER FILTRATION MESH  POLYPR (WOV NON- MECHA VIA N		COMPOSITE OPYLENE FABRIC EN LAYER AND WOVEN FLEECE ANICALLY FUSED IEEDLE PUNCH)  X. APERTURE SIZE	EXISTING CONTOURS			SECTION VIEW DISTURBED			
					<u></u>	AREA			
TABLE 4.2	2 - COMP	OST STANDAR	DS		<b>-</b> -		-\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	100	⊠
ORGANIC MATTER		80% - 100% (DRY	WEIGHT BASIS)		<u>,</u>				
ORGANIC PORTION		FIBROUS ANI	ELONGATED		$\mathbb{Z}$			<b>Ø</b> /	
PH			-8.0	<b>)</b>					
MOISTURE CONTEN	Т		- 55%	COMPOST—/ FILTER STOCK		UNDISTURBED	$\checkmark$	-2" X 2"	
		98% PASS THROUGH 1" SCREEN				AREA		STAKES F	,raced
SOLUBLE SALT CONCENTRATIONS 5.0 DS/M (MMHC			S/CM) MAXIMUM			PLAN VIEW		. 3 0.0.	
				COM	POST F	ILTER SO	OCK DI	ETAII	Ĺ

### MIPOST FILTER SOCK DETAIL (PADEP STANDARD CONSTRUCTION DETAIL #4-1)

(NOT TO SCALE)

1.	SOCK MATERIAL SHALL MEET THE STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.
2.	COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEE
	UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT
	EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE
	MANUFACTURER.
3.	TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. 5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. 6. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND

VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

— 2"x2"X36" WOODEN STAKES PLACED 5' O.C. IS 50% OF FILTER \_\_ 24" COMPOST FILTER SOCK RING HEIGH PLACE IMPERVIOUS MEMBRANE UNDER TO PLACEMENT OF SECTION VIEW - DIRECT CONCRETE WASHOUT WATER INTO FILTER RING - 24" COMPOST FILTER SOCK OVERLAP FILTER SOCK 4' -MINIMUM ON UPSLOPE SIDE OF FILTER RING — 2"x2"X36" WOODEN STAKES PLACED 5' O.C. PLAN VIEW COMPOST SOCK WASHOUT INSTALLATION (NOT TO SCALE) 1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE 18" FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDA CONFIGURATION FOR ADDED HEIGHT.

### TOP OF BERM ELEV. 370.00 -COVER W/ MARINE GRADE PLYWOOD SECURE & SEAL/REMOVE WHEN TEMP. RISER IS/REMOVED. ELEV. 368.00 — ANTI-VORTEX DEVICE ---TRASH RACK (SEE DETAIL) PER. RISER ELEV. 368.00 — TEMP. RISER CLEANOUT 12"-ELEV. 367.00 — 2 APR TEMP. BOTTOM ELEV. 366.00 8" AASHTO #57-48 L.F. 18" RCP @ 0.02 FT/FT CLEAN PA. #4 6'x6'x18' DEEP — CONCRETE PAD — ELEV. 362.00 CRUSHED STONE RISER SET 6 NOTE: TEMP RISER PERFORATED AS FOLLOWS 1-1"ø HOLE @ 367.00

# SEDIMENT TRAP - TEMPORARY RISER DETAIL

other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of InLand Design, LLC. ney are to be used only in respect to this project and are neither to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of nLand Design, LLC. Any re-use without written permission, verification consent or adaptation by InLand Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to InLand Design, LLC the third party shall further indemnify and hold harmless InLand Design, LLC from all claims, damages, losses and expenses arising thereto or resulting therefrom

HQ AND EV WATERSHEDS.

HEIGHT OF THE OUTLET.

HEIGHT OF ROCK FILTER

5/6 HEIGHT OF STRAW
BALES OR FILTER FABRIC
FENCE

UPI: 67-4-23

OUTLET CROSS SECTION

**UP-SLOPE FACE** 

**ROCK FILTER OUTLET** 

(NOT TO SCALE)

A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT

FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRAT

SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE

FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN



FILTER FABRIC

AASHTO #57 STONE

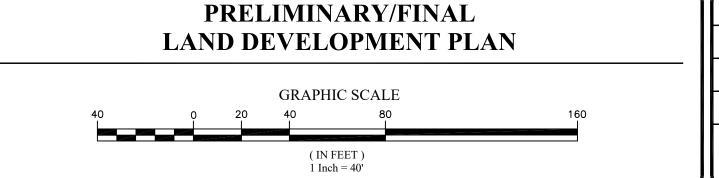
PA. act 172 of 1986 requires three working days notice Serial Numbers: 20151101118 PENNSYLVANIA ACT 187 REQUIREMENTS: InLand Design, LLC does not guarantee the accuracy of the locations for existing subsurface utility structures shown on the plans, nor does InLand Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

Pennsylvania One Call System

16 Hagerty Blvd. Phone: (484) 947-2928 West Chester, PA 19382 Fax: (484) 947-2946 www.InLandDesign.net Info@InLandDesign.net

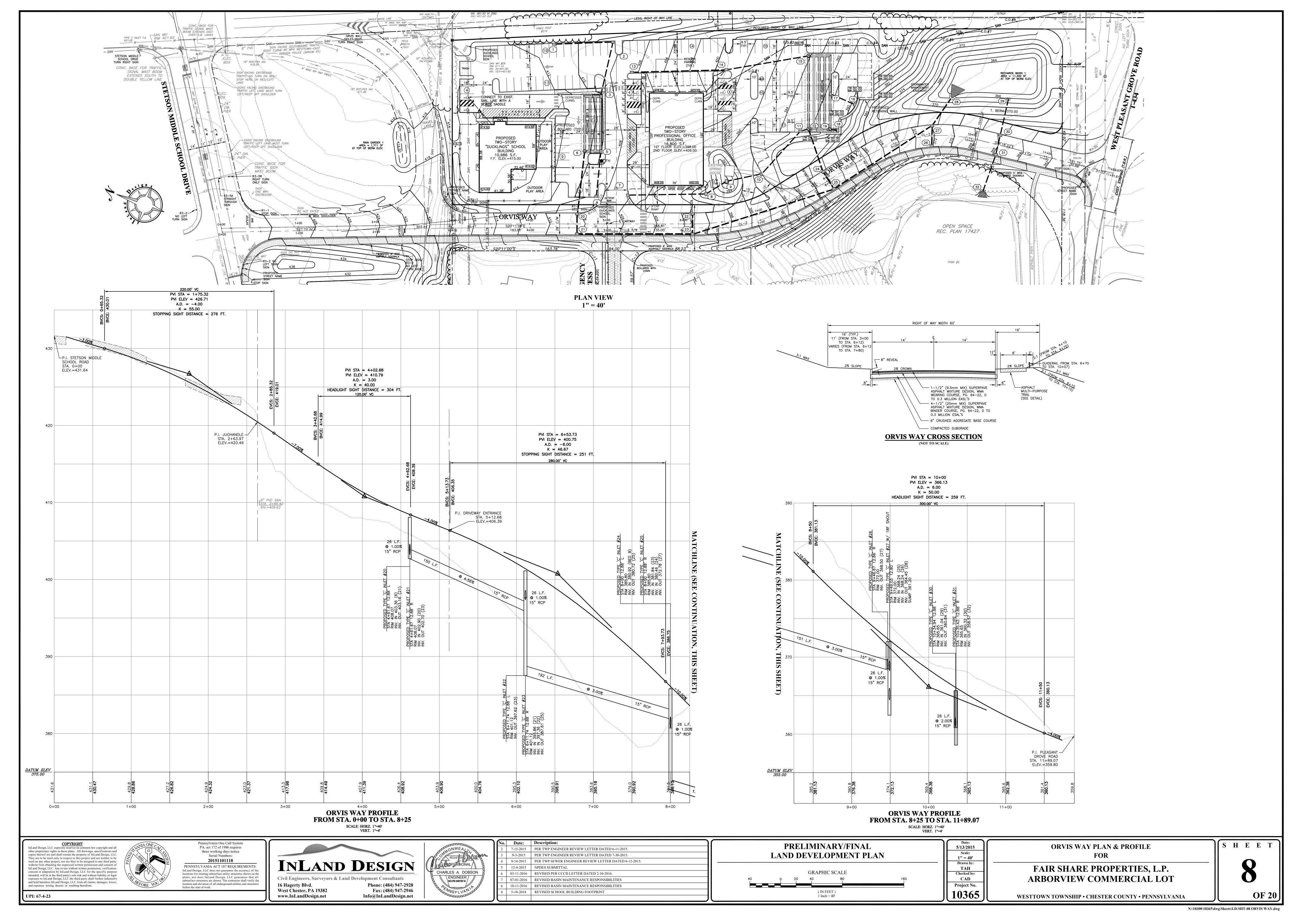


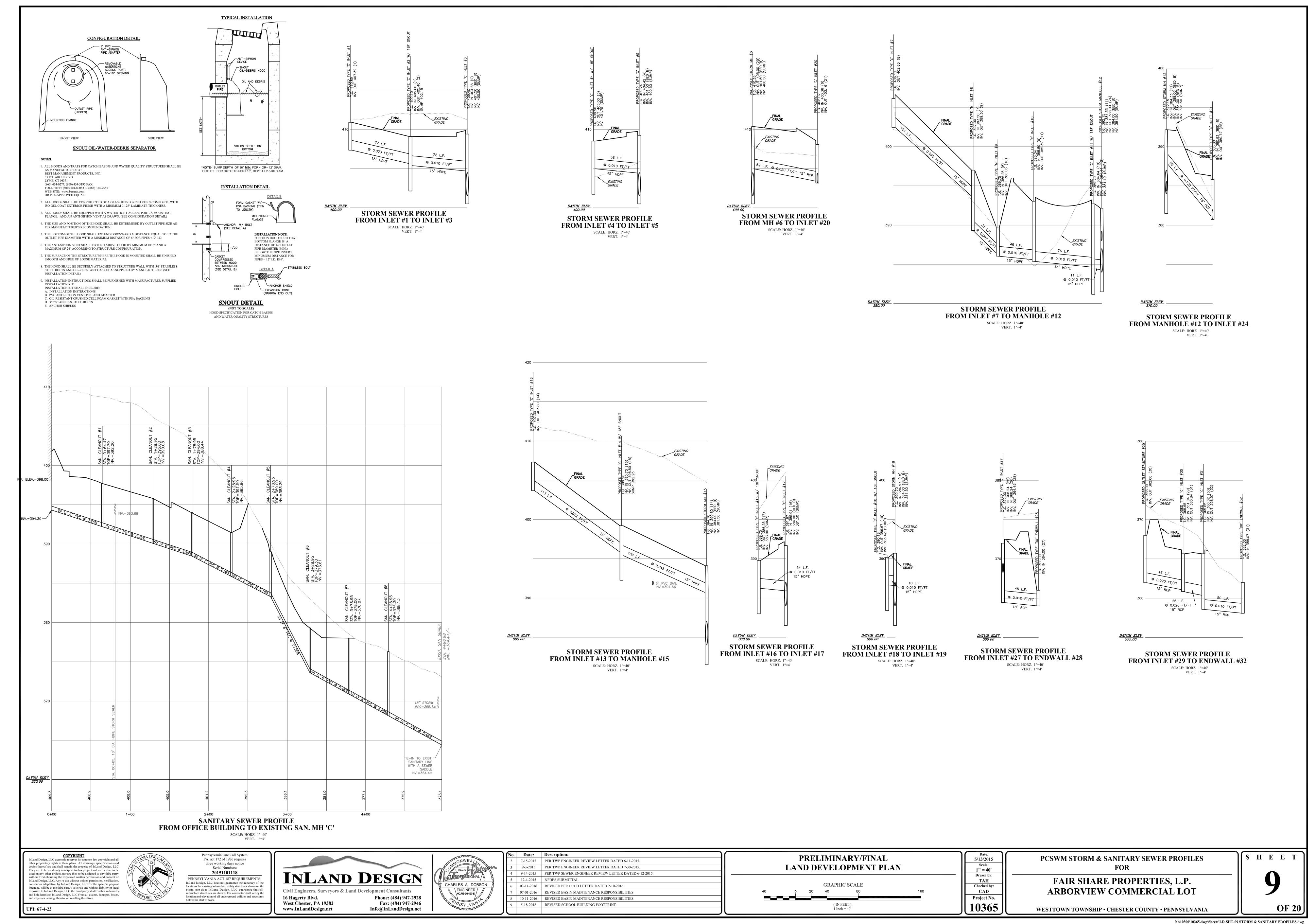
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ATTEN .	No.	Date:	Description:
MONWEALT	2	7-15-2015	PER TWP ENGINEER REVIEW LETTER DATED 6-11-2015.
REGIST ERFO TO THE REGIST ERFO	3	9-3-2015	PER TWP ENGINEER REVIEW LETTER DATED 7-30-2015.
1000	4	9-14-2015	PER TWP SEWER ENGINEER REVIEW LETTER DATED 6-12-2015.
ROFESSIONAL/\	5	12-4-2015	NPDES SUBMITTAL
RLES A. DOBSON	6	03-11-2016	REVISED PER CCCD LETTER DATED 2-10-2016.
\ENGINEER / // // // // // // // // // // // //	7	07-01-2016	REVISED BASIN MAINTENANCE RESPONSIBILITIES
	8	10-11-2016	REVISED BASIN MAINTENANCE RESPONSIBILITIES
WWSYLVAN	9	5-18-2018	REVISED SCHOOL BUILDING FOOTPRINT

