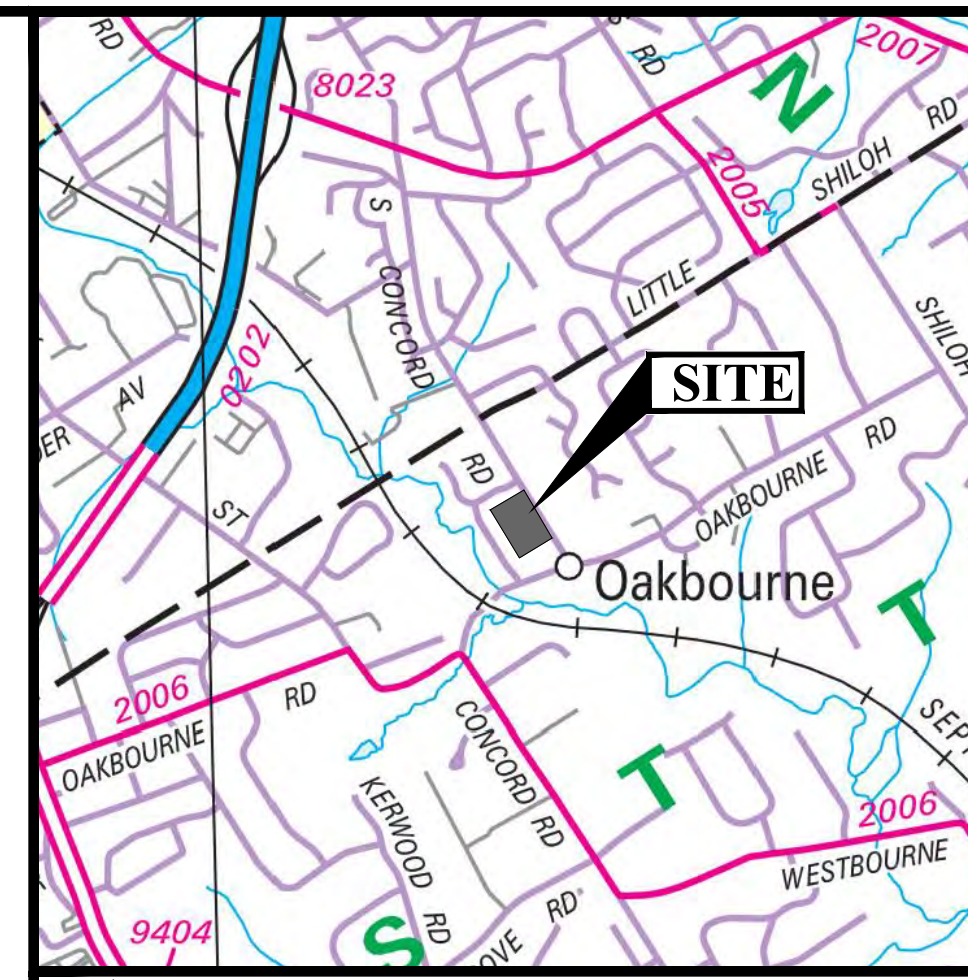


# PRELIMINARY/FINAL LAND DEVELOPMENT FOR SAWMILL COURT

914-924 S. CONCORD ROAD, WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA



**LOCATION MAP**  
SCALE 1" = 300'

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF CHESTER

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ BEFORE ME, THE  
SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA,  
RESIDING IN \_\_\_\_\_ PERSONALLY APPEARED  
\_\_\_\_\_ WHO ACKNOWLEDGES HIMSELF TO BE THE  
\_\_\_\_\_ A CORPORATION AND  
GENERAL PARTNER OF THE OWNER, AND THAT AS SUCH TO DO SO, HE EXCLUDED  
THE FOREGOING PLAN BY SIGNING THE NAME OF THE SAID CORPORATION BY  
HIMSELF AS THAT THE SAID CORPORATION IS THE OWNER  
OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS  
BEEN OBTAINED AND ENDORSED THEREON AND THAT THE SAID CORPORATION  
DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

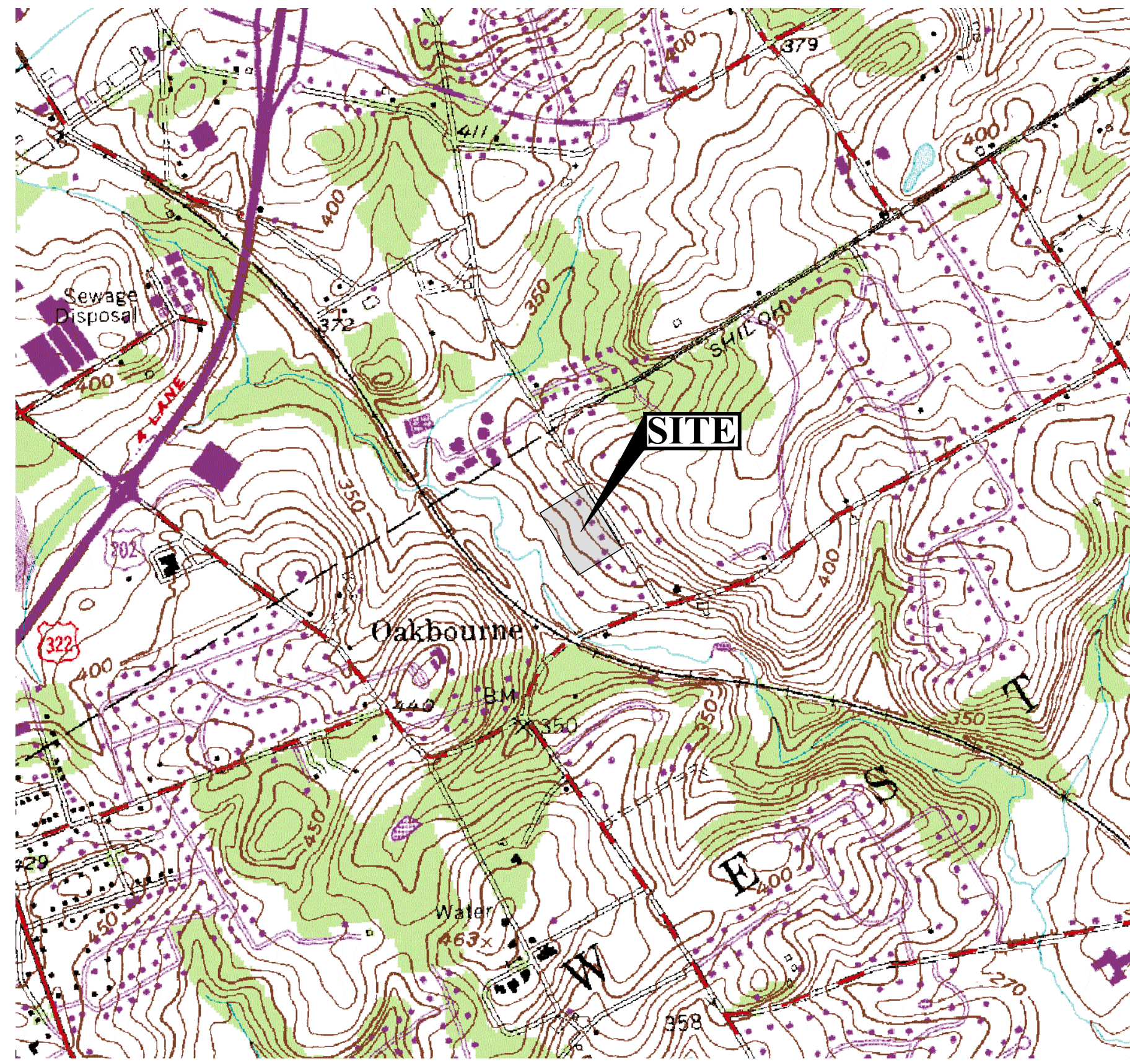
OWNER \_\_\_\_\_  
NOTARY PUBLIC \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

**EXISTING CONDITIONS NOTES:**

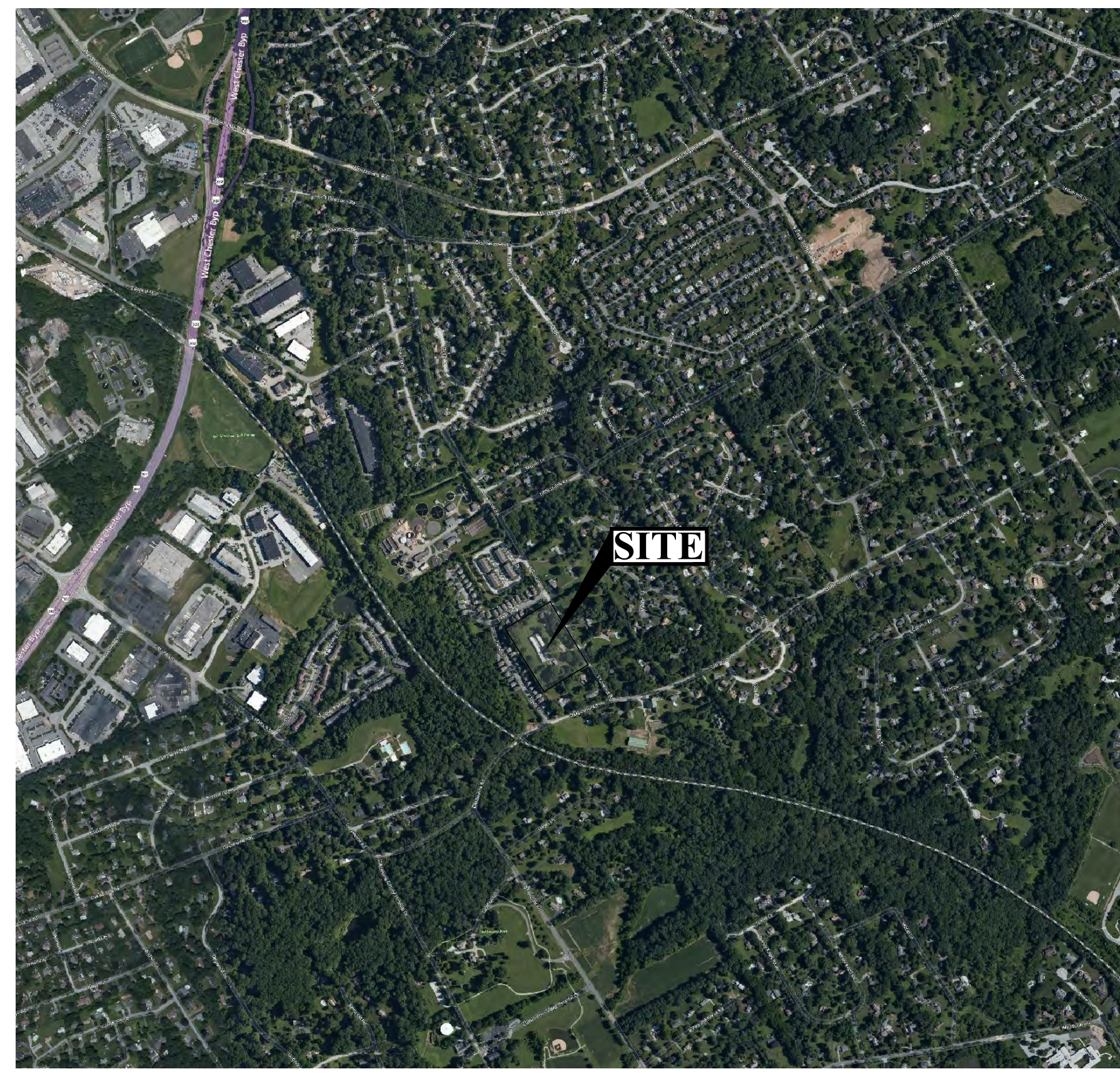
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- ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 25, 2020. BENCHMARK EXISTING MANHOLE LOCATED AT THE INTERSECTION PICKET WAY AND SOUTH CONCORD ROAD, ELEVATION 376.81.
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- THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 420202106, EFFECTIVE SEPTEMBER 29, 2017.
- SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- SITE GEOLOGY IS CHARACTERIZED AS FELSIC AND INTERMEDIATE GNEISS (FGH).
- THIS SITE IS LOCATED IN THE M-U MULTI-USE ZONING DISTRICT.
- THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
- THERE ARE NO WETLANDS LOCATED ON THIS SITE.
- THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED, THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T9-WF.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

**GENERAL NOTES:**

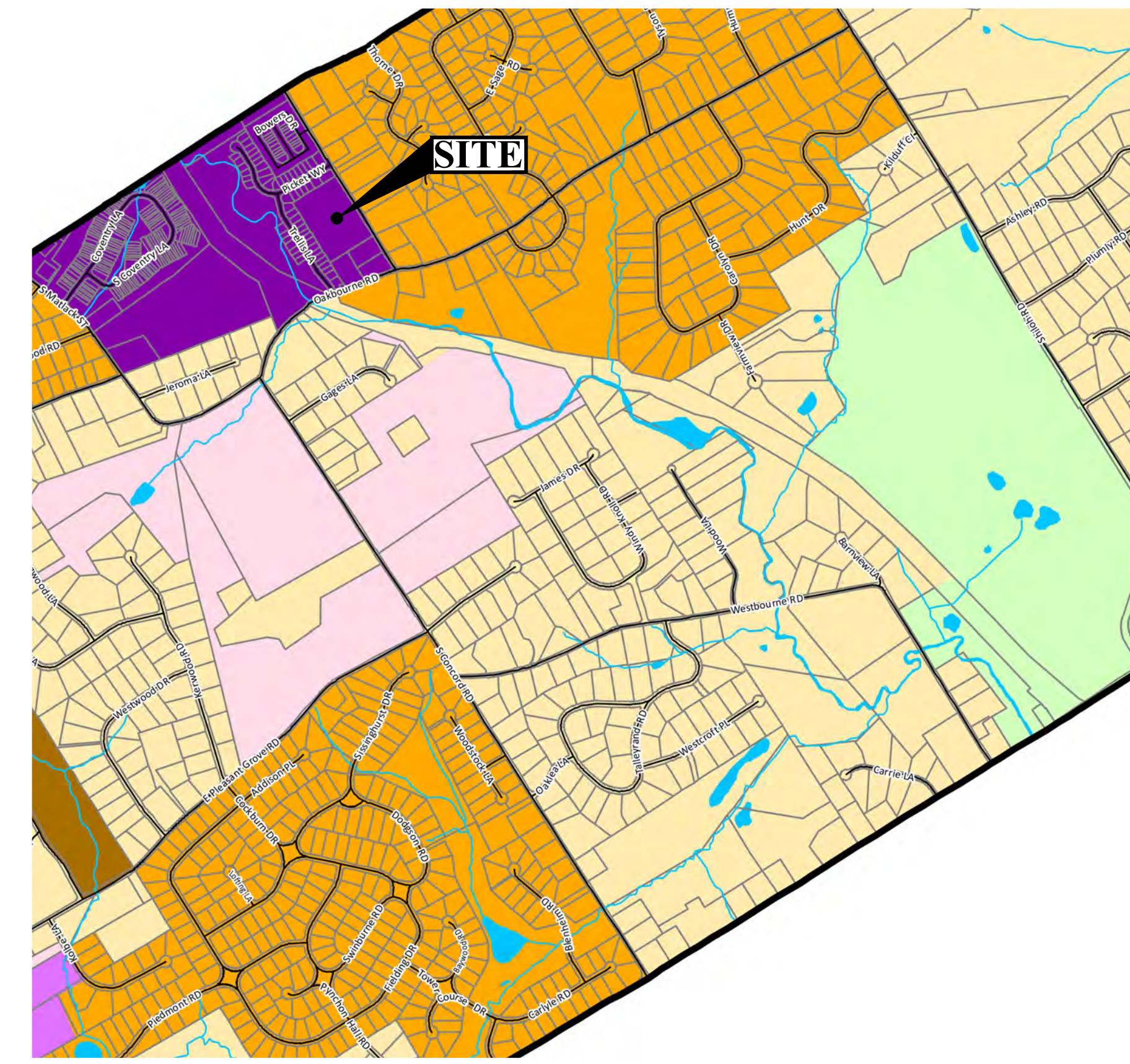
- THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHALL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP SALS AND PER AQUA PA STANDARDS AND SPECIFICATIONS.
- SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOOSHEN SEWER AUTHORITY WWTP.
- ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE WESTTOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS.
- THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH. THERE ARE NO WETLANDS WITHIN SITE LIMITS.
- THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
- THE RIGHT-OF-WAY OF SAWMILL COURT WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE RIGHT-OF-WAY.
- THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE BOARD OF SUPERVISORS DETERMINES THAT THE RIGHT-OF-WAY IS NEEDED. THE SANITARY SEWER EXTENSION PROPOSED AS A PART OF THIS PROJECT WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE UTILITIES.
- LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY LAMPS ON EACH INDIVIDUAL PROPERTY OWNERS LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCENT LIGHTS ARE SHOWN AT EACH DRIVEWAY. THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DARK TO DAWN SENSOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOME OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
- THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN TOWNSHIP TO ALLOW CONSTRUCTION OF CONNECTOR TRAILS IN THE NORTHEAST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS SIDEWALKS OR TRAILS ARE EXTENDED TO THESE CORNERS OF THE ADJACENT PARCELS.



USGS MAP  
1" = 1000'



AERIAL MAP  
1" = 1000'



ZONING MAP  
1" = 1000'

REVIEWED BY THE PLANNING COMMISSION OF WESTTOWN TWP., CHESTER CO., PA., THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

APPROVED BY THE BOARD OF SUPERVISORS OF WESTTOWN TWP., CHESTER CO., PA., THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

REVIEWED BY THE PLANNING COMMISSION OF CHESTER COUNTY, PENNSYLVANIA THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

(SECRETARY) \_\_\_\_\_

REVIEWED BY THE EAST WESTTOWN TOWNSHIP ENGINEER: \_\_\_\_\_ (DATE) \_\_\_\_\_

(ENGINEER) \_\_\_\_\_ (DATE) \_\_\_\_\_

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

(DEPUTY RECORDER OF DEEDS) \_\_\_\_\_

**CERTIFICATE OF CONFORMANCE:**

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS.

JOEL D. COMANDA, P.E.  
(LIC. #PE07040) (DATE) \_\_\_\_\_

**SURVEY CERTIFICATION:**

CERTIFICATION BY SURVEYOR THAT THE SURVEY AND PLAN ARE CORRECT:

I CERTIFY THAT THE SURVEY AND PLAN ARE CORRECT

WILLIAM R. CUJDIK, PLS (DATE) \_\_\_\_\_  
(LIC. #S007515)

**AFFIDAVIT OF OWNERSHIP**  
COMMONWEALTH OF PENNSYLVANIA : SS:  
COUNTY OF CHESTER

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, THIS DAY PERSONALLY APPEARED \_\_\_\_\_ TO ME KNOWN (OR SATISFACTORILY PROVEN), WHO BEING DULY SWORN, ACCORDING TO LAW, DEPOSED (AND SAYS):

HE IS THE CO-MANAGER OF HUNTRISE BUILDERS, LLC, WHICH IS A LIMITED LIABILITY CORPORATION, AND IS THE RECORD OWNER OF ALL THE PROPERTY ("PROPERTY") TO WHICH THIS PLAN APPLIES AND OF ALL RIGHTS WHICH ARE NECESSARY TO IMPLEMENT THIS PLAN. THE SOURCE OF HUNTRISE BUILDERS, LLC'S TITLE IS THE DEED RECORDED WITH THE OFFICE ("RECORDED OFFICE") OF THE RECORDER OF DEEDS IN AND FOR CHESTER COUNTY, PENNSYLVANIA, IN RECORD BOOK \_\_\_\_\_ BEGINNING AT PAGE \_\_\_\_\_. THIS PLAN IS HUNTRISE BUILDERS, LLC'S ACT AND DEED AND IS ATTORNEYS BY HUNTRISE BUILDERS, LLC TO BE RECORDED WITH THE RECORDER'S OFFICE AND THAT SUCH RECORDING SHALL BE EFFECTIVE FOR ALL PURPOSES. HE IS AUTHORIZED BY SAID HUNTRISE BUILDERS, LLC TO MAKE THIS AFFIDAVIT.

HUNTRISE BUILDERS, LLC

BY: \_\_\_\_\_

SWORN TO AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_

**OFFER OF DEDICATION: SOUTH CONCORD ROAD R.O.W.**

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAN, AND THAT ALL PROPOSED STREET RIGHT-OF-WAY, SHOWN AND NOT HERETOFORE DEDICATED, IS HEREBY CONTINUALLY OFFERED FOR DEDICATION TO THE PUBLIC USE.

HUNTRISE BUILDERS, LLC

**SHEET LIST**

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITION & DEMO PLAN
3	TITLE PLAN
4	SITE PLAN
5	GRADING AND UTILITY PLAN
6	DRIVEWAY GRADING BLOWUP
7	CONSERVATION PLAN
8	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
9	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS & NOTES 'A'
10	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS & NOTES 'B'
11	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN & PROFILE
12	POST CONSTRUCTION STORMWATER MANAGEMENT OFF-ROAD PROFILES
13	EROSION & SEDIMENT CONTROL PLAN
14	EROSION & SEDIMENT CONTROL NOTES
15	EROSION & SEDIMENT CONTROL DETAILS
16	TREE PROTECTION, LANDSCAPING & LIGHTING PLAN
17	OPEN SPACE MANAGEMENT PLAN
18	CONSTRUCTION DETAILS 'A'
19	CONSTRUCTION DETAILS 'B'
20	CONSTRUCTION DETAILS 'C'

**INDIVIDUAL LOT ZONING CHART**  
M-U MULTI-USE ZONING DISTRICT - TWIN USE UNDER R-3 IN ACCORDANCE WITH 170-802.E.

	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20
MINIMUM LOT AREA	4,800 S.F.	5,367 S.F.	5,979 S.F.	6,457 S.F.	6,127 S.F.	6,206 S.F.	6,513 S.F.	6,504 S.F.	6,048 S.F.	6,061 S.F.	6,548 S.F.	6,176 S.F.	6,127 S.F.	6,457 S.F.	5,367 S.F.	5,367 S.F.	7,397 S.F.	7,441 S.F.	7,441 S.F.	7,397 S.F.	7,397 S.F.
EASEMENT AREA	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	1,124 S.F.	1,123 S.F.	0 S.F.	0 S.F.	1,121 S.F.	1,120 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.
NET LOT AREA	5,367 S.F.	5,979 S.F.	6,457 S.F.	6,127 S.F.	6,206 S.F.	5,389 S.F.	5,381 S.F.	6,048 S.F.	6,061 S.F.	5,427 S.F.	5,394 S.F.	6,176 S.F.	6,127 S.F.	6,457 S.F.	5,367 S.F.	5,367 S.F.	7,397 S.F.	7,441 S.F.	7,441 S.F.	7,397 S.F.	7,397 S.F.
AREA OF STEEP SLOPES	0 S.F.	0 S.F.	345 S.F.	75 S.F.	1,084 S.F.	0 S.F.	0 S.F.	0 S.F.	242 S.F.	293 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	37 S.F.	593 S.F.	485 S.F.
UNENCUMBERED LOT AREA	3,600 S.F.	5,367 S.F.	5,979 S.F.	6,112 S.F.	6,052 S.F.	5,122 S.F.	5,389 S.F.	5,381 S.F.	6,048 S.F.	5,819 S.F.	5,134 S.F.	5,394 S.F.	6,176 S.F.	6,127 S.F.	6,457 S.F.	5,367 S.F.	5,367 S.F.	7,397 S.F.	7,404 S.F.	6,848 S.F.	6,912 S.F.
MAX. BUILDING HEIGHT	38'-0"	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'
MIN. WIDTH @ BUILDING LINE	50 FT.	50.65 FT.	50.58 FT.	51.92 FT.	51.92 FT.	51.92 FT.	50.62 FT.	50.62 FT.	50.00 FT.	50.00 FT.	50.62 FT.	51.92 FT.	51.92 FT.	51.92 FT.	50.58 FT.	50.64 FT.	56.83 FT.	55.20 FT.	56.83 FT.	55.20 FT.	
MAX. BUILDING COVERAGE	30%	29.99%	26.9%	24.93%	26.27%	25.94%	24.72%	24.75%	26.62%	26.56%	24.58%	24.72%	26.06%	26.27%	24.93%	29.99%	29.99%	25.95%	25.80%	25.80%	25.95%
MAX. IMPERVIOUS COVERAGE <sup>1</sup>	60%	42.46%	32.10%	35.43%	37.34%	36.86%	42.45%	42.52%	37.83%	37.74%	42.16%	42.41%	37.04%	37.34%	35.43%	42.44%	42.44%	35.85%	35.82%	38.73%	38.73%
MIN. SIDE YARD SETBACK	10 FT.	15.66 FT.	15.54 FT.	15.74 FT.	15.57 FT.	15.57 FT.	16.20 FT.	16.21 FT.	15.43 FT.	15.44 FT.	16.21 FT.	16.20 FT.	15.57 FT.	15.57 FT.	15.74 FT.	15.54 FT.	23.2 FT.	24.0 FT.	24.0 FT.	23.2 FT.	
MIN. REAR YARD SETBACK	30 FT.	35.0 FT.	35.0 FT.	35.00 FT.	35.00 FT.	35.00 FT.	38.23 FT.	37.3 FT.	35.00 FT.	35.00 FT.	37.92 FT.	37.48 FT.	35.21 FT.	35.00 FT.	35.0 FT.	49.0 FT.	49.0 FT.	50.0 FT.	50.0 FT.	50.0 FT.	
MIN. FRONT YARD DEPTH	25 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	

<sup>1</sup> STORMWATER DESIGN IS BASED ON A FULL 60% IMPERVIOUS COVERAGE FOR EACH LOT.

**PERMITS REQUIRED:**

- THE FOLLOWING PERMITS ARE REQUIRED FROM THE WESTTOWN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:
  - CHESTER COUNTY CONSERVATION DISTRICT (CPDES) LAND DEVELOPMENT PLANS.
  - PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (SEWAGE FACILITIES PLANNING)
  - AQUA PA - WATER LINE EXTENSION

**WAIVERS REQUESTED:**

- THE FOLLOWING WAIVERS ARE REQUESTED FROM THE WESTTOWN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:
  - \$149-600-C TO ALLOW THE SUBMISSION OF COMBINED PRELIMINARY LAND DEVELOPMENT PLANS.
  - \$149-913-B TO ALLOW BLOCK LENGTHS OF 268 FEET AND 185 FEET.
  - \$149-915-K2) TO WAIVE THE REQUIREMENT FOR A TURN AROUND AREA IN THE DRIVEWAYS.
  - \$149-924-D(124b) TO WAIVE THE REQUIREMENT OF PLANTING THE REQUIRED NUMBER OF COMPENSATORY TREES FOR ANY TREES DEEMED NON-VARIABLE BY A LICENSED ARBORIST.

**APPLICANT / OWNER:**

HUNTRISE BUILDERS, LLC  
ATTN: WAYNE MEGILL, CO-MANAGER  
200 KINNETT PIKE, SUITE 207  
CHAFFIN FORD, PA 19317  
(610) 399-1235

SITE ADDRESS:  
914-924 S. CONCORD RD.  
WESTTOWN TWP., CHESTER COUNTY, PA  
PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

**INLAND DESIGN**  
Civil Engineers, Surveyors & Land Development Consultants  
16 Haggerty Blvd.  
West Chester, PA 19382  
www.InlandDesign.net

Phone: (484) 947-2928  
Fax: (484) 947-2946  
Info@InlandDesign.net

20201921658

PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

**COMMONWEALTH OF PENNSYLVANIA**  
NOTARY PUBLIC  
JOEL D. COMANDA  
P.E. #PE07040

No.	Date:	Description:
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEW

**PRELIMINARY/FINAL  
LAND DEVELOPMENT**

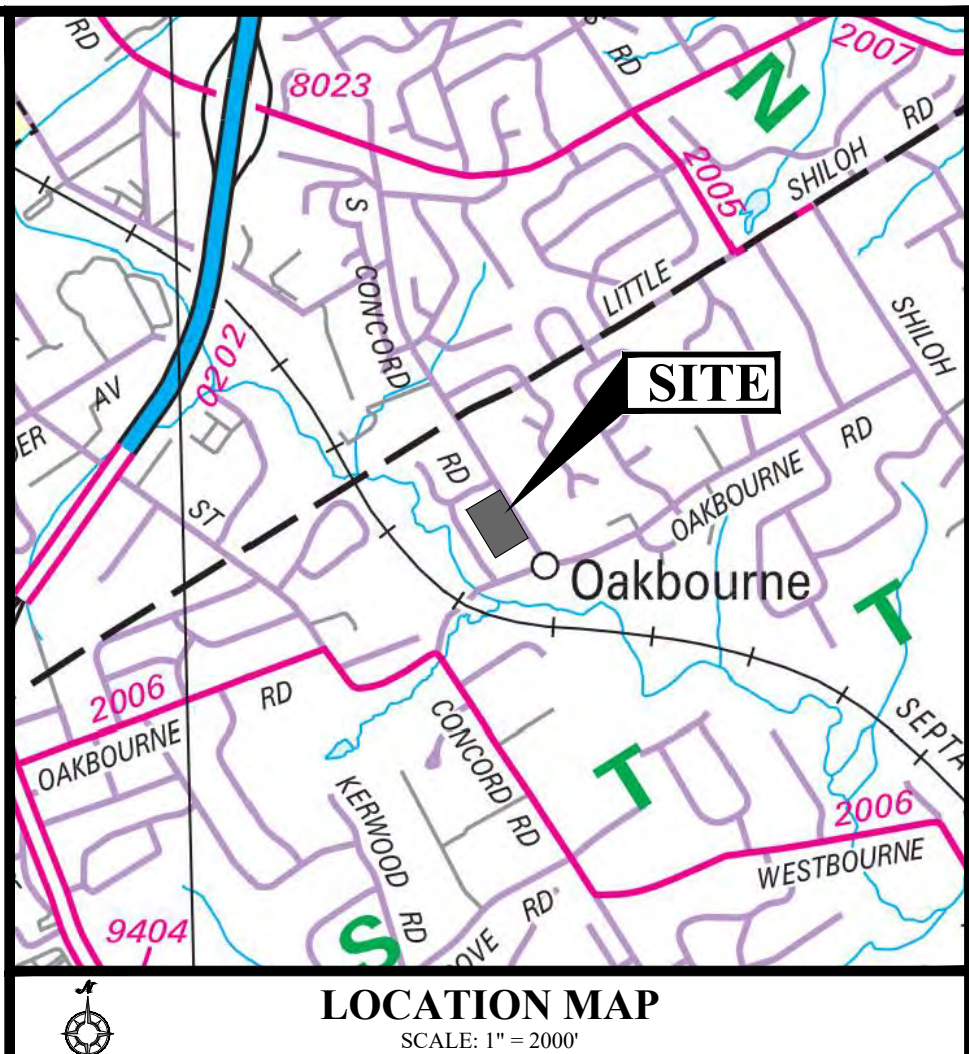
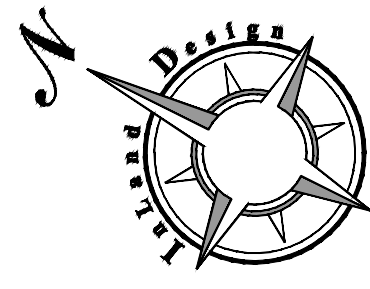
GRAPHIC SCALE  
1000 0 500 1000 2000 4000  
(IN FEET)  
1 Inch = 100'

Date: 12/07/2020  
Scale: 1" = 1000'  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**COVER SHEET  
FOR  
SAWMILL COURT  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA**

**SHEET  
1  
OF 20**



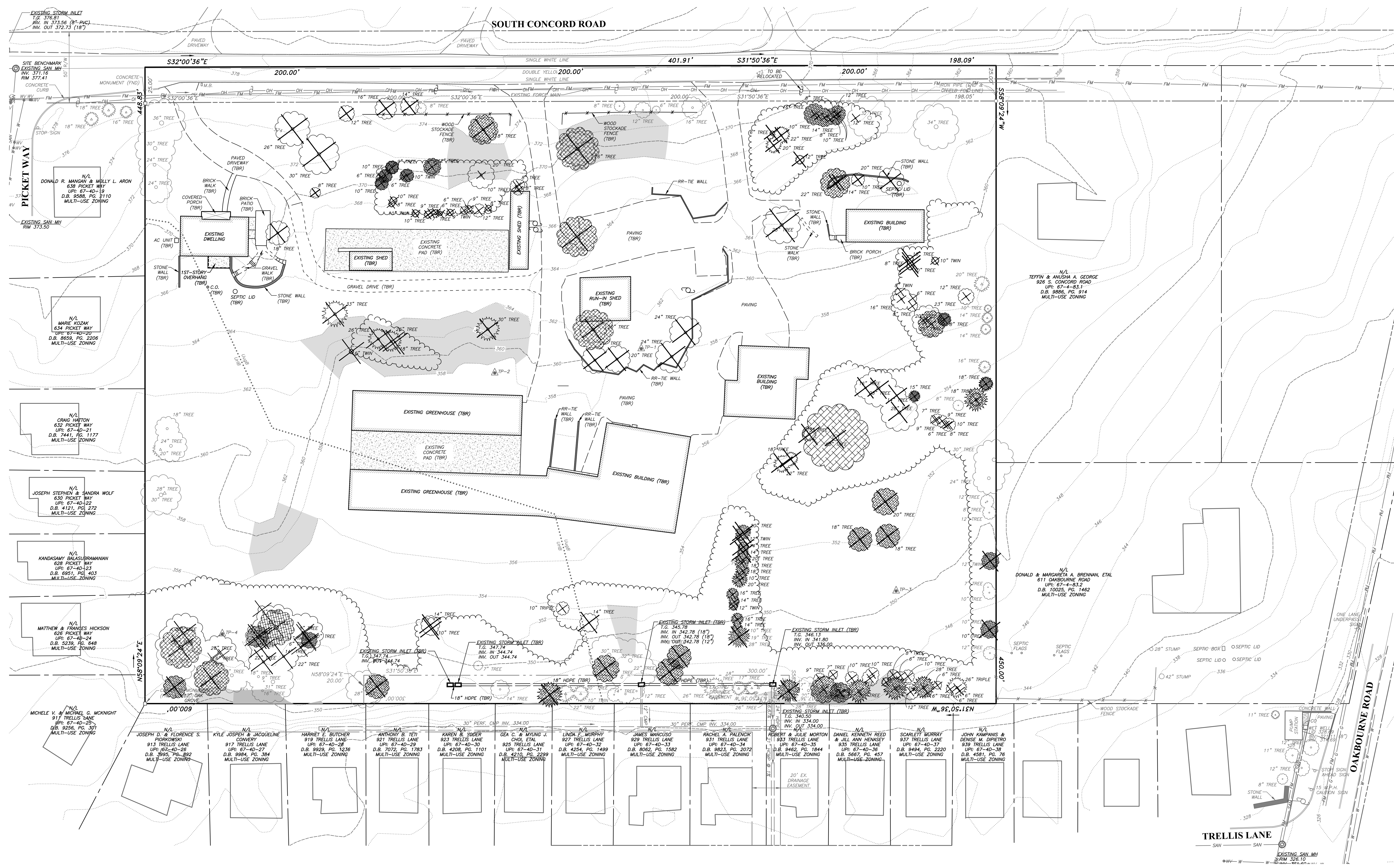


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**LEGEND**

- PROPERTY BOUNDARY
- PROPERTY BOUNDARY TO BE REMOVED
- ADJOINING PROPERTY LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING 2' CONTOUR W/ ELEVATION
- EXISTING 10' CONTOUR W/ ELEVATION
- EXISTING CONCRETE
- EXISTING BRUSHLINE
- EXISTING TREELINE
- EXISTING TREE SYMBOLS
- EXISTING LIGHT
- EXISTING UTILITY POLE
- EXISTING WELL
- EXISTING WATER VALVE
- EXISTING SIGN
- EXISTING FENCE LINE
- SOILS LINE AND DESCRIPTION
- PRECAUTIONARY SLOPS 15% - 25%
- PROHIBITIVE SLOPS 25% - UP
- EXISTING STORM STRUCTURES & PIPE
- EXISTING ROAD CENTERLINE
- EXISTING CURB LINE
- EXISTING ROAD/PAVING
- EXISTING DRIVEWAY
- EXISTING STONE DRIVE
- EXISTING SANITARY LATERAL
- EXISTING SANITARY FORCE MAIN
- EXISTING WATER LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING TELEPHONE LINE TO BE REMOVED
- EXISTING TREES TO BE REMOVED
- NON VIABLE TREE PER ARBORIST REPORT (TO BE REMOVED)



**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
Umb	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2c	A
UugB	URBAN LAND-UDBRTHENTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

**INLAND DESIGN**  
Civil Engineers, Surveyors & Land Development Consultants  
16 Hagerty Blvd. West Chester, PA 19382  
Phone: (484) 947-2928  
Fax: (484) 947-2946  
www.InlandDesign.net  
Info@InlandDesign.net

**JOE D. COMANDA**  
ENGINEER  
P.E.D.0740

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2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEW

