

- ### LEGEND
- PROPERTY BOUNDARY
  - PROPERTY BOUNDARY TO BE REMOVED
  - ADJOINING PROPERTY LINE
  - EXISTING RIGHT OF WAY LINE
  - EXISTING EASEMENT LINE
  - EXISTING 2' CONTOUR W/ ELEVATION
  - EXISTING 10' CONTOUR W/ ELEVATION
  - EXISTING CONCRETE
  - EXISTING BRUSHLINE
  - EXISTING TRELLYNE
  - EXISTING TREE SYMBOLS
  - EXISTING LIGHT
  - EXISTING UTILITY POLE
  - EXISTING WELL
  - EXISTING WATER VALVE
  - EXISTING SIGN
  - EXISTING FENCE LINE
  - SOILS LINE AND DESCRIPTION
  - STEEP SLOPE 15% - 25%
  - STEEP SLOPE 25% - UP
  - EXISTING STORM STRUCTURES & PIPE
  - EXISTING SANITARY STRUCTURES & PIPE
  - EXISTING ROAD CENTERLINE
  - EXISTING CURB LINE
  - EXISTING ROAD / PAVING
  - EXISTING DRIVEWAY
  - EXISTING STONE DRIVE
  - EXISTING SANITARY LATERAL
  - EXISTING SANITARY FORCE MAIN
  - EXISTING WATER LINE
  - EXISTING ELECTRIC LINE
  - EXISTING GAS LINE
  - EXISTING TELEPHONE LINE
  - EXISTING TELEPHONE LINE
  - EXISTING TELEPHONE LINE
  - PROPOSED RIGHT OF WAY LINE
  - PROPOSED EASEMENT LINE
  - PROPOSED ROAD CENTERLINE
  - PROPOSED CURB LINE
  - PROPOSED ROAD / PAVING

- ### GENERAL NOTES:
- BOUNDARY INFORMATION SHOWN BY PHYSICAL SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
  - TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL = 2 FEET.
  - ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 23, 2020.
  - THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 4202C0210G, EFFECTIVE SEPTEMBER 29, 2017.
  - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
  - SITE GEOLOGY IS CHARACTERIZED AS FELSIC AND INTERMEDIATE GNEISS (Igh).
  - THIS SITE IS LOCATED IN THE M-U MULTI-USE ZONING DISTRICT.
  - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

**M-U MULTI-USE ZONING DISTRICT**  
TWIN USE UNDER R-3 IN ACCORDANCE WITH 170-801.E

	TWIN DWELLING SECTION 170-801.E	PROPOSED
MINIMUM TRACT AREA	5 ACRES	5.84 ACRES (TO LEGAL R/W)
MAXIMUM DENSITY	4 DU/ACRE	3.25 DU/ACRE
MINIMUM LOT AREA	4,800 S.F.	>4,800 S.F.
MAXIMUM BUILDING HEIGHT	38'	<38'
MINIMUM WIDTH @ BUILDING LINE	50'	50'
MAXIMUM IMPERVIOUS COVERAGE	60%	<60%
MINIMUM SIDE YARD SETBACK	10'	10'
MINIMUM REAR YARD SETBACK	30'	30'
MINIMUM FRONT YARD DEPTH	25'	25'
MINIMUM COMMON OPEN SPACE	30%	36%

### SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
U <sub>H</sub> B	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2c	A
U <sub>g</sub> B	URBAN LAND-UDORTMENTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

**COPYRIGHT**  
Inland Design, LLC expressly reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of Inland Design, LLC. They are to be used only in respect to this project and are not to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of Inland Design, LLC. Any reuse without written permission, verification, consent or adaptation by Inland Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to Inland Design, LLC. The third party shall further indemnify and hold harmless Inland Design, LLC from all claims, damages, losses, and expenses arising therefrom or resulting therefrom.

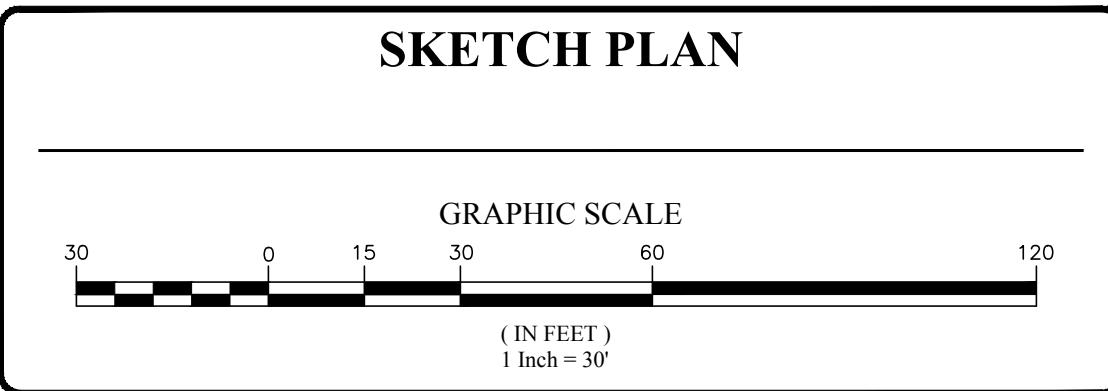
PA. act 172 of 1986 requires three working days notice  
Serial Numbers:  
2020

**PENNSYLVANIA ACT 187 REQUIREMENTS:**  
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

**INLAND DESIGN**  
Civil Engineers, Surveyors & Land Development Consultants  
16 Hagerty Blvd.  
West Chester, PA 19382  
www.InlandDesign.net  
Phone: (484) 947-2928  
Fax: (484) 947-2946  
Info@InlandDesign.net



No.	Date:	Description:



Date: 08/19/2020  
Scale: 1" = 30'  
Drawn by: PCD  
Checked by: CAD  
Project No. 11541

**TWIN DWELLING SKETCH PLAN FOR MEGILL HOMES, INC.**  
921-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET 1 OF 1**