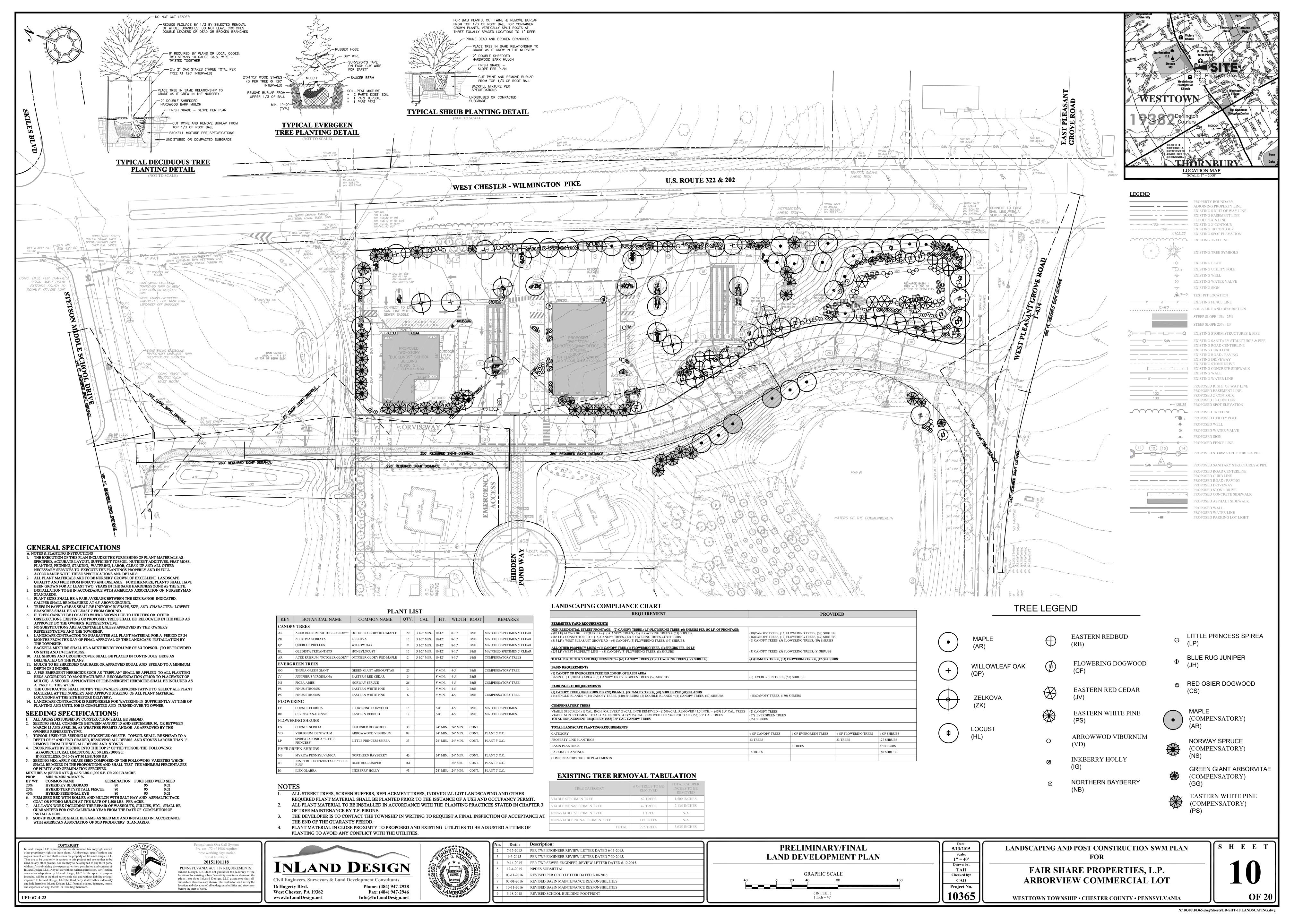


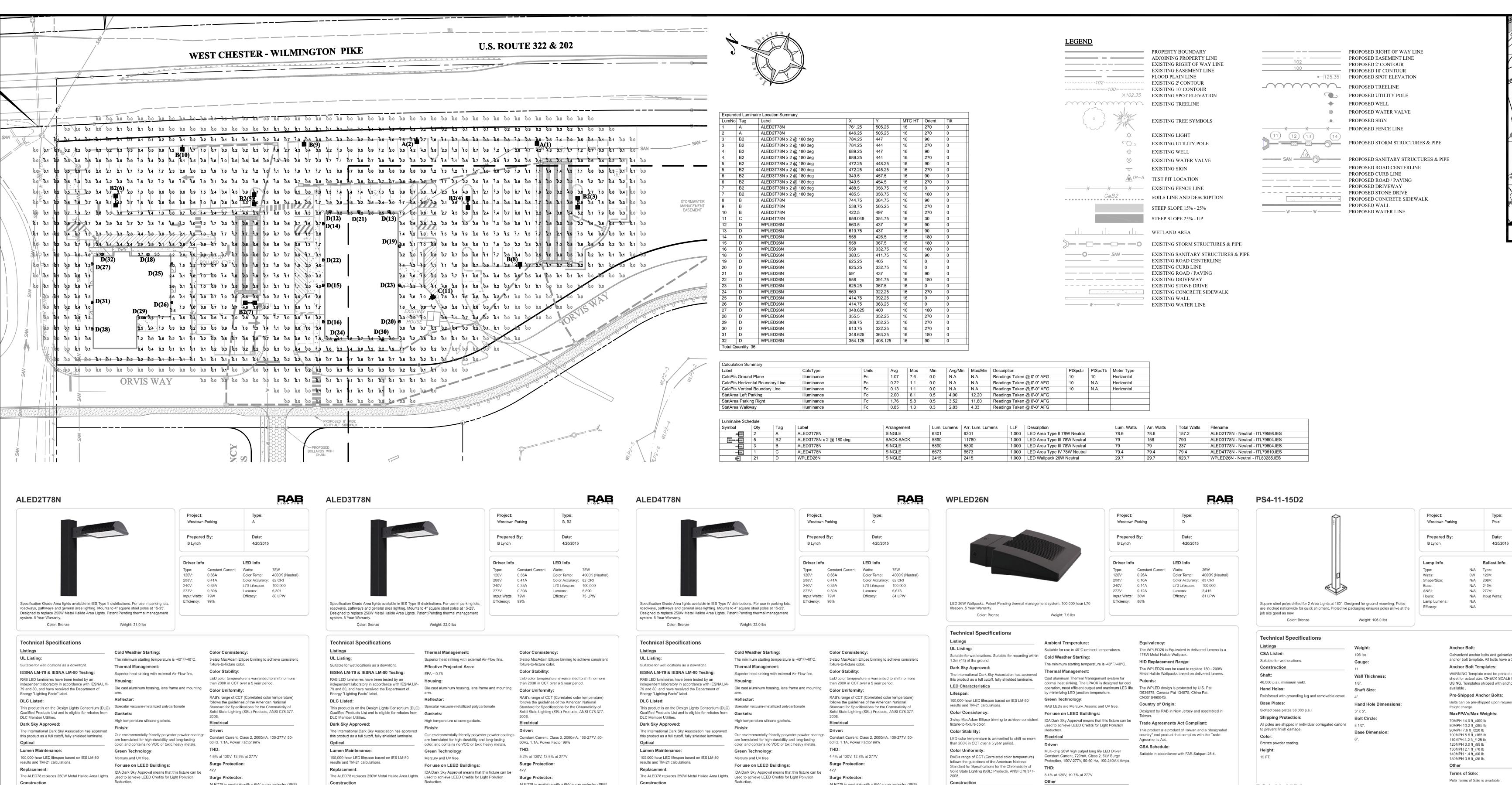
SEDIMENTATION & EROSION CONTROL DETAILS & NOTES 5/13/2015 1" = 40"Drawn by FAIR SHARE PROPERTIES, L.P. TAH Checked by:

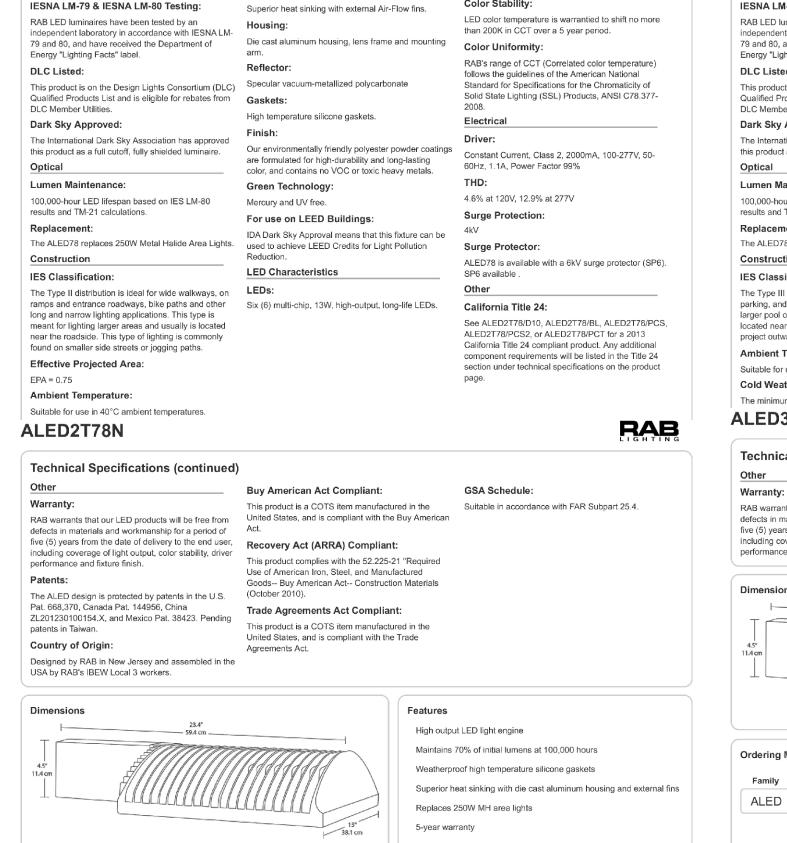
S H E E T

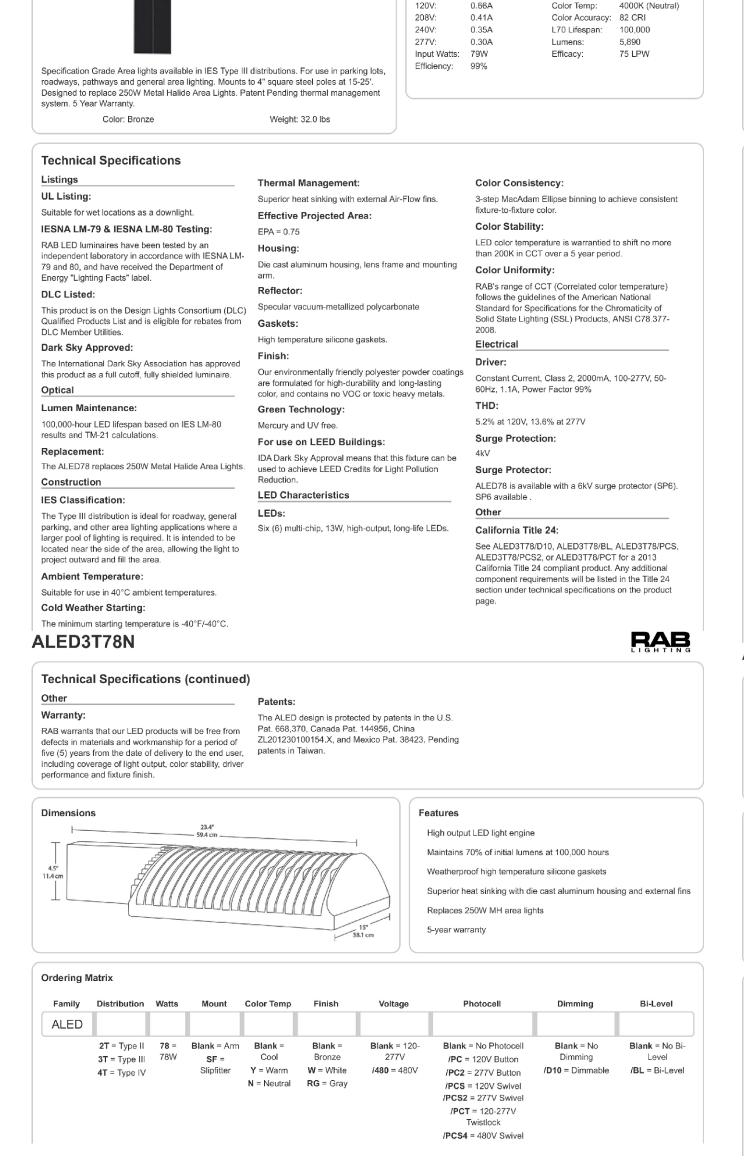


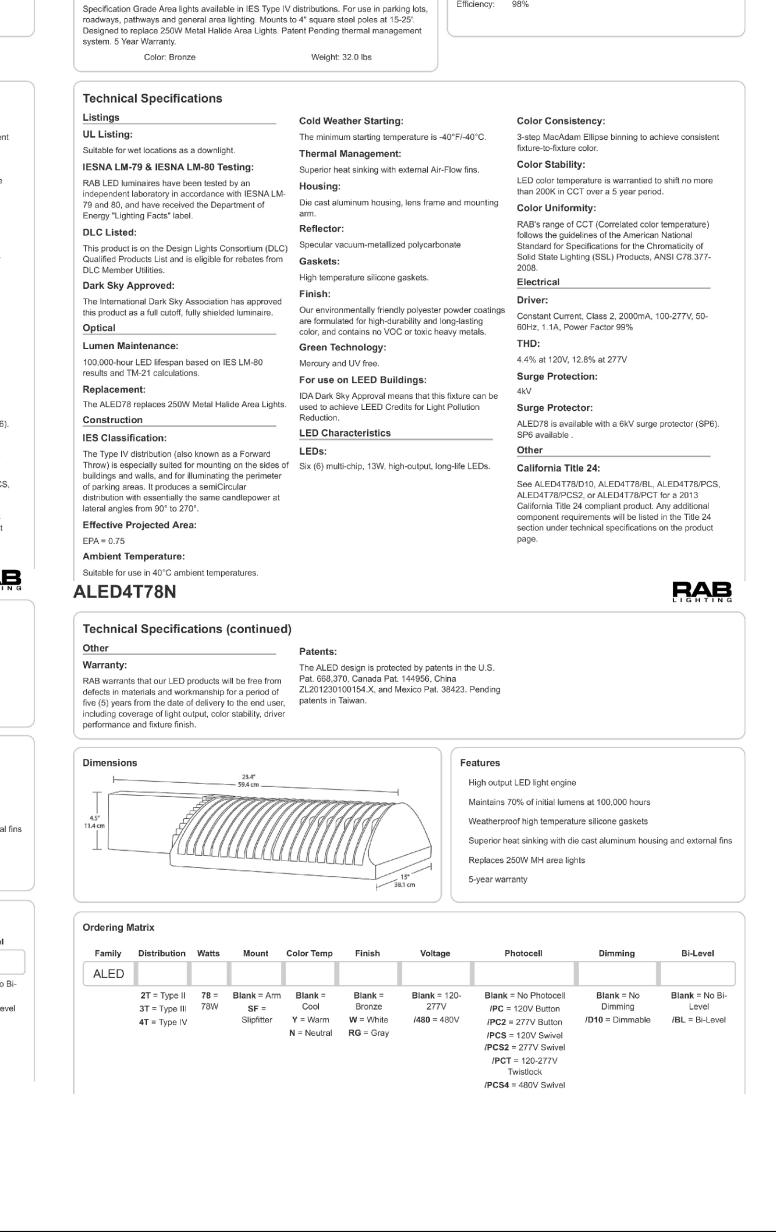


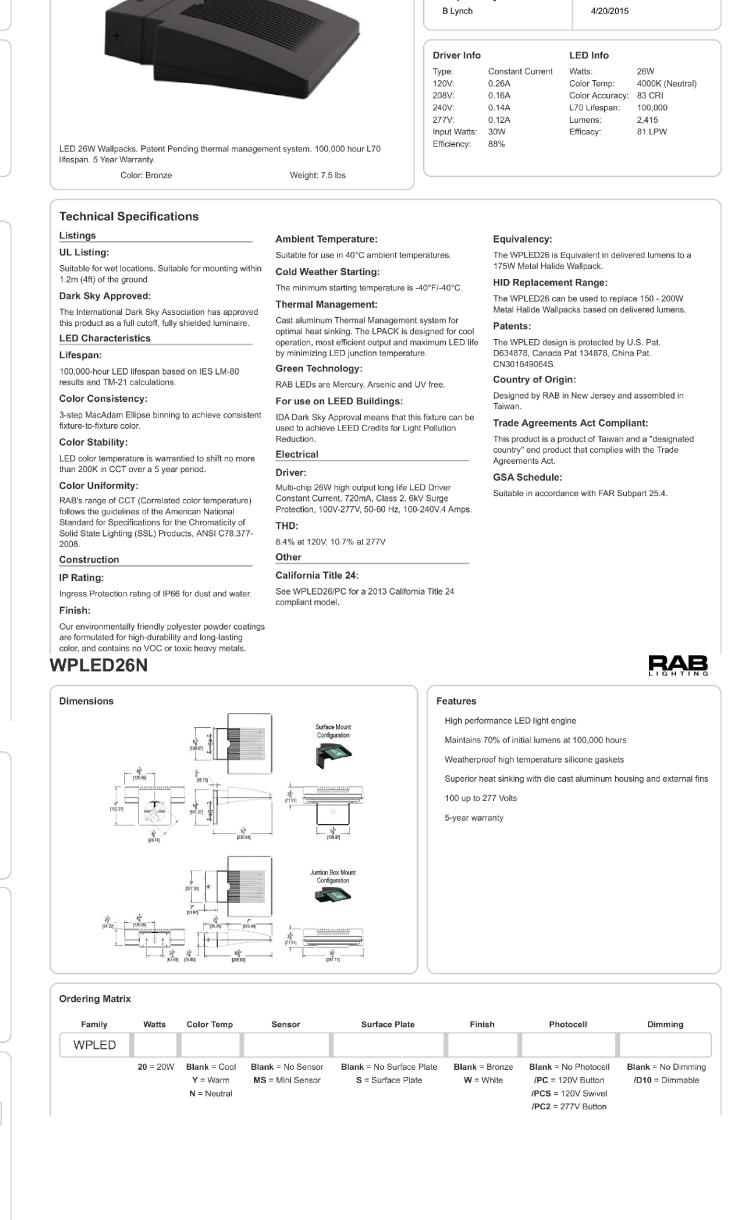


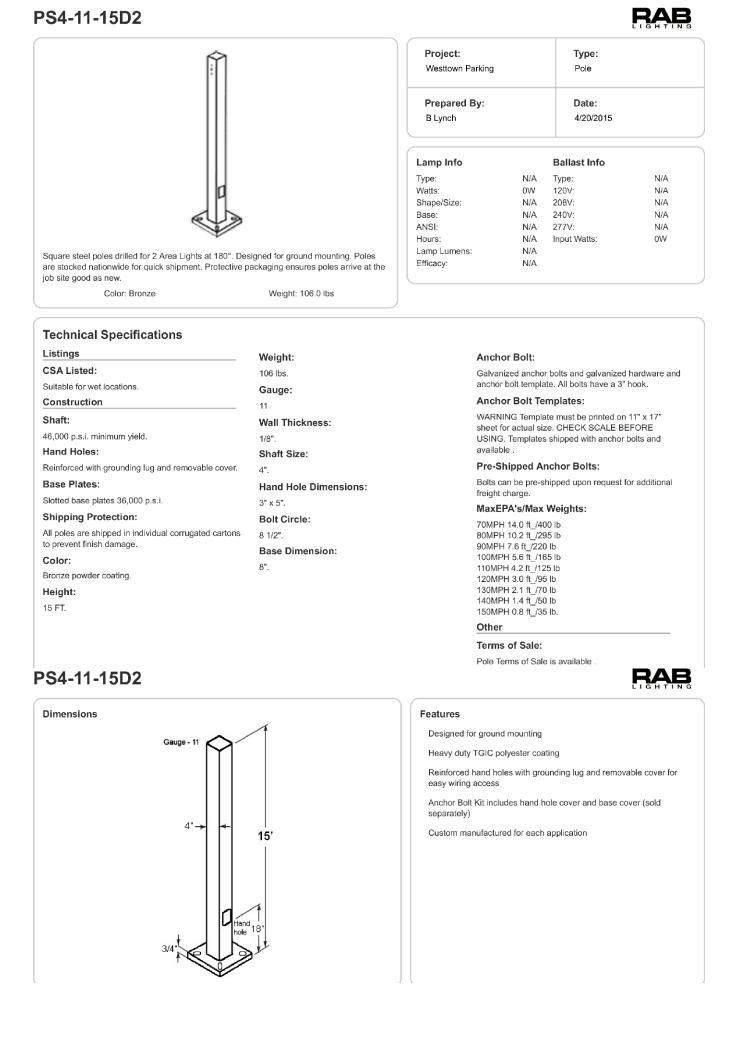


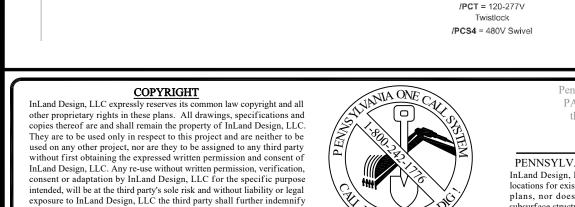












and hold harmless InLand Design, LLC from all claims, damages, losses

and expenses arising thereto or resulting therefrom.

**UPI: 67-4-23** 

Cool

Bronze

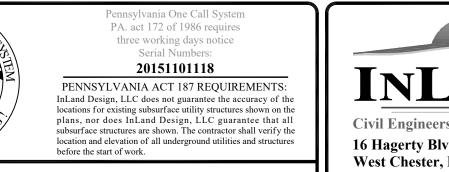
Slipfitter Y = Warm W = White /480 = 480V N = Neutral RG = Gray

277V

/PC = 120V Button

/PCS = 120V Swivel /PCS2 = 277V Swivel

Ordering Matrix



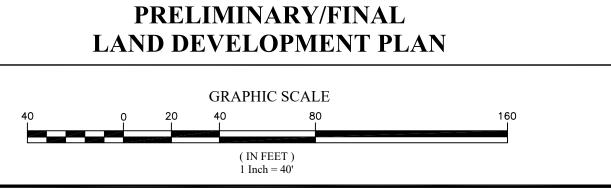
Dimming

/PC2 = 277V Button /D10 = Dimmable /BL = Bi-Level



		No.	Da
	OMMEAL A	2	7-15-
_	REGISTERED TO CO	3	9-3-
•	L'ROFESSIONAL N	4	9-14-
	THE PESSIONAL /	5	12-4-
_	CHARLES A. DOBSON	6	03-11
	ENGINEER / NO.PE-049197-E	7	07-01
8		8	10-11
6	OF NNSYLVANIA	9	5-18-
t			
		****	

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9	5-18-2018	REVISED SCHOOL BUILDING FOOTPRINT



5/13/2015 1'' = 40'Drawn by: Checked by: CAD Project No.