**PRELIMINARY/FINAL LAND DEVELOPMENT**

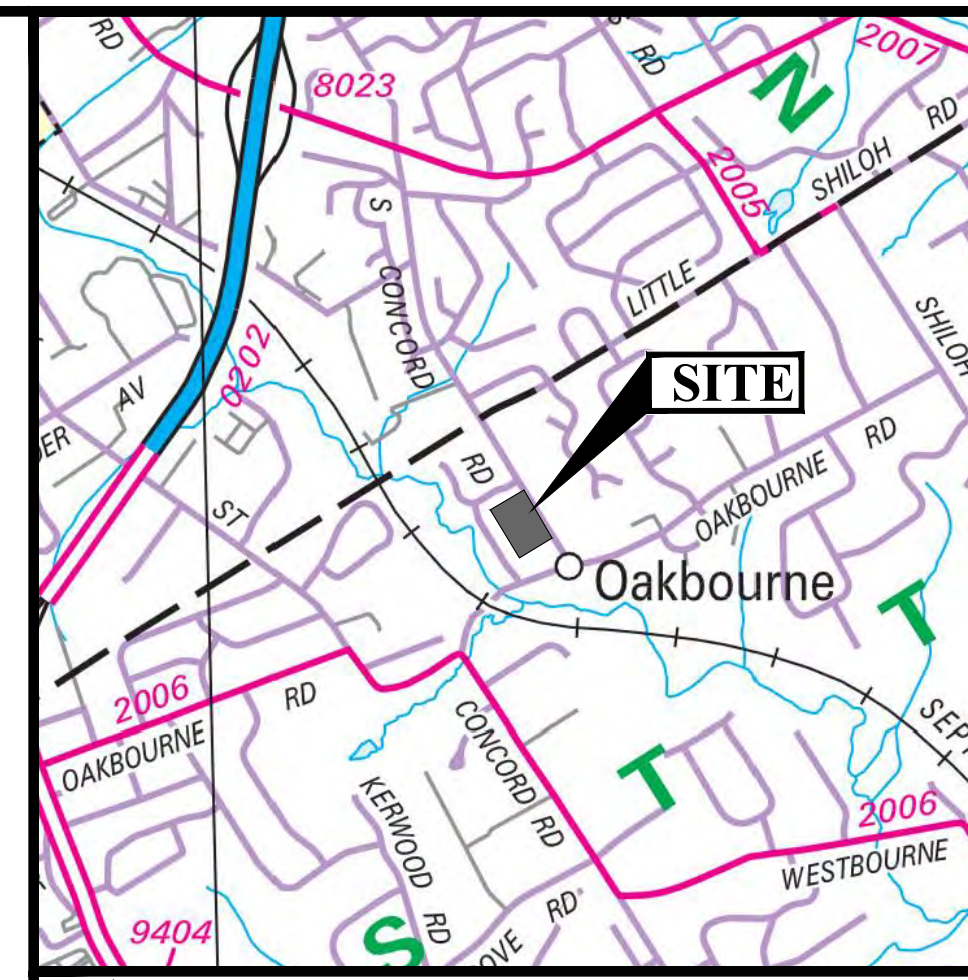
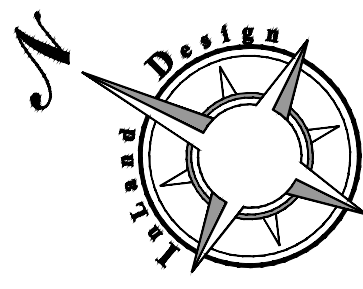
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(IN FEET)  
1 inch = 30'

Date: 12/07/2020  
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Drawn by: TMW  
Checked by: JDC  
Project No: 11541

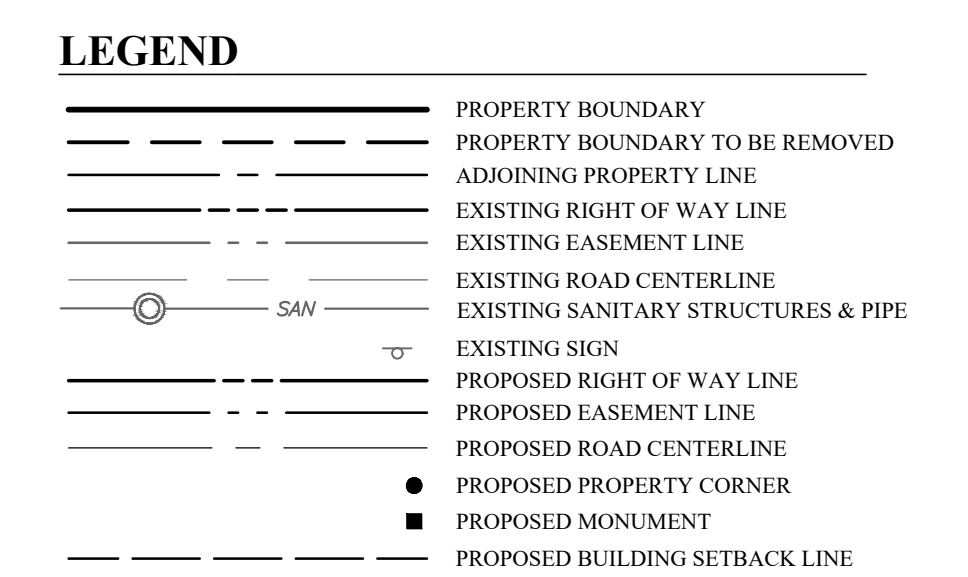
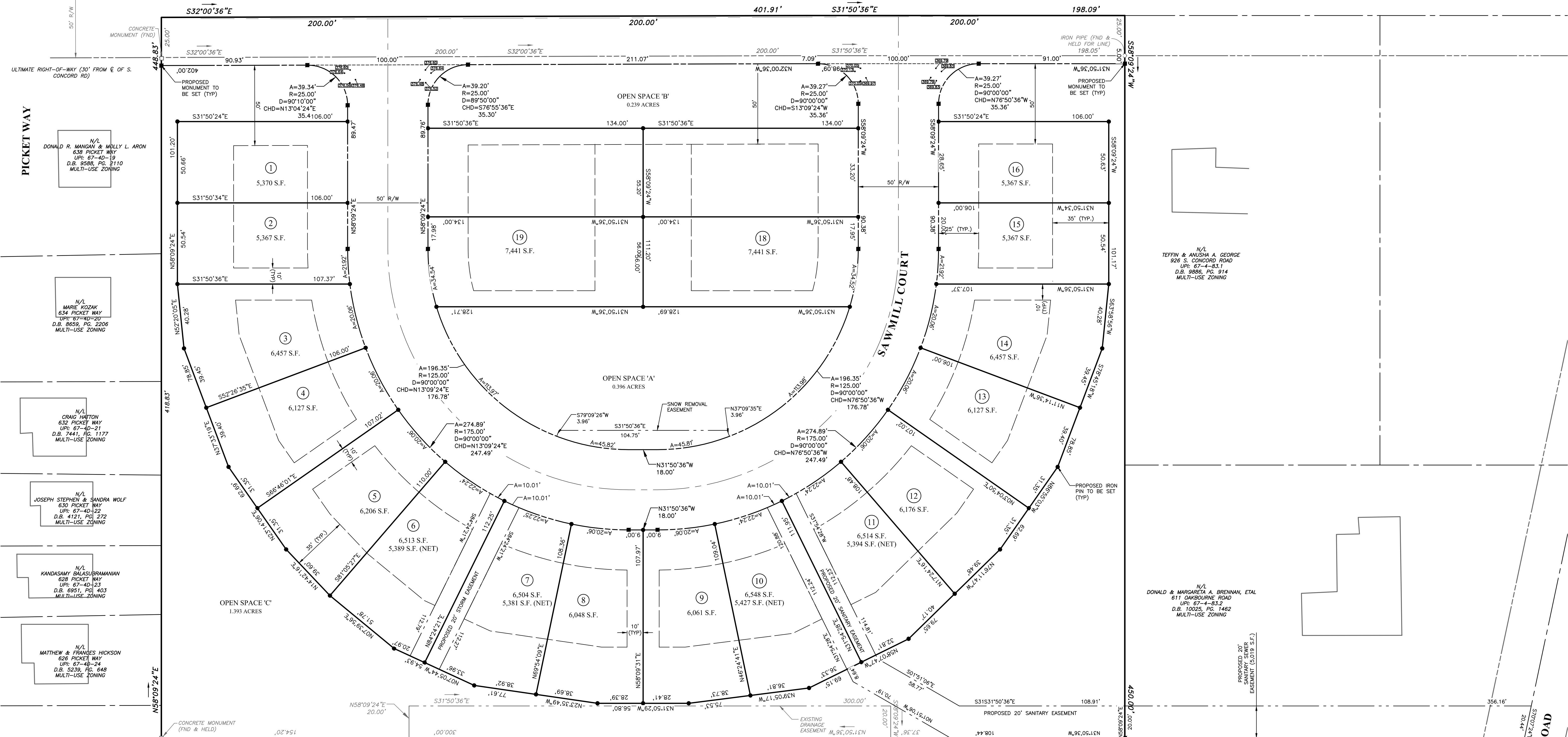
**EXISTING CONDITION & DEMOLITION PLAN FOR SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, 19382 WESTTOWN TOWNSHIP • CHESTER COUNTY, PA**

**SHEET 2 OF 20**





**SOUTH CONCORD ROAD**



**TITLE NOTES**

- 1. A BLANKET EASEMENT IS HEREBY GRANTED GIVING WESTTOWN TOWNSHIP THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM ANY REQUIRED PCSW BMP MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED IN A TIMELY MANNER. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE MUNICIPALITY.
- 2. THE HOMEOWNERS ASSOCIATION SHALL HAVE THE RESPONSIBILITY FOR THE PERPETUAL MAINTENANCE OF THE PERMANENT STORAGE WATER BMPs, OUTLET STRUCTURES, AND PIPES WHICH ARE LOCATED ON THIS PROPERTY. NO CHANGES SHALL BE MADE TO THE STRUCTURES, PIPES OR FINISH GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE TOWNSHIP. THE TOWNSHIP SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP. THE TOWNSHIP SHALL LIEN THE PROPERTY FOR SAID COSTS UNTIL THE TOWNSHIP HAS BEEN REIMBURSED IN FULL.

**M-U MULTI-USE ZONING DISTRICT  
TWIN USE UNDER R-3 IN ACCORDANCE WITH 170-802.E.**

	TWIN DWELLING SECTION 170-802.E	PROPOSED
MINIMUM TRACT AREA	5 ACRES	5.84 ACRES (TO LEGAL R/W)
MAXIMUM DENSITY	4 DU/ACRE	3.25 DU/ACRE
MINIMUM LOT AREA	4,800 S.F.	>4,800 S.F.
MAXIMUM BUILDING HEIGHT	38'	<38'
MINIMUM WIDTH @ BUILDING LINE	50'	50'
MAXIMUM BUILDING COVERAGE	30%	<30%
MAXIMUM IMPERVIOUS COVERAGE	60%	<60%
MINIMUM SIDE YARD SETBACK	10'	10'
MINIMUM REAR YARD SETBACK	30'	30'
MINIMUM FRONT YARD SETBACK	25'	25'
MINIMUM COMMON OPEN SPACE	30%	36%

**OPEN SPACE**

DESCRIPTION	AREA (S.F.)	AREA (ACRES)
OPEN SPACE A	17,260 S.F.	0.396 AC.
OPEN SPACE B	10,437 S.F.	0.239 AC.
OPEN SPACE C	60,689 S.F.	1.393 AC.
TOTAL OPEN SPACE	88,386 S.F.	2.028 AC.

**APPLICANT / OWNER:**

HUNTREISE BUILDERS, LLC  
ATTN: WAYNE MEGILL, CO-MANAGER  
330 KENNETH PIKE, SUITE 207  
CHADD FORD, PA 19317  
610.399.1253  
SITE ADDRESS:  
914-924 S. CONCORD RD.  
WESTTOWN TWP., CHESTER COUNTY, PA  
PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY	HYDROLOGIC SOIL GROUP
Umb	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A
Umb	URBAN LAND-DORRTHENTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

**INLAND DESIGN**  
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16 Hagerty Blvd. West Chester, PA 19382  
Phone: (484) 947-2928 Fax: (484) 947-2946  
www.InlandDesign.net Info@InlandDesign.net

**COMMONWEALTH OF PENNSYLVANIA**  
REGISTERED PROFESSIONAL ENGINEER  
WILLIAM R. CLUDIK  
SUPERVISOR (SUBCLASS)

**Revisions**

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
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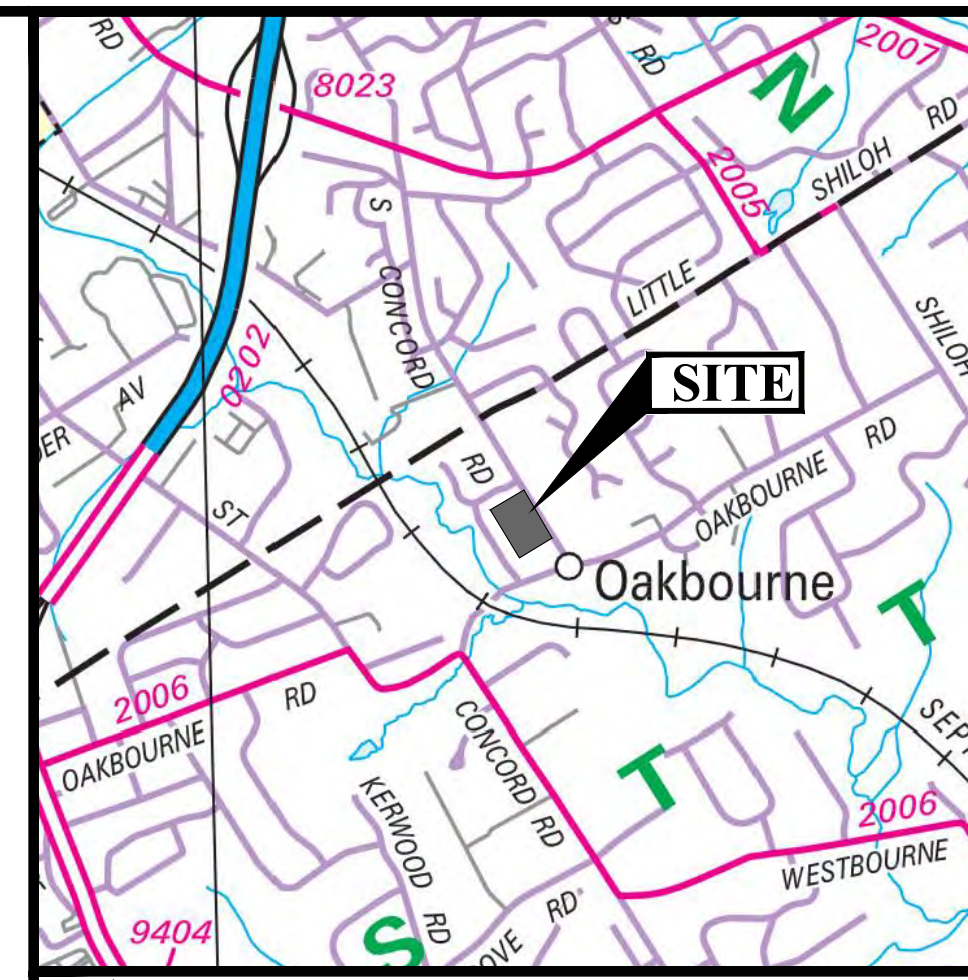
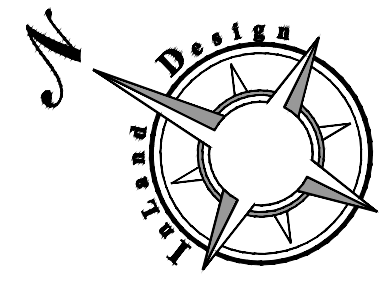
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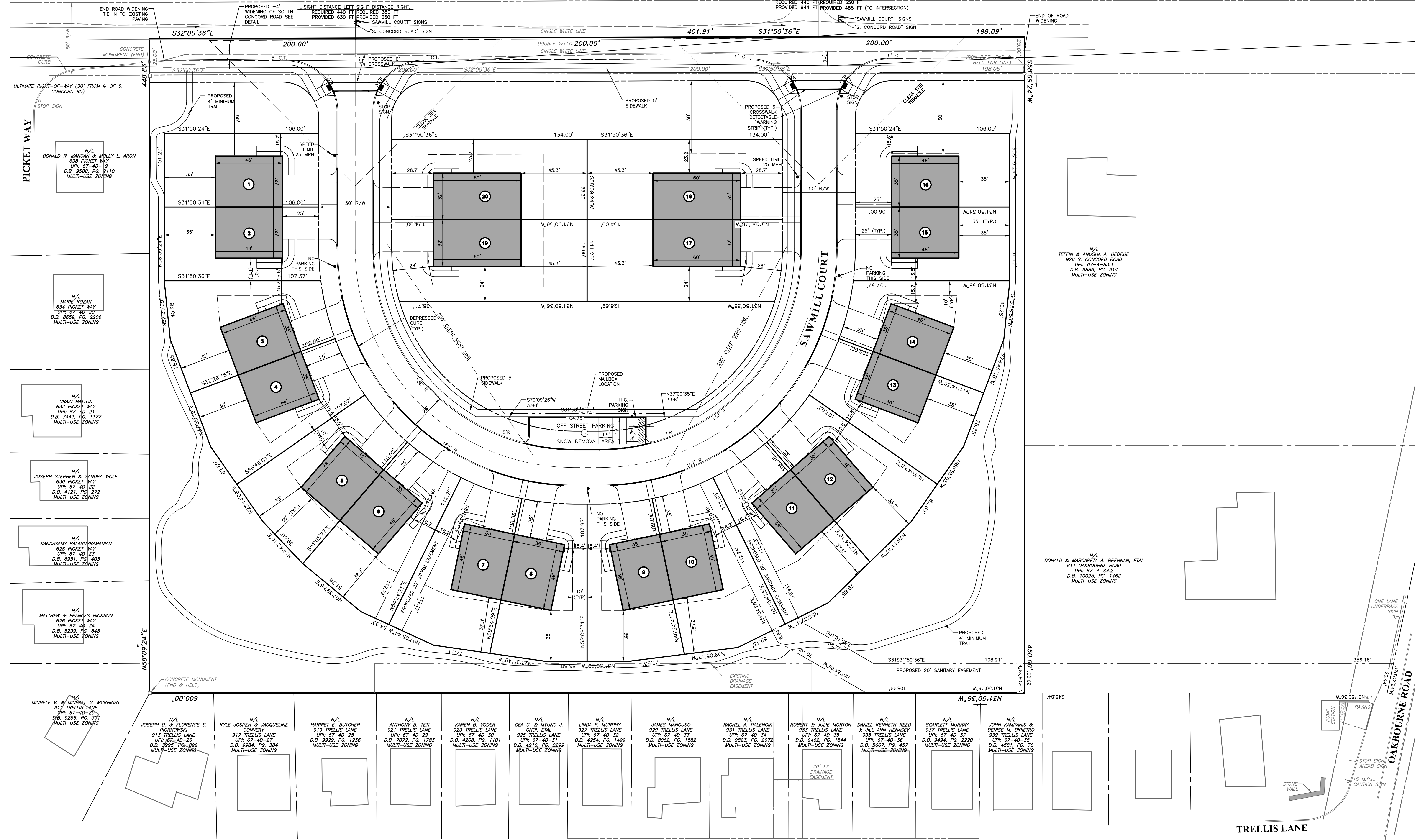
**TITLE PLAN FOR SAWMILL COURT FOR 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, 19382 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA**

**SHEET 3 OF 20**





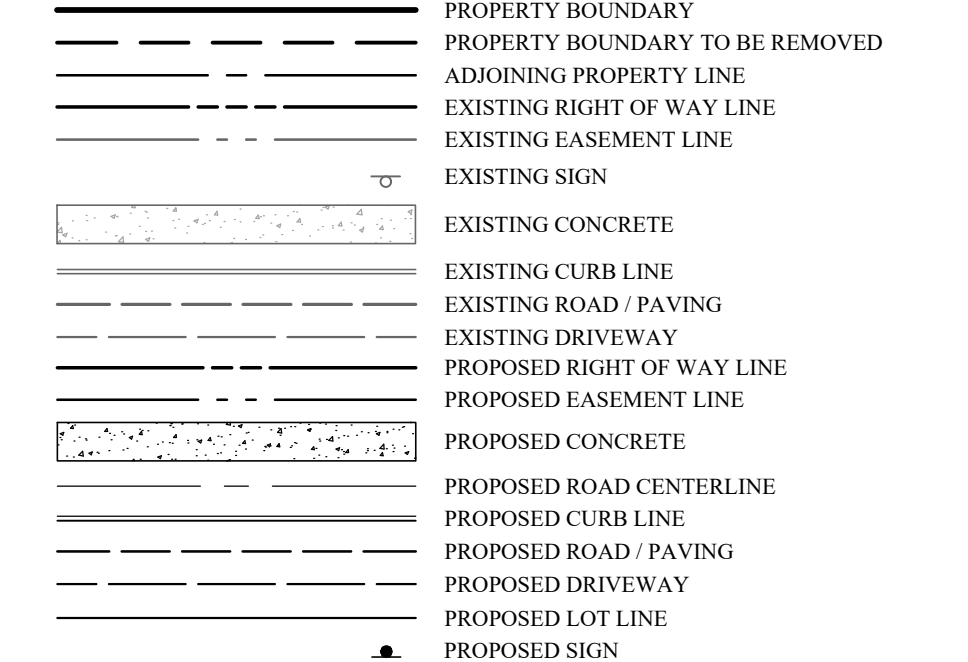
**SOUTH CONCORD ROAD**



**GENERAL NOTES:**

1. THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
2. THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHALL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP ALDERS AND RESOLUTION STANDARDS AND SPECIFICATIONS.
3. SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOSHEN SEWER AUTHORITY WWTW.
4. ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WESTTOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS.
6. THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH.
7. THERE ARE NO WELLS WITHIN THE SITE LIMITS.
8. THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
9. THE RIGHT-OF-WAY OF SAWMILL COURT WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE RIGHT-OF-WAY.
10. THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE BOARD OF SUPERVISORS DETERMINES THAT THE RIGHT-OF-WAY IS NEEDED.
11. THE SANITARY SEWER EASEMENT PROPOSED AS A PART OF THIS PROJECT WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE FACILITIES.
12. LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY LAMPS ON EACH INDIVIDUAL PROPERTY OWNERS LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCENT LIGHTS ARE SHOWN AT EACH DRIVEWAY. THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DISK TO DAWN SENSOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOMEOWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
13. THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
14. THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN TOWNSHIP TO ALLOW CONSTRUCTION OF CONNECTOR TRAILS IN THE NORTHEAST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS SIDEWALKS OR TRAILS ARE EXTENDED TO THESE CORNERS ON THE ADJACENT PARCELS.

**LEGEND**



**TRAFFIC NOTES:**

1. PER ITE TRIP GENERATION DATA, THE ANTICIPATED TRAFFIC IMPACT FROM THIS SITE IS 191 TRIPS PER DAY (9.57 TRIPS PER DWELLING UNIT). NO ADDITIONAL TRAFFIC STUDY IS PROPOSED FOR THIS DEVELOPMENT.
2. FOUR PARKING SPOTS ARE PROPOSED FOR EACH UNIT (2 IN THE GARAGE AND 2 IN THE DRIVEWAYS).
3. 9 ADDITIONAL SPOTS ARE DESIGNATED AS GUEST/OVERFLOW PARKING IN THE AREA OF THE SNOW REMOVAL EASEMENT.
4. PARKING ALONG SAWMILL COURT IS TO BE LIMITED TO THE INTERNAL SIDE OF THE PROPOSED ROAD. THIS IS TO BE DOCUMENTED IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
5. THE SPEED LIMIT FOR SAWMILL COURT WILL BE POSTED AT 25 MPH.
6. THERE ARE NO SIDEWALKS PROPOSED ALONG SAWMILL COURT. INSTEAD, A TRAIL LOOPING THE PROPERTY OPEN SPACE IS BEING PROPOSED FOR THE USE OF THE RESIDENTS.

**M-U MULTI-USE ZONING DISTRICT TWIN USE UNDER R-3 IN ACCORDANCE WITH 170-802.E.**

	TWIN DWELLING SECTION TABLE	PROPOSED
MINIMUM TRACT AREA	5 ACRES	5.84 ACRES (TO LEGAL R/W)
MAXIMUM DENSITY	4 DU/ACRE	3.25 DU/ACRE
MINIMUM LOT AREA	4,800 S.F.	~4,800 S.F.
MAXIMUM BUILDING HEIGHT	38'	<38'
MINIMUM WIDTH @ BUILDING LINE	50'	50'
MAXIMUM BUILDING COVERAGE	30%	<30%
MAXIMUM IMPERVIOUS COVERAGE	60%	<60%
MINIMUM SIDE YARD SETBACK	10'	10'
MINIMUM REAR YARD SETBACK	30'	30'
MINIMUM FRONT YARD DEPTH	25'	25'
MINIMUM COMMON OPEN SPACE	30%	30%

**INDIVIDUAL LOT IMPERVIOUS CHART**

	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20
HOUSE	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.
CONCRETE	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.
DRIVE	500 S.F.	500 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.
TOTAL	2,278 S.F.	2,278 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.	2,288 S.F.

\*STORMWATER DESIGN IS BASED ON A FULL 60% IMPERVIOUS COVERAGE FOR EACH LOT.

**APPLICANT / OWNER:**

RUNFIRE BUILDERS, LLC  
ATTN: WAYNE MEGILL, CO-MANAGER  
310 KENNETH PIKE, SUITE 207  
CHAUDRON FORD, PA 19117  
(610) 399-1233

SITE ADDRESS:  
914-924 S. CONCORD RD.  
WESTTOWN TWP., CHESTER COUNTY, PA  
PARCEL NO. 67-4-82 | D.B. 551 | PG. 151

**INLAND DESIGN**  
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Phone: (484) 947-2928  
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Info@InLandDesign.net

**PROFESSIONAL ENGINEER**  
JOSEPH D. COMANDA  
PENNSYLVANIA  
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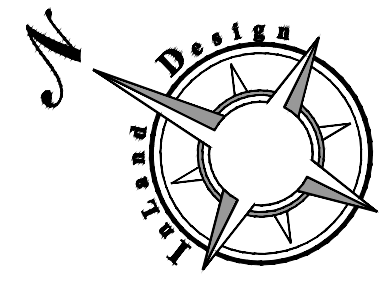
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Project No: 11541

**SITE PLAN FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET 4 OF 20**





**LEGEND**

- EXISTING LIGHT
- EXISTING UTILITY POLE
- EXISTING WELLY
- EXISTING WATER VALVE
- EXISTING SIGN
- EXISTING FENCE LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING 2' CONTOUR W. ELEVATION
- EXISTING 10' CONTOUR W. ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING BRUSHLINE
- EXISTING TREELINE
- EXISTING TREE SYMBOLS
- PROPERTY BOUNDARY
- PROPERTY BOUNDARY TO BE REMOVED
- ADJOINING PROPERTY LINE
- FLOOD PLAIN LINE
- TEST PIT LOCATION
- SOILS LINE AND DESCRIPTION
- PRECIPITATION SLOPES 15% - 25%
- PROHIBITIVE SLOPES 25% - UP
- WETLAND AREA
- EXISTING STORM STRUCTURES & PIPE
- EXISTING SANITARY STRUCTURES & PIPE
- EXISTING ROAD CENTERLINE
- EXISTING CURB LINE
- EXISTING ROAD PAVING
- EXISTING DRIVEWAY
- EXISTING STONE DRIVE
- EXISTING SANITARY LATERAL
- EXISTING SANITARY FORCE MAIN
- EXISTING WATER LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING TELEPHONE LINE
- PROPOSED MONUMENT
- PROPOSED RIGHT OF WAY LINE
- PROPOSED EASEMENT LINE
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONCRETE
- PROPOSED TREE LINE
- PROPOSED UTILITY POLE
- PROPOSED WATER VALVE
- PROPOSED SIGN
- PROPOSED FENCE LINE
- PROPOSED STORM STRUCTURES & PIPE
- PROPOSED SANITARY STRUCTURES & PIPE
- PROPOSED ROAD CENTERLINE
- PROPOSED DRIVEWAY
- PROPOSED WATER LINE
- PROPOSED GAS LINE
- PROPOSED TELEPHONE LINE
- PROPOSED SANITARY LATERAL
- PROPOSED SANITARY FORCE MAIN
- PROPOSED CURB LINE
- PROPOSED DRIVEWAY
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- PROPOSED GAS LINE
- PROPOSED TELEPHONE LINE
- PROPOSED SANITARY LATERAL
- PROPOSED SANITARY FORCE MAIN

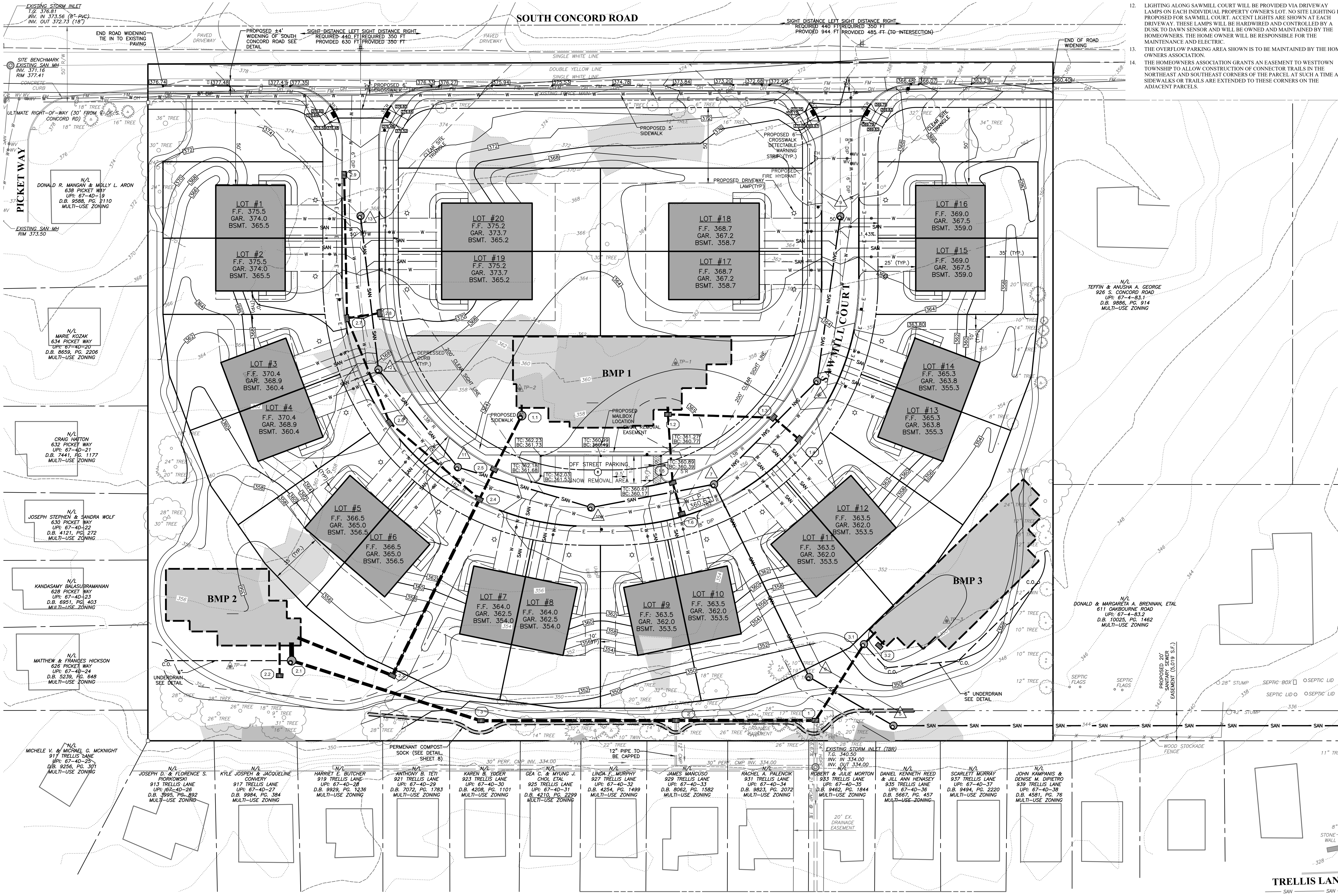
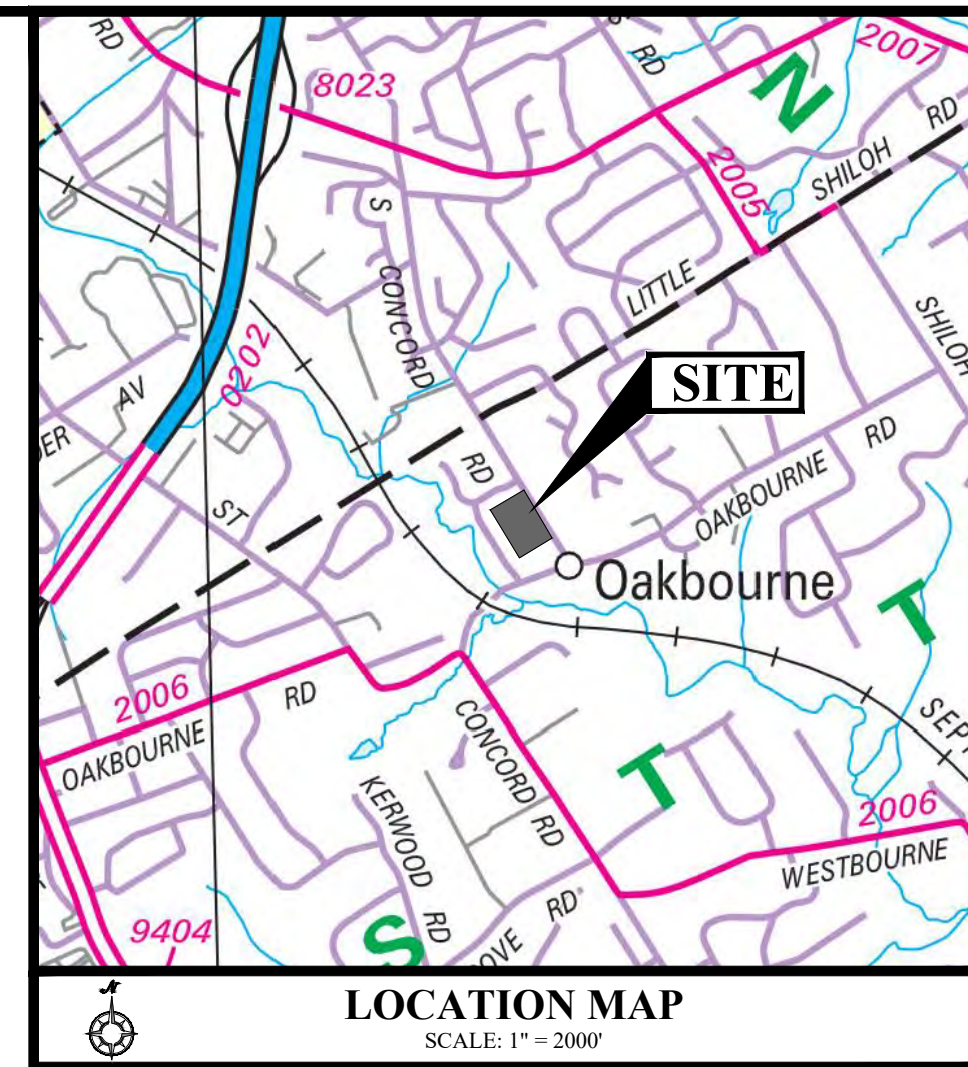
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- PROPOSED SANITARY FORCE MAIN
- PROPOSED CURB LINE
- PROPOSED DRIVEWAY
- PROPOSED WATER LINE
- PROPOSED GAS LINE
- PROPOSED TELEPHONE LINE
- PROPOSED SANITARY LATERAL
- PROPOSED SANITARY FORCE MAIN

**GENERAL NOTES:**

- THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHAL AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP SALES AND PER AQUA PA STANDARDS AND SPECIFICATIONS.
- SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOSHEN SEWER AUTHORITY WWP.
- ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE WESTTOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS.
- THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH.
- THERE ARE NO WETLANDS WITHIN SITE LIMITS.
- THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS BY THE HOMEOWNERS ASSOCIATION DOCUMENTS.
- THE RIGHT-OF-WAY OF SAWMILL COURT WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE RIGHT-OF-WAY.
- THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE BOARD OF SUPERVISORS DETERMINES THAT THE RIGHT-OF-WAY IS NEEDED FOR THE SANITARY SEWER EXTENSION PROPOSED AS A PART OF THIS PROJECT WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE FACILITIES.
- LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY LAMPS ON EACH INDIVIDUAL PROPERTY OWNER'S LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCESS LIGHTS ARE SHOWN AT EACH DRIVEWAY. THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DISK TO DAWN SENSOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOME OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
- THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN TOWNSHIP TO ALLOW CONSTRUCTION OF CONCRETE TRAILS IN THE NORTHWEST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS SIDEWALKS OR TRAILS ARE EXTENDED TO THESE CORNERS ON THE ADJACENT PARCELS.