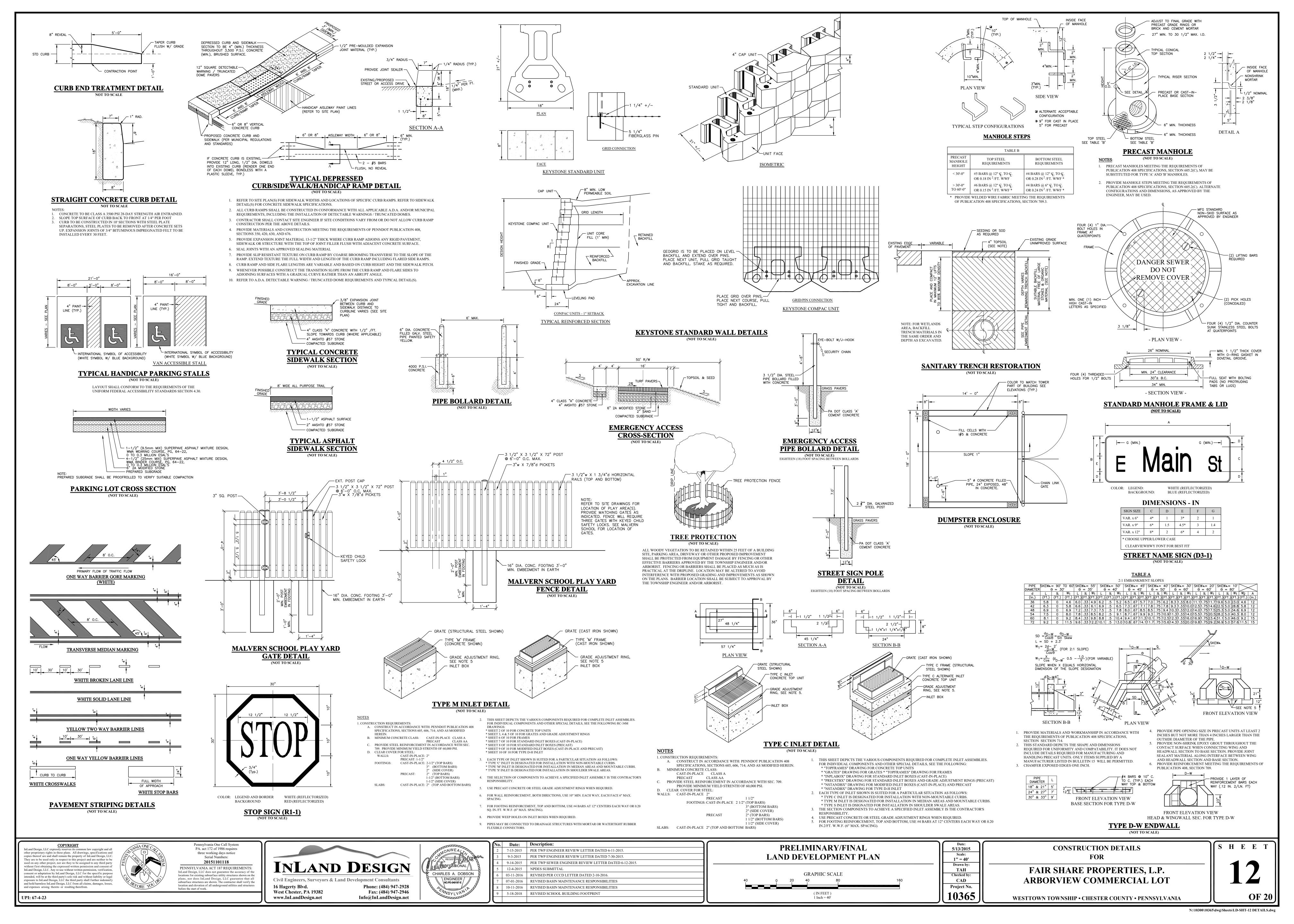
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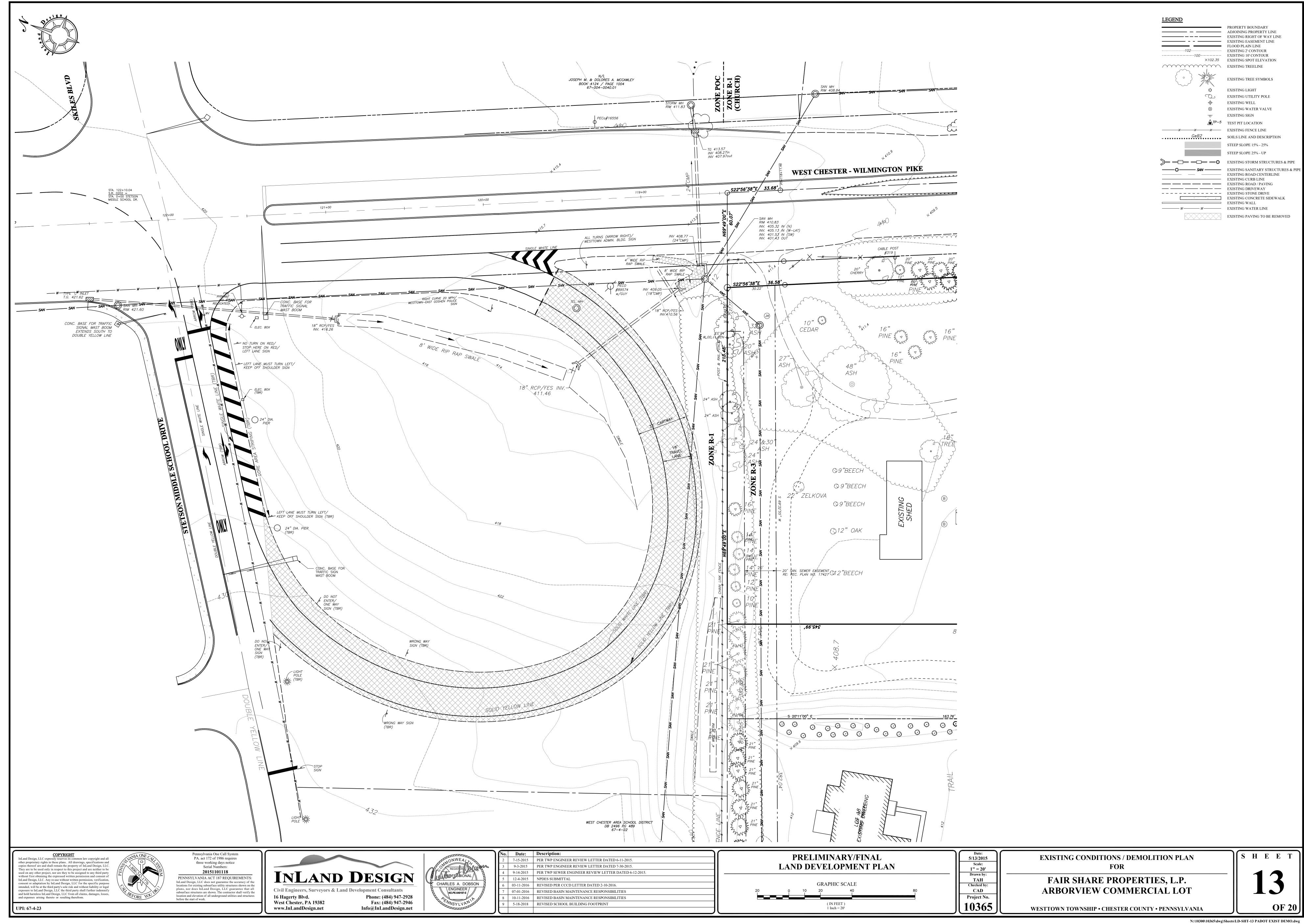
LIGHTING PLAN **FOR** 

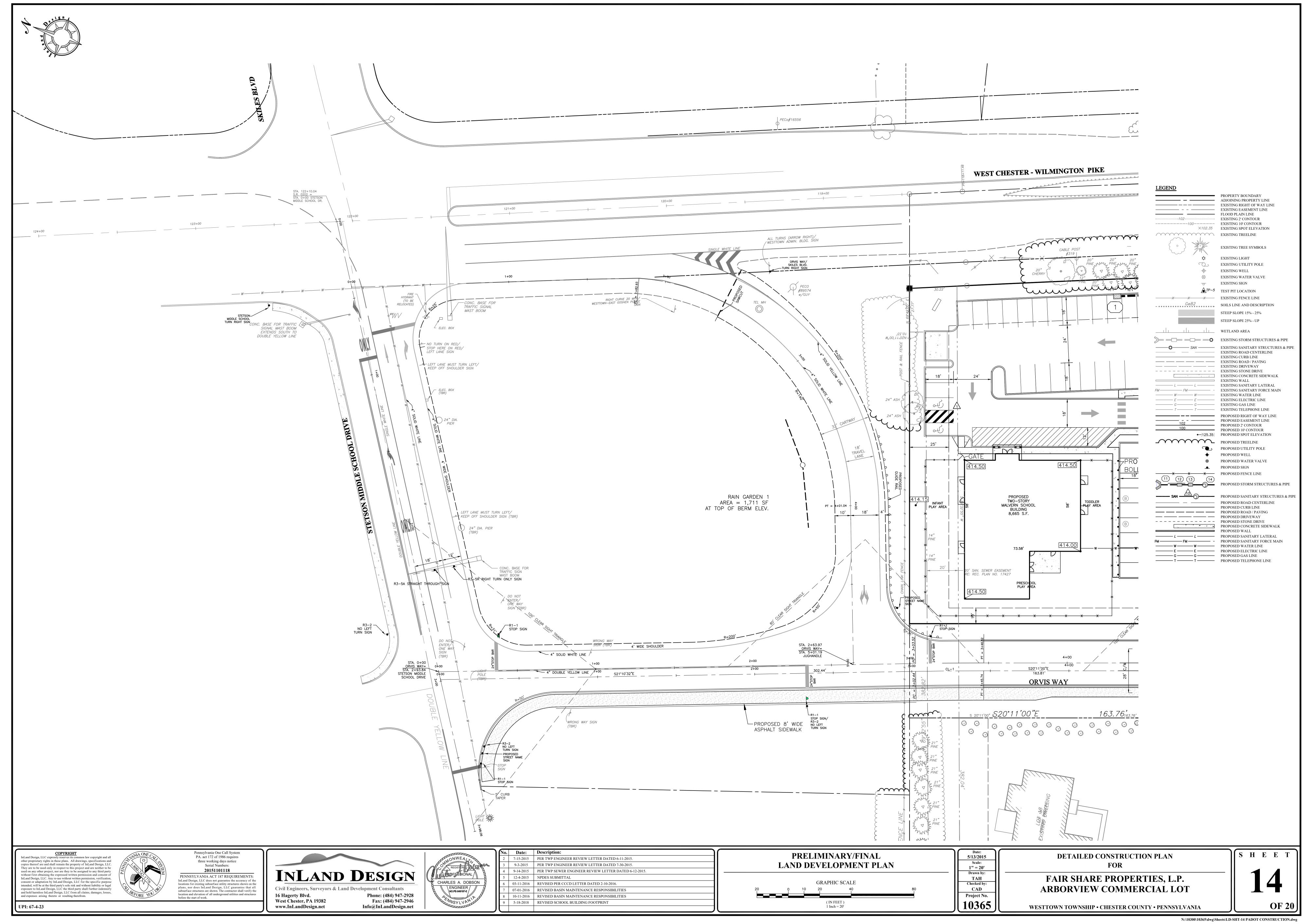
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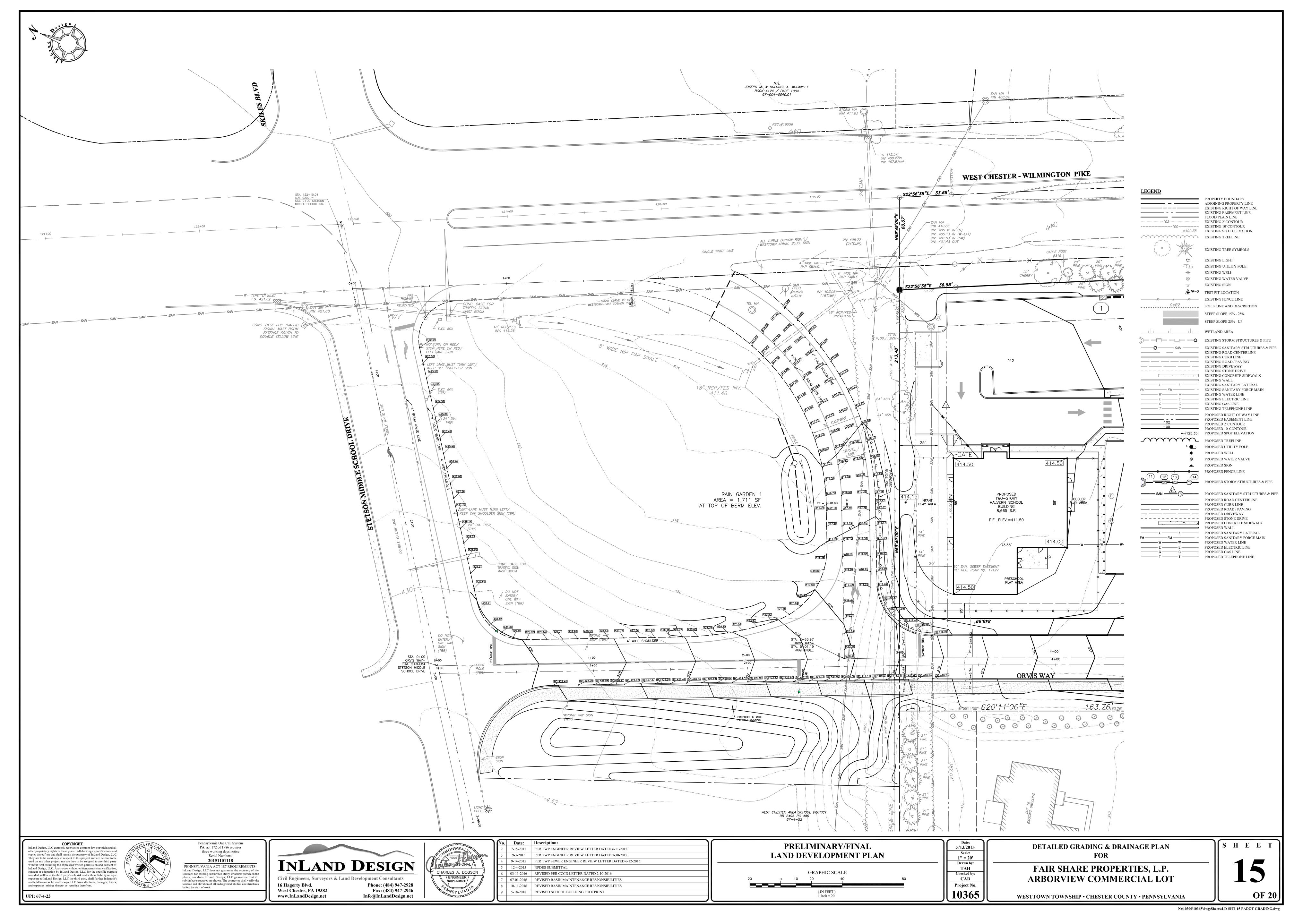
FAIR SHARE PROPERTIES, L.P. ARBORVIEW COMMERCIAL LOT S H E E T **OF 20** 

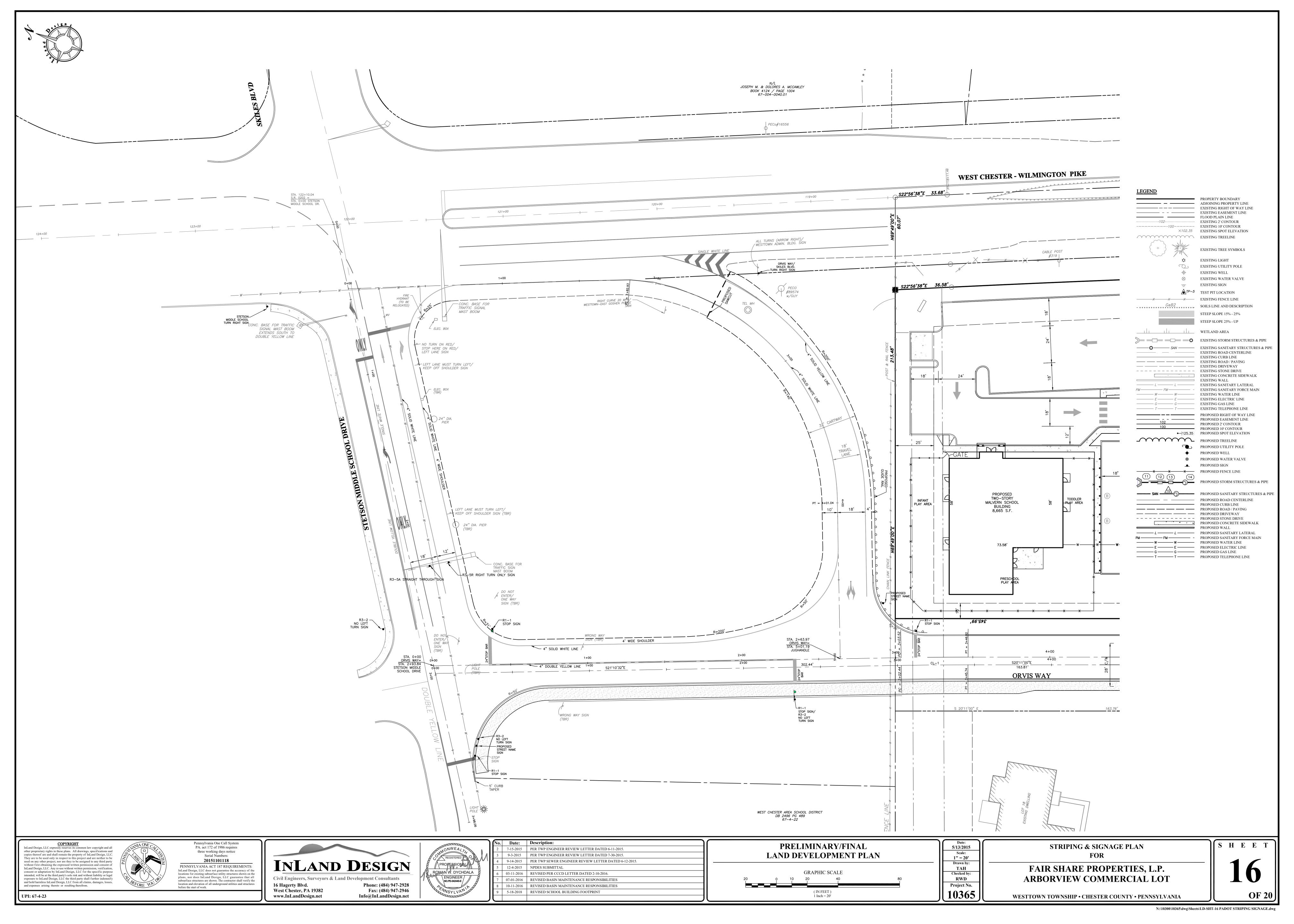
LOCATION MAP

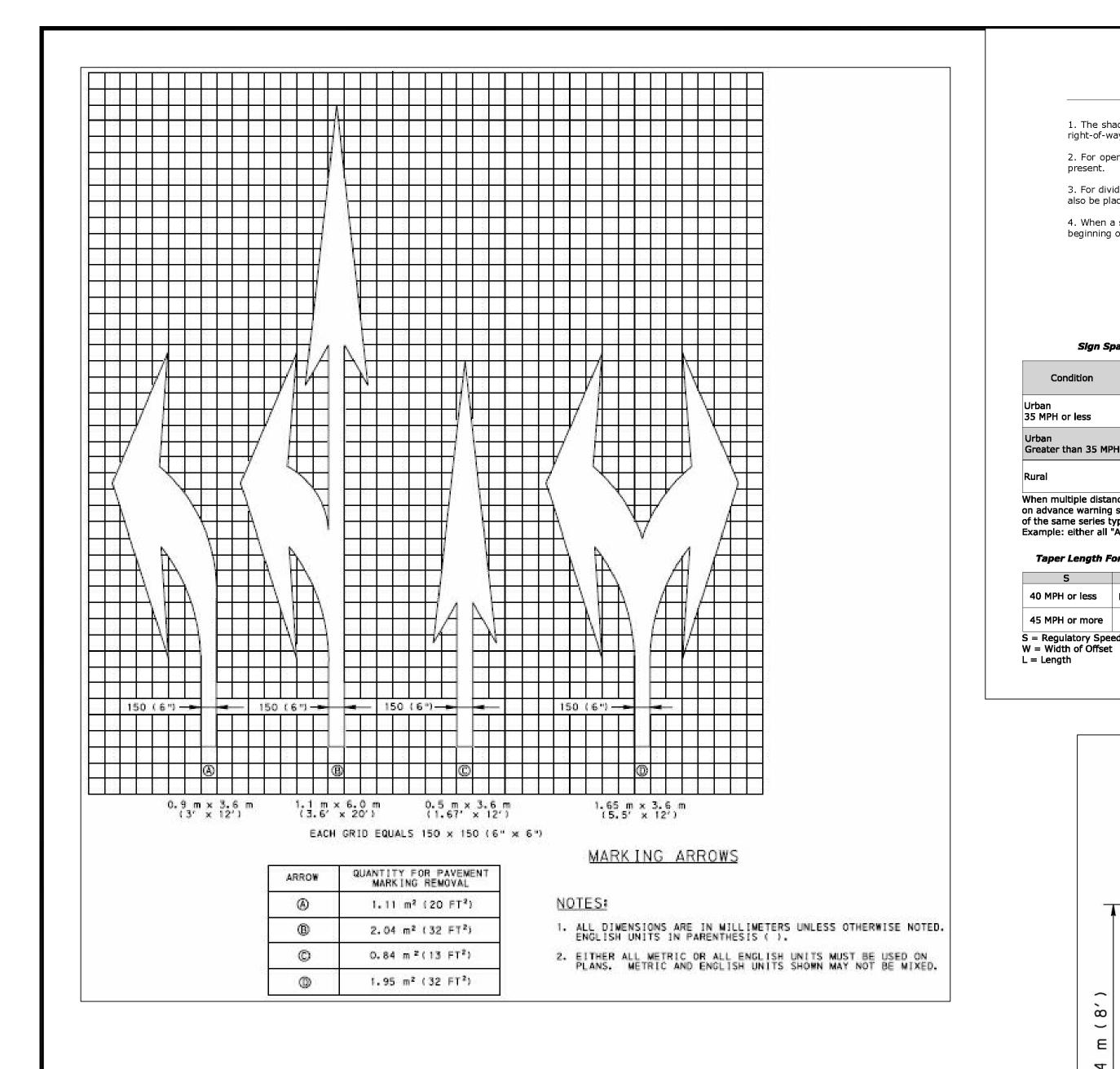


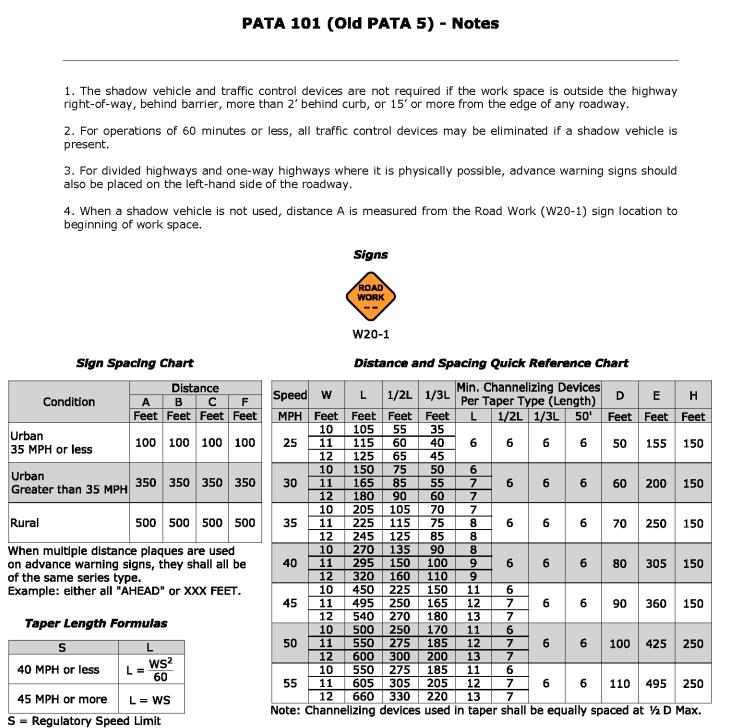


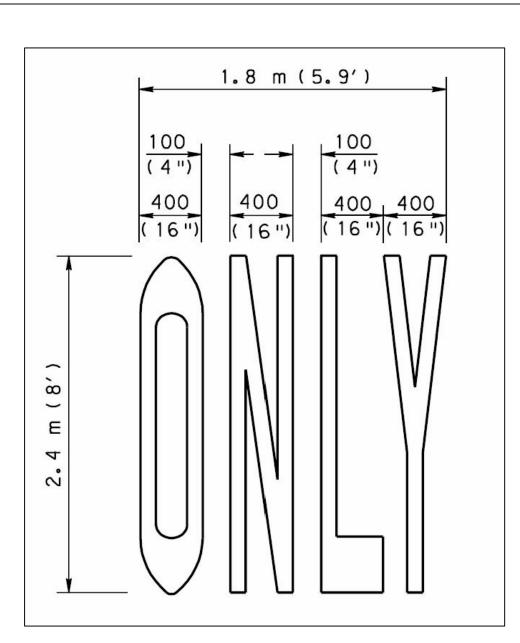


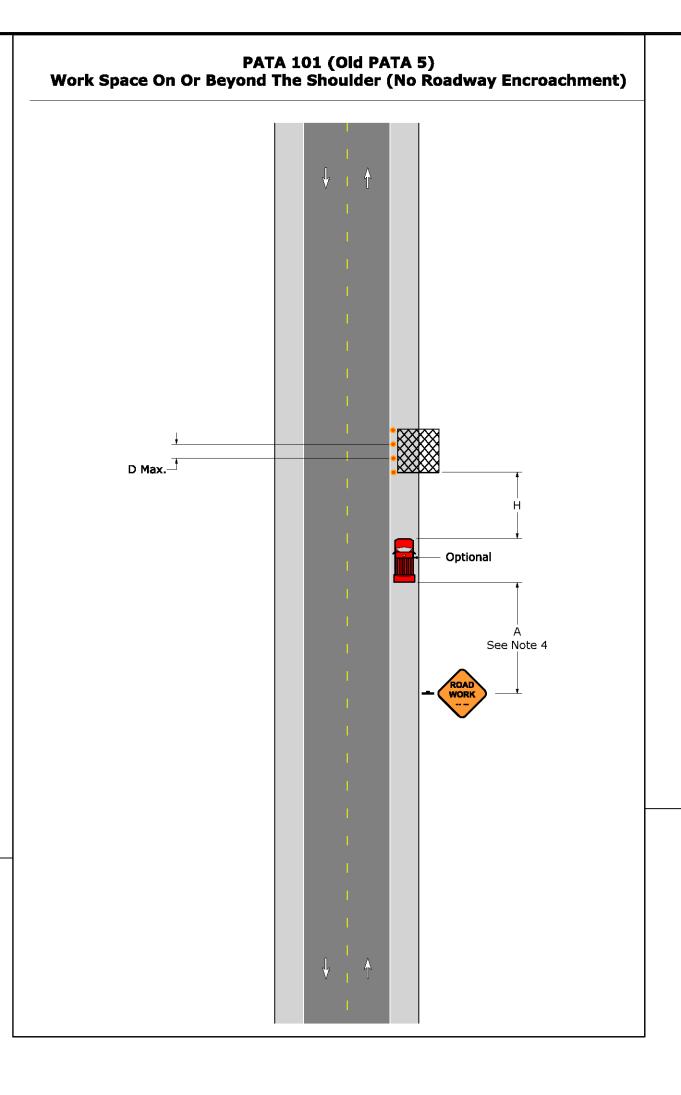


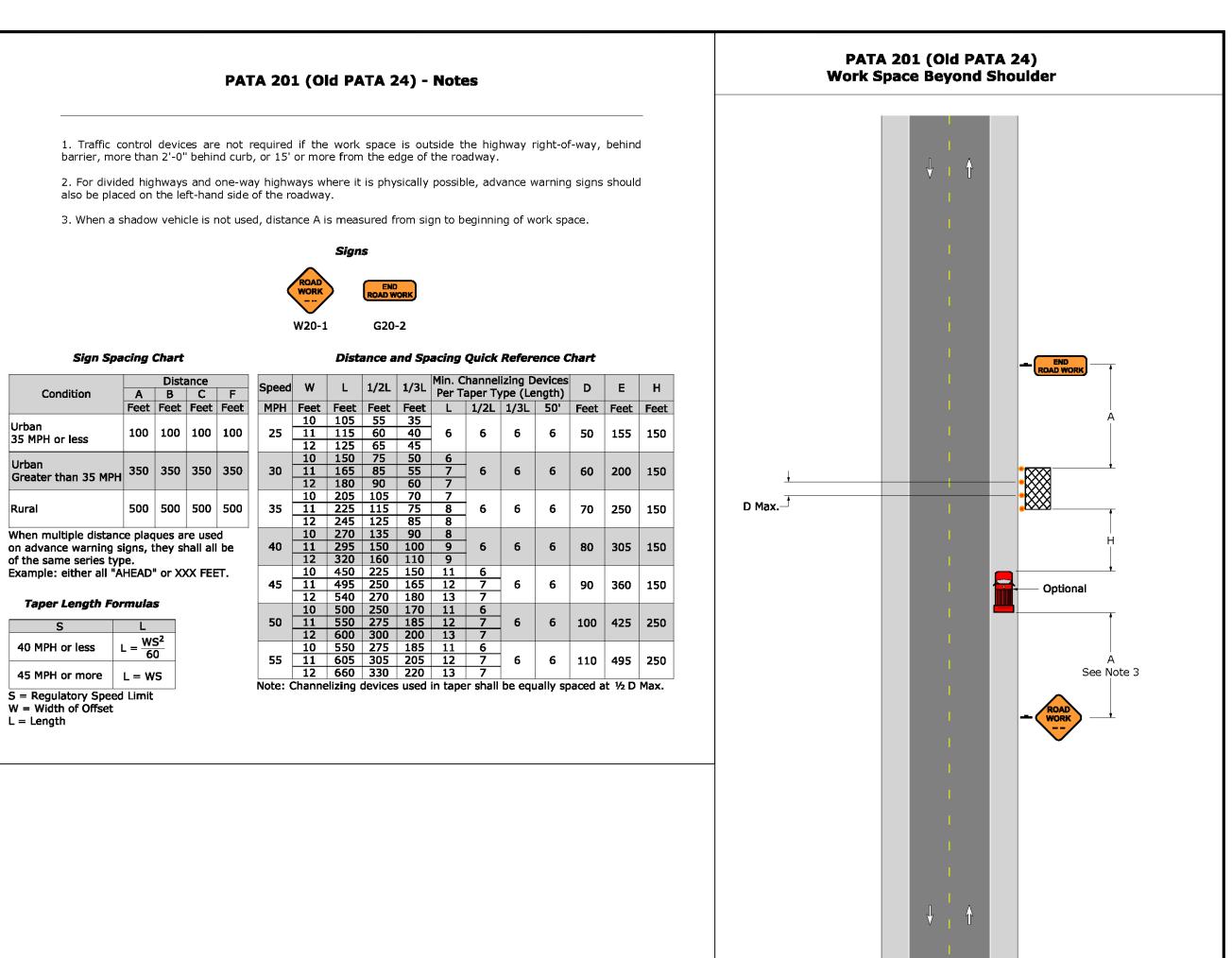


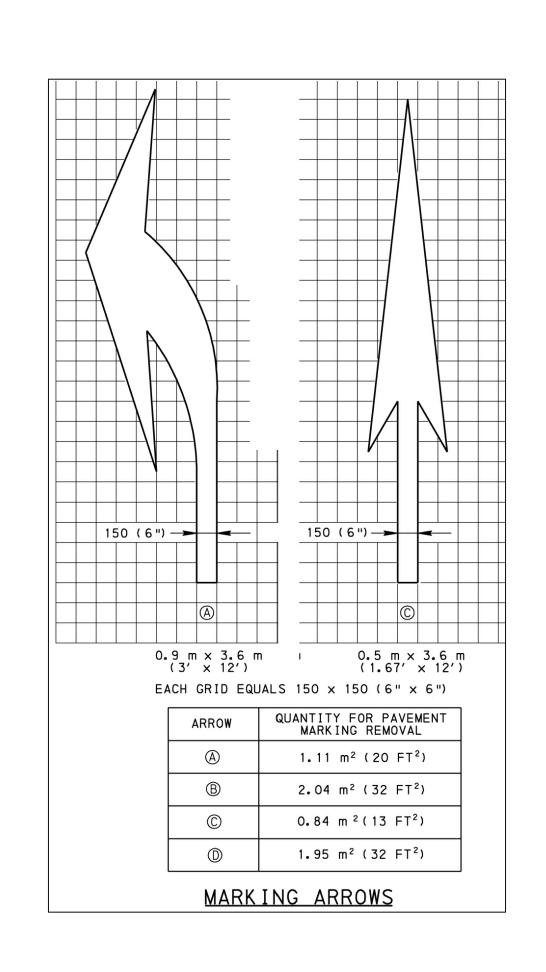


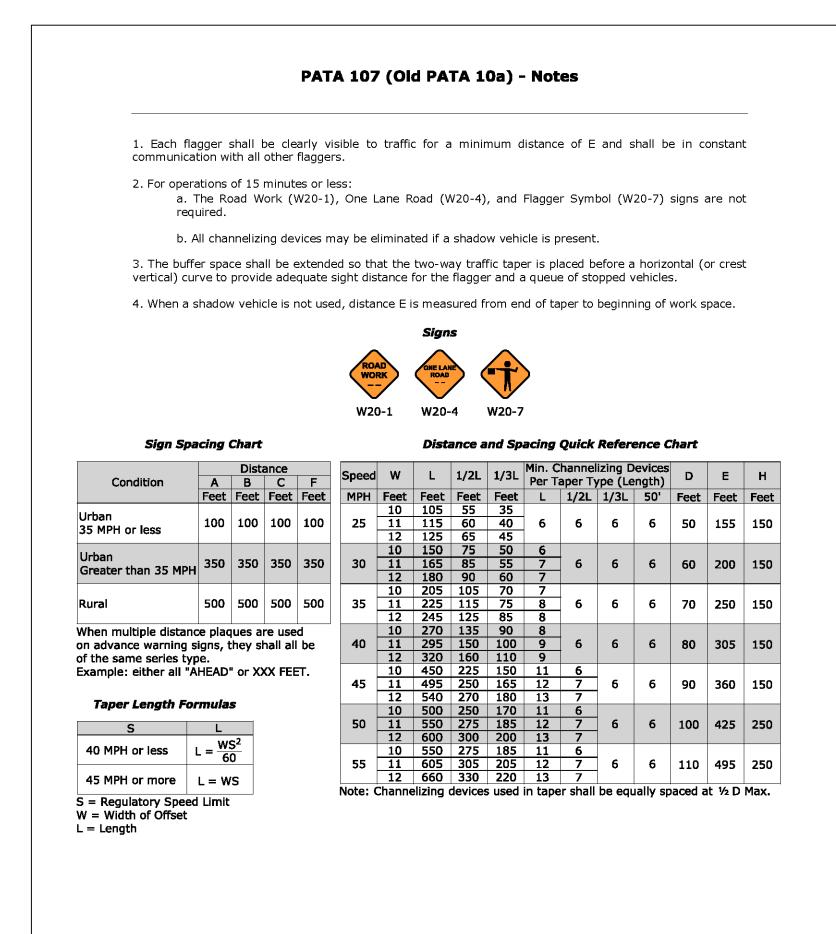


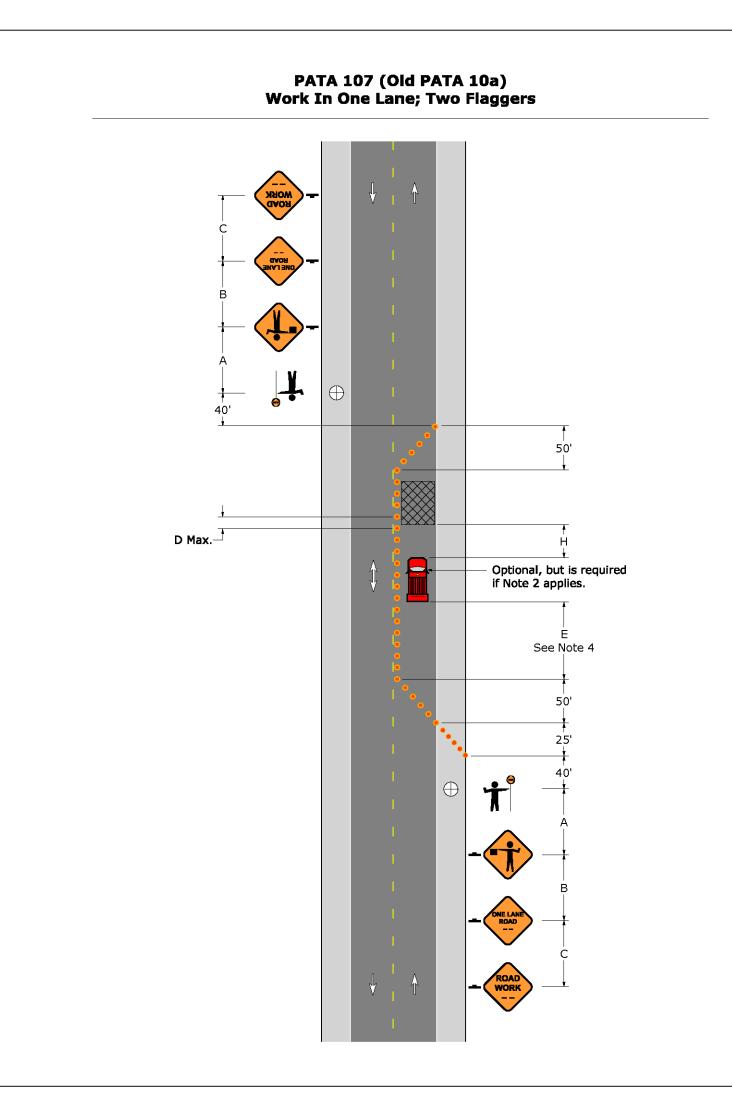