**CONSTRUCTION NOTES:**

- ALL INLETS TO HAVE 6" WOOD SCREENS DRILLED INTO BOTTOM OF STRUCTURE.
- FOR THE PURPOSES OF THESE PLANS AND GENERAL NOTES, "SITE CONSTRUCTION" SHALL BE CONSIDERED TO MEAN STORMWATER MANAGEMENT FACILITIES, SITE IMPROVEMENTS AND RELATED CONSTRUCTION.
- ALL SITE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE PDOT PUB. 408, 2001A AND LATEST ADDENDUM THERETO. CONTRACTOR SHALL PROVIDE PROPER CERTIFICATION THAT ALL MATERIAL INCORPORATED INTO THE PROJECT MEET PDOT SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES APPLICABLE TO THIS TYPE OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DISTANCES, GRADES, QUANTITIES AND ELEVATIONS. POTENTIAL PROBLEMS WHICH MIGHT BE OBSERVED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. WORK IN THE AREA SHALL CEASE UNTIL A RESOLUTION OF THE POTENTIAL PROBLEM HAS BEEN DETERMINED.
- ALL MATERIALS TO BE PROPERLY DISPOSED.
- ALL CLEAN SOIL TO BE DEPOSITED ON SITE AS DIRECTED.
- ALL OTHER MATERIAL TO BE REMOVED FROM SITE BY CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ALL BORROW MATERIAL REQUIRED FOR CONSTRUCTION WHICH IS NOT AVAILABLE ON SITE.
- FILL MATERIAL SHALL BE COMPACTED TO NO LESS THAN 97% OF THE MAXIMUM DRY WEIGHT DENSITY (STANDARD PROCTER).
- "RUBBERIZED JOINT SEAL" AS PER PENNDOT PUBLICATION 408.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT MAINTENANCE, EROSION AND SEDIMENTATION CONTROL, AND TRAFFIC MAINTENANCE AND PROTECTION IN ACCORDANCE WITH PENNDOT PUBLICATION 213.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PAVING FOR THE REMOVAL AND/OR RELOCATION OF UTILITIES OR OTHER OBSTRUCTIONS IN ORDER TO COMPLETE THE SITE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING TO A SLOPE GREATER THAN 1%.
- THERE SHALL BE NO BURYING OF TREES, STUMPS OR CONSTRUCTION MATERIALS. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND DISPOSED OF IN OPEN SPACE AREAS. CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE CONSTRUCTION AND ORGANIC MATERIALS TO MINIMIZE WASTE.
- GRADING SHALL BE PERFORMED TO SECURE PROPER DRAINAGE AWAY FROM ALL BUILDINGS AND TO THE STORMWATER COLLECTION AND MANAGEMENT SYSTEM.
- ALL EXISTING POWER POLES, CURBS AND OTHER ABOVE GROUND PHYSICAL FEATURES WHICH WOULD INTERFERE WITH NORMAL USE OF PROPOSED CONSTRUCTION SHALL BE REMOVED AND RELOCATED AS REQUIRED.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY SERVICE LINES IN THE FIELD PRIOR TO CONSTRUCTION AND ENSURE THAT ALL UTILITIES ARE RELOCATED OR PROTECTED DURING CONSTRUCTION.
- ALL WATERLINE INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
- ALL SANITARY SEWER INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.



**STORM SEWER STRUCTURE TABLE**

NUMBER	TYPE	DETAILS
1	M' INLET	T.G. = 346.67 SUMP = 336.00 INV IN = 340.25 (24") INV OUT = 343.17 (18")
	TYPE 5 BOX / MANHOLE LID	RIM = 365.58 SUMP = 352.67 INV IN = 361.49 (15") INV OUT = 352.67 (18")
1.1	M' INLET	T.G. = 360.50 SUMP = 354.00 INV IN = 355.25 (15") INV OUT = 355.00 (18")
	TYPE 5 BOX / MANHOLE LID	T.G. = 360.50 SUMP = 354.00 INV IN = 355.25 (15") INV OUT = 355.00 (18")
1.2	M' INLET	T.G. = 361.37 SUMP = 357.53 INV IN = 357.73 (15") INV OUT = 357.53 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 361.37 SUMP = 357.53 INV IN = 357.73 (15") INV OUT = 357.53 (15")
1.3	M' INLET	T.G. = 361.37 SUMP = 357.53 INV IN = 357.73 (15") INV OUT = 357.53 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 361.37 SUMP = 357.53 INV IN = 357.73 (15") INV OUT = 357.53 (15")
1.4	M' INLET	T.G. = 361.37 SUMP = 357.53 INV IN = 357.73 (15") INV OUT = 357.53 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 361.37 SUMP = 357.53 INV IN = 357.73 (15") INV OUT = 357.53 (15")
1.5	M' INLET	T.G. = 360.50 SUMP = 356.50 INV IN = 356.70 (15") INV OUT = 356.92 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 360.50 SUMP = 356.50 INV IN = 356.70 (15") INV OUT = 356.92 (15")
1.6	M' INLET	T.G. = 360.50 SUMP = 356.50 INV IN = 356.70 (15") INV OUT = 356.92 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 360.50 SUMP = 356.50 INV IN = 356.70 (15") INV OUT = 356.92 (15")
2	M' INLET	T.G. = 345.78 SUMP = 344.00 INV IN = 341.83 (24") INV OUT = 341.73 (24")
	TYPE 5 BOX / MANHOLE LID	T.G. = 345.78 SUMP = 344.00 INV IN = 341.83 (24") INV OUT = 341.73 (24")
2.1	M' INLET	T.G. = 354.34 SUMP = 346.70 INV IN = 347.75 (6") INV OUT = 346.70 (24")
	TYPE 5 BOX / MANHOLE LID	T.G. = 354.34 SUMP = 346.70 INV IN = 347.75 (6") INV OUT = 346.70 (24")
2.2	M' INLET	T.G. = 354.50 SUMP = 349.75 INV IN = 350.75 (15") INV OUT = 350.75 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 354.50 SUMP = 349.75 INV IN = 350.75 (15") INV OUT = 350.75 (15")

**STORM SEWER STRUCTURE TABLE**

NUMBER	TYPE	DETAILS
2.3	M' INLET	T.G. = 354.50 SUMP = 348.93 INV IN = 350.13 (24") INV OUT = 349.93 (24")
	TYPE 5 BOX / MANHOLE LID	T.G. = 354.50 SUMP = 348.93 INV IN = 350.13 (24") INV OUT = 349.93 (24")
2.4	M' INLET	T.G. = 362.50 SUMP = 351.59 INV IN = 351.89 (18") INV OUT = 358.88 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 362.50 SUMP = 351.59 INV IN = 351.89 (18") INV OUT = 358.88 (15")
2.5	M' INLET	T.G. = 362.50 SUMP = 352.11 INV IN = 352.31 (18") INV OUT = 352.11 (18")
	TYPE 5 BOX / MANHOLE LID	T.G. = 362.50 SUMP = 352.11 INV IN = 352.31 (18") INV OUT = 352.11 (18")
2.6	M' INLET	T.G. = 365.61 SUMP = 361.22 INV IN = 361.89 (15") INV OUT = 362.11 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 365.61 SUMP = 361.22 INV IN = 361.89 (15") INV OUT = 362.11 (15")
2.7	M' INLET	T.G. = 369.89 SUMP = 365.81 INV IN = 366.03 (15") INV OUT = 364.21 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 369.89 SUMP = 365.81 INV IN = 366.03 (15") INV OUT = 364.21 (15")
2.8	M' INLET	T.G. = 369.89 SUMP = 366.03 INV IN = 366.03 (15") INV OUT = 366.03 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 369.89 SUMP = 366.03 INV IN = 366.03 (15") INV OUT = 366.03 (15")
2.9	M' INLET	T.G. = 375.14 SUMP = 369.55 INV IN = 369.55 (15") INV OUT = 369.55 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 375.14 SUMP = 369.55 INV IN = 369.55 (15") INV OUT = 369.55 (15")
3	M' INLET	T.G. = 347.74 SUMP = 344.00 INV IN = 342.22 (24") INV OUT = 344.00 (24")
	TYPE 5 BOX / MANHOLE LID	T.G. = 347.74 SUMP = 344.00 INV IN = 342.22 (24") INV OUT = 344.00 (24")
3.1	M' INLET	T.G. = 352.00 SUMP = 347.25 INV IN = 347.25 (6") INV OUT = 347.25 (18")
	TYPE 5 BOX / MANHOLE LID	T.G. = 352.00 SUMP = 347.25 INV IN = 347.25 (6") INV OUT = 347.25 (18")
3.2	M' INLET	T.G. = 351.50 SUMP = 346.75 INV IN = 347.75 (15") INV OUT = 347.75 (15")
	TYPE 5 BOX / MANHOLE LID	T.G. = 351.50 SUMP = 346.75 INV IN = 347.75 (15") INV OUT = 347.75 (15")

**SANITARY SEWER STRUCTURE TABLE**

NUMBER	DETAILS
1	RIM = 327.15 SUMP = 321.25 INV IN = 321.22 (8") INV OUT = 321.22 (8")
	RIM = 326.95 SUMP = 322.07 INV IN = 322.27 (8") INV OUT = 322.07 (8")
2	RIM = 327.07 SUMP = 322.82 INV IN = 323.02 (8") INV OUT = 322.82 (8")
	RIM = 332.26 SUMP = 324.90 INV IN = 325.15 (8") INV OUT = 324.95 (8")
3	RIM = 348.16 SUMP = 336.98 INV IN = 337.18 (8") INV OUT = 336.98 (8")
	RIM = 348.66 SUMP = 341.05 INV IN = 341.25 (8") INV OUT = 341.05 (8")
4	RIM = 360.72 SUMP = 347.80 INV IN = 348.00 (8") INV OUT = 347.80 (8")
	RIM = 362.95 SUMP = 351.53 INV IN = 351.73 (8") INV OUT = 351.53 (8")
5	RIM = 362.64 SUMP = 351.53 INV IN = 351.73 (8") INV OUT = 351.53 (8")
	RIM = 367.50 SUMP = 355.50 INV IN = 355.50 (8") INV OUT = 355.50 (8")
6	RIM = 361.04 SUMP = 348.75 INV IN = 348.95 (8") INV OUT = 348.75 (8")
	RIM = 363.54 SUMP = 349.86 INV IN = 350.06 (8") INV OUT = 349.86 (8")
7	RIM = 367.72 SUMP = 345.85 INV IN = 346.05 (8") INV OUT = 345.85 (8")
	RIM = 367.72 SUMP = 345.85 INV IN = 346.05 (8") INV OUT = 345.85 (8")

**SANITARY SEWER STRUCTURE TABLE**

NUMBER	DETAILS
7	RIM = 360.72 SUMP = 347.80 INV IN = 348.00 (8") INV OUT = 347.80 (8")
	RIM = 362.95 SUMP = 351.53 INV IN = 351.73 (8") INV OUT = 351.53 (8")
8	RIM = 362.64 SUMP = 351.53 INV IN = 351.73 (8") INV OUT = 351.53 (8")
	RIM = 367.50 SUMP = 355.50 INV IN = 355.50 (8") INV OUT = 355.50 (8")
9	RIM = 361.04 SUMP = 348.75 INV IN = 348.95 (8") INV OUT = 348.75 (8")
	RIM = 363.54 SUMP = 349.86 INV IN = 350.06 (8") INV OUT = 349.86 (8")
10	RIM = 367.72 SUMP = 345.85 INV IN = 346.05 (8") INV OUT = 345.85 (8")
	RIM = 367.72 SUMP = 345.85 INV IN = 346.05 (8") INV OUT = 345.85 (8")

**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO SH.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
UaB	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A
UaB	URBAN LAND-DOROTHIES	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

**INLAND DESIGN**  
Civil Engineers, Surveyors & Land Development Consultants  
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Phone: (484) 947-2928  
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www.InLandDesign.net

**COMMONWEALTH OF PENNSYLVANIA**  
Professional Engineer  
JOEL D. COMANDA  
PE070740

**APPLICANT / OWNER:**  
HUNTRISS BUILDERS, LLC  
ATTN: WAYNE MEGILL, CO-MANAGER  
330 KENNETH PIKE, SUITE 307  
CHADDS FORD, PA 19317  
(610) 399-1235  
SITE ADDRESS: 914-924 S. CONCORD RD, WESTTOWN TWP., CHESTER COUNTY, PA  
PARCEL NO. 67-4-82 | D.B. SS1 | PG. 151

**PRELIMINARY/FINAL LAND DEVELOPMENT**

GRAPHIC SCALE  
1" = 30'

**DATE:** 12/07/2020  
**SCALE:** 1" = 30'  
**DRAWN BY:** TMW  
**CHECKED BY:** JDC  
**PROJECT NO.:** 11541

**GRADING AND UTILITY PLAN FOR SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, 19382 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA**

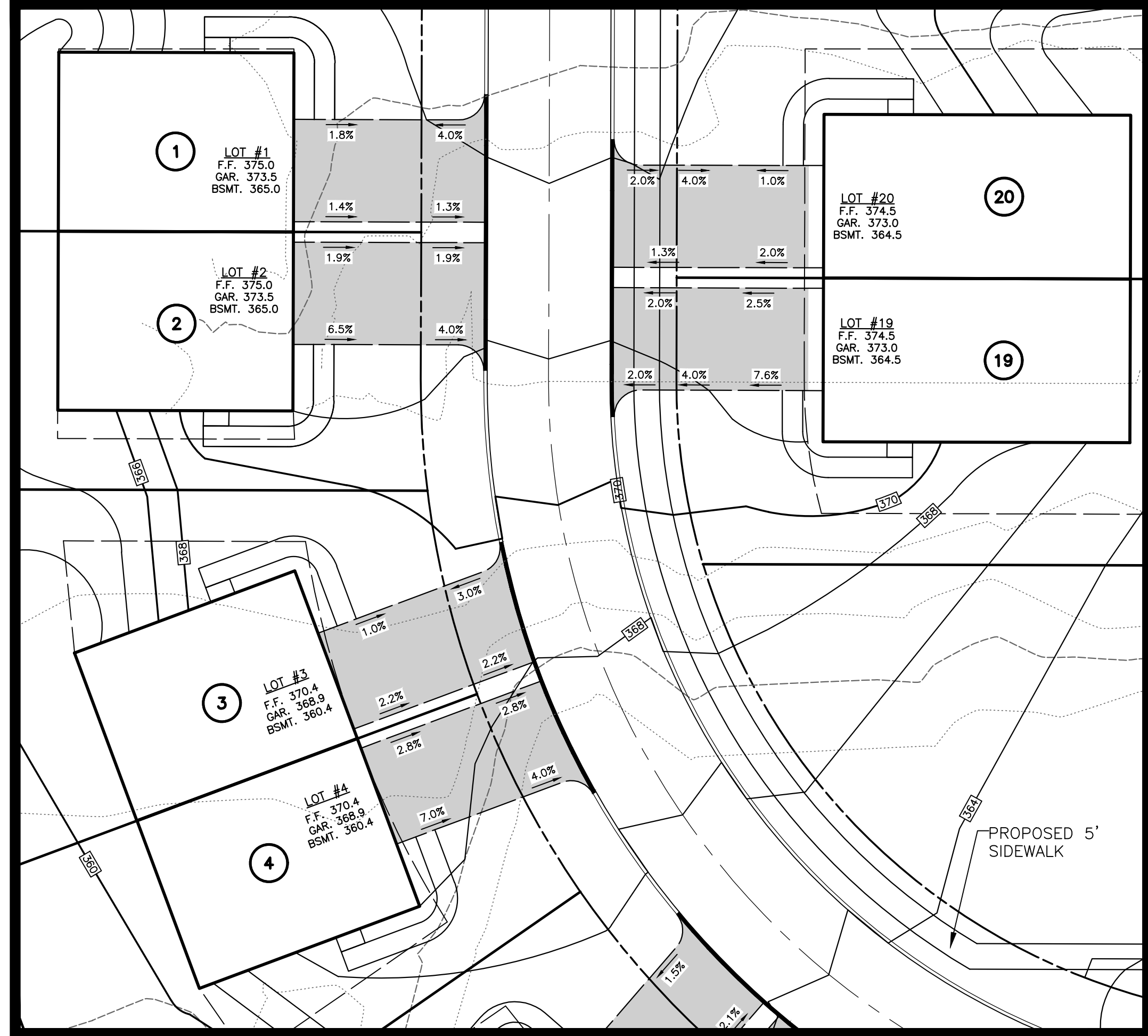
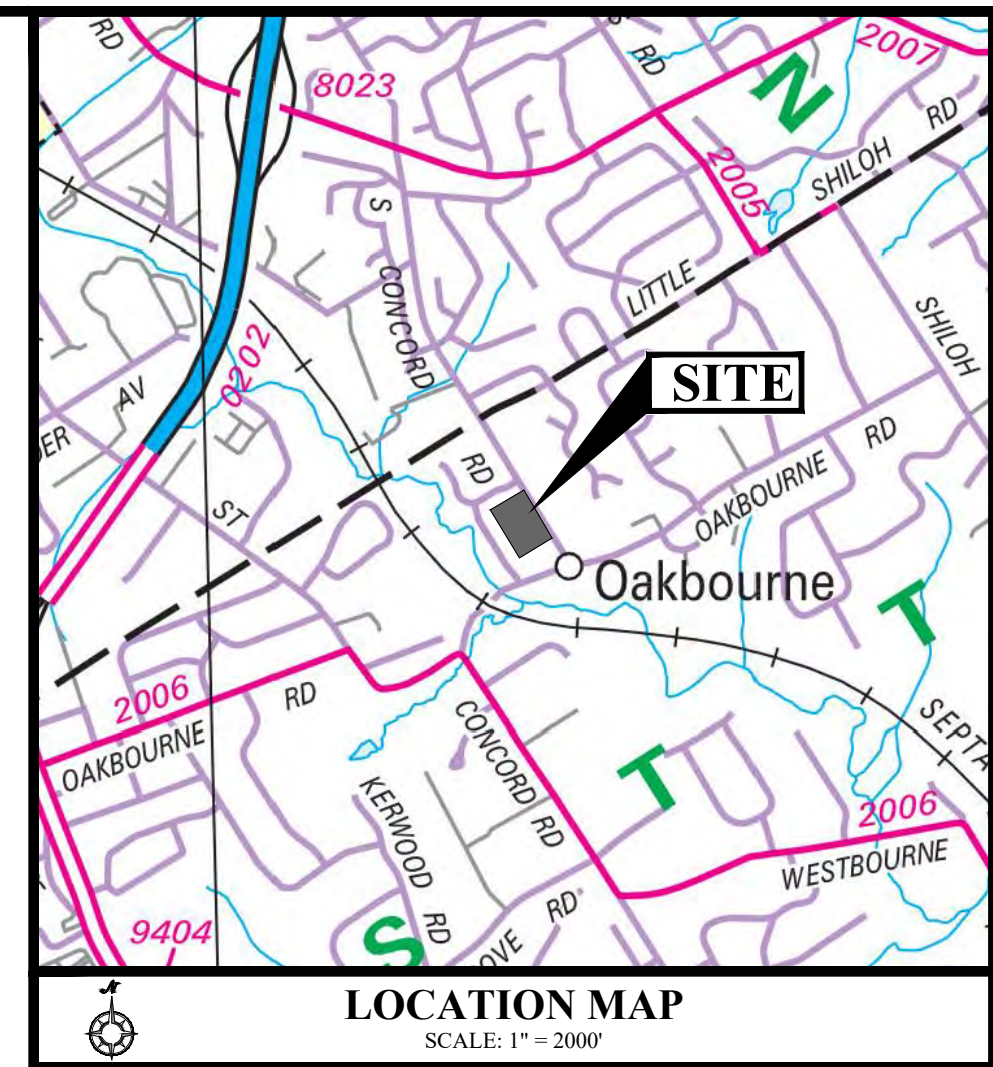
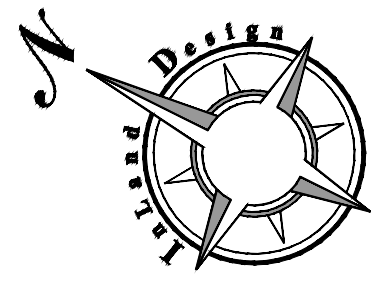
**SHEET 5 OF 20**

**REVISIONS:**

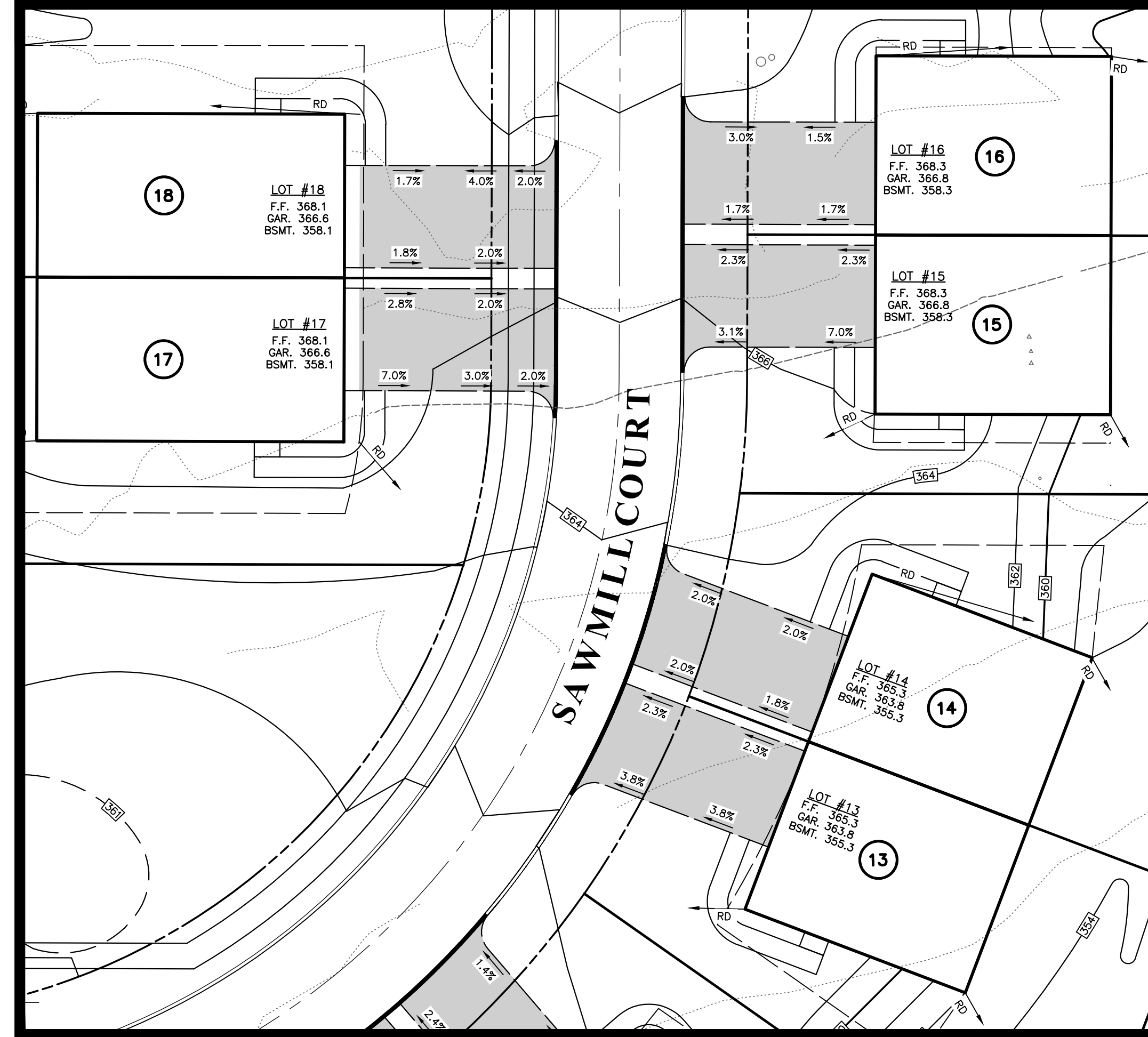
No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEW

N:\150011541\DrawSheets\Preliminary Twp Substation\05-GRADING & UTILITY PLAN.dwg

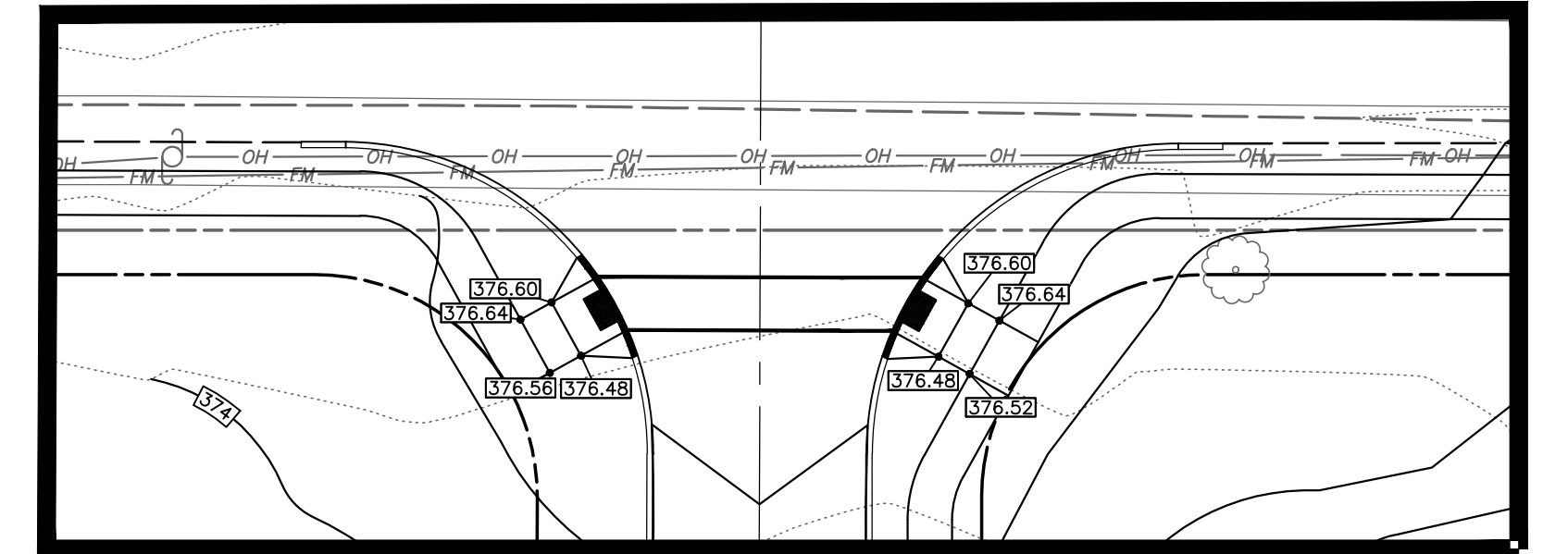




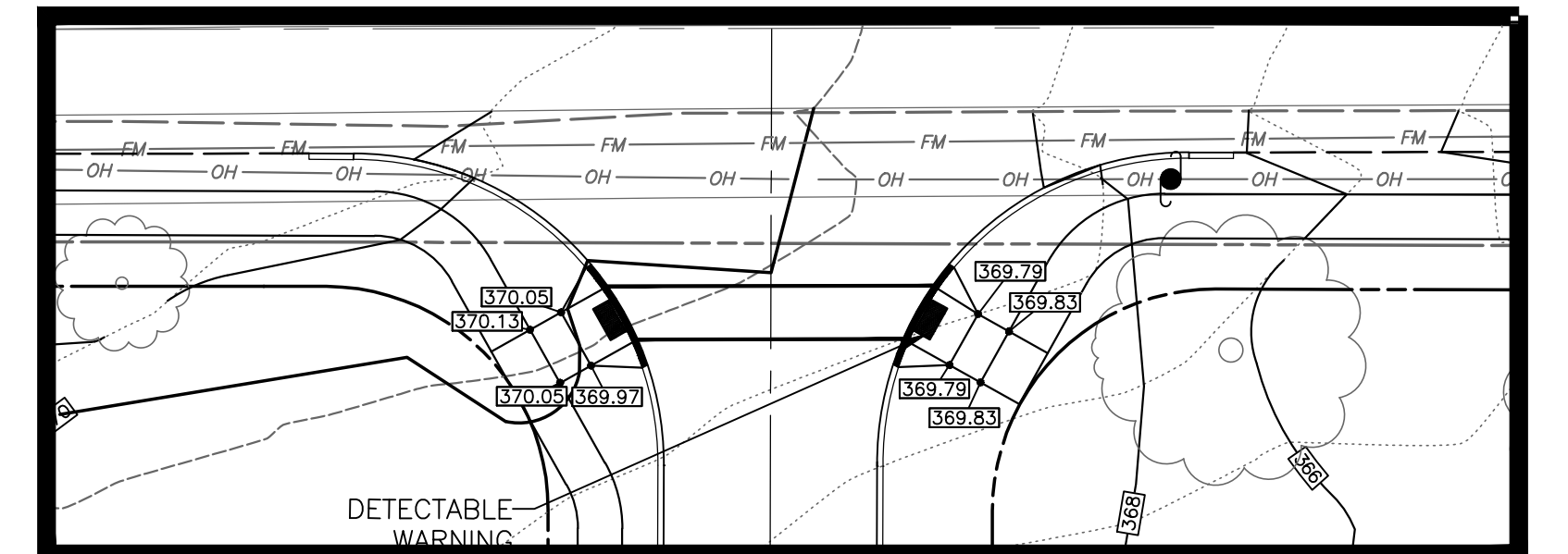
LOTS 1-4; 19&20



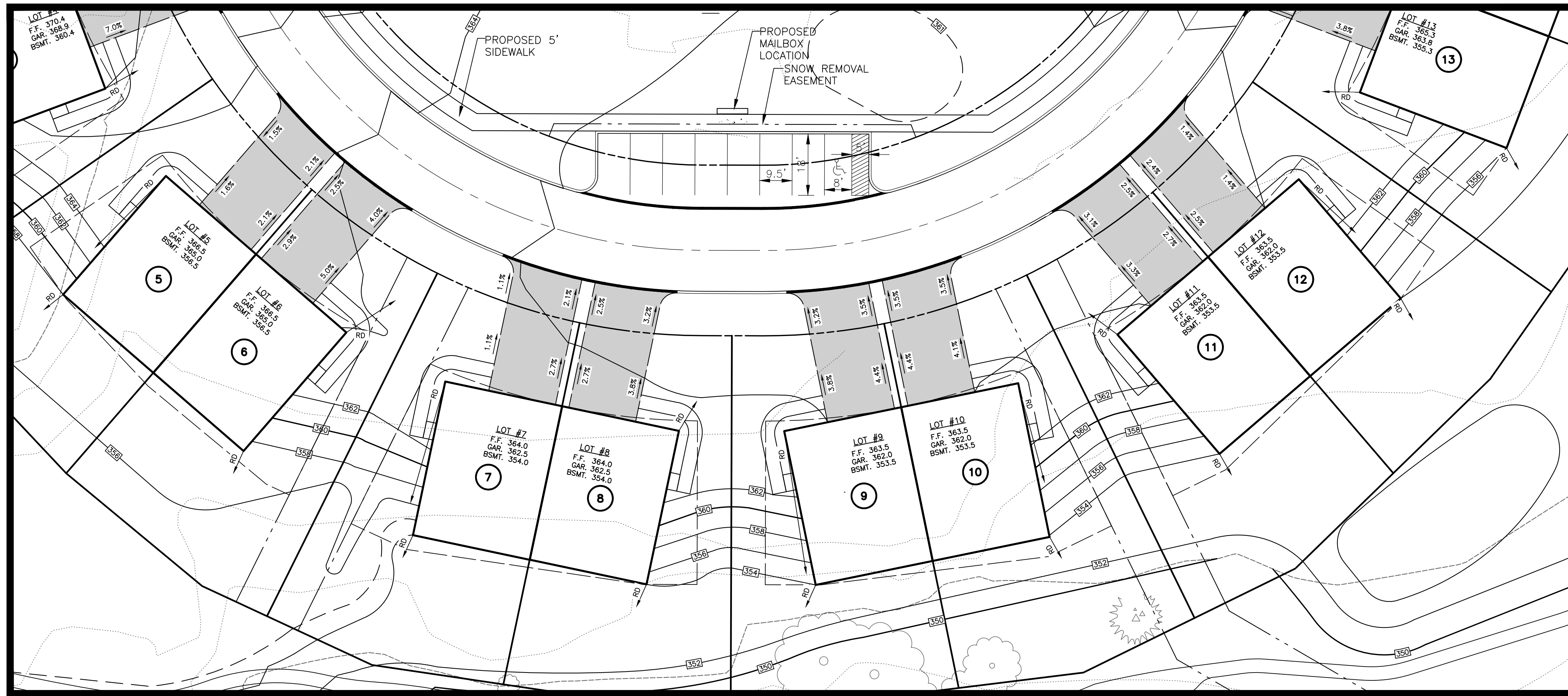
LOTS 13-18



NORTHERN TRAIL CROSSING ON SAWMILL COURT



SOUTHERN TRAIL CROSSING ON SAWMILL COURT



LOTS 5-12

**LEGEND**

	PROPERTY BOUNDARY
	PROPERTY BOUNDARY TO BE REMOVED
	ADJOINING PROPERTY LINE
	FLOOD PLAIN LINE
	TEST PIT LOCATION
	EXISTING RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING 10' CONTOUR W/ ELEVATION
	EXISTING 2' CONTOUR W/ ELEVATION
	EXISTING SPOT ELEVATION
	EXISTING BRUSHLINE
	EXISTING TREE LINE
	EXISTING TREE SYMBOLS
	EXISTING LIGHT
	EXISTING UTILITY POLE
	EXISTING WELL
	EXISTING WATER VALVE
	EXISTING SIGN
	EXISTING FENCE LINE
	SOILS LINE AND DESCRIPTION
	PRECAUTIONARY SLOPES 15% - 25%
	PROHIBITIVE SLOPES 25% - UP
	WETLAND AREA
	EXISTING STORM STRUCTURES & PIPE
	EXISTING SANITARY STRUCTURES & PIPE
	EXISTING ROAD CENTERLINE
	EXISTING CURB LINE
	EXISTING ROAD PAVING
	EXISTING DRIVEWAY
	EXISTING STONE DRIVE
	EXISTING SANITARY LATERAL
	EXISTING SANITARY MAIN
	EXISTING WATER LINE
	EXISTING ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING TELEPHONE LINE
	PROPOSED IRON PIN
	PROPOSED MONUMENT
	PROPOSED RIGHT OF WAY LINE
	PROPOSED EASEMENT LINE
	PROPOSED 2' CONTOUR
	PROPOSED 10' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED CONCRETE
	PROPOSED TREE LINE
	PROPOSED UTILITY POLE
	PROPOSED WATER VALVE
	PROPOSED SIGN
	PROPOSED FENCE LINE
	PROPOSED STORM STRUCTURES & PIPE
	PROPOSED SANITARY STRUCTURES & PIPE
	PROPOSED ROAD CENTERLINE
	PROPOSED CURB LINE
	PROPOSED ROAD PAVING
	PROPOSED DRIVEWAY
	PROPOSED SANITARY LATERAL
	PROPOSED WATER LINE
	PROPOSED ELECTRIC LINE
	PROPOSED GAS LINE
	PROPOSED TELEPHONE LINE

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**PENNSYLVANIA ONE CALL SYSTEM**  
PA, act 172 of 1986 requires three working days notice

**INLAND DESIGN**  
Civil Engineers, Surveyors & Land Development Consultants  
16 Hagerty Blvd. West Chester, PA 19382  
Phone: (484) 947-2928 Fax: (484) 947-2946  
Info@InlandDesign.net

**JOEL D. COMANDA**  
REGISTERED PROFESSIONAL ENGINEER  
No. 115801  
P.E. 070740  
PENNSYLVANIA

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEW

**PRELIMINARY/FINAL LAND DEVELOPMENT**

GRAPHIC SCALE  
0 10 20 30 40 50 60  
(IN FEET)  
1 inch = 20'

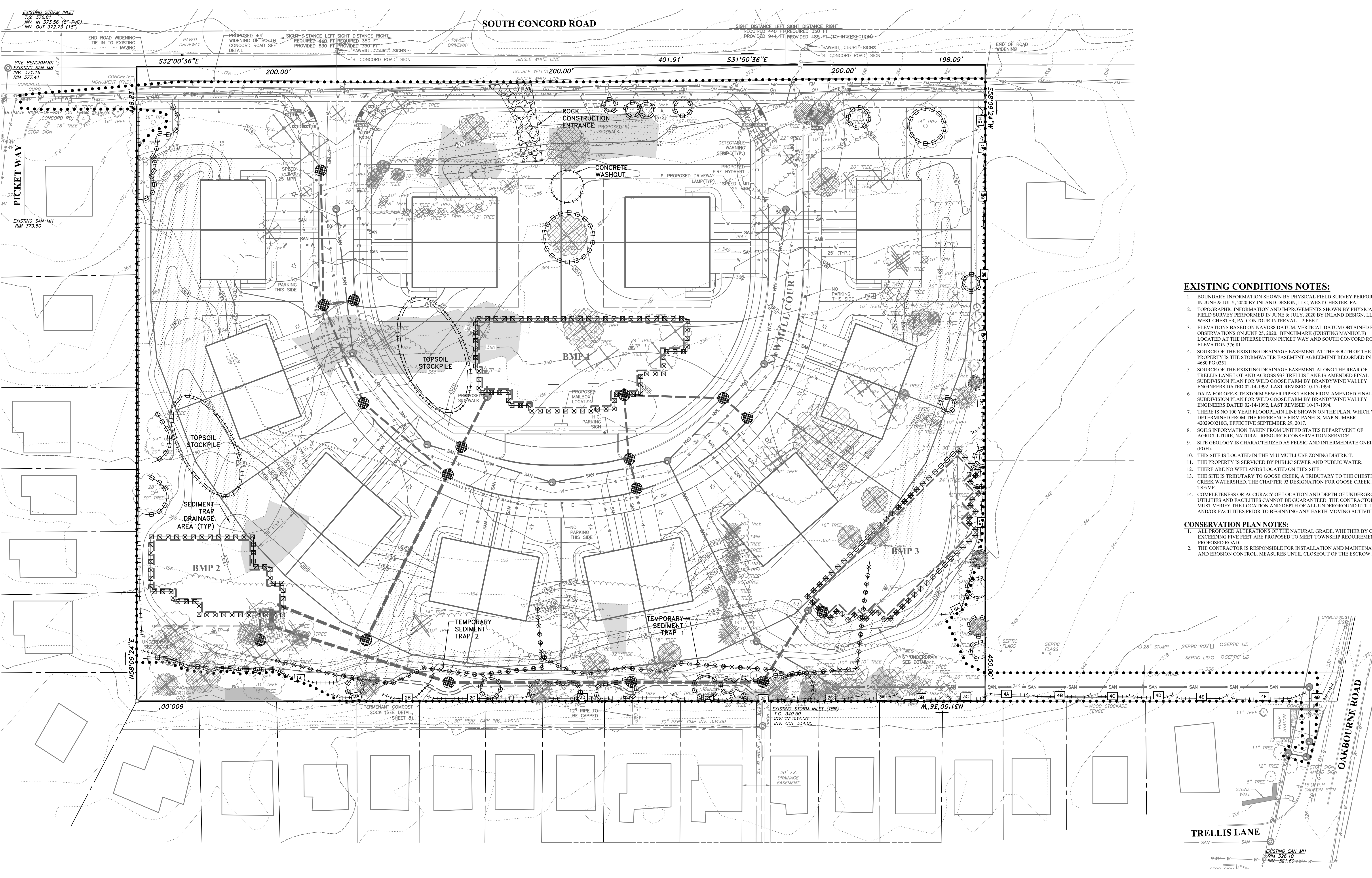
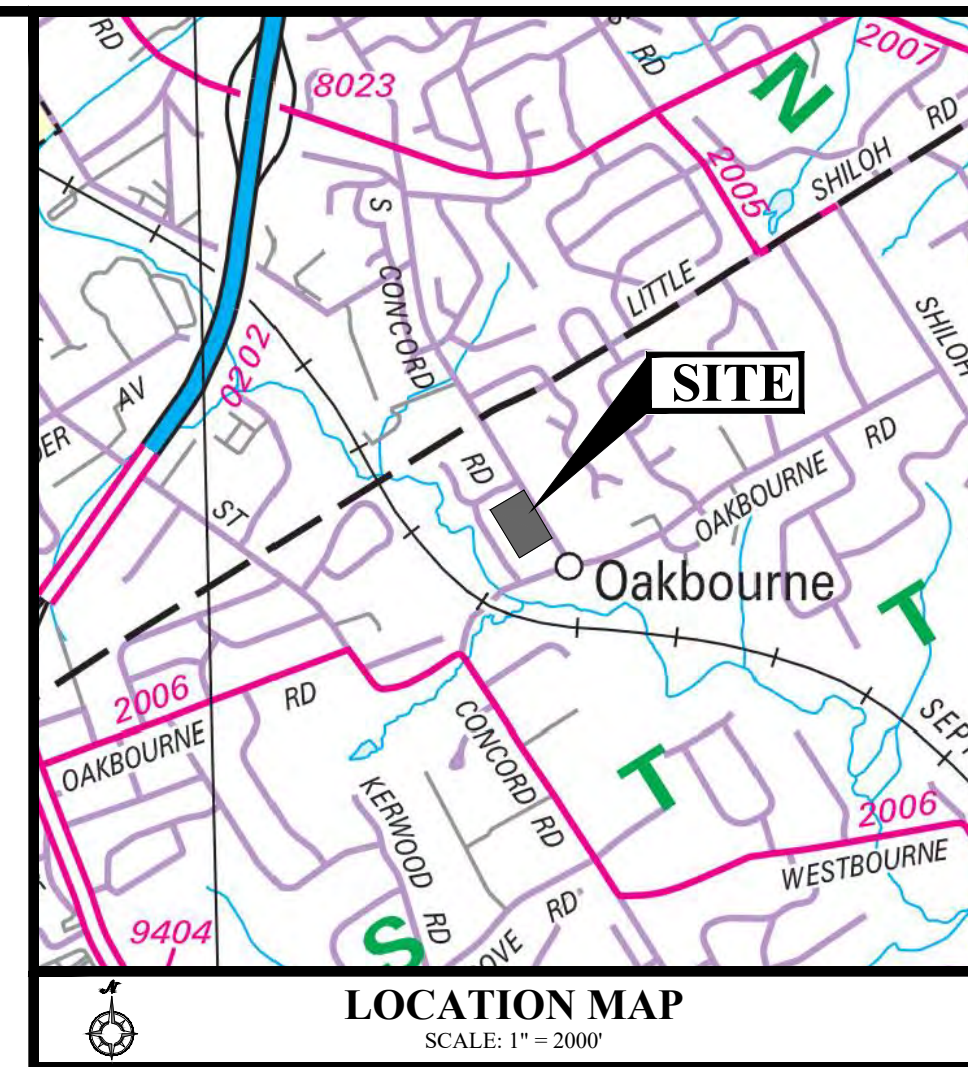
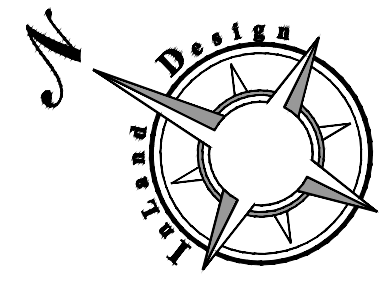
Date: 12/07/2020	Scale: 1" = 20'
Drawn by: TMW	Checked by: JDC
Project No. 11541	

**DRIVEWAY GRADING BLOWUP FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET 6 OF 20**

**APPLICANT / OWNER:**  
HUNTRESS BUILDERS, LLC  
ATTN: WAYNE MEGILL, CO-MANAGER  
330 KENNETH PIKE, SUITE 207  
CHADDS FORD, PA 19317  
(610) 399-1235  
SITE ADDRESS: 914-924 S. CONCORD RD.  
WESTTOWN TWP., CHESTER COUNTY, PA  
PARCEL NO. 67-4-82 | D.B. S51 | PG. 151





**LEGEND**

	PROPERTY BOUNDARY
	PROPERTY BOUNDARY TO BE REMOVED
	ADJOINING PROPERTY LINE
	FLOOD PLAIN
	TEST PIT LOCATION
	EXISTING RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING 2' CONTOUR W/ELEVATION
	EXISTING 10' CONTOUR W/ELEVATION
	EXISTING TREE LINE
	EXISTING TREE SYMBOLS
	EXISTING LIGHT
	EXISTING UTILITY POLE
	EXISTING WELL
	EXISTING WATER VALVE
	EXISTING SIGN
	EXISTING FENCE LINE
	SOILS LINE AND DESCRIPTION
	PRECAUTIONARY SLOPES 15% - 25%
	PROHIBITIVE SLOPES 25% - UP
	WETLAND AREA
	EXISTING STORM STRUCTURES & PIPE
	EXISTING SANITARY STRUCTURES & PIPE
	EXISTING ROAD CENTERLINE
	EXISTING CURB LINE
	EXISTING ROAD / PAVING
	EXISTING DRIVEWAY
	EXISTING STONE DRIVE
	EXISTING SANITARY LATERAL
	EXISTING SANITARY FORCE MAIN
	EXISTING WATER LINE
	EXISTING ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING TELEPHONE LINE
	PROPOSED IRON PIN
	PROPOSED MONUMENT
	PROPOSED RIGHT OF WAY LINE
	PROPOSED EASEMENT LINE
	PROPOSED 2' CONTOUR
	PROPOSED 10' CONTOUR
	PROPOSED CONCRETE
	PROPOSED TREE LINE
	PROPOSED UTILITY POLE
	PROPOSED WELL
	PROPOSED WATER VALVE
	PROPOSED SIGN
	PROPOSED FENCE LINE
	PROPOSED STORM STRUCTURES & PIPE
	PROPOSED SANITARY STRUCTURES & PIPE
	PROPOSED ROAD CENTERLINE
	PROPOSED CURB LINE
	PROPOSED ROAD / PAVING
	PROPOSED DRIVEWAY
	PROPOSED SANITARY LATERAL
	PROPOSED SANITARY FORCE MAIN
	PROPOSED WATER LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	TREE PROTECTION FENCE
	COMPOST FILTER SOCK
	SILT SOCK SEDIMENT TRAP BERM
	ORANGE CONSTRUCTION FENCE
	LIMIT OF DISTURBANCE/PEEDS
	PERMIT BOUNDARY
	ROCK CONSTRUCTION ENTRANCE
	15:1 OR EQUIVALENT EQUAL EROSION CONTROL BLANKET FOR SLOPES
	INLET SEDIMENT FILTER

**EXISTING CONDITIONS NOTES:**

- BOUNDARY INFORMATION SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY 2001 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
- TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY 2001 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL - 2 FEET.
- ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 25, 2003. BENCHMARK (EXISTING MANSION) LOCATED AT THE INTERSECTION PICKET WAY AND SOUTH CONCORD ROAD. ELEVATION 376.81.
- SOURCE OF THE EXISTING DRAINAGE EASEMENT AT THE SOUTH OF THE PROPERTY IS THE STORMWATER EASEMENT AGREEMENT RECORDED IN DB 4800 PG 0251.
- SOURCE OF THE EXISTING DRAINAGE EASEMENT ALONG THE REAR OF TRELIS LANE LOT AND ACROSS 933 TRELIS LANE IS AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992, LAST REVISED 10-17-1994.
- DATA FOR OFF-SITE STORM SEWER PIPES TAKEN FROM AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992, LAST REVISED 10-17-1994.
- THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 4200C0210G, EFFECTIVE SEPTEMBER 29, 2017.
- SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- SITE GEOLOGY IS CHARACTERIZED AS FELSIC AND INTERMEDIATE GNEISS (FGH).
- THIS SITE IS LOCATED IN THE M-41 MULTI-USE ZONING DISTRICT.
- THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
- THERE ARE NO WETLANDS LOCATED ON THIS SITE.
- THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED. THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T510M.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

**CONSERVATION PLAN NOTES:**

- ALL PROPOSED ALTERATIONS OF THE NATURAL GRADE, WHETHER BY CUT OR BY FILL, EXCEEDING FIVE FEET ARE PROPOSED TO MEET TOWNSHIP REQUIREMENTS OF THE PROPOSED ROAD.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL SOIL AND EROSION CONTROL MEASURES UNTIL CLOSURE OF THE ESCROW ACCOUNT.

**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
U <sub>1</sub> B	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A
U <sub>1</sub> gB	URBAN LAND-DOROTHYS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

**INLAND DESIGN**  
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16 Hagerty Blvd. West Chester, PA 19382  
Phone: (484) 947-2928  
Fax: (484) 947-2946  
Info@InlandDesign.net

PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

**COMMONWEALTH OF PENNSYLVANIA**  
REGISTERED PROFESSIONAL ENGINEER  
JOEL D. COMANDA  
PE070740

No.	Date	Description
1	02/10/2020	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEW

**PRELIMINARY/FINAL LAND DEVELOPMENT**

GRAPHIC SCALE  
0 15 30 60 120  
(IN FEET)  
1 inch = 30'

Date: 12/07/2020  
Scale: 1" = 30'  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**CONSERVATION PLAN FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET 7 OF 20**

N:\11500\11541\Dog\Sheets\Preliminary Twp Submission\07-CONSERVATION PLAN.dwg







**LONG TERM BMP OPERATIONS AND MAINTENANCE PROCEDURES:**

THE RESPONSIBLE PARTIES SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, OPERATION AND MAINTENANCE OF POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. ALL INSPECTIONS OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMPs SHALL BE PERFORMED BY THE APPOINTED REPRESENTATIVE OF THE RESPONSIBLE PARTIES. IF ANY DEFICIENT CONDITIONS ARE FOUND DURING THE INSPECTION A PLAN FOR ADDRESSING THEM SHALL BE PREPARED WITHIN TWO MONTHS AND THE PLAN SHALL BE CARRIED OUT WITHIN SIX MONTHS. THE RESPONSIBLE PARTIES SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL INSPECTIONS, MAINTENANCE, AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED. UNLESS THE SITE IS STABILIZED, THE INSPECTION AND MAINTENANCE PROCEDURES SHALL BE MAINTAINED PROPERLY BY THE CONTRACTOR. ALL PERMANENT MAINTENANCE PROCEDURES SHALL BE PERFORMED BY THE APPROPRIATE RESPONSIBLE PARTIES.

**DISPOSAL:** MATERIAL REMOVED FROM THE BMPs THAT SERVE "HOT SPOTS" SUCH AS FUELING STATIONS THAT RECEIVE A LARGE AMOUNT OF DEBRIS SHOULD BE HANDLED ACCORDING TO DEP REGULATIONS FOR THAT TYPE OF SOLID WASTE. SUCH AS A LANDFILL THAT IS APPROVED BY DEP TO ACCEPT SOLID WASTE. BMPs THAT PRIMARILY CATCH SEDIMENT AND DEBRIS FROM AREAS SUCH AS LAWNS MAY REUSE THE WASTE ON SITE.

- BMP 6.4.3 SUBSURFACE INFILTRATION BEDS - BEDS SHALL BE INSPECTED QUARTERLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENTS (1" INCH RAINFALL DEP'D) TO ENSURE THAT THEY ARE WORKING PROPERLY AND THAT DEBRIS AND/OR SEDIMENT HAS NOT ENTERED THE SYSTEM.
- IF THE INSPECTION REVEALS THAT THE INFILTRATION BED HAS BEEN DAMAGED, THE SYSTEM SHALL BE REPAIRED OR REPLACED.
- ACCUMULATED SILT AND DEBRIS THAT HAS DEPOSITED IN THE BOTTOM OF AN INLET'S WITHIN THE SYSTEM WILL BE REMOVED ON A QUARTERLY BASIS.
- THE ISOLATION ROWS SHALL BE CLEARED USING A VACUUM TRUCK ON AN ANNUAL BASIS AND/OR AFTER MAJOR STORM EVENTS (GREATER THAN 3 INCHES).
- INFLOW AND OUTFLOW POINTS INTO INFILTRATION SYSTEMS SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT PERFORMANCE OF THESE SYSTEMS.
- ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.
- ALL CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED.
- THE OVERLYING VEGETATION OF SUBSURFACE INFILTRATION FEATURES SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGATED AS SOON AS POSSIBLE.
- VEHICULAR ACCESS ON SUBSURFACE INFILTRATION AREAS SHOULD BE PROHIBITED, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS, IF ACCESS IS NEEDED, USE OF PERMISSIBLE TURF REINFORCEMENT SHOULD BE CONSIDERED.

**PERMANENT COMPOST SOCK -** COMPOST SOCK SHALL BE INSPECTED QUARTERLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENTS (1" INCH RAINFALL DEP'D) TO ENSURE THAT IT IS WORKING PROPERLY AND THAT THE VEGETATED COVER IS - 80%.
- IF THE INSPECTION REVEALS THAT THE COMPOST SOCK HAS BEEN DAMAGED OR THE VEGETATED COVER IS - 80%, THE SOCK SHALL BE REPAIRED OR REPLACED.
- ALL INSPECTIONS OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMPs SHALL BE PERFORMED BY THE APPOINTED REPRESENTATIVE OF THE RESPONSIBLE PARTIES.

IF ANY DEFICIENT CONDITIONS ARE FOUND DURING THE INSPECTION A PLAN FOR ADDRESSING THEM SHALL BE PREPARED WITHIN ONE MONTHS AND THE PLAN SHALL BE CARRIED OUT WITHIN TWO MONTHS. THE RESPONSIBLE PARTIES SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL MAINTENANCE AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.

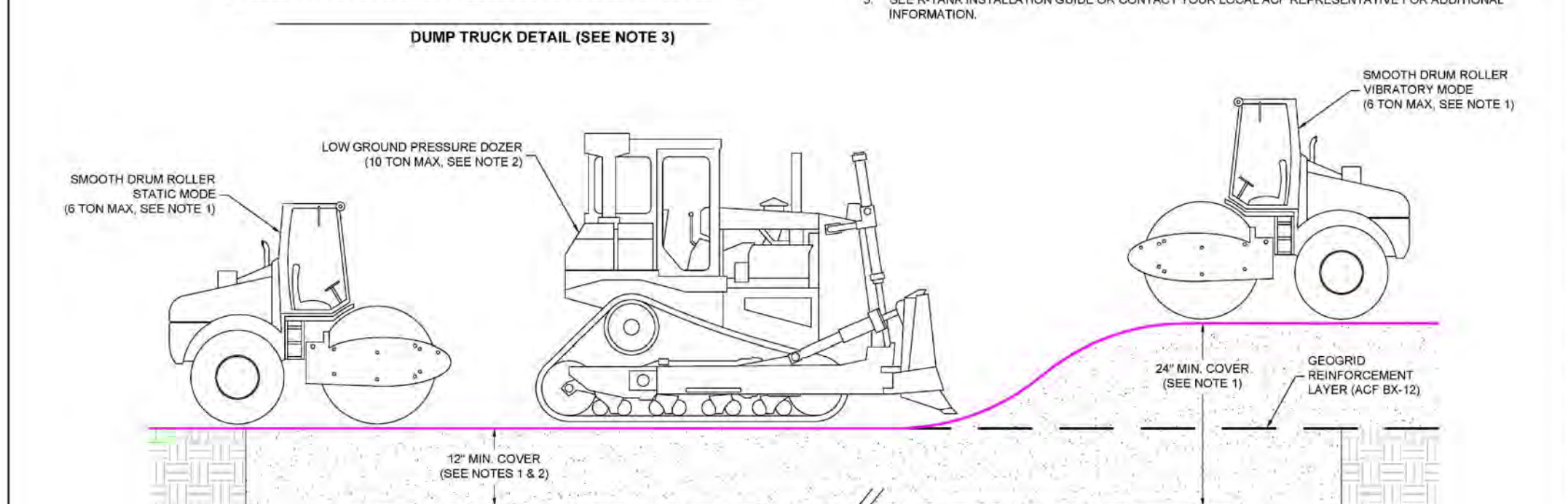
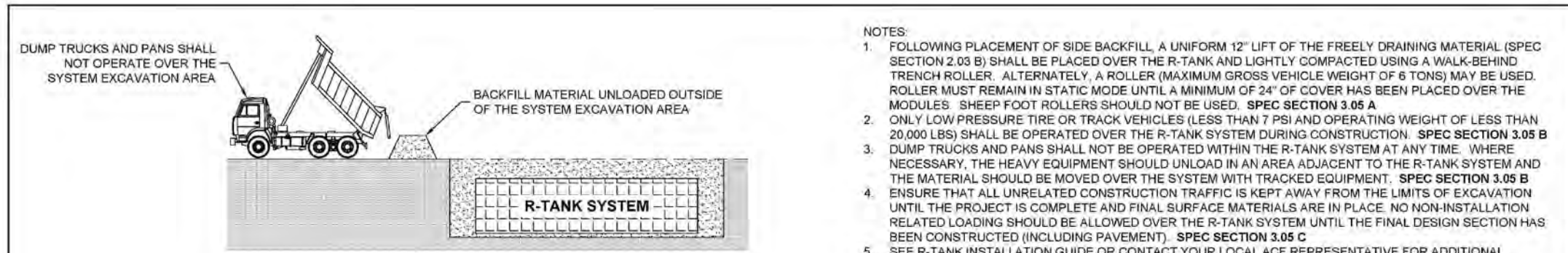
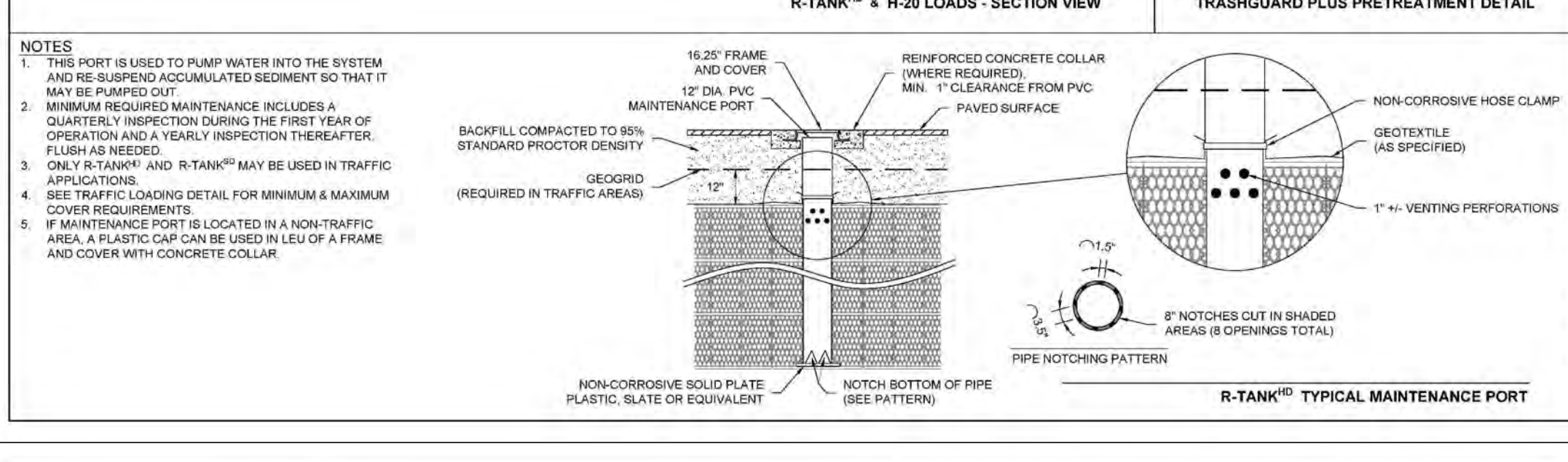
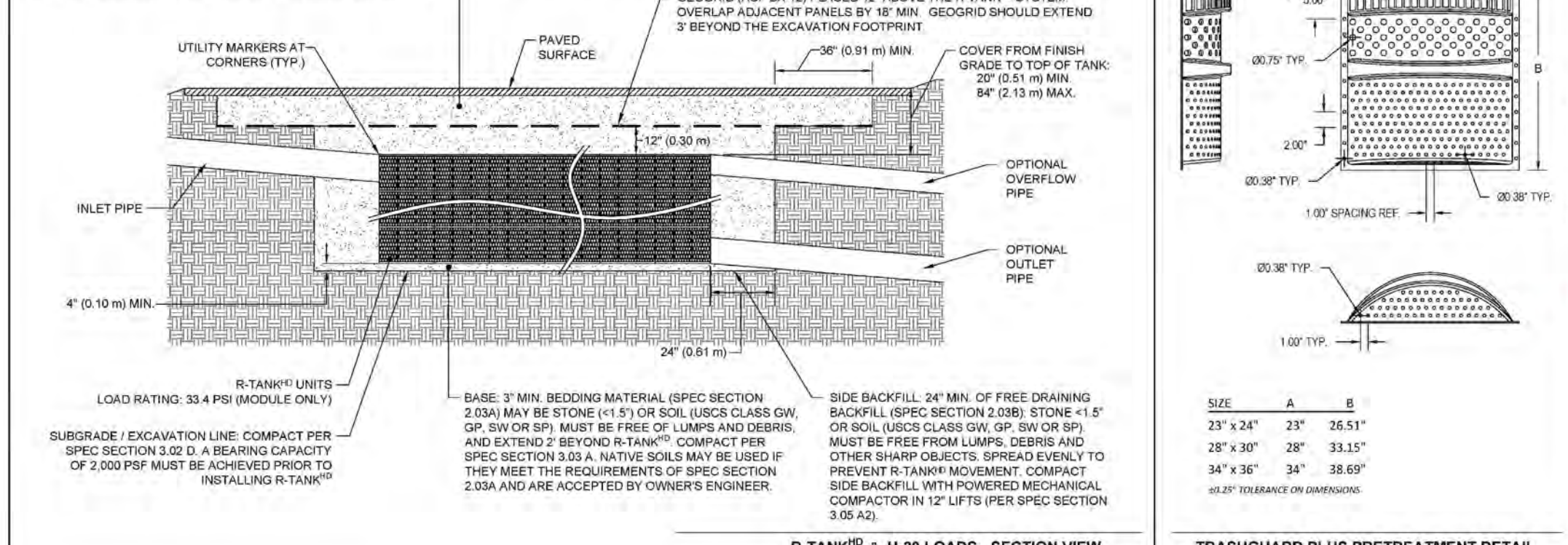
**INFILTRATION BED NOTES:**

- DURING SITE CONSTRUCTION, THE INFILTRATION BED SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL AND SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW. THE INFILTRATION BED SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.
2. IT IS RECOMMENDED THAT A SOILS ENGINEER OR REPRESENTATIVE THEREOF IS PRESENT ON-SITE DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM IN ORDER TO ENSURE THE SYSTEM WAS CONSTRUCTED AS DESIGNED AND TO OVERSEE THE EXCAVATION OF THE FINE GRAIN SOILS. GIVEN THE LOCALIZED INVESTIGATIONS, IT IS PARAMOUNT THAT THE ENTIRE FACILITY BEING VERIFIED TO BE SITUATED WITHIN THE CORRECT INFILTRATION STRATUM.
3. THE CONTRACTOR IS TO ENSURE THAT THERE IS NO PRECIPITATION IN THE FORECAST FOR THE DURATION OF THE INFILTRATION BED CONSTRUCTION. APPROPRIATE, PERMANENT MEASURES, AS SHOWN ON THE PLAN, SHALL BE IMPLEMENTED TO PROTECT THE INFILTRATION BED FROM SEDIMENT LADEN RUNOFF ENTERING IT.
4. THE FOLLOWING PROCEDURES AND MATERIALS SHALL BE REQUIRED DURING THE CONSTRUCTION OF THE INFILTRATION BED:
a. EXCAVATION FOR THE INFILTRATION BED SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE BED.
b. THE BOTTOM OF THE BED SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
c. ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY, FREE OF FINES, SHALL BE ALLOWED.
d. THE TOP AND SIDES OF THE INFILTRATION BED SHALL BE COVERED WITH DRAINAGE FABRIC. FABRIC SHALL BE CLASS 1 NON-WOVEN FABRIC ACCEPTABLE TO THE MUNICIPAL ENGINEER.
e. STORMWATER SHALL BE DISTRIBUTED THROUGHOUT THE ENTIRE INFILTRATION BED AND PROVISIONS FOR THE COLLECTION OF DEBRIS SHALL BE PROVIDED AS SHOWN ON THE PLAN.

**PCSWM O&M RESPONSIBLE PARTY:**

- UNLESS THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSWM BMPs ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.
2. FOR ANY PROPERTY CONTAINING A PCSWM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE PERMIT RECORDS WHICH WILL ASSURE DISCLOSURE OF THE PCSWM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSWM BMP, PROVIDE THE PERMIT NUMBER RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSWM BMPs AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSWM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEES, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TERMINATION (UNDER 1.02.03M5) (RELATING TO PERMIT TERMINATION).
3. THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANY OTHER PERSON INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSWM BMPs OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE TO THE DEPARTMENT.
4. A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSWM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSWM BMPs LOCATED ON THE PROPERTY.

TOTAL COVER: 30" MINIMUM AND 84" MAXIMUM. FIRST 12" MUST BE FREELY DRAINING BACKFILL (SPEC SECTION 3.08). STONE 4" OR SOIL (SPEC CLASS GW, SP, SW OR GR) OR SOIL (SPEC CLASS GW, SP, SW OR GR) WITH MAX CLAY CONTENT 10%. MAX STN. PERM. NO. 200 SIEVE. ANIMAL PLASTER OR ASBESTOS.
12" COVER MUST BE MAINTAINED BETWEEN BACKFILL EQUIPMENT AND THE TOP OF THE 12" FRAME. AT ALL TIMES, BACKFILL SHALL BE MOISTENED TO PREVENT COMPACTION.
AC ENVIRONMENTAL, 1500-448-3000. WWW.ACPEM.COM



**SEQUENCE OF CONSTRUCTION:**

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO THE COUNTY CONSERVATION DISTRICT, THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON-SITE PRE-CONSTRUCTION MEETING.

THE PROFESSIONAL DESIGN ENGINEER, GEOTECHNICAL ENGINEER, SOILS PROFESSIONAL, AND/OR DESIGNER MUST PROVIDE INSTRUCTIONS OF THE OVERALL FUNCTIONALITY OF THE STORMWATER BMPs AS WELL AS FOR THE SPECIFIC STAGES DESIGNATED AS CRITICAL.

- DELINEATE LIMITS OF DISTURBANCE AS SHOWN ON THE PLAN. FENCE OFF AREAS OF PROPOSED INFILTRATION FACILITIES WITH CONSTRUCTION FENCING TO PROTECT THEM FROM CONSTRUCTION ACTIVITIES.
2. INSTALL ROCK CONSTRUCTION ENTRANCE AND SILT SOCKS ALONG THE PROJECT BOUNDARY AS SHOWN ON THE PLAN AND CONSTRUCTION DISTRICT.
3. ACCESS TO THE EXISTING HIGHWAY AT 914 SOUTH CONCORD ROAD IS TO BE KEPT OPEN AND THE EXISTING STRUCTURE IS TO BE MAINTAINED DURING THE EARLY STAGES OF CONSTRUCTION.
4. INSTALL SILT SOCK SEDIMENT TRAPS 1 & 2. INSTALL CLEANOUT STAKES AND MARK THE CLEANOUT ELEVATION ON THE STAKE. WHEN ACCUMULATED SEDIMENT HAS REACHED THE CLEANOUT ELEVATION THE SEDIMENT MUST BE REMOVED AND THE TRAP RETURNED TO ITS ORIGINAL DIMENSIONS.
5. BEGIN DEMOLITION OF EXISTING STRUCTURES ON-SITE. REMOVE TREES TO BE REMOVED. CLEAR AND GRUB AREA OF DISTURBANCE. STOCKPILE SOIL IN DESIGNATED AREAS.
6. BEGIN CONSTRUCTION OF HOUSES ON LOTS 17-20.
7. ROUGH GRADE SAWMILL COURT AND LOT AREAS.
8. INSTALL SANITARY SEWER LINES, WATER LINE, AND ALL UTILITY LINES WITHIN RIGHT OF WAY AND UTILITY EASEMENTS. INSTALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT AND IMMEDIATELY BLOCK ALL INLETS.
9. TEMPORARILY STABILIZE ALL LOT AREAS.
10. INSTALL CURB, BASE AND BINDER COURSE ON SAWMILL COURT.
11. CRITICAL STAGE: ONCE TRIBUTARY AREAS ARE STABILIZED REMOVE SEDIMENT TRAP 2 AND INSTALL BMP 2 (INFILTRATION BEDS) ACCORDING TO INDIVIDUAL INFILTRATION BMP SEQUENCE OF CONSTRUCTION. IMMEDIATELY INSTALL INLET PROTECTION ON ALL TRIBUTARY INLETS.
12. ONCE SAWMILL COURT BASE COURSE IS INSTALLED, REMOVE INLET BLOCKS AND INSTALL INLET PROTECTION ON ALL INLETS.
13. BEGIN CONSTRUCTION OF BUILDINGS ON ALL REMAINING LOTS ACCORDING TO INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION.
14. CRITICAL STAGE: ONCE TRIBUTARY AREA IS STABILIZED, REMOVE SEDIMENT TRAP 1 AND INSTALL BMP 3 (INFILTRATION BED) ACCORDING TO INDIVIDUAL INFILTRATION BMP SEQUENCE OF CONSTRUCTION. IMMEDIATELY INSTALL INLET PROTECTION ON ALL TRIBUTARY INLETS.
15. AS EACH SET OF TWINS IS COMPLETED, INSTALL PERMANENT STABILIZATION ON YARD AREAS.
16. ONCE ALL SETS OF TWINS IS COMPLETED, INSTALL PERMANENT STABILIZATION ON YARD AREAS.
17. INSTALL PERMANENT SEEDING AND MULCH ON ALL DISTURBED AREAS IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS SHOWN ON THE PLAN. INSTALL LANDSCAPING AS SHOWN ON THE PLAN AND IN THE DETAIL.
18. INSTALL WEARING COURSE ON SAWMILL COURT AND ANY REMAINING DRIVEWAYS.
19. INSTALL PERMANENT COMPOST SOCK BELOW INLETS 1-3.
20. ONCE ALL AREAS HAVE BEEN PERMANENTLY STABILIZED (DETERMINED BY MINIMUM 70% ESTABLISHED GRASS COVER, REMOVE ALL REMAINING EROSION CONTROLS MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROLS MEASURES.
21. ANY SUBSTANTIAL CHANGES TO THE LOCATION OF BUILDINGS, STORMWATER MANAGEMENT BMPs, OR EROSION AND SEDIMENTATION CONTROLS SHALL BE REVIEWED FOR ADEQUACY BY THE COUNTY CONSERVATION DISTRICT PRIOR TO CONSTRUCTION.
22. IN ORDER TO CLOSE THE PROJECT, THE APPLICANT MUST SUBMIT A COMPLETED NOTICE OF TERMINATION (NOT).

**INFILTRATION BED CONSTRUCTION SEQUENCE (CRITICAL STAGE):**

- STAKE OUT THE LIMITS OF THE BED TO BE INSTALLED.
2. PROTECT INFILTRATION BED AREAS FROM COMPACTION DURING CONSTRUCTION.
3. EXCAVATE UNDERGROUND INFILTRATION BED TO THE PROPOSED BOTTOM. EXCAVATION SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB THE SOIL STRUCTURE OF THE INFILTRATION ZONE. INSTALL 12" FILTER SOCK ALONG THE UPSLOPE PERIMETER OF THE EXCAVATED AREA TO PREVENT RUNOFF FROM UNSTABILIZED AREAS FROM ENTERING THE INFILTRATION AREA. IF UNFAVORABLE CONDITIONS, SUCH AS GROUNDWATER AND/OR BEDROCK, ARE ENCOUNTERED DURING INSTALLATION OF THE INFILTRATION SYSTEM, CONSTRUCTION SHALL CEASE AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED. AN ALTERNATIVE SYSTEM SUITABLE TO THE FIELD CONDITIONS SHALL BE DESIGNED AND APPROVED BY THE MUNICIPALITY AND THE CONSERVATION DISTRICT PRIOR TO FURTHER INSTALLATION BY THE CONTRACTOR.
4. PLACE FILTER FABRIC IN THE EXCAVATION AND TACK IT UP TO THE SIDES. ALLOW SUFFICIENT FABRIC TO OVERLAP THE TOP OF THE BED.
NOTE: INFILTRATION BED FILTER FABRIC AND STONE SHALL BE KEPT CLEAN OF SOIL SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION BEDS, APPROPRIATE MEASURES (I.E., CLEANING THE SOIL SEDIMENT FROM THE FABRIC, STONE, BED, ETC., AN OR REPLACEMENT OF THE FABRIC AND STONE). PIECES OF FILTER FABRIC SHALL BE INSTALLED WITH A 12" OVERLAP 12" ON ALL SEAMS.
5. PLACE CLEAN STONE IN THE BOTTOM OF THE BED AND EVENLY DISTRIBUTE ON THE BOTTOM. CARE SHALL BE TAKEN TO ENSURE THAT THE FILTER FABRIC IN THE BED IS NOT TORN DURING INSTALLATION. ALL STONE SHALL BE UNIFORMLY GRADED, CLEAN WASHED AGGREGATE. THE STONE SHALL BE CHECKED AND APPROVED BY THE DESIGN SITE ENGINEER BEFORE INSTALLATION INTO SEEPAGE BEDS TO ENSURE THAT IT IS CLEAN WASHED STONE.
6. INSTALL THE INLETS AND DISTRIBUTION PIPE AS SHOWN ON THE DETAIL. COMPLETE BACKFILLING OF STONE IN THE BEDS TO THE LEVEL OF THE INFLOW PIPES. PROVIDE OPENING IN THE FILTER FABRIC FOR THE INFLOW PIPES. PLACE ADDITIONAL STONE UP TO THE ELEVATION OF THE OUTFLOW PIPE.
7. COMPLETE PLACEMENT OF THE STONE IN THE INFILTRATION BED OVERLAP FILTER FABRIC ON TOP OF THE INFILTRATION BED BACKFILL OVER THE INFILTRATION AREA WITH SOIL TO FINISHED GRADE. STABILIZE AREA OVER UNDERGROUND BED WITH PERMANENT MEASURES AS STATED ON THE EROSION AND SEDIMENT CONTROL PLAN. INSTALL WATERMESH COVERS ON INLETS.
8. THE INSTALLATION OF THE INFILTRATION BED SHALL BE DONE DURING NON-RAINY PERIODS TO PREVENT SEDIMENT DEPOSITION AND LOCKING OF THE SOIL STRUCTURE. IF RAIN BEGINS AFTER THE EXCAVATION THE INFILTRATION BED HAS BEEN COMPLETED, FILTER FABRIC SHALL BE REPAIRED OR REPLACED. THE FILTER FABRIC SHALL BE REMOVED AND REPLACED IF SEDIMENT ACCUMULATES IN THE BED AREA.
9. INFILTRATION BED FILTER FABRIC AND STONE SHALL BE KEPT CLEAN OF SOIL SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION BEDS, APPROPRIATE MEASURES (I.E., CLEANING THE SOIL SEDIMENT FROM THE FABRIC, STONE, BED, ETC., AN OR REPLACEMENT OF THE FABRIC AND STONE).
10. ALL INLETS SHALL BE GIVEN A FINAL INSPECTION AFTER THE SITE HAS BEEN STABILIZED TO ENSURE THEY ARE FREE OF SEDIMENT.

**INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION:**

- INSTALL SILT SOCK AND ROCK CONSTRUCTION ENTRANCE FOR INDIVIDUAL LOT.
2. BEGIN CONSTRUCTION OF FOUNDATION.
3. INSTALL STONE BASE FOR DRIVEWAY.
4. BEGIN HOUSE CONSTRUCTION.
5. INSTALL UTILITIES.
6. ONCE HOUSE IS ENCLOSED, SPREAD TOPSOIL AND SEED.
7. REMOVE ALL REMAINING EROSION CONTROLS MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROLS MEASURES.

**R-TANK SPECIFICATION**

Table with 2 columns: PART / DESCRIPTION and PART / DESCRIPTION. It lists various components and their specifications for the R-Tank system, including materials, dimensions, and installation requirements.