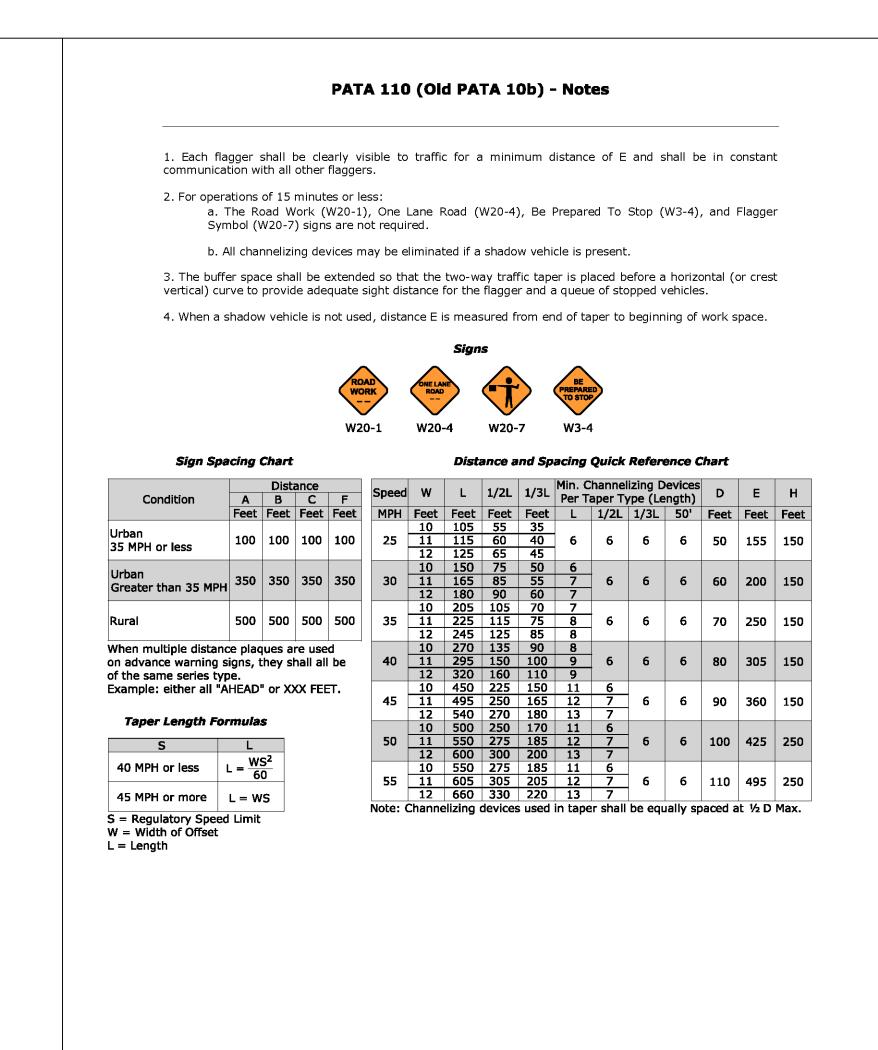


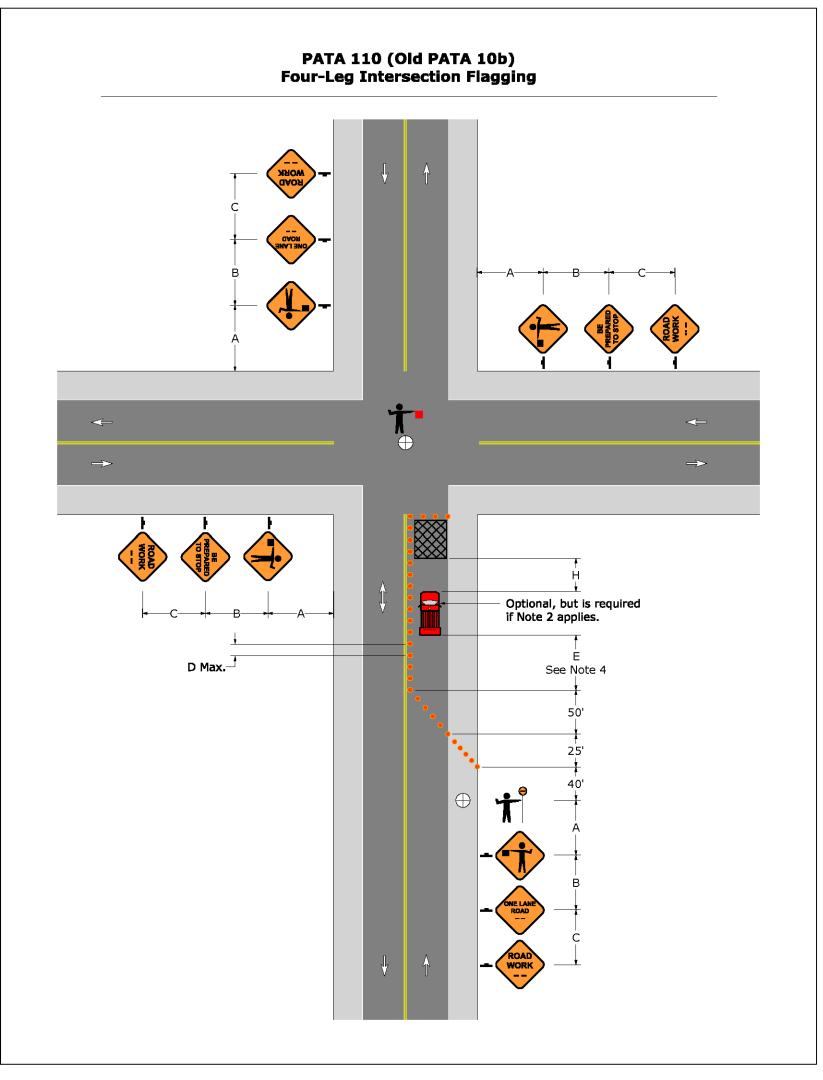


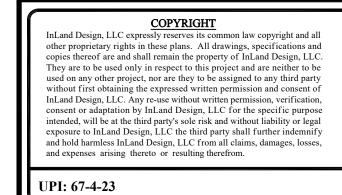












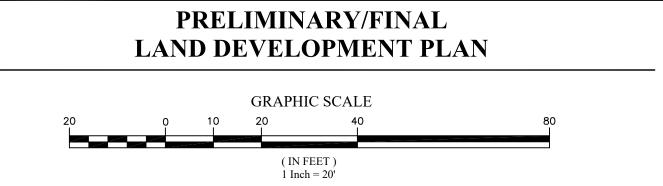
Pennsylvania One Call System
PA. act 172 of 1986 requires
three working days notice
Serial Numbers:
20151101118

PENNSYLVANIA ACT 187 REQUIREMENTS:
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CHARLES A. DOBSON ENGINEER NO.PE-049197-E
---

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П	9	5-18-2018	REVISED SCHOOL BUILDING FOOTPRINT



Date:
5/13/2015
Scale:
1" = 20'
Drawn by:
TAH
Checked by:
CAD
Project No.

10365

MAINTENANCE OF TRAFFIC PLAN FOR

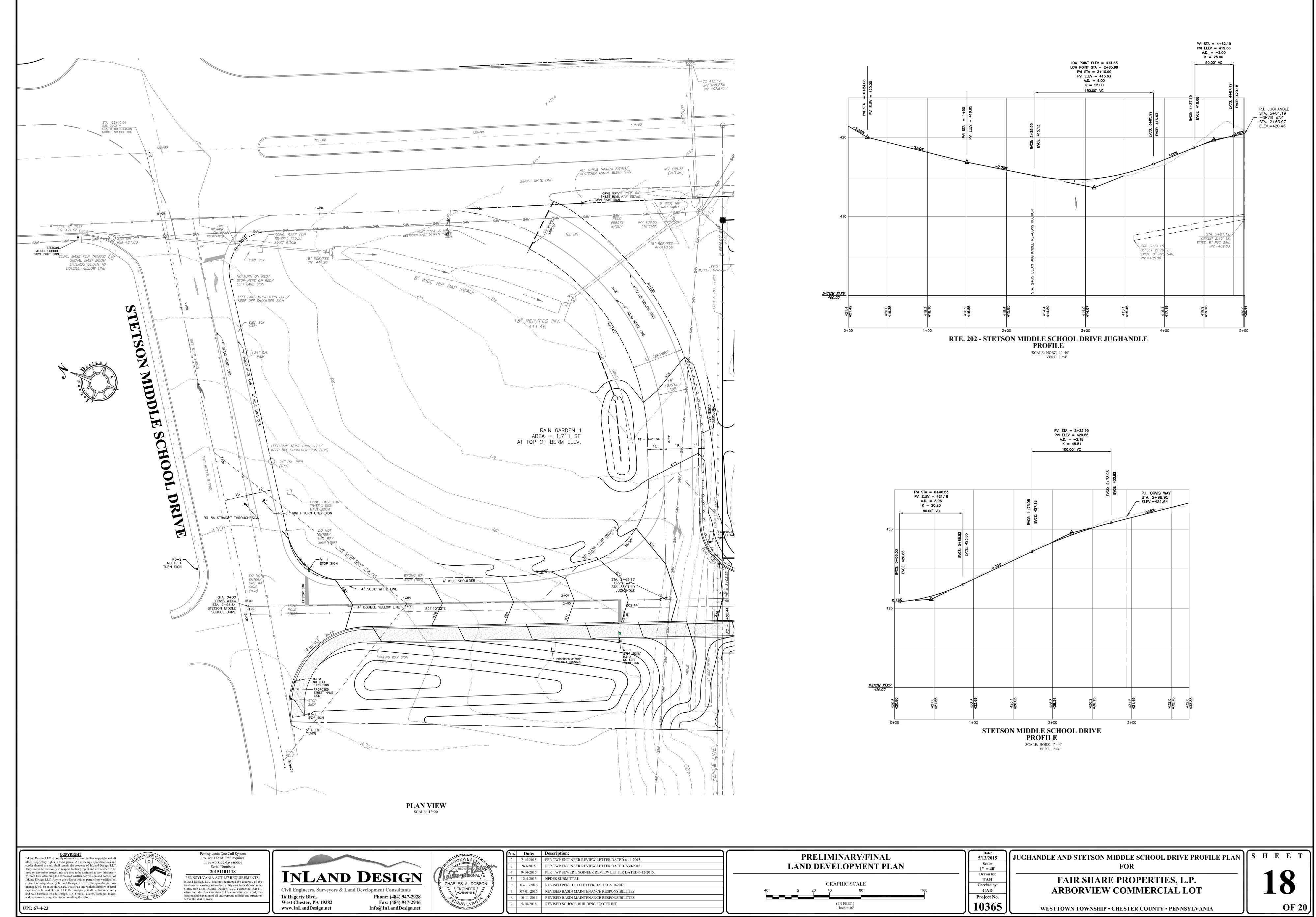
FAIR SHARE PROPERTIES, L.P.
ARBORVIEW COMMERCIAL LOT

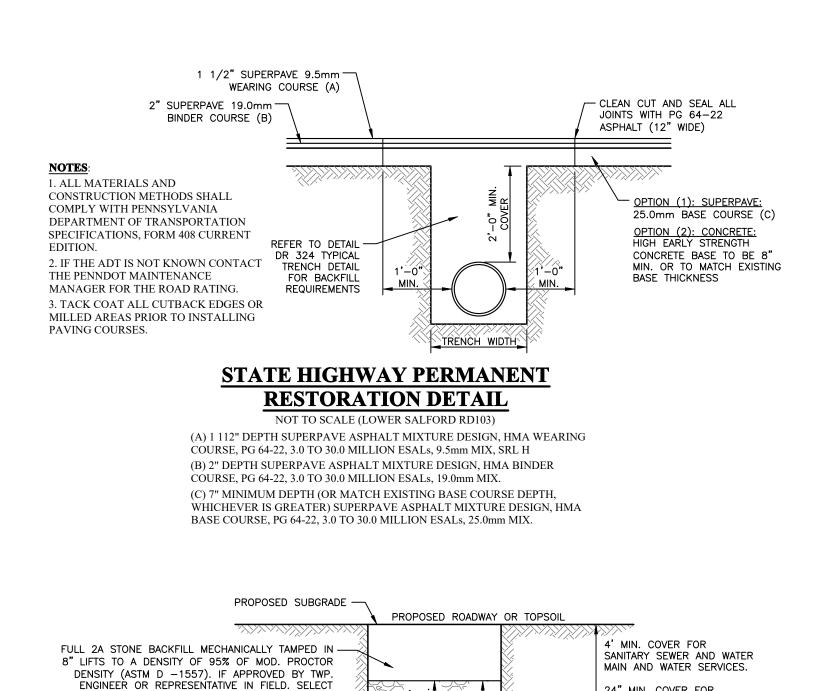
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S H E E T