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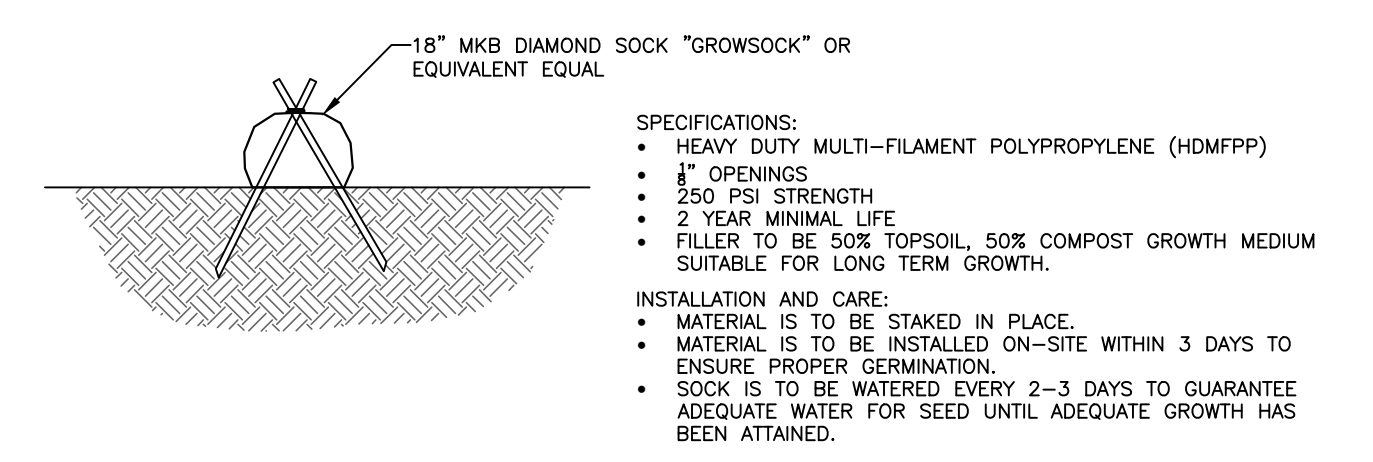
R-TANK SYSTEM DETAILS SAWMILL COURT WESTTOWN TOWNSHIP, PA SITE DESIGNATION: BMP 1 ACPEM ENVIRONMENTAL, 1500-448-3000, WWW.ACPEM.COM



R-TANK CONSTRUCTION EQUIPMENT COVER DETAIL SAWMILL COURT WESTTOWN TOWNSHIP, PA SITE DESIGNATION: BMP 1 ACPEM ENVIRONMENTAL, 1500-448-3000, WWW.ACPEM.COM

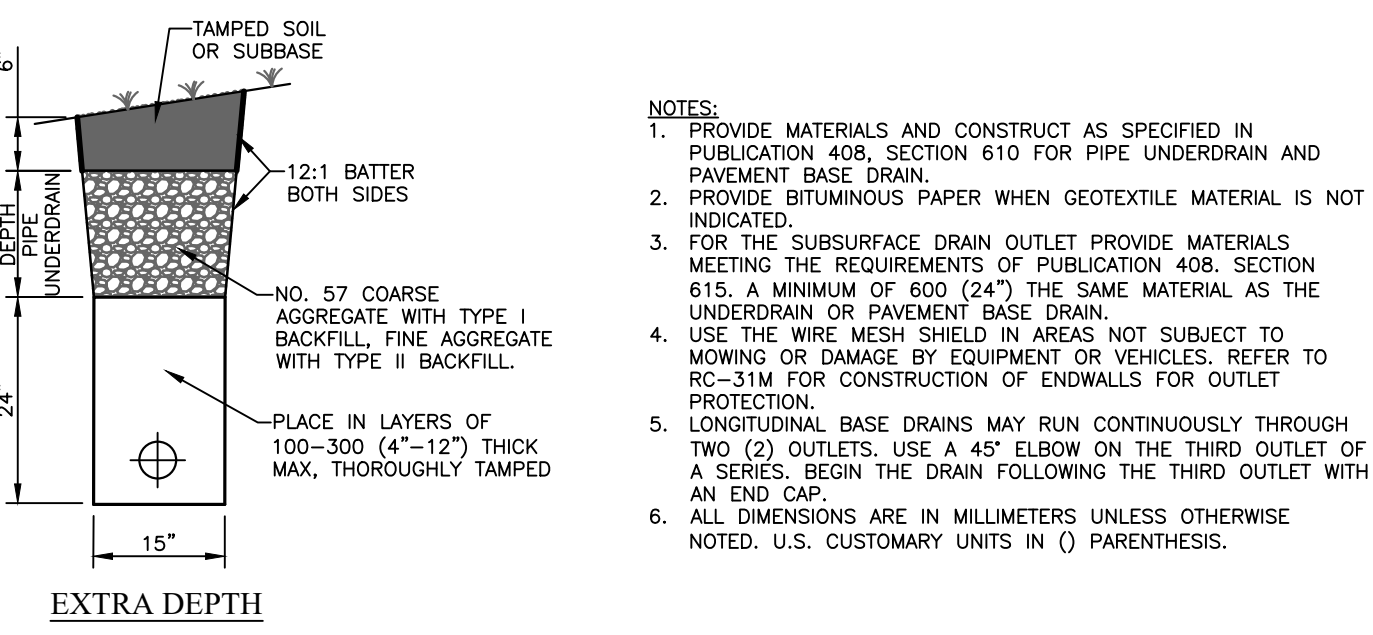


R-TANK SPECIFICATION SAWMILL COURT WESTTOWN TOWNSHIP, PA SITE DESIGNATION: BMP 1 ACPEM ENVIRONMENTAL, 1500-448-3000, WWW.ACPEM.COM



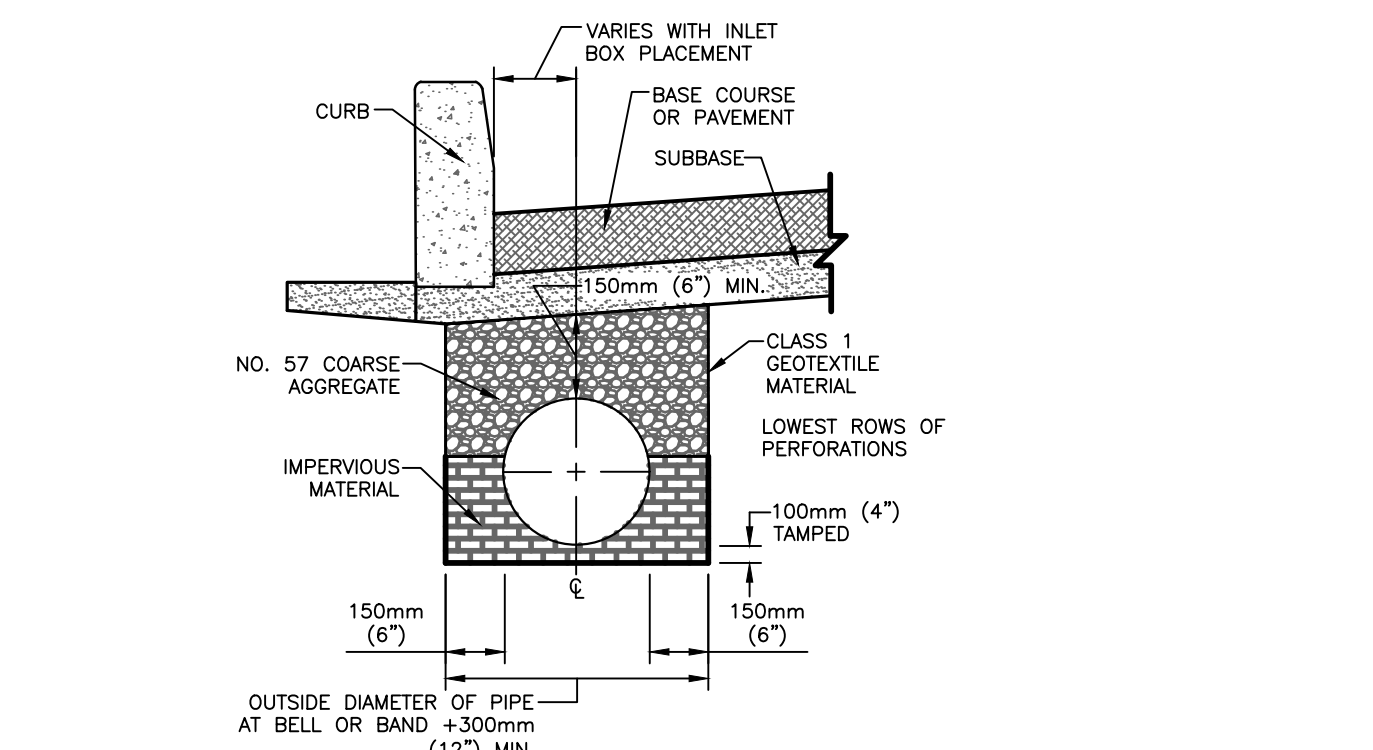
**PERMANENT COMPOST SOCK DETAIL** (NOT TO SCALE)

- 1. HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HMPP)
2. 1\"/>
3. 250 PSI STRENGTH
4. 2 YEAR MINIMAL LIFE
5. FILLER TO BE 50% TOPSOIL, 50% COMPOST GROWTH MEDIUM SUITABLE FOR LONG TERM GROWTH.
INSTALLATION AND CARE:
- MATERIAL IS TO BE STAKED IN-SITE WITHIN 3 DAYS TO ENSURE PROPER GERMINATION.
- SOCK IS TO BE WATERED EVERY 2-3 DAYS TO GUARANTEE ADEQUATE MOISTURE FOR SEED UNTIL ADEQUATE GROWTH HAS BEEN ATTAINED.



**STANDARD UNDERDRAIN DETAIL RC-30M** (NOT TO SCALE)

- 1. PROVIDE MATERIALS AND CONSTRUCT AS SPECIFIED IN PUBLICATION 438, SECTION 610 FOR PIPE UNDERDRAIN AND
2. PROVIDE BITUMINOUS PAPER WHEN GEOTEXTILE MATERIAL IS NOT AVAILABLE.
3. FOR THE SUBSURFACE DRAIN OUTLET PROVIDE MATERIALS THAT MEET THE REQUIREMENTS OF PUBLICATION 438, SECTION 615. A MINIMUM OF 600 (24\"/>
4. USE THE WIRE MESH SHIELD IN AREAS NOT SUBJECT TO MOWER DAMAGE BY TRUCKS OR VEHICLES. REFER TO RC-31M FOR CONSTRUCTION OF ENDWALLS FOR OUTLET
5. LONGITUDINAL BASE DRAINS MAY RUN CONTINUOUSLY THROUGH 100'-300' (40\"/>
6. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. U.S. CUSTOMARY UNITS IN ( ) PARENTHESES.



**COMBINATION STORM SEWER AND UNDERDRAIN**

- NOTE: PLACE NO. 57 COARSE AGGREGATE, TAMPED IN LAYERS 150MM (6\"/>
PERFORATION OR THE START OR OPEN JOINT. PLACE GROUPS OF PERFORATIONS OR THE OPEN JOINT (5 PIPE CIRCUMFERENCE) SYMMETRICALLY ABOUT THE VERTICAL CENTER LINE.

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Inland Design logo and contact information: Civil Engineers, Surveyors & Land Development Consultants, 16 Hagermyr Blvd, West Chester, PA 19382, Phone: (484) 947-2928, Fax: (484) 947-2946, www.InlandDesign.net

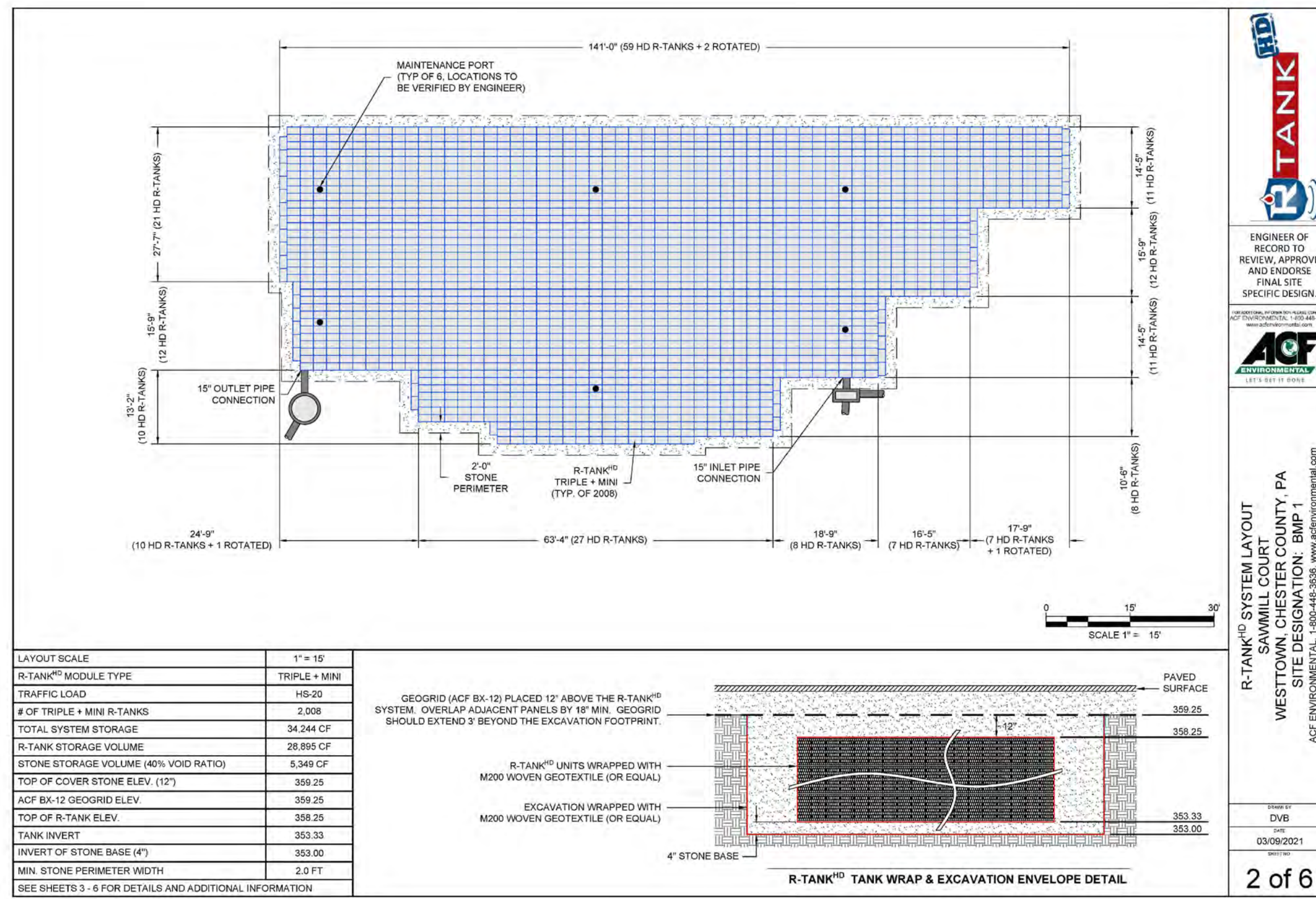
Commonwealth of Pennsylvania seal and registration information for Joe D. Comanda, Professional Engineer, License No. PE070740.

Revised Per Township Reviews table with columns for No., Date, and Description. Dates range from 02/10/2021 to 04/21/2021.

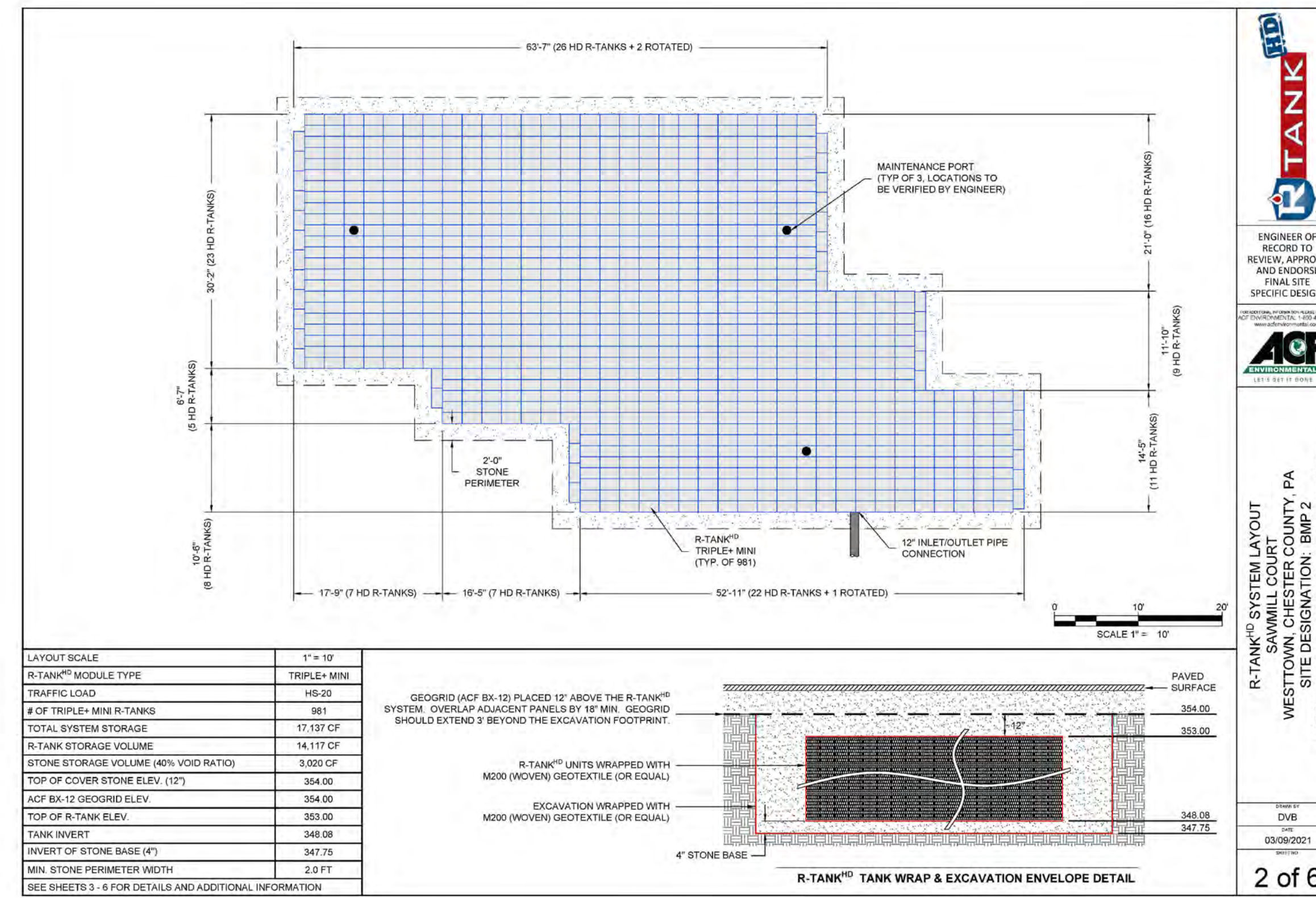
PRELIMINARY/FINAL LAND DEVELOPMENT title block, project details for PCSWM DETAILS & NOTES 'A' FOR SAWMILL COURT, and SHEET 9 OF 20.



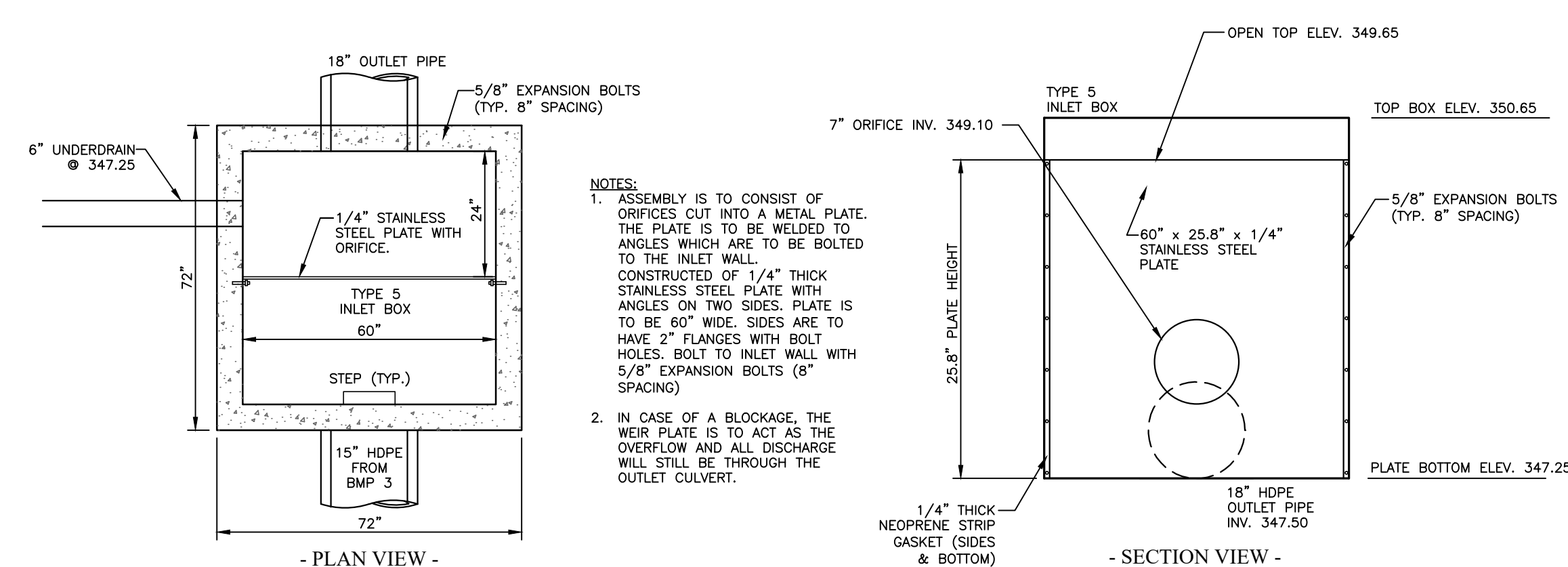
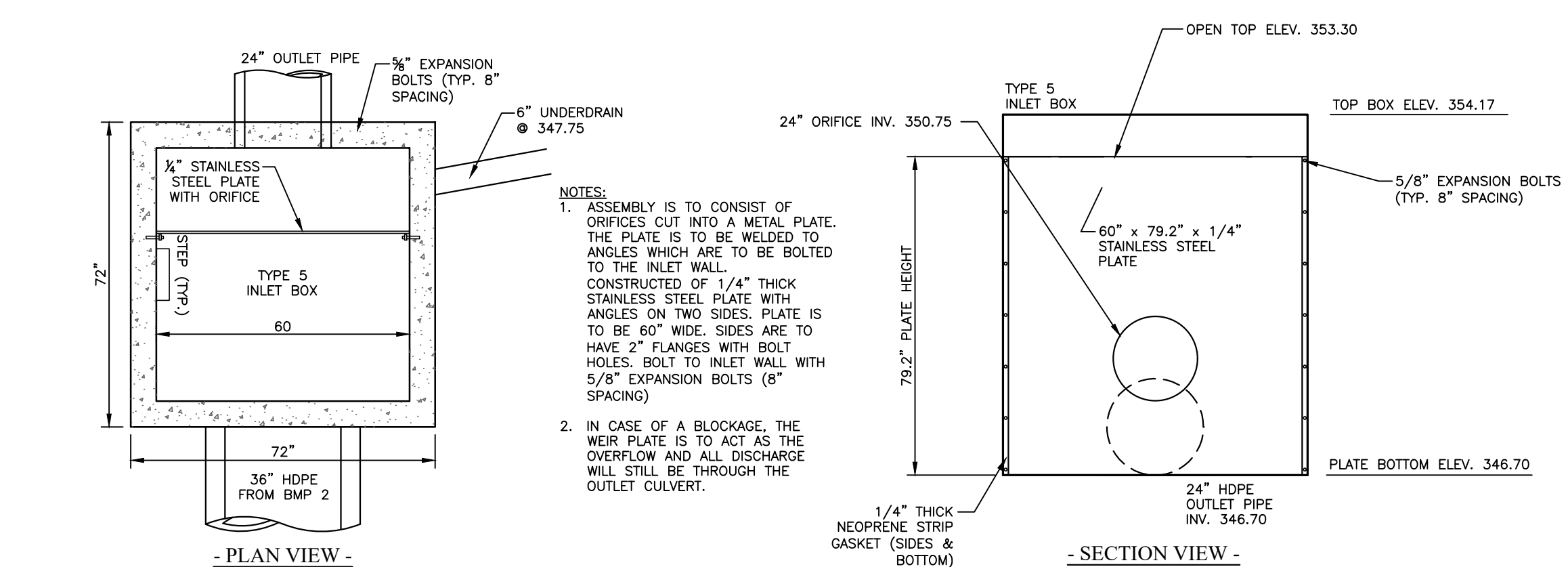
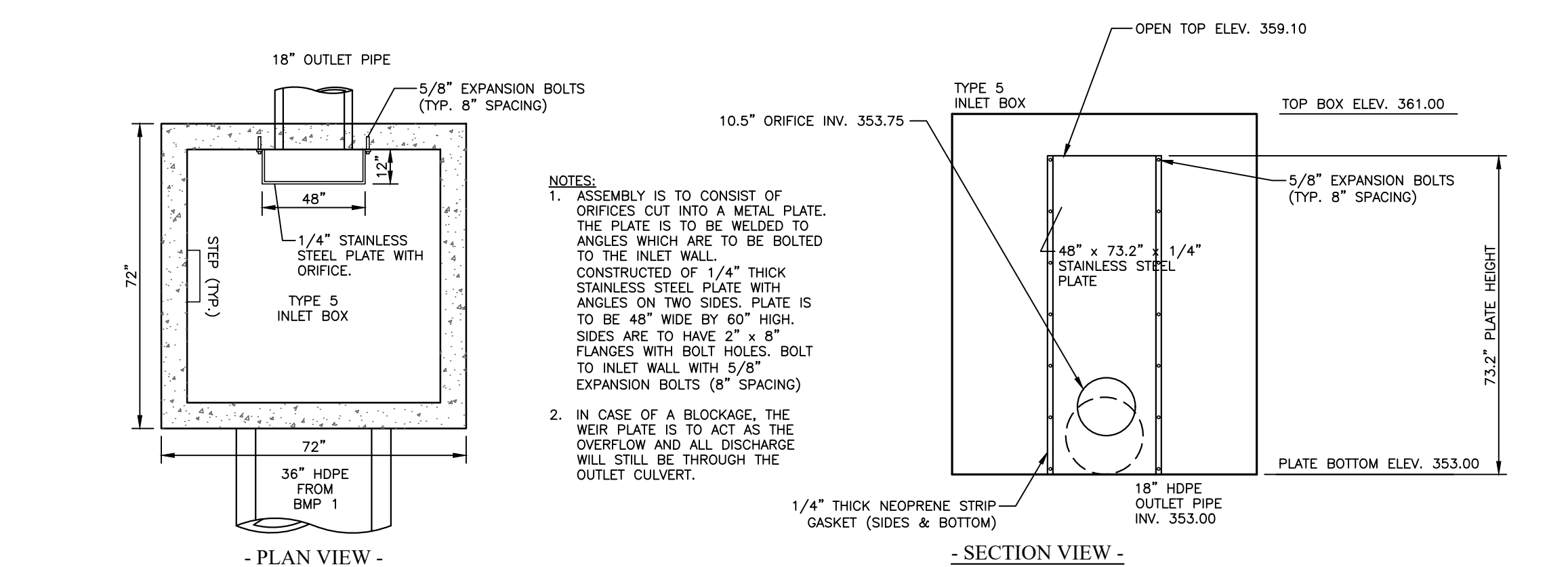
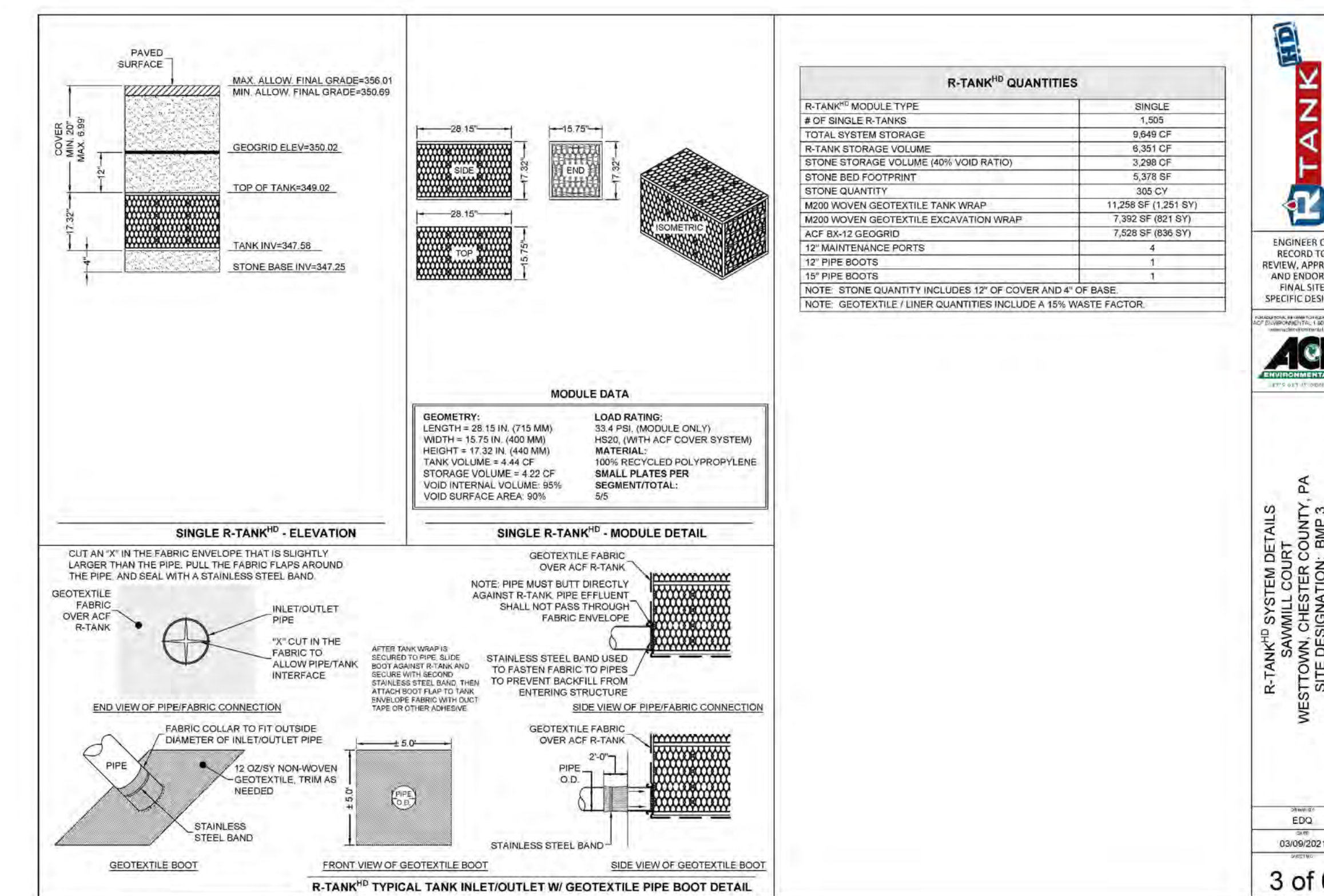
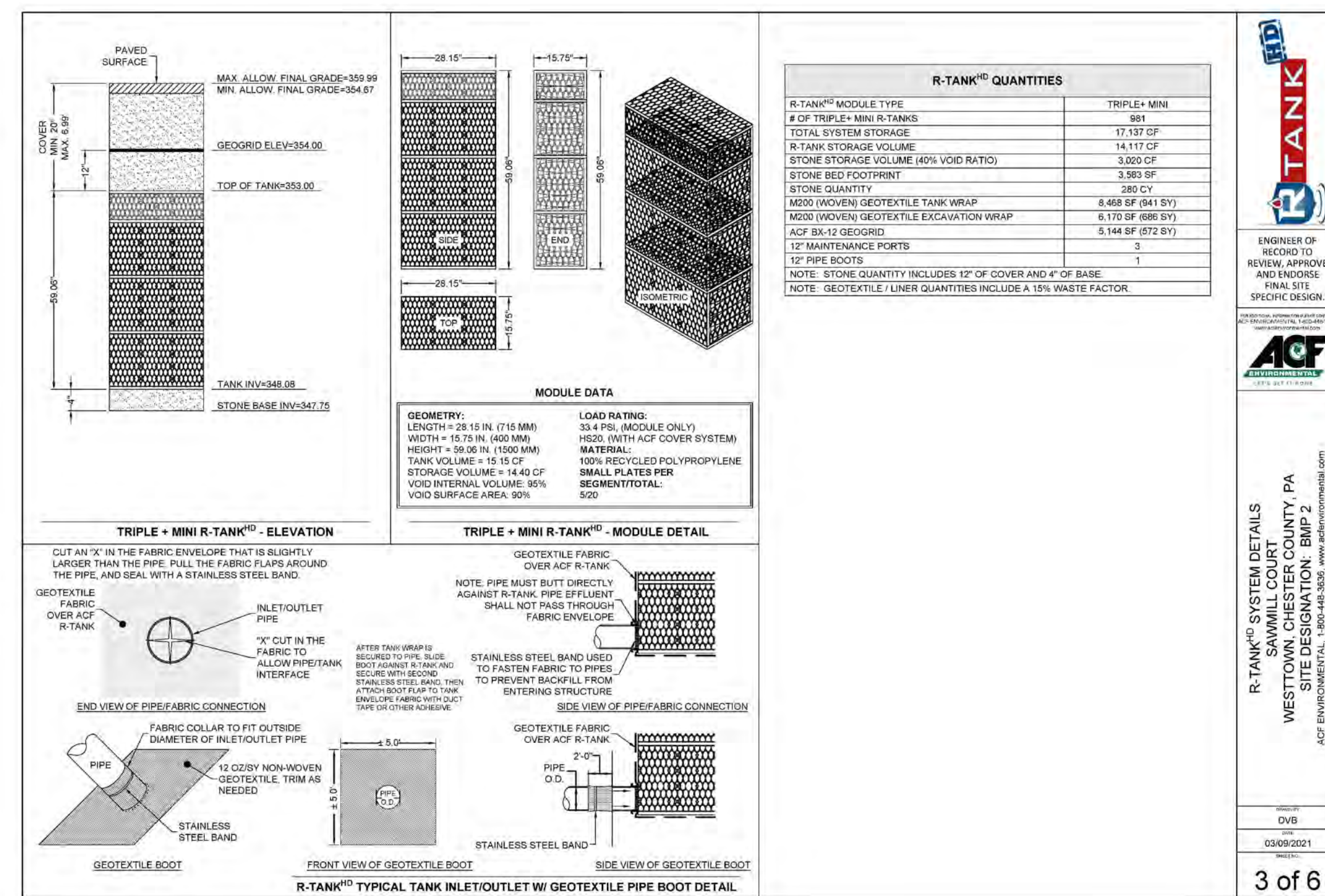
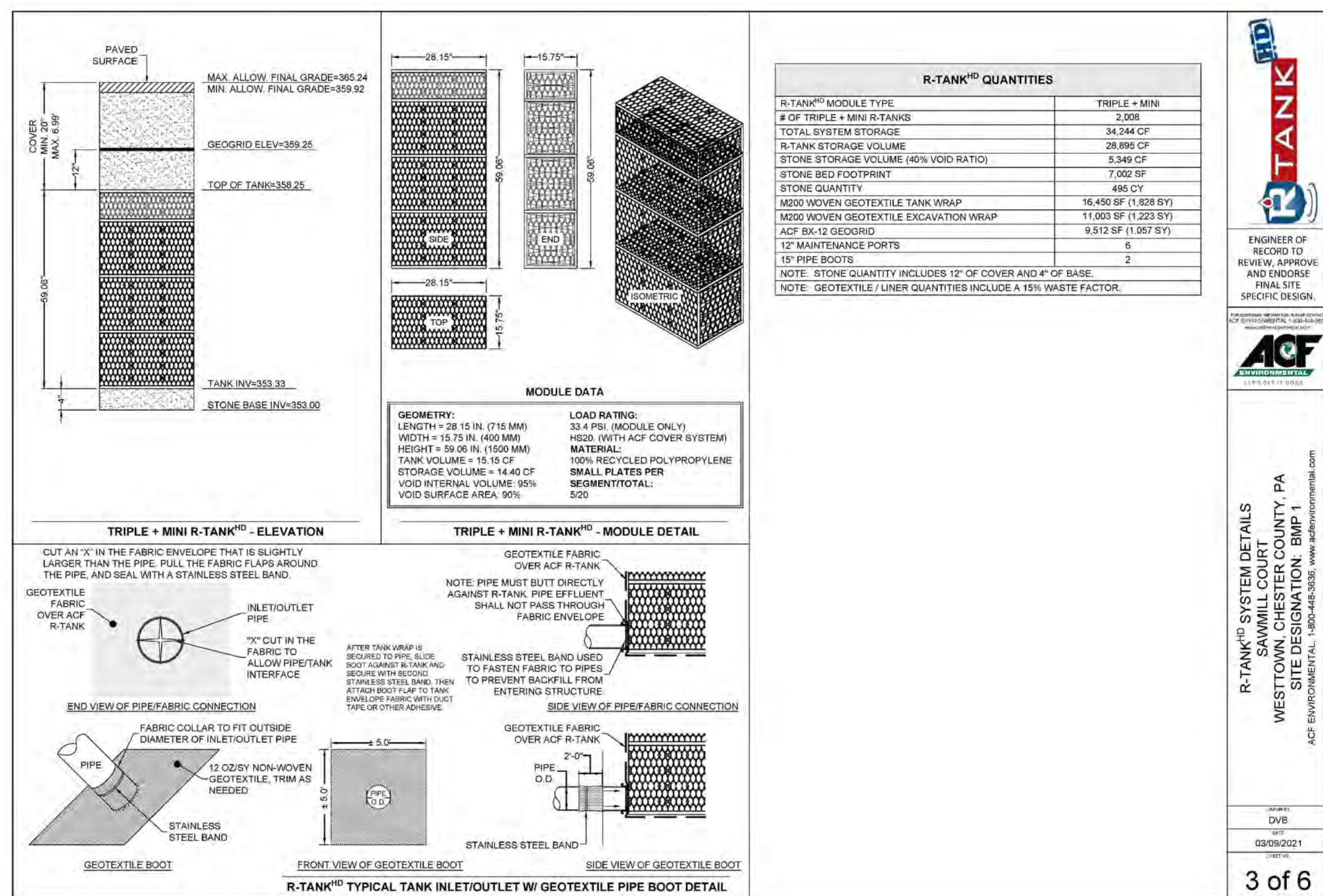
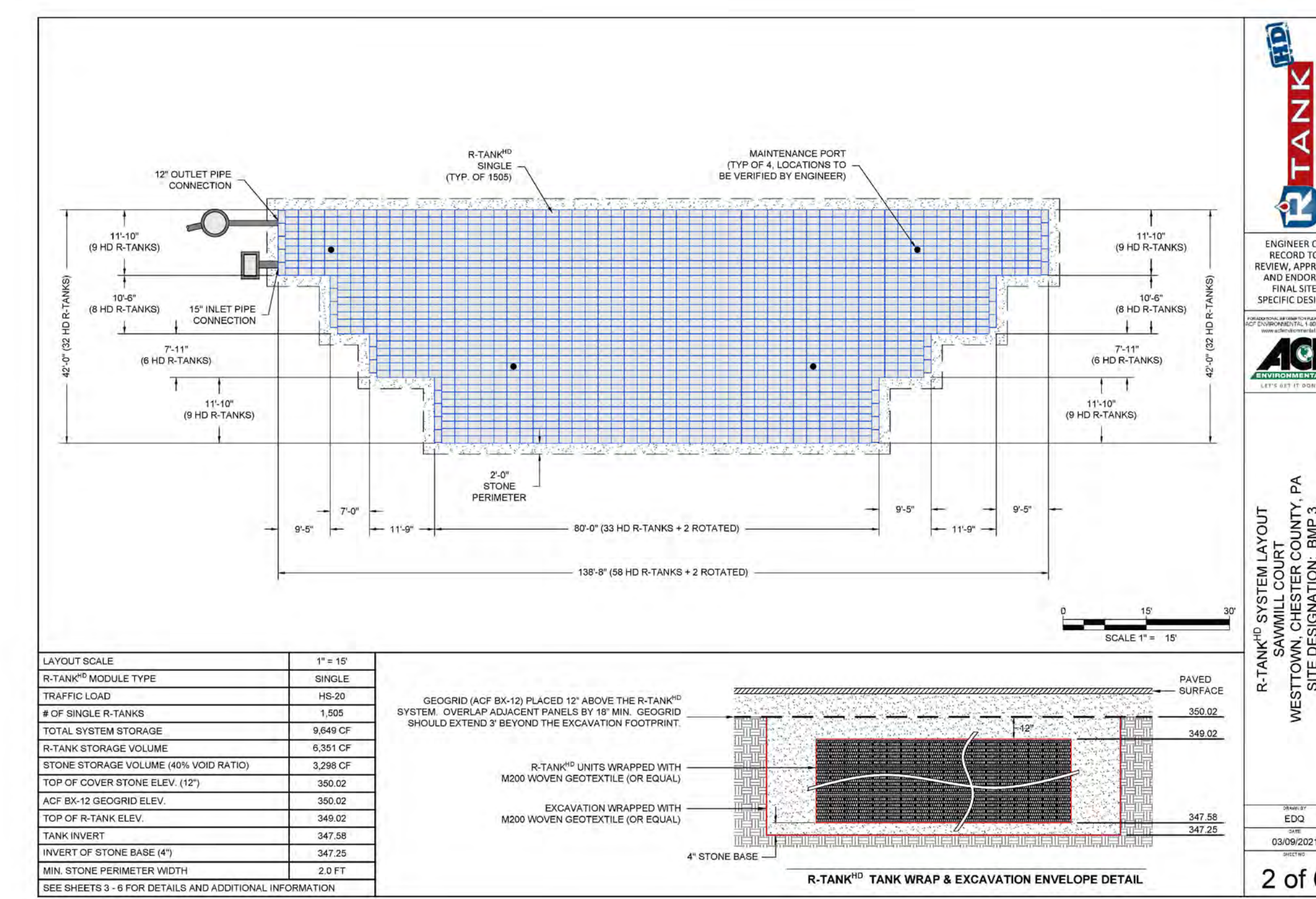
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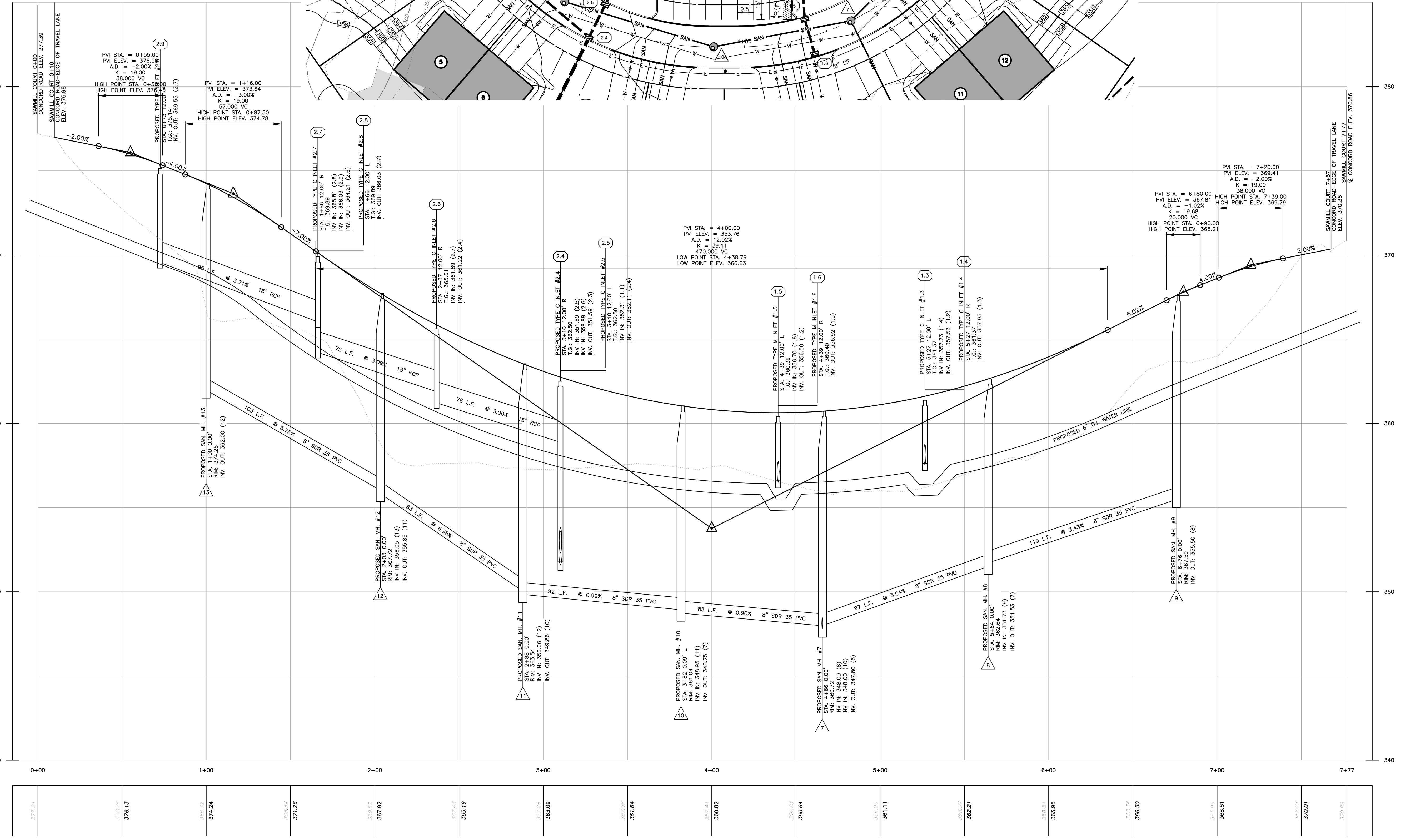
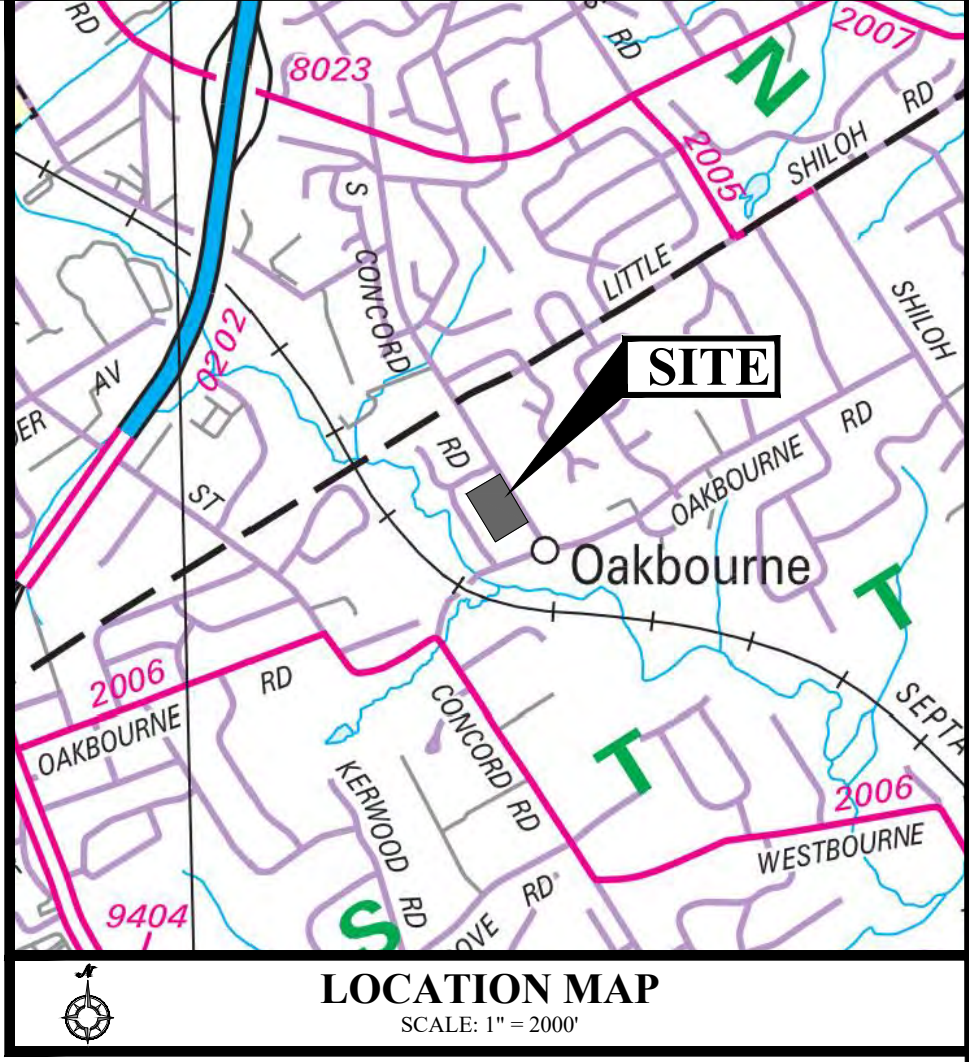
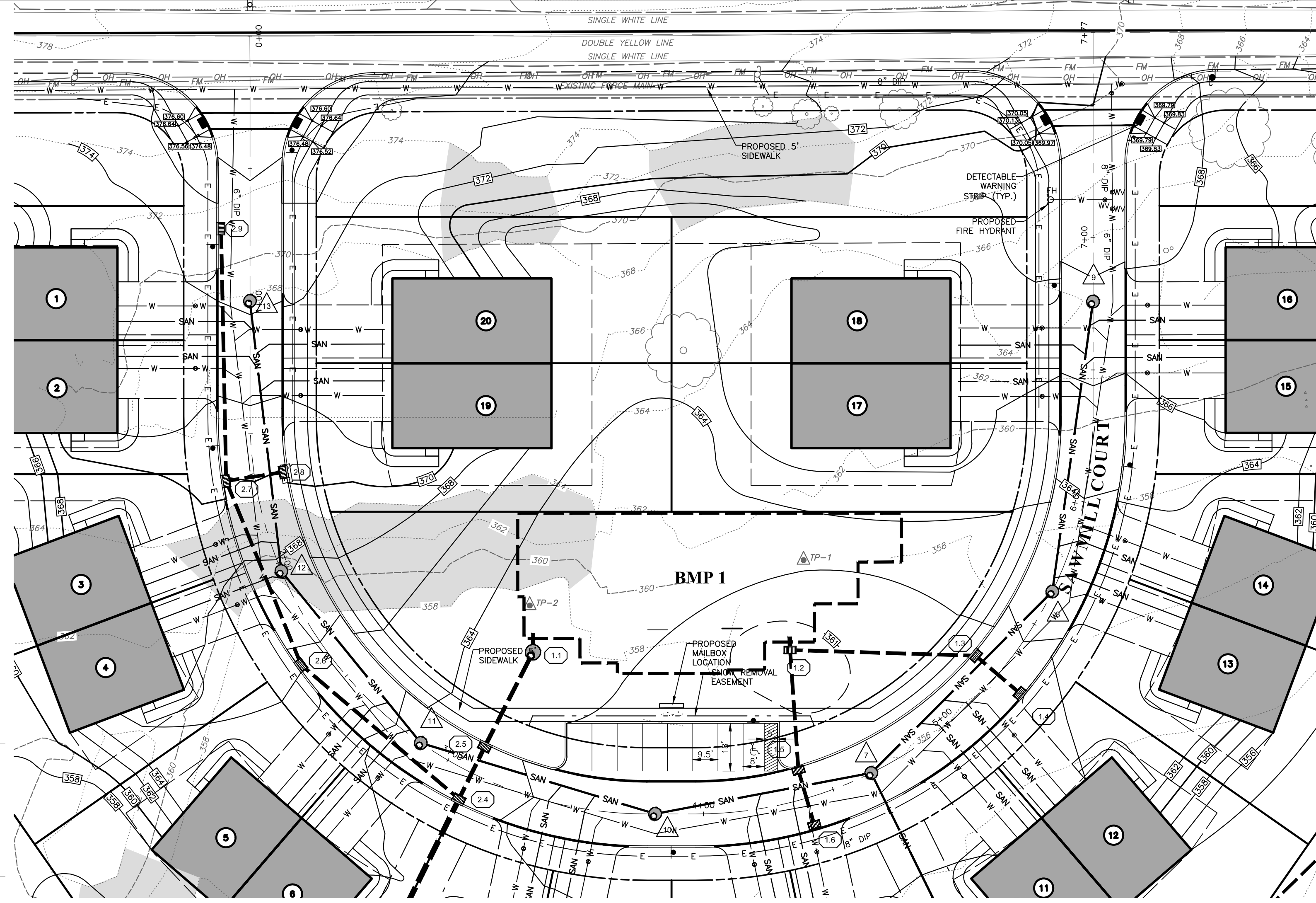
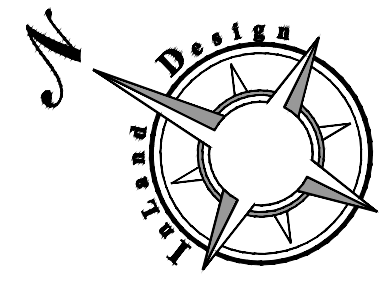
# BMP 2



# BMP 3







- LEGEND**
- PROPERTY BOUNDARY
  - PROPERTY BOUNDARY TO BE REMOVED
  - ADJOINING PROPERTY LINE
  - FLOOD PLAN LINE
  - BEST PIT LOCATION
  - EXISTING RIGHT OF WAY LINE
  - EXISTING EASEMENT LINE
  - EXISTING 2' CONTOUR W/ ELEVATION
  - EXISTING 10' CONTOUR W/ ELEVATION
  - EXISTING SPOT ELEVATION
  - EXISTING BRICK
  - EXISTING PAVERS
  - EXISTING CONCRETE
  - EXISTING BRUSHLINE
  - EXISTING TREELINE
  - EXISTING TREE SYMBOLS
  - EXISTING LIGHT
  - EXISTING UTILITY POLE
  - EXISTING WELL
  - EXISTING WATER VALVE
  - EXISTING SIGN
  - EXISTING FENCE LINE
  - SOILS LINE AND DESCRIPTION
  - PRECAUTIONARY SLOPES 15% - 25%
  - PROHIBITIVE SLOPES 25% - UP
  - WETLAND AREA
  - EXISTING STORM STRUCTURES & PIPE
  - EXISTING SANITARY STRUCTURES & PIPE
  - EXISTING ROAD CENTERLINE
  - EXISTING CURB LINE
  - EXISTING ROAD PAVING
  - EXISTING DRIVEWAY
  - EXISTING STONE DRIVE
  - EXISTING SANITARY LATERAL
  - EXISTING SANITARY FORCE MAIN
  - EXISTING WATER LINE
  - EXISTING ELECTRIC LINE
  - EXISTING GAS LINE
  - EXISTING TELEPHONE LINE
  - EXISTING TELEPHONE LINE
  - PROPOSED IRON PIN
  - PROPOSED MONUMENT
  - PROPOSED RIGHT OF WAY LINE
  - PROPOSED EASEMENT LINE
  - PROPOSED 2' CONTOUR
  - PROPOSED 10' CONTOUR
  - PROPOSED SPOT ELEVATION
  - PROPOSED CONCRETE
  - PROPOSED TREELINE
  - PROPOSED UTILITY POLE
  - PROPOSED SIGN
  - PROPOSED WATER VALVE
  - PROPOSED FENCE LINE
  - PROPOSED STORM STRUCTURES & PIPE
  - PROPOSED SANITARY STRUCTURES & PIPE
  - PROPOSED ROAD CENTERLINE
  - PROPOSED CURB LINE
  - PROPOSED ROAD PAVING
  - PROPOSED DRIVEWAY
  - PROPOSED WALL
  - PROPOSED SANITARY LATERAL
  - PROPOSED SANITARY FORCE MAIN
  - PROPOSED WATER LINE
  - PROPOSED ELECTRIC LINE
  - PROPOSED GAS LINE
  - PROPOSED TELEPHONE LINE

SAWMILL COURT PROFILE  
SCALE: (H) 1"=20' (V) 1"=2'

**APPLICANT / OWNER:**  
HUNTRESS BUILDERS, LLC  
ATTN: WAYNE MEGILL, CO-MANAGER  
330 KENNETH PIKE, SUITE 207  
CHADDS FORD, PA 19317  
(610) 399-1235  
SITE ADDRESS:  
914-924 S. CONCORD RD.  
WESTTOWN TWP., CHESTER COUNTY, PA  
PARCEL NO. 67-4-82 | D.B. SS1 | PG. 151

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Pennsylvania One Call System  
PA, act 172 of 1986 requires  
three working days notice  
Serial Numbers:  
**20201921658**

**PENNSYLVANIA ACT 187 REQUIREMENTS:**  
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans. nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

**PARCEL NO. 67-4-82 | D.B. SS1 | PG. 151**

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**JORDI COMANDA**  
ENGINEER  
PE070740  
PENNSYLVANIA

No.	Date:	Description:
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEW

**PRELIMINARY/FINAL  
LAND DEVELOPMENT**

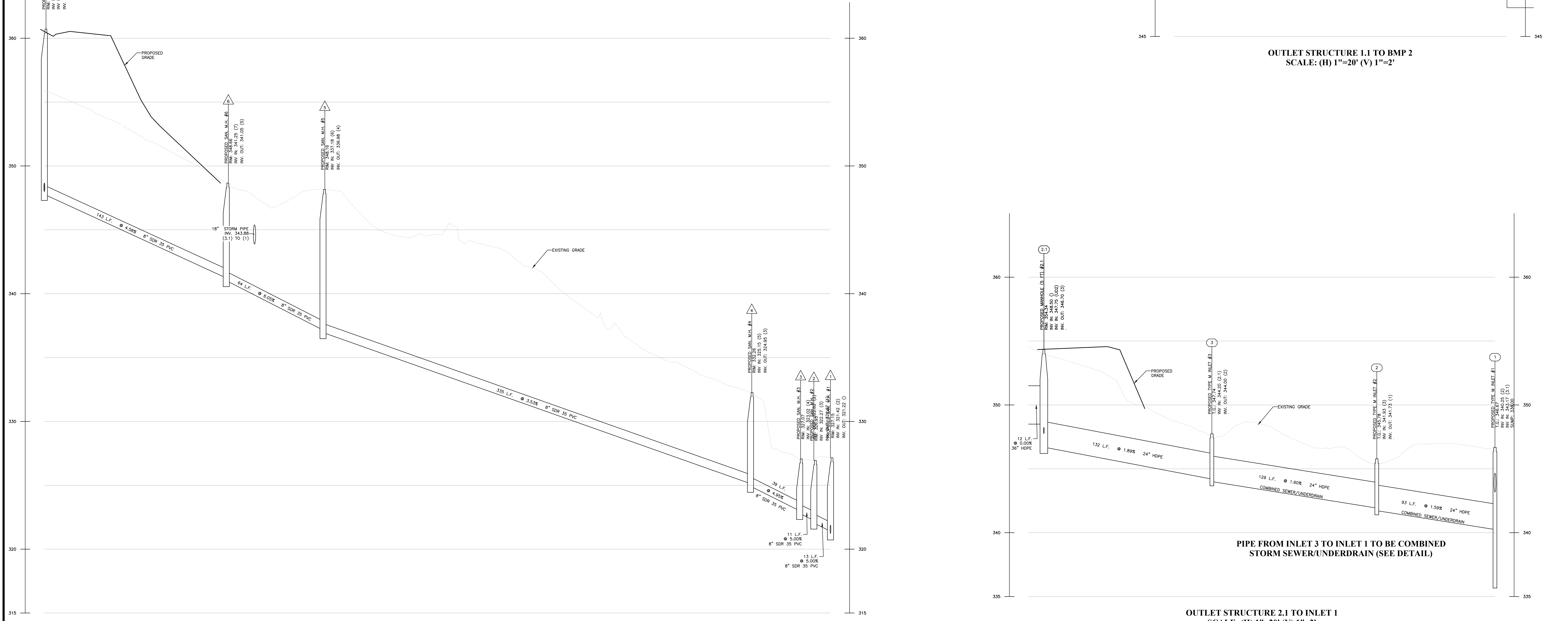
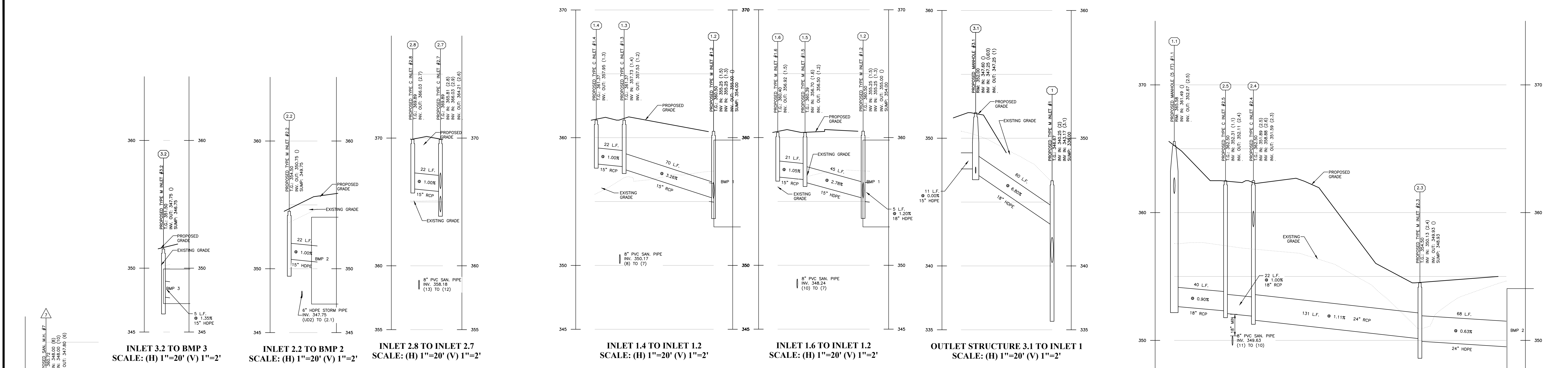
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(IN FEET)  
1 inch = 30'

Date: 12/07/2020  
Scale: 1" = 30'  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**PCSWM PLAN & PROFILE  
FOR  
SAWMILL COURT  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA**

**SHEET  
11  
OF 20**





**SANITARY PROFILE MH 5 TO PUMP STATION WET WELL**  
SCALE: (H) 1"=20' (V) 1"=2'

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PARCEL NO. 67-4-82 | D.B. SS1 | PG. 151

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**PRELIMINARY/FINAL LAND DEVELOPMENT**

GRAPHIC SCALE  
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(IN FEET)  
1 inch = 30'

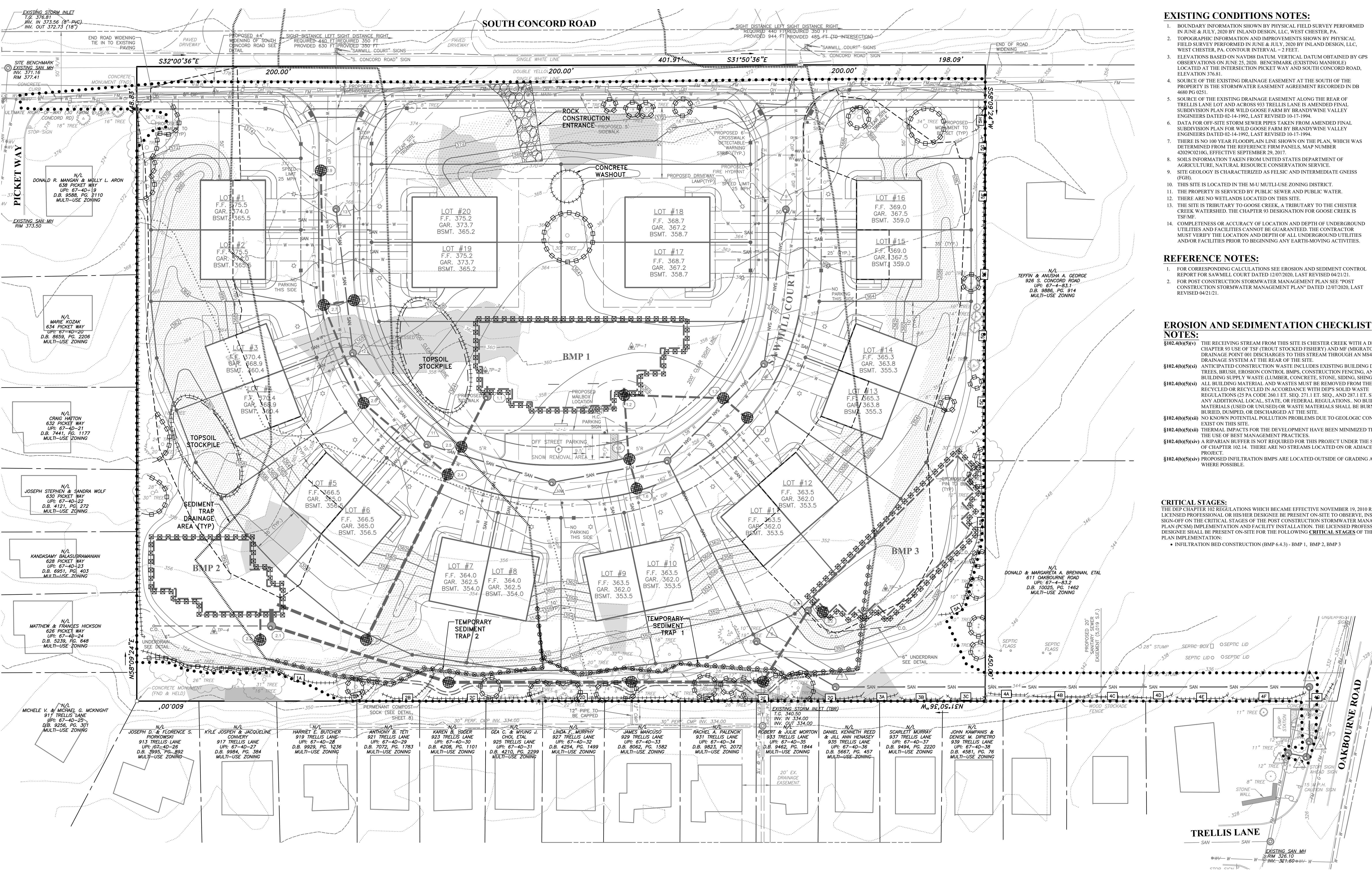
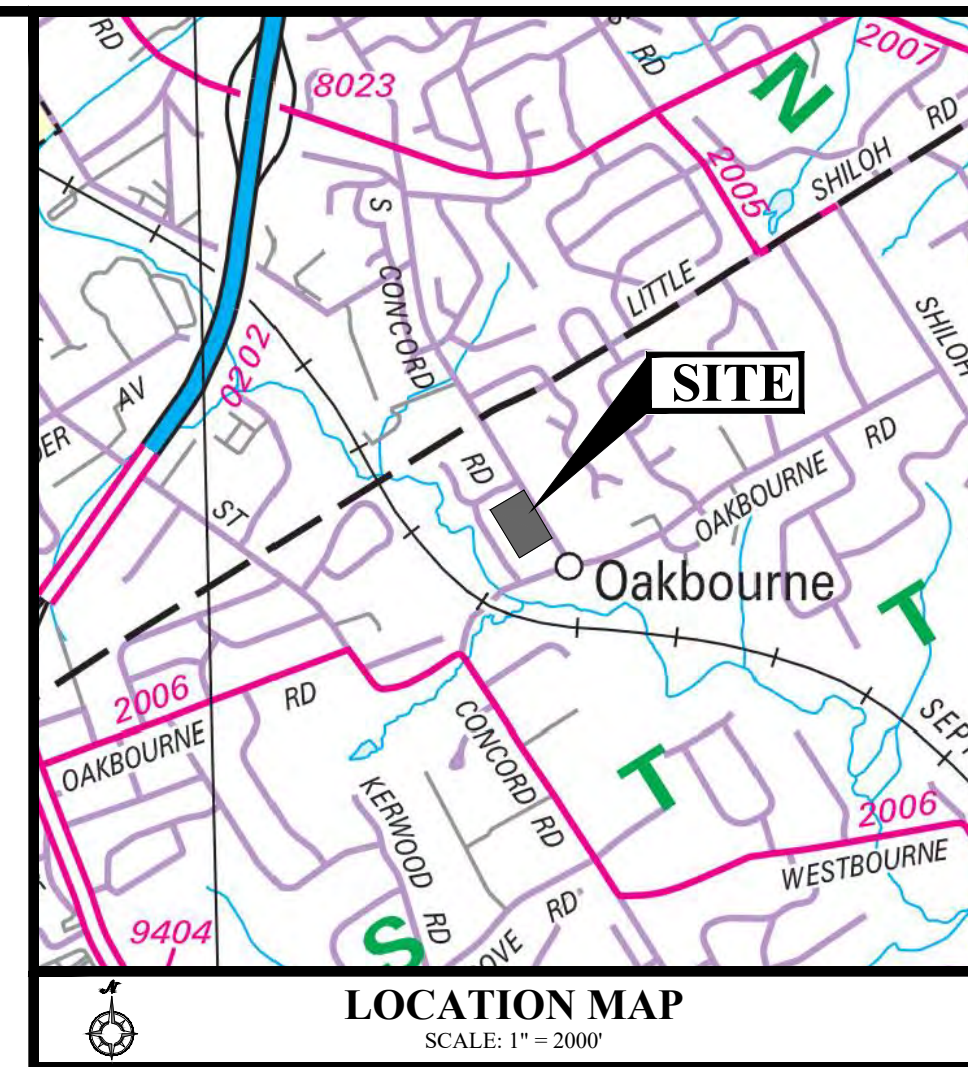
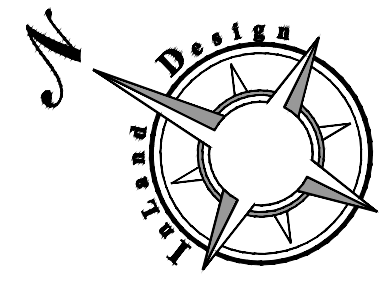
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Drawn by: TMW  
Checked by: JDC  
Project No. 11541

**PCSWM OFF-ROAD PROFILES FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET 12 OF 20**

N:\11500\11541\Drawings\Sheet\12-PCSWM OFF ROAD PROFILES.dwg





**EXISTING CONDITIONS NOTES:**

- 1. BOUNDARY INFORMATION SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
- 2. TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL - 2 FEET.
- 3. ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 25, 2020. BENCHMARK (EXISTING MANHOLE) LOCATED AT THE INTERSECTION PICKET WAY AND SOUTH CONCORD ROAD. ELEVATION 376.81.
- 4. SOURCE OF THE EXISTING DRAINAGE EASEMENT AT THE SOUTH OF THE PROPERTY IS THE STORMWATER EASEMENT AGREEMENT RECORDED IN DB 4800 PG 025.
- 5. SOURCE OF THE EXISTING DRAINAGE EASEMENT ALONG THE REAR OF TRELIS LANE LOT AND ACROSS 933 TRELIS LANE IS AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
- 6. DATA FOR OFF-SITE STORM SEWER PIPES TAKEN FROM AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
- 7. THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 4202C0206, EFFECTIVE SEPTEMBER 29, 2017.
- 8. SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- 9. SITE GEOLOGY IS CHARACTERIZED AS FELSIC AND INTERMEDIATE GNEISS (FGI).
- 10. THIS SITE IS LOCATED IN THE M4U MULTIPLE USE ZONING DISTRICT.
- 11. THE PROPERTY IS SERVED BY PUBLIC SEWER AND PUBLIC WATER.
- 12. THERE ARE NO WETLANDS LOCATED ON THIS SITE.
- 13. THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T52M.
- 14. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

**REFERENCE NOTES:**

- 1. FOR CORRESPONDING CALCULATIONS SEE EROSION AND SEDIMENT CONTROL REPORT FOR SAWMILL COURT DATED 12/07/2020. LAST REVISED 04/21/21.
- 2. FOR POST CONSTRUCTION STORMWATER MANAGEMENT PLAN SEE "POST CONSTRUCTION STORMWATER MANAGEMENT PLAN" DATED 12/07/2020. LAST REVISED 04/21/21.

**EROSION AND SEDIMENTATION CHECKLIST NOTES:**

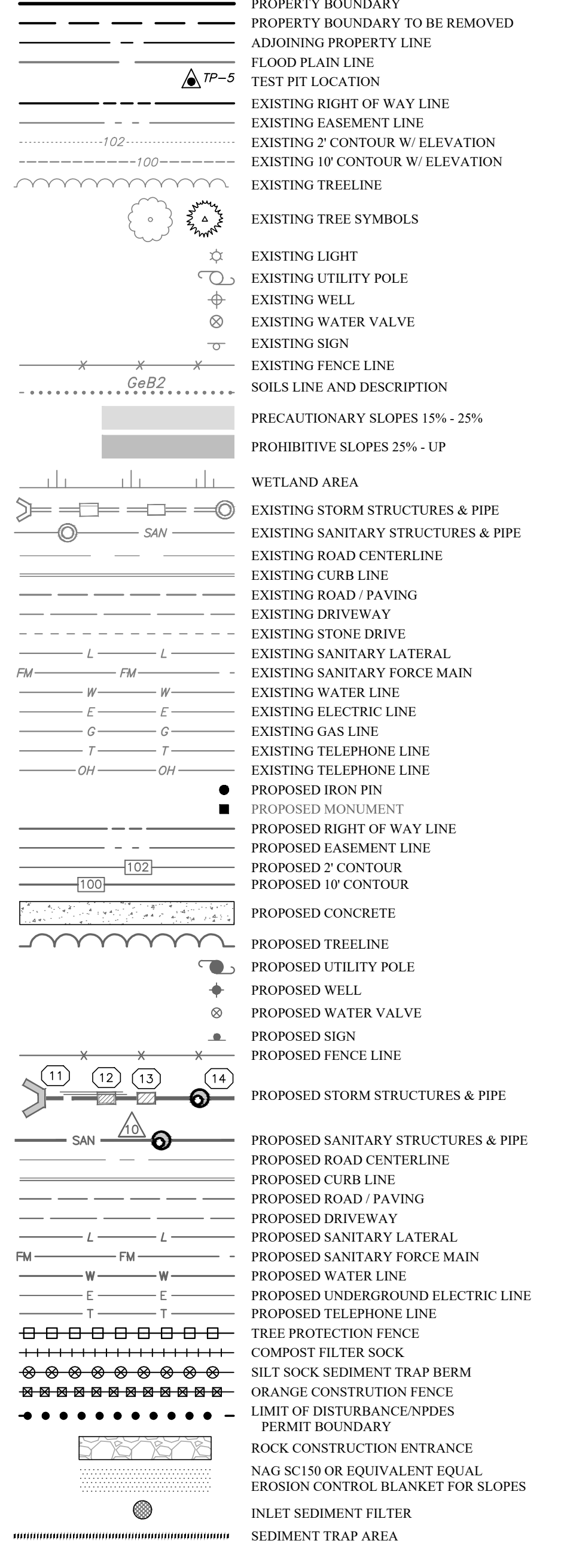
- 102.40b(5)(v) THE RECEIVING STREAM FROM THIS SITE IS CHESTER CREEK WITH A DESIGNATED CHAPTER 93 USE OF TSF (TROUT STOCKED FISHERY) AND MF (MIGRATORY FISHES) DRAINAGE POINT 001 DISCHARGES TO THIS STREAM THROUGH AN M54 STORM DRAINAGE SYSTEM AT THE REAR OF THE SITE.
- 102.40b(5)(ix) ANTICIPATED CONSTRUCTION WASTE INCLUDES EXISTING BUILDING DEMOLITION, TREES, BRUSH, EROSION CONTROL BMPs, CONSTRUCTION FENCING, AND BUILDING SUPPLY WASTE (LUMBER, CONCRETE, STONE, SIDING, SHINGLES, ETC.).
- 102.40b(5)(x) ALL BUILDING MATERIAL AND WASTE MUST BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 2601 ET SEQ 271.1 ET SEQ. AND 281.1 ET SEQ. AND/OR ANY ADDITIONAL LOCAL, STATE, OR FEDERAL REGULATIONS. NO BUILDING MATERIALS USED OR UNUSED OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 102.40b(5)(xi) NO KNOWN POTENTIAL POLLUTION PROBLEMS DUE TO GEOLOGIC CONDITIONS EXIST ON THIS SITE.
- 102.40b(5)(xii) THERE HAS BEEN NO DEVELOPMENT HAVING BEEN MINIMIZED THROUGH THE USE OF BEST MANAGEMENT PRACTICES.
- 102.40b(5)(xiii) A RIPARIAN BUFFER IS NOT REQUIRED FOR THIS PROJECT UNDER THE STANDARDS OF CHAPTER 102.14. THERE ARE NO STREAMS LOCATED ON OR ADJACENT TO THIS PROJECT.
- 102.40b(5)(xiv) PROPOSED INFILTRATION BMPs ARE LOCATED OUTSIDE OF GRADING AREAS WHERE POSSIBLE.