17

OF 20





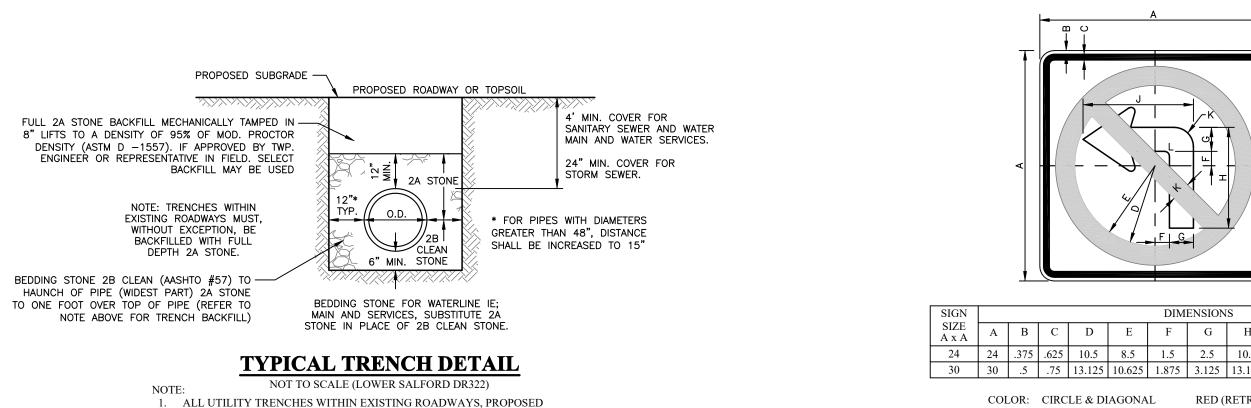
ROADWAYS, ALL RIGHT OF WAYS, EASEMENTS, PROPOSED DRIVEWAYS,

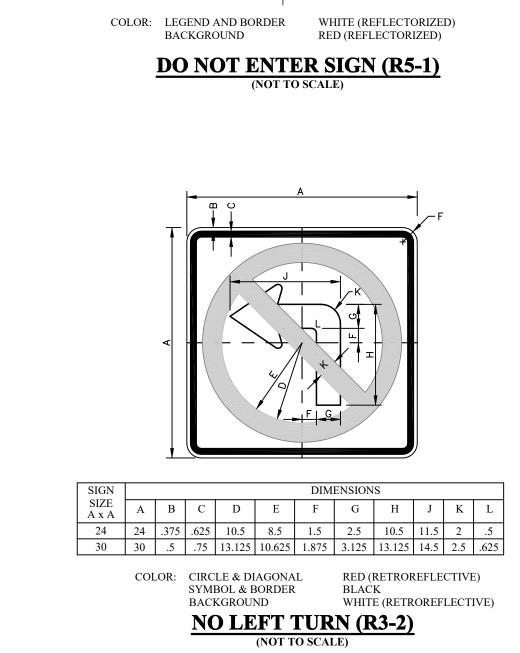
2. ALL PIPE RUNS ARE REQUIRED TO BE BACKFILLED WITH FLOWABLE BACKFILL TYPE

WATER, CABLE, PHONE, FIBEROPTICS, ETC.

'A' OR TYPE 'B' UP TO THE TOP OF THE PIPE.

APRONS AND SIDEWALKS MUST, WITHOUT EXCEPTION, BE BACKFILLED WITH FULL DEPTH 2A STONE AFTER TOP SCREENING. ALL UTILITY TRENCHES MUST BE COMPACTED (MECHANICALLY TAMPED) IN 8" LIFTS. I.E. GAS, ELECTRIC,





COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)

SIGN SIZE A B C D E F G

24x30 24 30 4 2 10 9-9/16 7-5/16

30x36 30 36 5 2 12 12 9-3/16

36x48 36 48 6 5 14 14-3/8 11

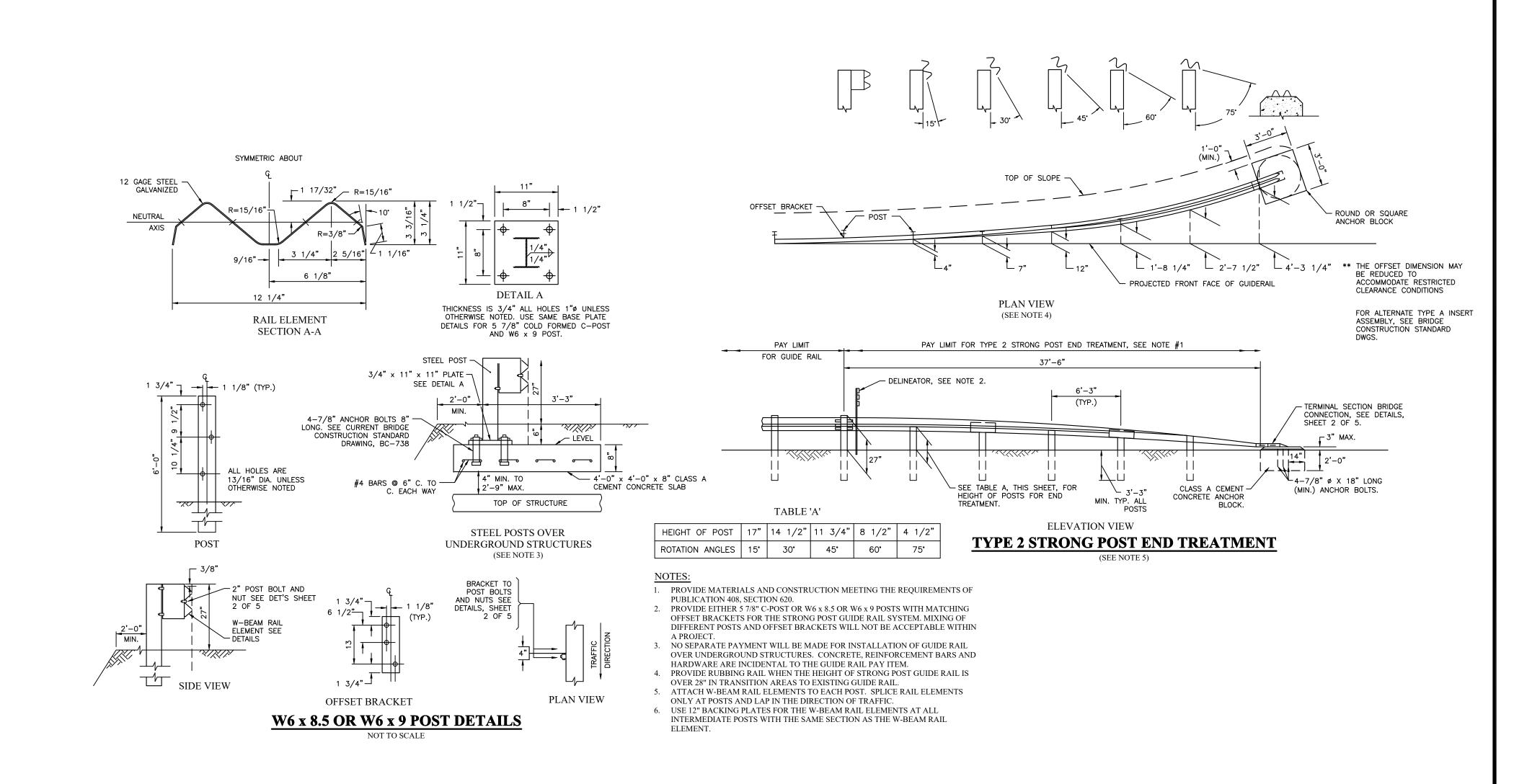
48x60 48 60 8 6 16 19-1/8 14-5/8

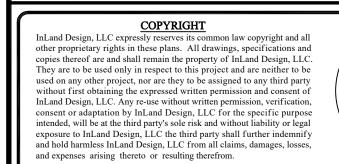
\* OPTICALLY SPACE NUMERALS ABOUT VERTICAL Q

**SPEED LIMIT SIGN (R2-1)** 

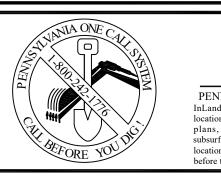
RED (REFLECTORIZED)

BACKGROUND



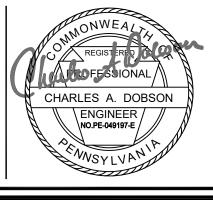


**UPI: 67-4-23** 

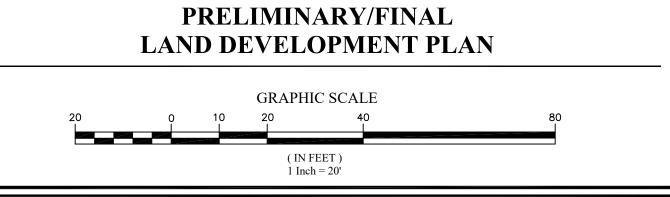


Pennsylvania One Call System PA. act 172 of 1986 requires three working days notice Serial Numbers: 20151101118 PENNSYLVANIA ACT 187 REQUIREMENTS: InLand Design, LLC does not guarantee the accuracy of the locations for existing subsurface utility structures shown on the plans, nor does InLand Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.





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	40		



5/13/2015 Scale: AS NOTED TAH Checked by: CAD Project No. 10365

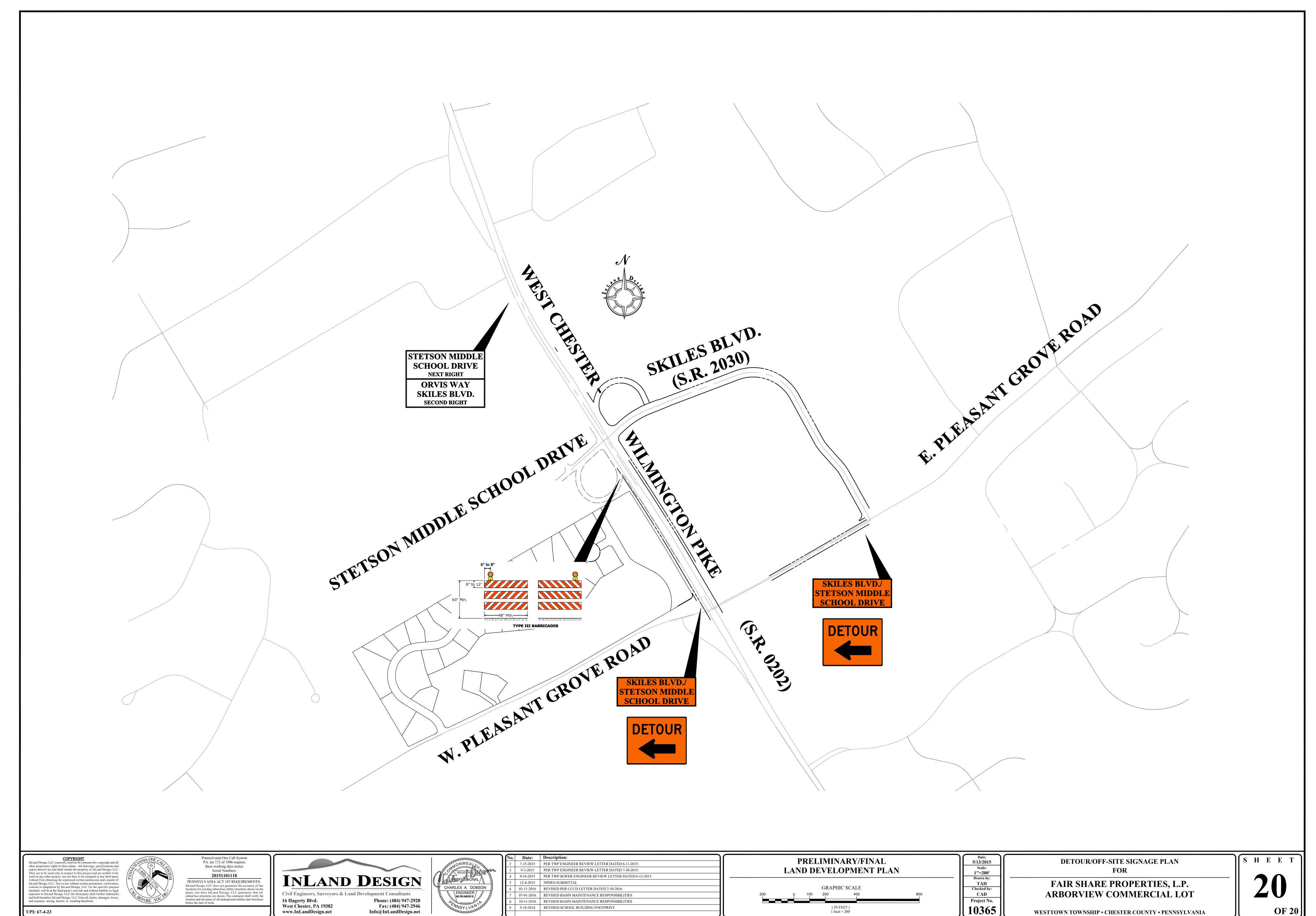
**CONSTRUCTION DETAILS FOR** 

FAIR SHARE PROPERTIES, L.P. ARBORVIEW COMMERCIAL LOT

WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

S H E E T **OF 20** 

N:\10300\10365\dwg\Sheets\LD-SHT-19 PADOT DETAILS.dwg



N:\10300\10365\dwg\Sheets\LD-SHT-20 DETOUR.dwg