**CRITICAL STAGES:**

THE DEP CHAPTER 102 REGULATIONS WHICH BECAME EFFECTIVE NOVEMBER 19, 2010 REQUIRE A LICENSED PROFESSIONAL OR RISER DESIGNER BE PRESENT ON-SITE TO OBSERVE, INSPECT AND SIGN-OFF ON THE CRITICAL STAGES OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION AND FACILITY INSTALLATION. THE LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT ON-SITE FOR THE FOLLOWING CRITICAL STAGES OF THE PCSM PLAN IMPLEMENTATION:

- INFILTRATION BED CONSTRUCTION (BMP 6.4.3) - BMP 1, BMP 2, BMP 3

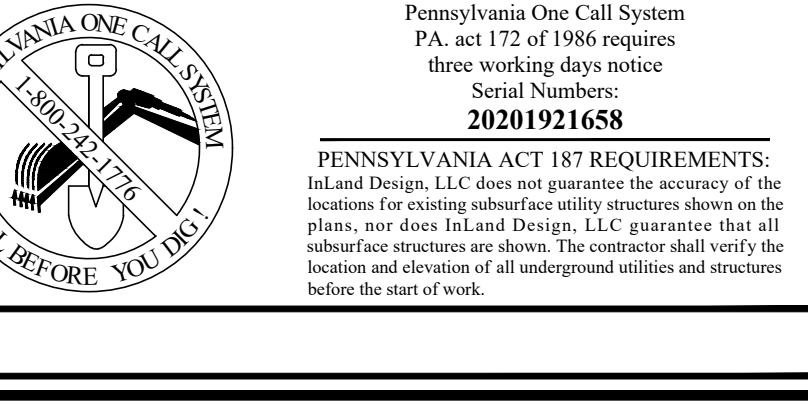
**LEGEND**



**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
U <sub>1</sub> B	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A
U <sub>1</sub> gB	URBAN LAND-DOROTHYS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7c	C

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**REVISIONS**

No.	Date	Description
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**PRELIMINARY/FINAL LAND DEVELOPMENT**

GRAPHIC SCALE  
0 15 30 60 120  
(IN FEET)  
1 inch = 30'

Date: 12/07/2020  
Scale: 1" = 30'  
Drawn: TMW  
Checked by: JDC  
Project No: 11541

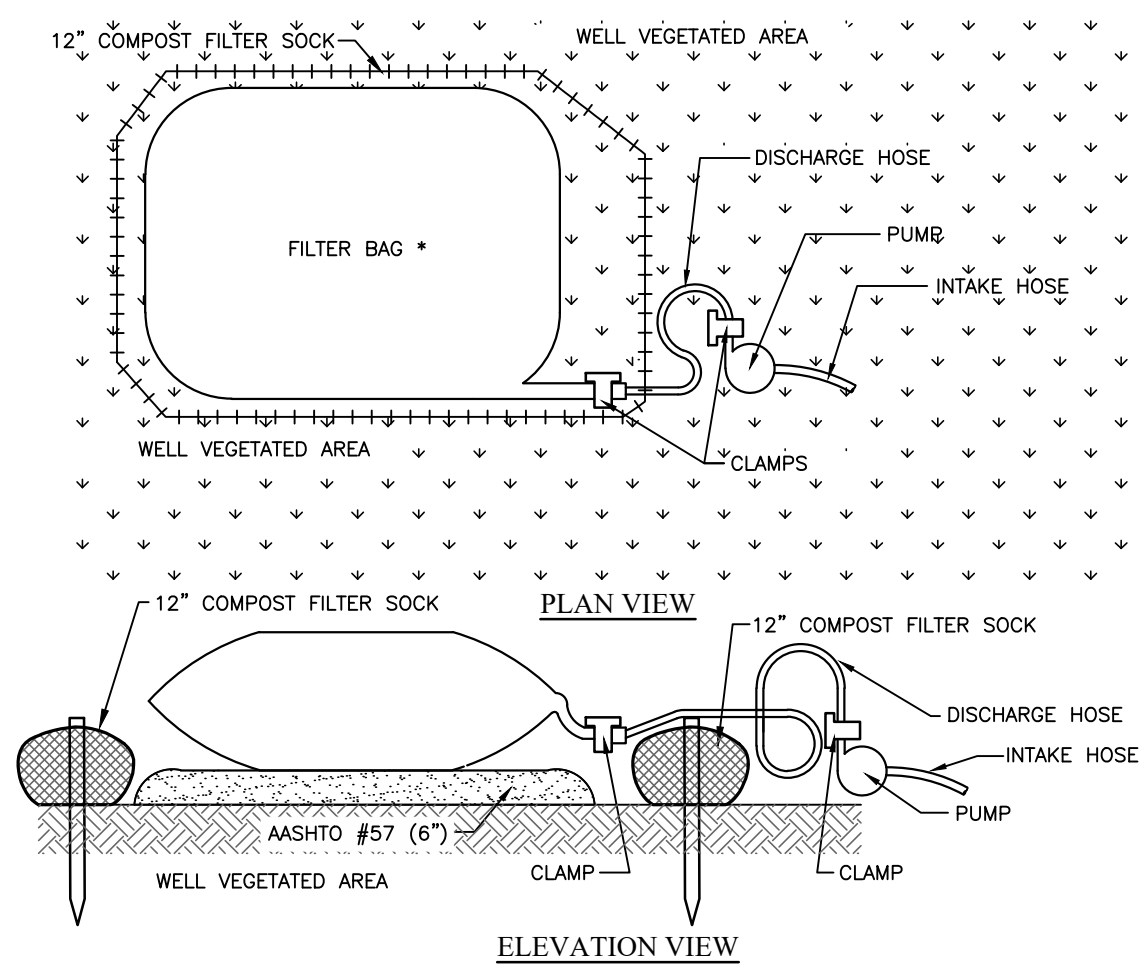
**EROSION & SEDIMENT CONTROL PLAN FOR SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, 19382 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA**

**SHEET 13 OF 20**



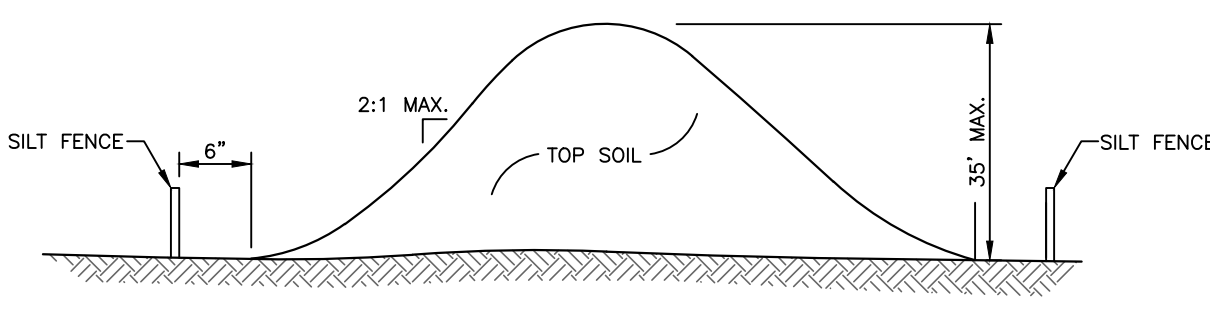






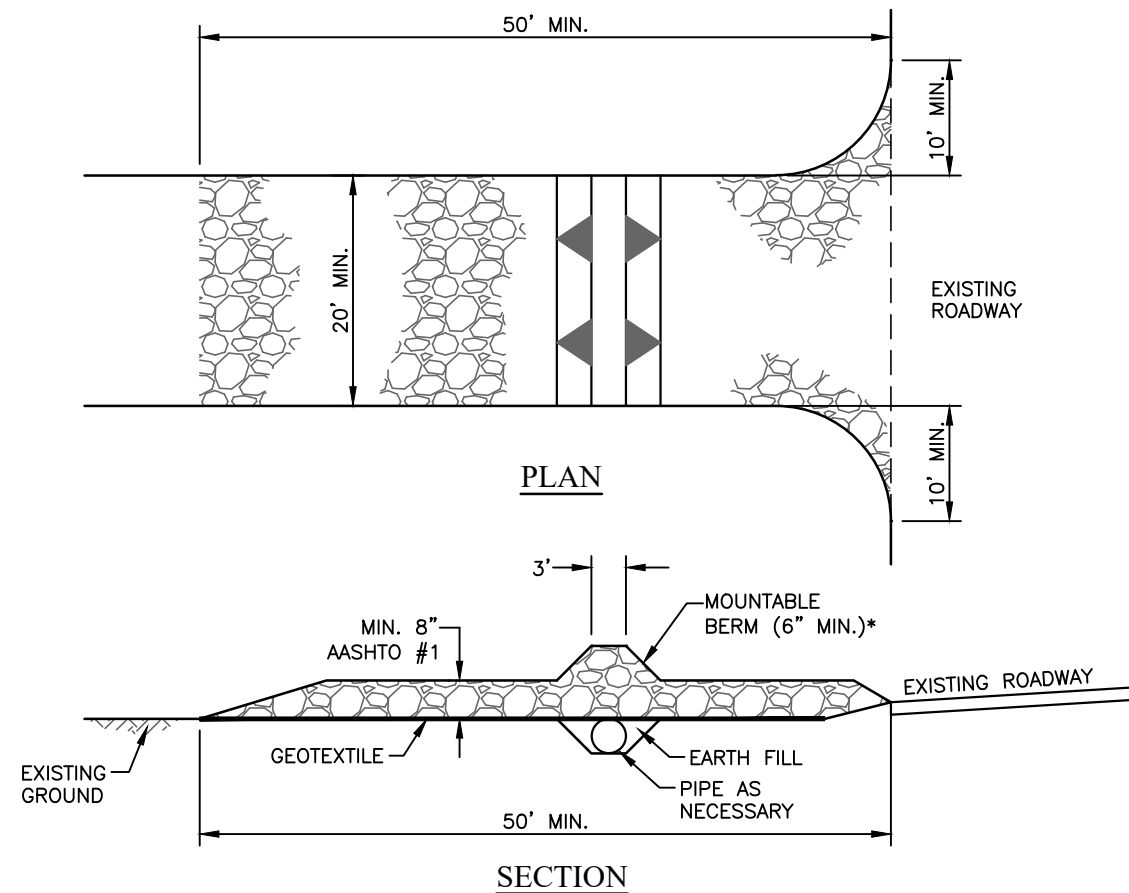
**PUMPED WATER FILTER BAG WITH COMPOST FILTER SOCK**  
(NOT TO SCALE)

1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "P" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
2. A SATELITE MEANS OF ACCESSING THE BAGS WITH A MECHANISM REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
5. THE PUMPING RATE SHALL BE NO GREATER THAN 75 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.



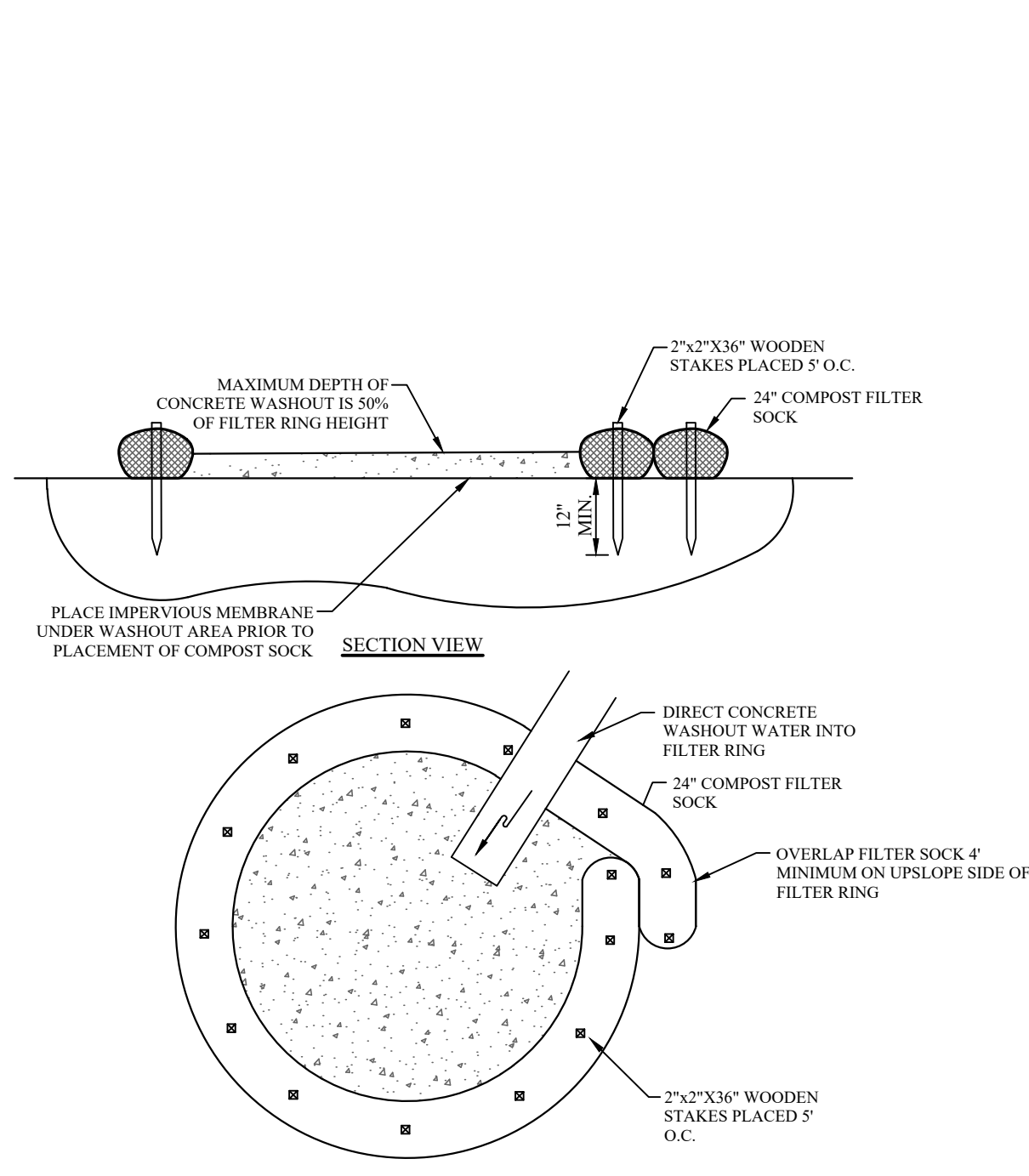
**TYPICAL TOPSOIL STOCKPILE CROSS SECTION**  
(NOT TO SCALE)

- NOTE: SILT FENCE SHALL BE TRENCHED AND STAKED DOWN SLOPE OF THE STOCKPILE AREA.
- NOTES:
1. PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
  2. ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.
  3. STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
  4. SILT FENCE OR HAY BALE FILTER SHALL BE INSTALLED AS DETAILED HEREON.
  5. LOCATION OF PROPOSED STOCKPILES WHICH AFFECT EROSION CONTROLS ARE SHOWN SCHEMATICALLY ONLY. ACTUALLY STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
  6. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.



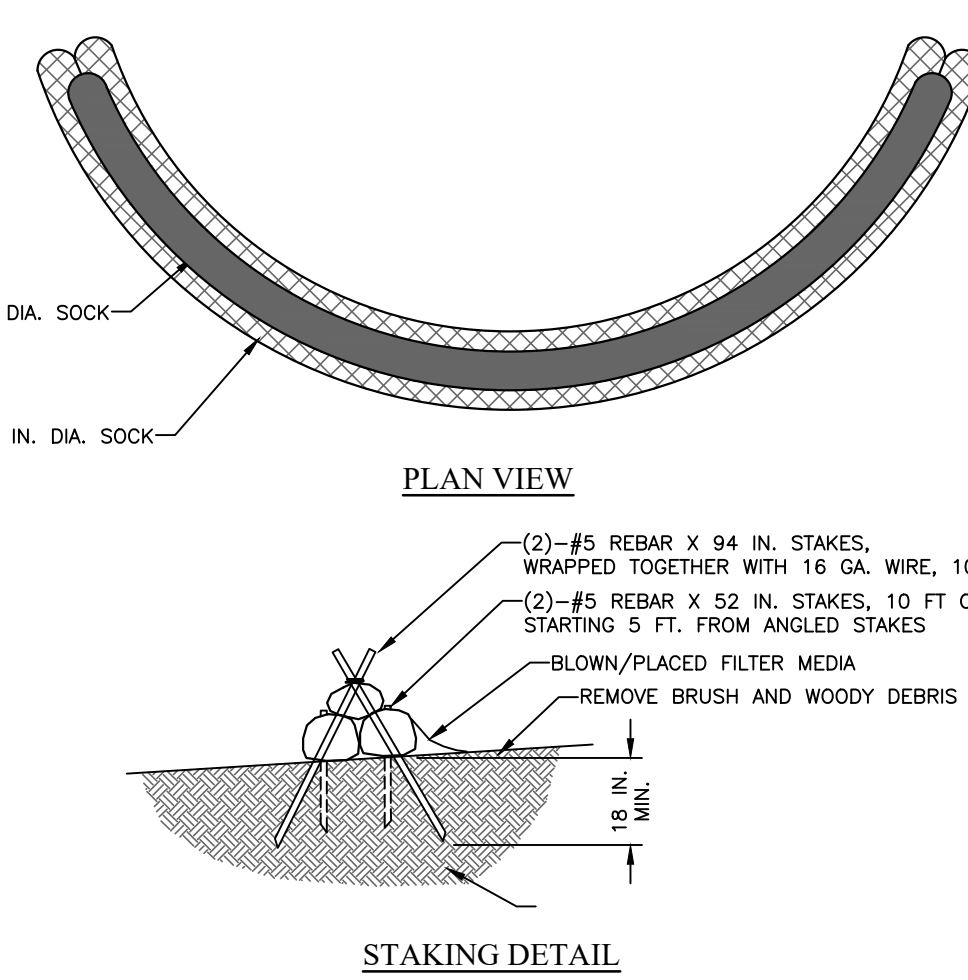
**ROCK CONSTRUCTION ENTRANCE DETAIL**  
(PADEP STANDARD CONSTRUCTION DETAIL #3-1)  
(NOT TO SCALE)

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF BEING CROSSED.
4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE (BANKS, ETC.) IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY. EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



**COMPOST SOCK WASHOUT INSTALLATION**  
(PADEP STANDARD FIGURE 3-18)  
(NOT TO SCALE)

1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. IF FILTER SOCK MAY BE STAKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADED HEIGHT.



TRAP NO.	EMBANK TOP ELEV. (FT.)	CLEAN OUT ELEV. (FT.)	BOTTOM ELEV. (FT.)
1	352.33	349.11	348.00
2	353.33	350.26	349.00

**DESIGN NOTES:**

1. COMPOST SOCK SEDIMENT TRAP SHALL BE SIZED TO PROVIDE 2000 CUBIC FEET OF STORAGE CAPACITY FOR EACH ACRE TRIBUTARY TO THE TRAP.
2. MINIMUM BASE WIDTH IS EQUAL TO THE HEIGHT.
3. SEDIMENT ACCUMULATION SHALL NOT EXCEED 1/3 THE TOTAL HEIGHT OF THE TRAP.
4. ENDS OF THE TRAP SHALL BE A MINIMUM OF 1 FOOT HIGHER IN ELEVATION THAN THE MID-SECTION, WHICH SHALL BE LOCATED AT THE POINT OF DISCHARGE.

**NOTES:**

SOCK MATERIAL SHALL MEET THE STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SOCK SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST SOCK SEDIMENT TRAPS SHALL NOT EXCEED THREE SOCKS IN HEIGHT AND SHALL BE STACKED IN PYRAMIDAL FORM AS SHOWN ABOVE. MINIMUM TRAP HEIGHT IS ONE 4:3. ADDITIONAL STORAGE MAY BE PROVIDED BY MEANS OF AN EXCAVATED SIDING 12" DEEP EXTENDING 1 TO 3 FEET UP SLOPE OF THE SOCKS ALONG THE LOWER SIDE OF THE TRAP.

COMPOST SOCK SEDIMENT TRAPS SHALL PROVIDE 1000 CUBIC FEET STORAGE CAPACITY WITH 12" FREEBOARD FOR EACH TRIBUTARY DRAINAGE AREA. (SEE MANUFACTURER FOR ANTICIPATED SETTLEMENT).

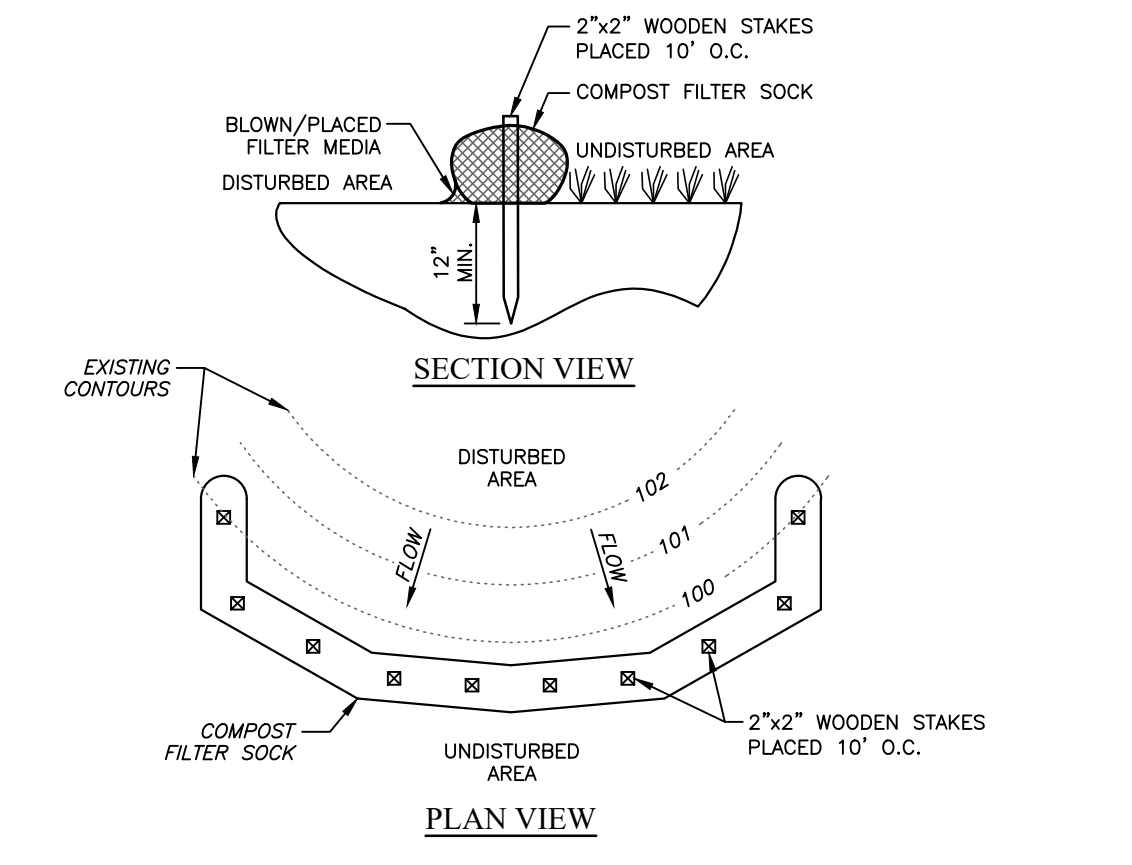
THE MAXIMUM TRIBUTARY DRAINAGE AREA IS 5.0 ACRES. FEET COMPOST SOCKS ARE "FLOW-THROUGH;" NO SPILLWAY IS REQUIRED.

COMPOST SOCK SEDIMENT TRAPS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 THE HEIGHT OF THE SOCKS.

PHOTODEGRADABLE AND BIODEGRADABLE SOCKS SHALL NOT BE USED FOR MORE THAN 1 YEAR.

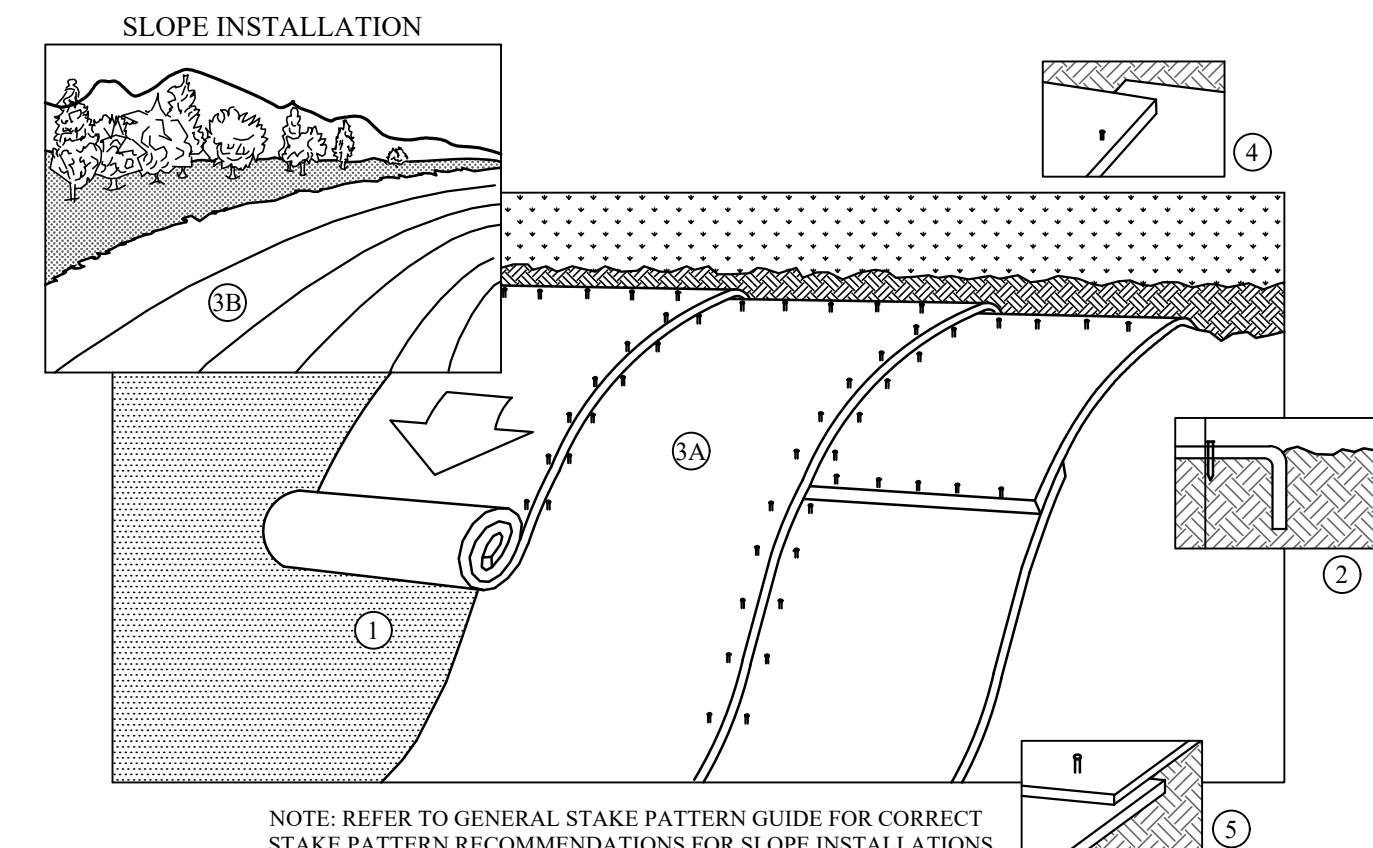
**COMPOST SOCK SEDIMENT TRAP**  
(NOT TO SCALE)

SOCK NO.	Dia In.	LOCATION	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER (FT)
1A	24	SOUTHWESTERN PROP BOUNDARY	6	415
2A	18	SOUTHWESTERN PROP BOUNDARY	9	165
2B	18	SOUTHWESTERN PROP BOUNDARY	9	165
2C	18	SOUTHWESTERN PROP BOUNDARY	9	170
2D	18	SOUTHWESTERN PROP BOUNDARY	9	175
2E	18	SOUTHWESTERN PROP BOUNDARY	9	180
2F	18	SOUTHWESTERN PROP BOUNDARY	9	185
2G	18	SOUTHWESTERN PROP BOUNDARY	9	195
3A	24	SOUTHWESTERN PROP BOUNDARY	6	430
3B	24	SOUTHWESTERN PROP BOUNDARY	6	430
3C	24	SOUTHWESTERN PROP BOUNDARY	6	430
4A	18	ALONG SEWER EXTENSION	8	200
4B	18	ALONG SEWER EXTENSION	8	200
4C	18	ALONG SEWER EXTENSION	8	210
4D	18	ALONG SEWER EXTENSION	8	210
4E	18	ALONG SEWER EXTENSION	8	220
4F	18	ALONG SEWER EXTENSION	8	220
4G	18	SOUTHEASTERN PROPERTY LINE	10	200
5A	18	SOUTHEASTERN PROPERTY LINE	10	195
5B	18	SOUTHEASTERN PROPERTY LINE	10	195
5C	18	SOUTHEASTERN PROPERTY LINE	10	180
5D	12	SOUTHEASTERN PROPERTY LINE	8	190
5E	12	SOUTHEASTERN PROPERTY LINE	8	190
5F	12	SOUTHEASTERN PROPERTY LINE	8	148
5G	12	SOUTHEASTERN PROPERTY LINE	6	102
5H	12	SOUTHEASTERN PROPERTY LINE	5	40

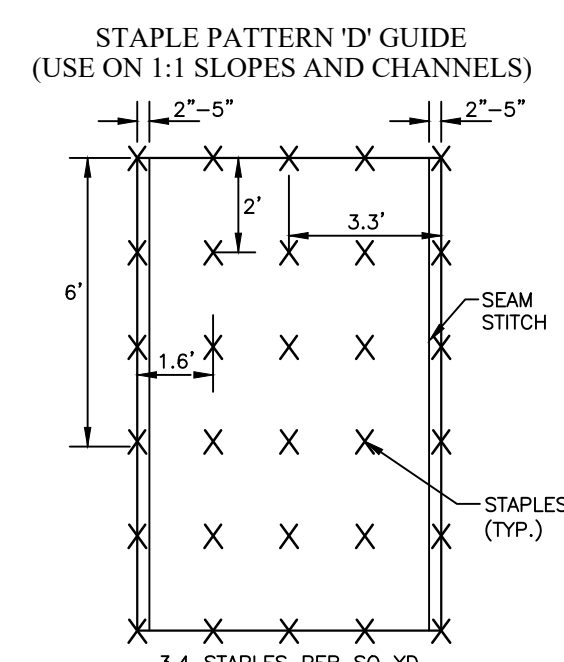
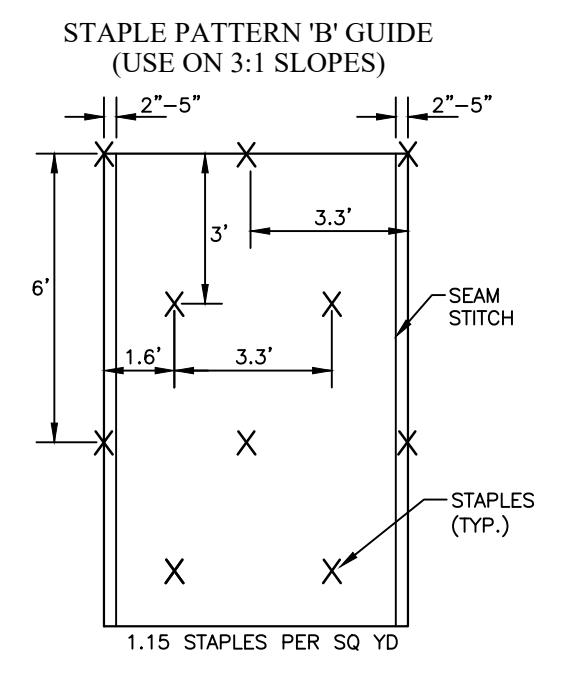


**COMPOST FILTER SOCK**  
(PADEP STANDARD CONSTRUCTION DETAIL #4-1)  
(NOT TO SCALE)

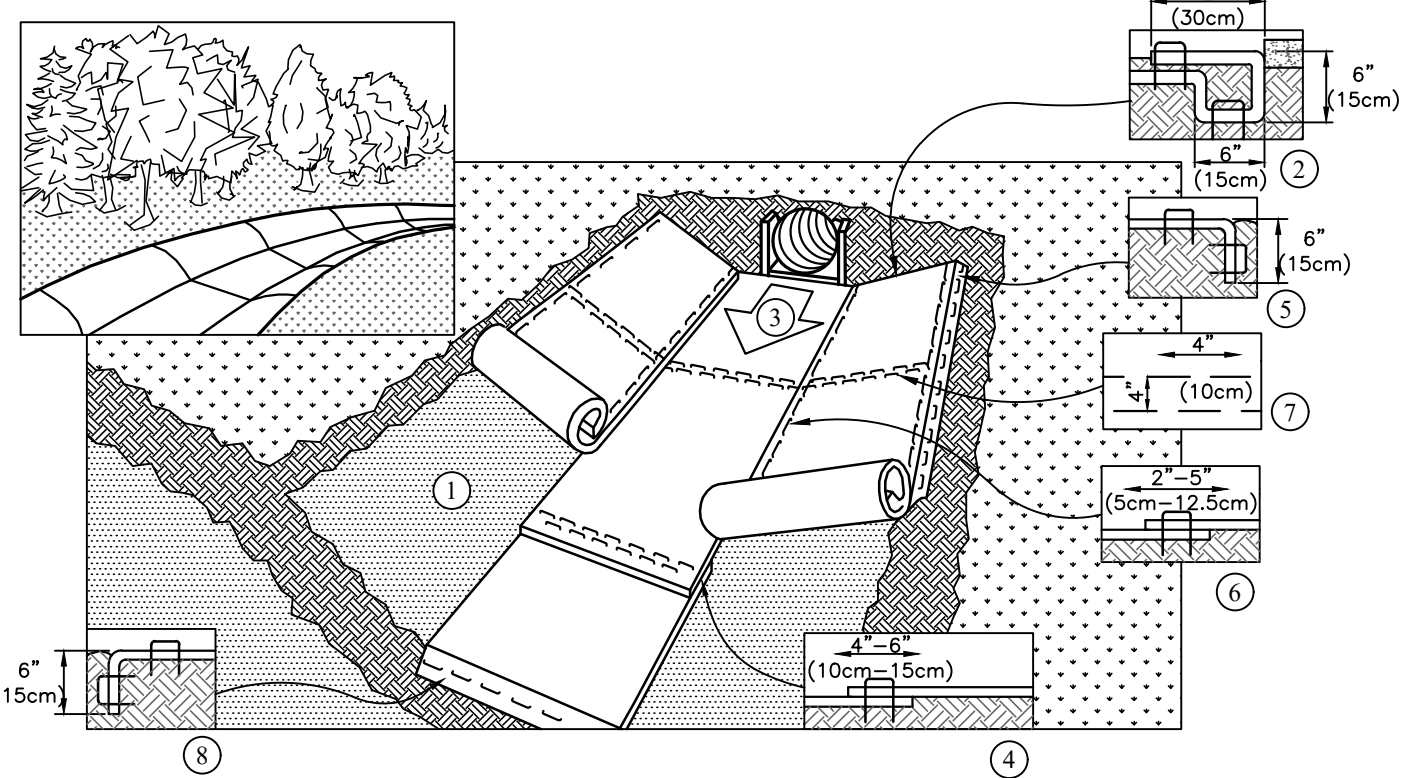
1. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 5 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWN SLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
2. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
3. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK, AND DISPERSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
4. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
5. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
6. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.



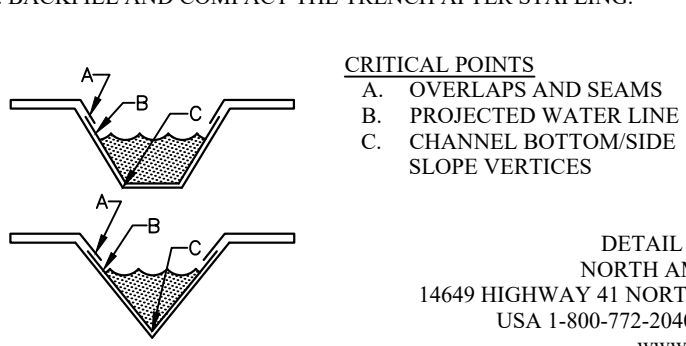
NOTE: REFER TO GENERAL STAKE PATTERN GUIDE FOR CORRECT STAKE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAKING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAKED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAKE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 4" (10cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" (10cm-15cm) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10cm) APART AND 4" (10cm) ON CENTER TO SECURE BLANKETS.
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN A 6" (15cm) DEEP X 4" (10cm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 4" (10cm) (DEPENDING ON BLANKET TYPE) AND STAPLED. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9m-12m) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10cm) APART AND 4" (10cm) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

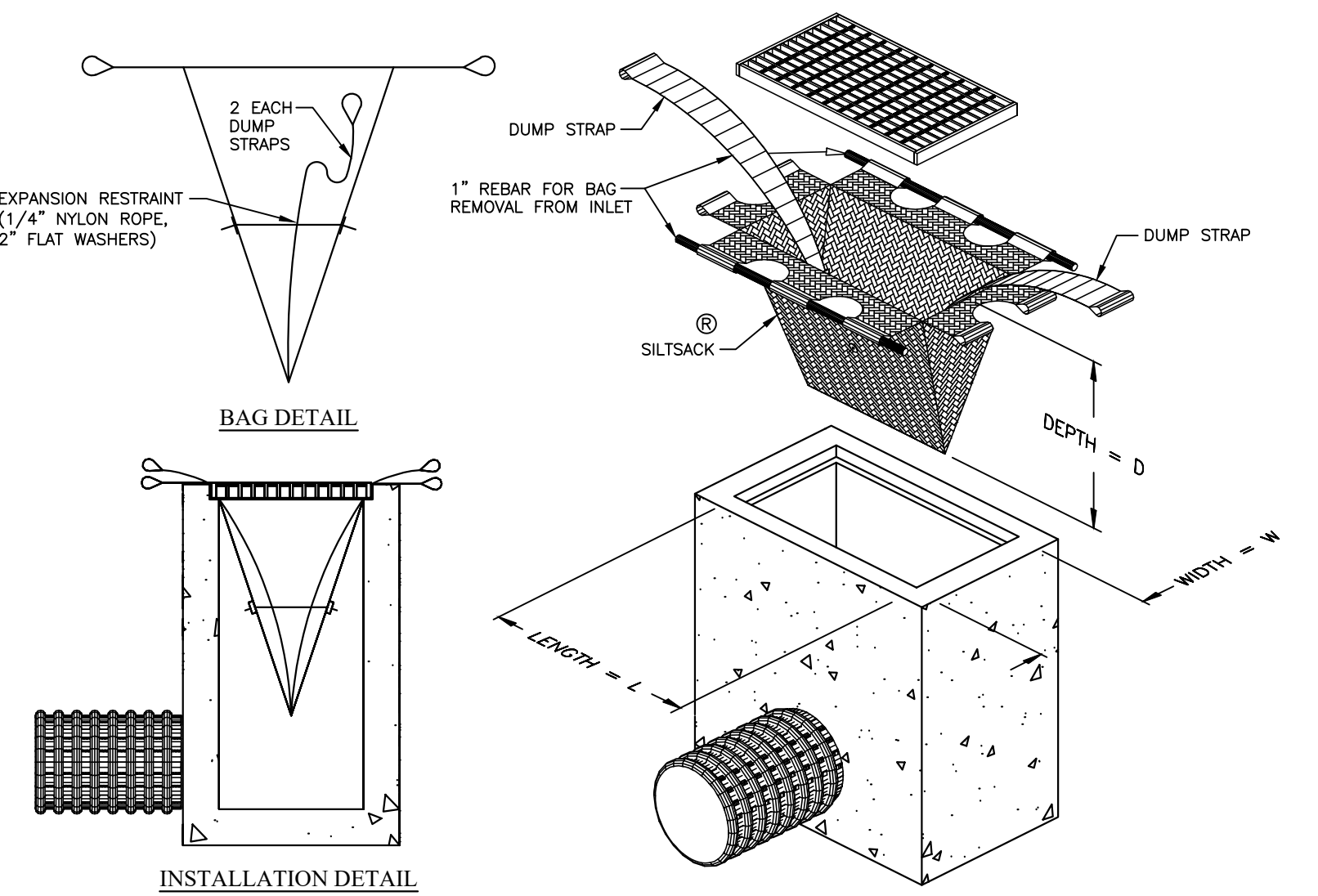


CRITICAL POINTS  
A. OVERLAPS AND SEAMS  
B. PROJECTED WATER LINE  
C. CHANNEL BOTTOM SIDE SLOPE VERTICES

NOTE:  
\* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.  
\*\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

DETAIL PROVIDED BY:  
NORTH AMERICAN GREEN  
14649 HIGHWAY 41 NORTH EVANSVILLE, INDIANA 47725  
USA 1-800-772-2000 CANADA 1-800-448-2840  
www.namgreen.com

**NORTH AMERICAN GREEN MATTING DETAIL**  
(NOT TO SCALE)



**SEDIMENT FILTER BAG INLET PROTECTION DETAIL**  
(NOT TO SCALE)

1. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PLS. AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
2. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WEEKLY HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED 50% TO CAUSE FLOWING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED.

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Pennsylvania One Call System  
PA, act 172 of 1986 requires three working days notice  
Serial Number:  
20201921658

PENNSYLVANIA ACT 187 REQUIREMENTS:  
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

PARCEL NO. 67-4-82 | D.B. S1 | PG. 151

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Info@InlandDesign.net

JOEL D. COMANDA  
REGISTERED PROFESSIONAL ENGINEER  
PE070740  
PENNSYLVANIA

No.	Date:	Description:
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEW

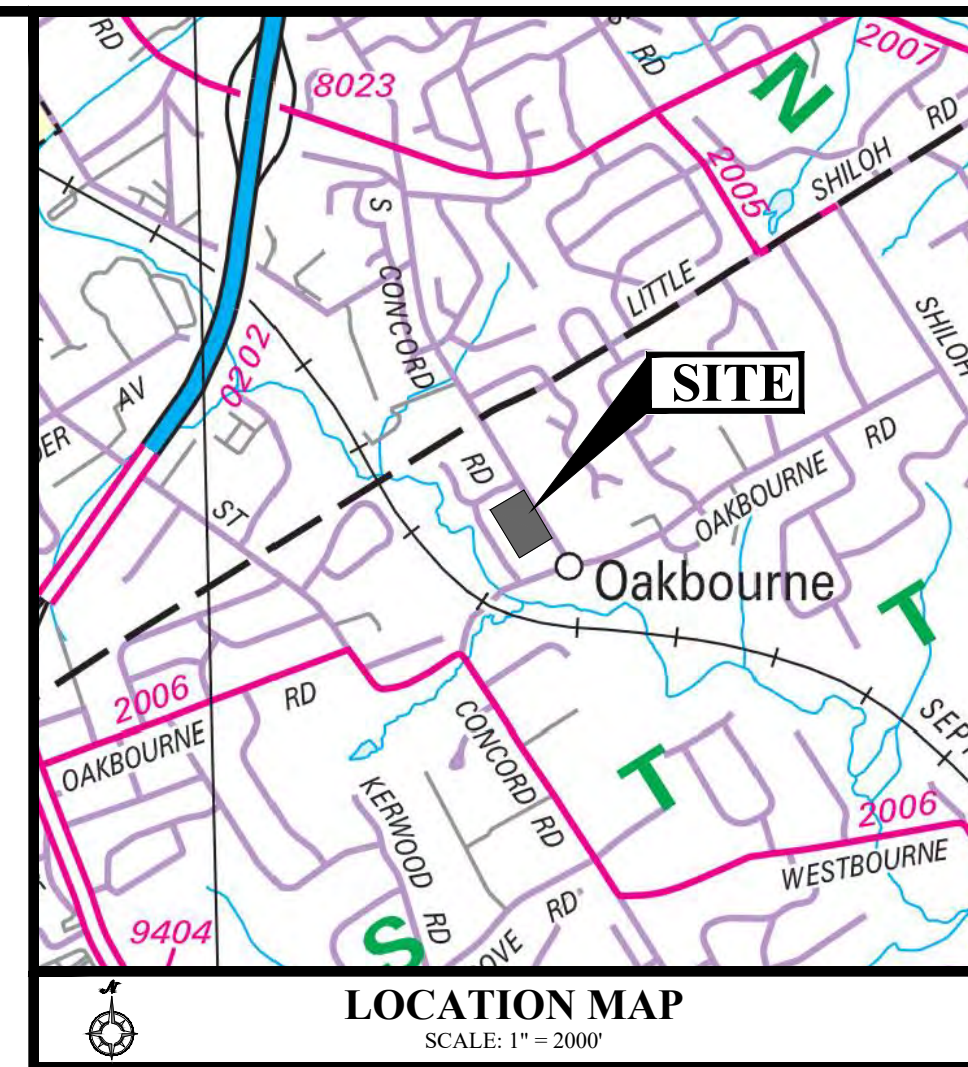
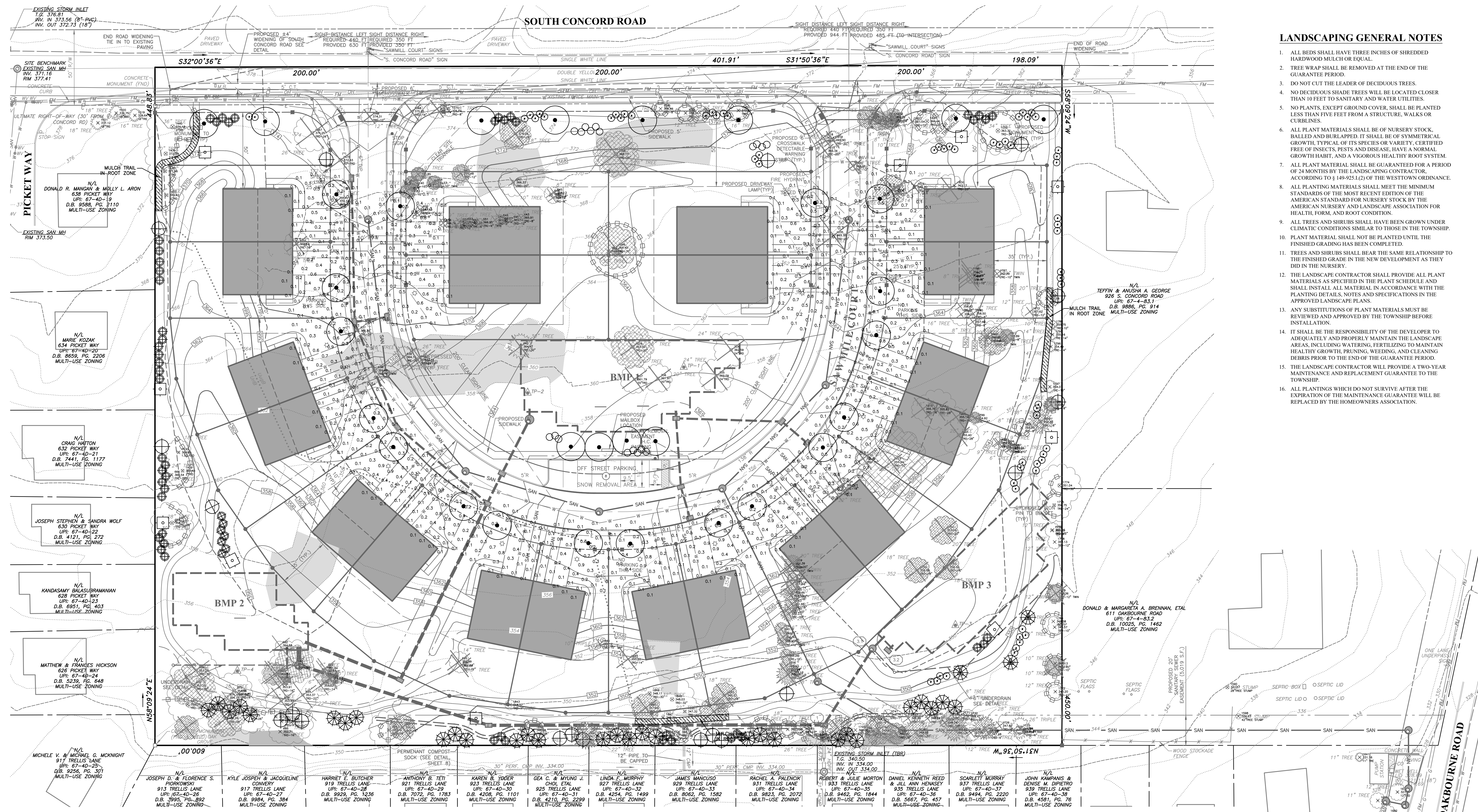
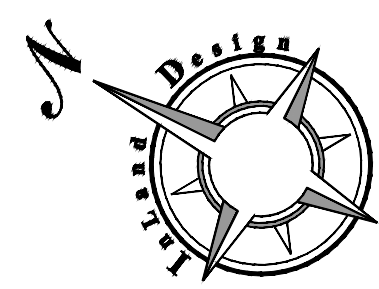
**PRELIMINARY/FINAL LAND DEVELOPMENT**

Date:  
12/07/2020  
Scale:  
1" = 30'  
Drawn by:  
TMW  
Checked by:  
JDC  
Project No:  
11541

**EROSION & SEDIMENT CONTROL DETAILS FOR**  
**SAWMILL COURT**  
**914-924 S. CONCORD ROAD**  
**WEST CHESTER, PENNSYLVANIA, 19382**  
WEST TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET**  
**15**  
**OF 20**



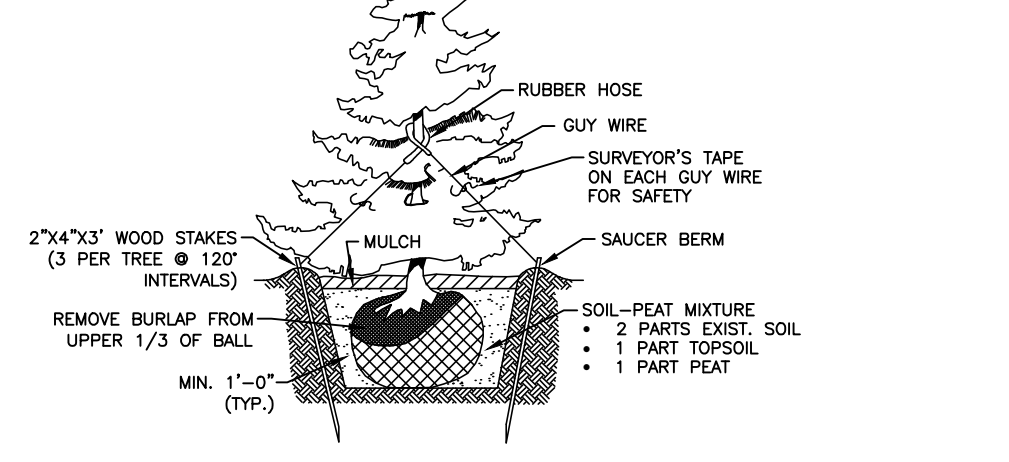
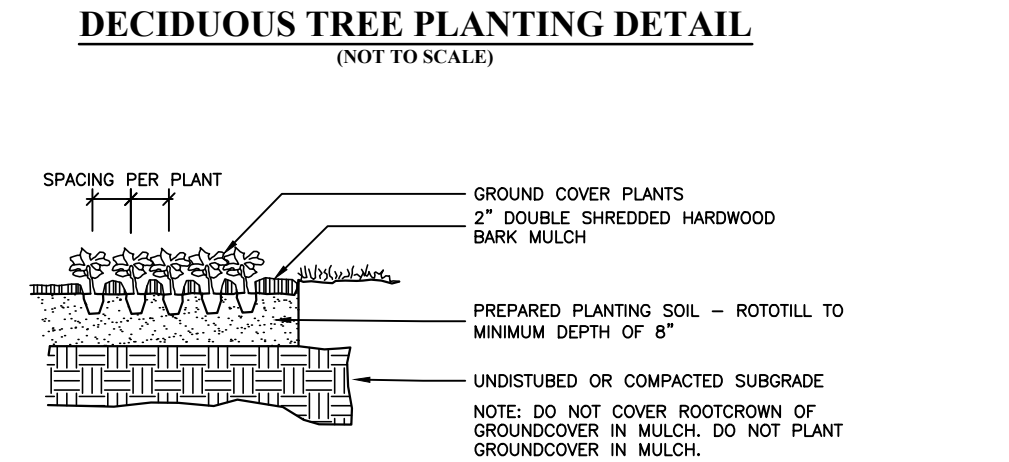
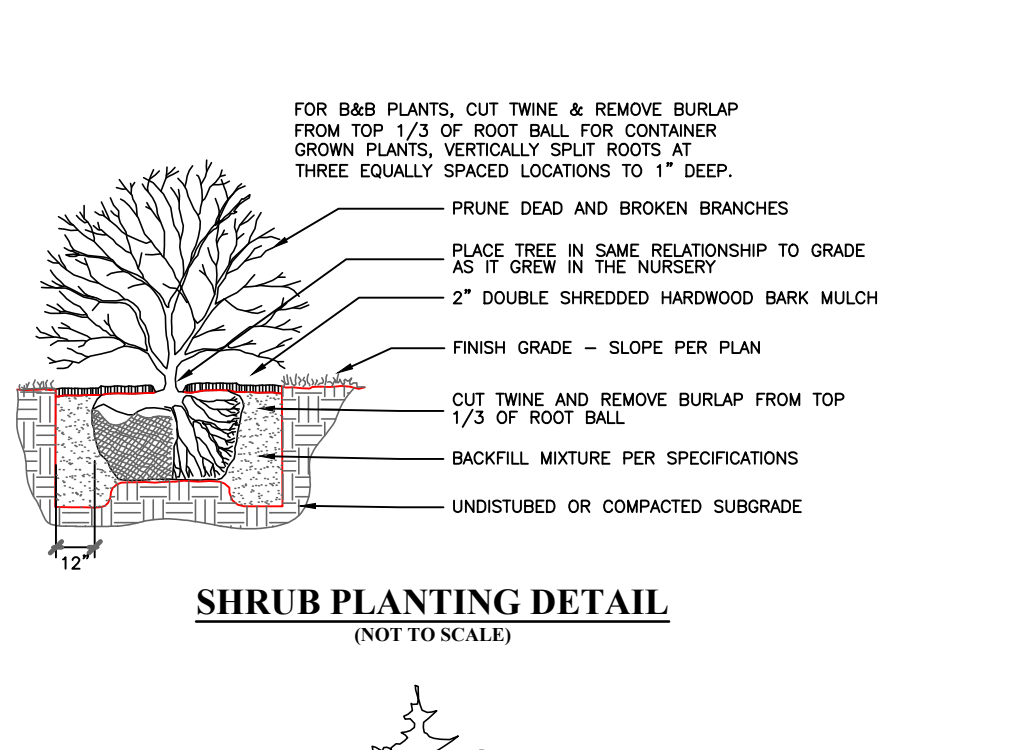
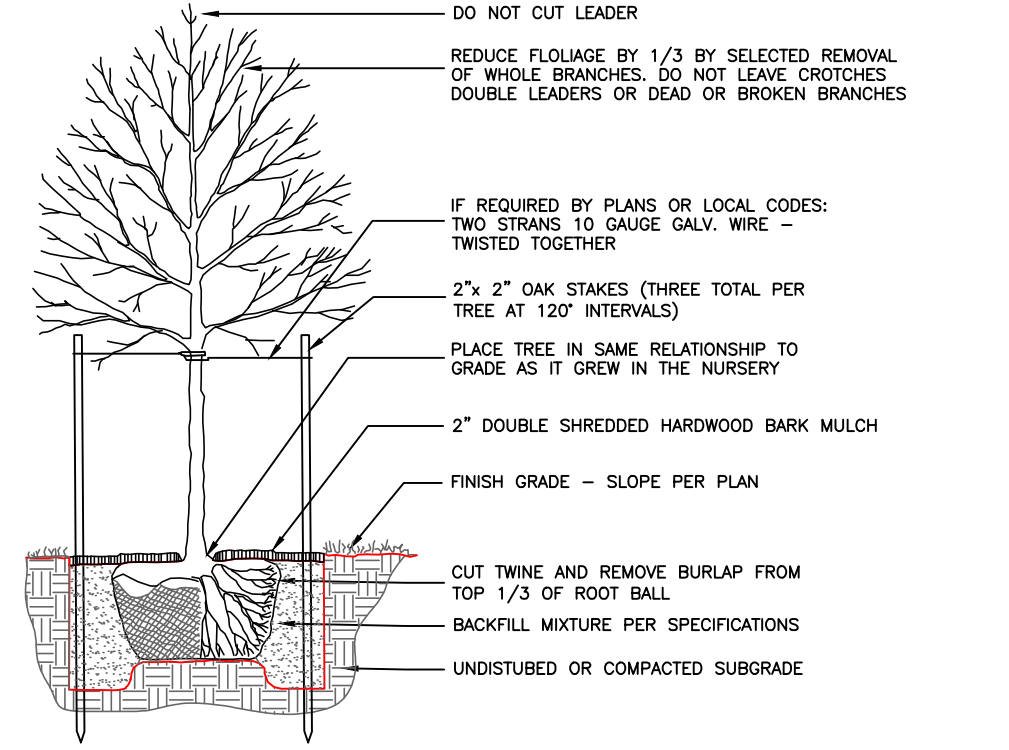


### LANDSCAPING GENERAL NOTES

- ALL BEDS SHALL HAVE THREE INCHES OF SHREDED HARDWOOD MULCH OR EQUAL.
- TREE WRAP SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.
- DO NOT CUT THE LEADER OF DECIDUOUS TREES.
- NO DECIDUOUS SHADE TREES WILL BE LOCATED CLOSER THAN 10 FEET TO SANITARY AND WATER UTILITIES.
- NO PLANTS EXCEPT GRASS COVER SHALL BE PLANTED LESS THAN FIVE FEET FROM A STRUCTURE, WALKS OR CURB LINES.
- ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK, BALLED AND BURLAPPED. IT SHALL BE OF SYMMETRICAL GROWTH, TYPICAL OF ITS SPECIES OR VARIETY, CERTIFIED FREE OF INSECTS, PESTS AND DISEASE, HAVE A NORMAL GROWTH HABIT, AND A VIGOROUS HEALTHY ROOT SYSTEM.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 24 MONTHS BY THE LANDSCAPING CONTRACTOR, ACCORDING TO 14.9-22.1(d) OF THE WESTTOWN ORDINANCE.
- ALL PLANTING MATERIALS SHALL MEET THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION FOR HEALTH, FORM AND ROOT CONDITION.
- ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE TOWNSHIP.
- PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
- TREES AND SHRUBS SHALL BEAR THE SAME RELATIONSHIP TO THE FINISHED GRADE IN THE NEW DEVELOPMENT AS THEY DID IN THE NURSERY.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL PLANT MATERIALS AS SPECIFIED IN THE PLANT SCHEDULE AND SHALL INSTALL ALL MATERIAL IN ACCORDANCE WITH THE PLANTING DETAILS, NOTES AND SPECIFICATIONS IN THE APPROVED LANDSCAPE PLANS.
- ANY SUBSTITUTIONS OF PLANT MATERIALS MUST BE REVIEWED AND APPROVED BY THE TOWNSHIP BEFORE INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPE AREAS, INCLUDING WATERING, FERTILIZING TO MAINTAIN HEALTHY GROWTH, PRUNING, WEEDING, AND CLEANING DEBRIS PRIOR TO THE END OF THE GUARANTEE PERIOD.
- THE LANDSCAPE CONTRACTOR WILL PROVIDE A TWO-YEAR MAINTENANCE AND REPLACEMENT GUARANTEE TO THE TOWNSHIP.
- ALL PLANTINGS WHICH DO NOT SURVIVE AFTER THE EXPIRATION OF THE MAINTENANCE GUARANTEE WILL BE REPLACED BY THE HOMEOWNERS ASSOCIATION.

### LEGEND

- PROPERTY BOUNDARY
- PROPERTY BOUNDARY TO BE REMOVED
- ADJOINING PROPERTY LINE
- FLOOD PLAIN LINE
- TEST PIT LOCATION
- EXISTING RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING 2' CONTOUR W/ ELEVATION
- EXISTING 10' CONTOUR W/ ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING BRICK
- EXISTING PAVERS
- EXISTING CONCRETE
- EXISTING BRUSHLINE
- EXISTING TREELINE
- EXISTING TREE SYMBOLS
- EXISTING TREES TO BE REMOVED
- EXISTING LIGHT
- EXISTING UTILITY POLE
- EXISTING WELL
- EXISTING WATER VALVE
- EXISTING SEWER
- EXISTING FENCE LINE
- SOILS LINE AND DESCRIPTION
- PRECAUTIONARY SLOPES 15% - 25%
- PROHIBITIVE SLOPES 25% - UP
- EXISTING STORM STRUCTURES & PIPE
- EXISTING SANITARY STRUCTURES & PIPE
- EXISTING ROAD CENTERLINE
- EXISTING CURB LINE
- EXISTING ROAD / PAVING
- EXISTING DRIVEWAY
- EXISTING STONE DRAIN
- EXISTING SANITARY LATERAL
- EXISTING SANITARY FORCE MAIN
- EXISTING WATER LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING TELEPHONE PEN
- PROPOSED MONUMENT
- PROPOSED RIGHT OF WAY LINE
- PROPOSED EASEMENT LINE
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TREELINE
- PROPOSED UTILITY POLE
- PROPOSED WATER VALVE
- PROPOSED SKIN
- PROPOSED STORM STRUCTURES & PIPE
- PROPOSED SANITARY STRUCTURES & PIPE
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB LINE
- PROPOSED ROAD / PAVING
- PROPOSED DRIVEWAY
- PROPOSED WATER LINE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE
- PROPOSED TELEPHONE LINE



### QUOIZEL LIGHTING

MHE9010K  
Milwaukee Outdoor Lantern  
Mystic Black

**DETAILS**  
Material: Steel  
Glass/Shade Description: Clear Seeded Glass

**LAMPING**  
Light Source: Incandescent  
Bulb Included: No  
Bulb Type: Candelabra Base  
Watts per Bulb: 60

**ELECTRICAL**  
Dimmable: Yes  
Voltage: 120v  
Wire Length: 0.5'

**INSTALLATION**  
Location Rating: Wet  
Install Position: Up  
Sloped Ceiling Compatible: No

**DIMENSIONS**  
Dimensions: 10.00" W x 23.50" H x 10.00" D  
Weight: 6.38 lbs

### TREE REMOVAL CHART

EXISTING TREES TO BE REMOVED	NUMBER	TOTAL CALIPER	COMPENSATORY REQUIREMENT	COMPENSATORY CALIPER REQUIRED
SPECIMEN TREES	32	778 IN	1.00 IN / IN	778 IN
NON-SPECIMEN TREES	67	634 IN	0.25 IN / IN	159 IN
TOTAL COMPENSATORY TREE REQUIREMENT				936 IN
TOTAL 3/4" CALIPER DECIDUOUS REPLACEMENT TREES REQUIRED				268
* THE VIABILITY OF EXISTING TREES BASED ON RECOMMENDATION BY AN ARBORIST.				

### LANDSCAPING COMPLIANCE CHART

DESCRIPTION	REQUIRED	PROVIDED
149-922-B(3) - BUFFER PLANTINGS	EVERGREEN AND DECIDUOUS TREES SPACED NO MORE THAN 18 FEET APART 1,499 L.F. BUFFER - 83 TREES	83 DECIDUOUS TREES 60 EVERGREEN TREES 15 EXISTING
149-922-B(3) - BUFFER PLANTINGS	EVERGREEN SHRUBS SPACED NO MORE THAN 5 FEET APART 1,499 L.F. BUFFER - 300 SHRUBS	300 SHRUBS
149-925-G(1) - STREET FRONTAGE	CANOPY TREES: 1 / 100 L.F. STREET FRONTAGE 1,908 L.F. STREET FRONTAGE - 20 TREES	20 CANOPY TREES
149-925-G(1) - STREET FRONTAGE	FLOWERING TREES: 0.5 / 100 L.F. STREET FRONTAGE 1,908 L.F. STREET FRONTAGE = 10 TREES	10 FLOWERING TREES
149-925-G(1) - STREET FRONTAGE	SHRUBS: 4 / 100 L.F. STREET FRONTAGE 1,908 L.F. STREET FRONTAGE = 77 SHRUBS	77 SHRUBS
149-925-G(1) - PERIMETER PROPERTY LINES	CANOPY TREES: 0.5 / 100 L.F. PROPERTY LINES 1,499 L.F. PERIMETER PROPERTY LINES = 10 TREES	10 CANOPY TREES
149-925-G(1) - PERIMETER PROPERTY LINES	FLOWERING TREES: 0.5 / 100 L.F. PROPERTY LINES 1,499 L.F. PERIMETER PROPERTY LINES = 10 TREES	10 FLOWERING TREES
149-925-G(1) - PERIMETER PROPERTY LINES	SHRUBS: 2 / 100 L.F. PROPERTY LINES 1,499 L.F. PERIMETER PROPERTY LINES = 30 SHRUBS	39 SHRUBS
149-925-G(3) - STORMWATER BASINS	DECIDUOUS OR EVERGREEN TREES AT THE RATE OF ONE TREE PER 2,000 SQUARE FEET OF BASIN AREA: 4,950 S.F. BASIN AREA = 3 TREES	3 EVERGREEN TREES
149-925-G(3) - STORMWATER BASINS	SHRUBS, HEDGES OR YEW AT THE RATE OF ONE PLANT PER 2,000 SQUARE FEET OF BASIN AREA: 4,950 S.F. BASIN AREA = 25 SHRUBS	25 SHRUBS
* ADDITIONAL PLANTING ALONG WEST PROPERTY LINE HAVE BEEN ADDED AS ADDITIONAL BUFFER: 30 EVERGREEN TREES 9 FLOWERING TREES		

### PLANT LIST

LEGEND	KEY	BOTANICAL NAME	COMMON NAME	QTY.	CAL.	HT.	ROOT	REMARKS
SHADE TREES	Qb	Quercus 'Regal Prince'	REGAL PRINCE OAK	30	3 1/2" - 4" MIN.	12-14 FT. (MIN.)	B&B	MATCHED SPECIMEN
	Ckx	Camellia x	WOLF EYES JAPANESE DOGWOOD	19	2 1/2" - 3" MIN.	8-10 FT. (MIN.)	B&B	MATCHED SPECIMEN
FLOWERING TREES	Pu	Prunus 'Okame'	OKAME CHERRY	10	2 1/2" - 3" MIN.	8-10 FT. (MIN.)	B&B	MATCHED SPECIMEN
	Ag	Juniperus virginiana	EASTERN RED CEDAR	30	2 1/2" - 3" MIN.	8-10 FT. (MIN.)	B&B	MATCHED SPECIMEN
EVERGREEN TREES	is	Pinus strobus	SERBIAN SPRUCE	3	2 1/2" - 3" MIN.	8-10 FT. (MIN.)	B&B	MATCHED SPECIMEN
	FmM	Fothergilla major 'Mount Airy'	MOUNT AIRY LARGE FOTHERGILLA	65	30" - 36" (MIN.)		B&B	PLANT IN MULCH BED 5' O.C.
DECIDUOUS SHRUBS	VwW	Viburnum nudum 'Winterthur'	WINTERTHUR SWAMP HAW	18	30" - 36" (MIN.)		B&B	PLANT IN MULCH BED 5' O.C.
	CpP	Cephalotaxa harringtonii 'Prostrata'	PROSTRATA JAPANESE PLUM YEW	58	30" - 36" (MIN.)		B&B	PLANT IN MULCH BED 5' O.C.

**LOT OWNER'S CONSENT:**  
I HEREBY CONSENT TO THIS LANDSCAPING PLAN AND TO THE PLANTINGS SHOWN ON THIS LANDSCAPING PLAN.  
OWNER: \_\_\_\_\_ (DATE) \_\_\_\_\_

**APPLICANT / OWNER:**  
HUNTERS BUILDERS, LLC  
ATTN: WAYNE MEGILL, CO-MANAGER  
330 KENNETH FINE, SUITE 307  
CHAFFS FORD, PA 19317  
(610) 399-1235  
SITE ADDRESS: \_\_\_\_\_  
WESTTOWN TWP., CHESTER COUNTY, PA  
PARCEL NO. 67-482 | D.B. S#1 | PG. 151

**INLAND DESIGN, LLC**  
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16 Happy Blvd.  
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Phone: (484) 947-2928  
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www.InLandDesign.net

**COMMONWEALTH OF PENNSYLVANIA**  
Professional Engineer  
JOSEPH D. COMANDA  
PE 070704

**PRELIMINARY/FINAL LAND DEVELOPMENT**  
GRAPHIC SCALE  
0 15 30 60 120  
(IN FEET)  
1 Inch = 30'

**TREE PROTECTION, LANDSCAPING & LIGHTING PLAN**  
FOR  
**SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET 16 OF 20**

Date: 12/07/2020  
Scale: 1" = 30'  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

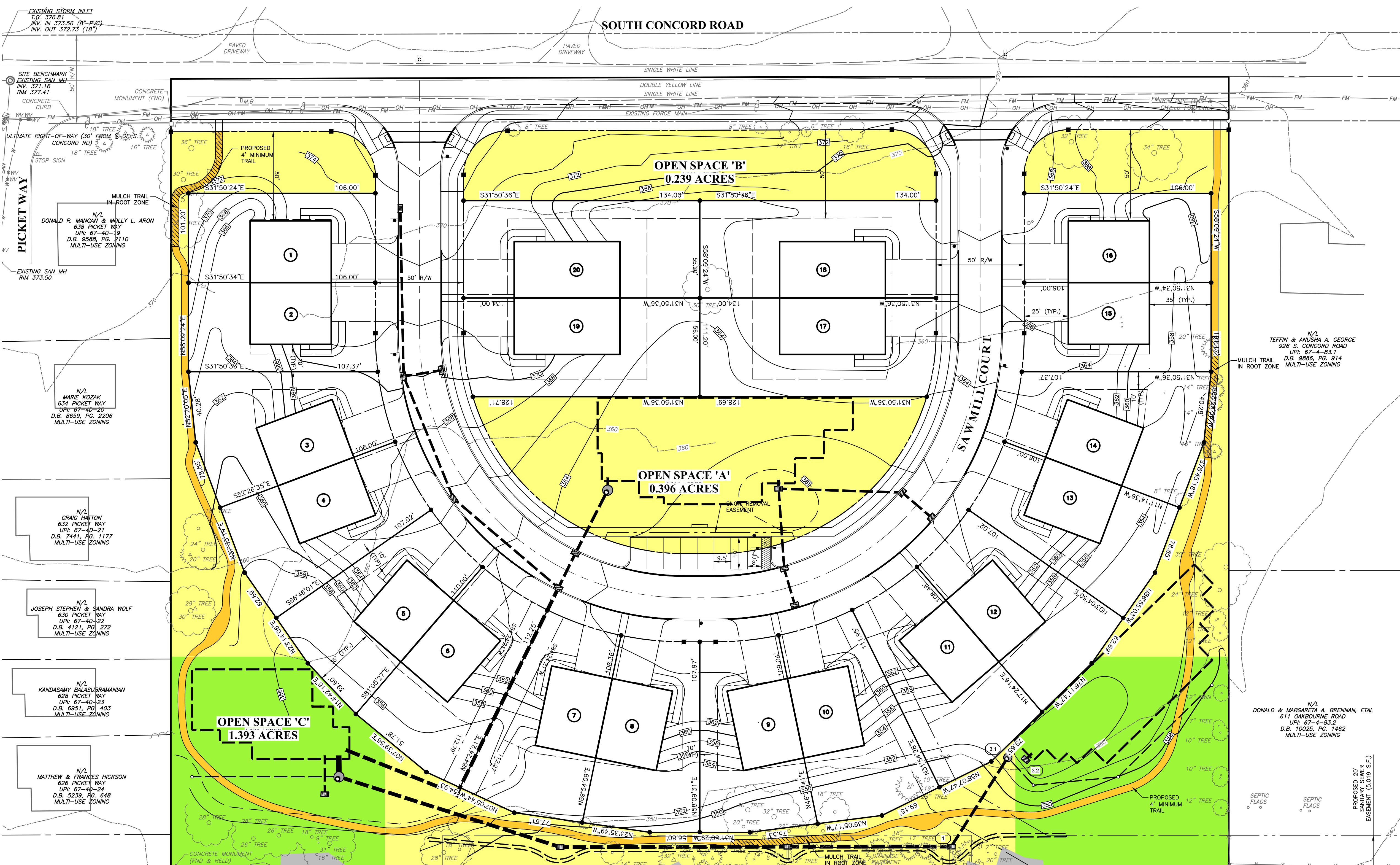
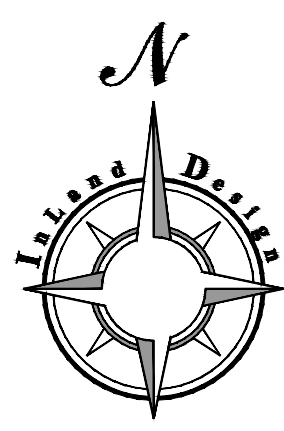
Parcel No. 67-482 | D.B. S#1 | PG. 151

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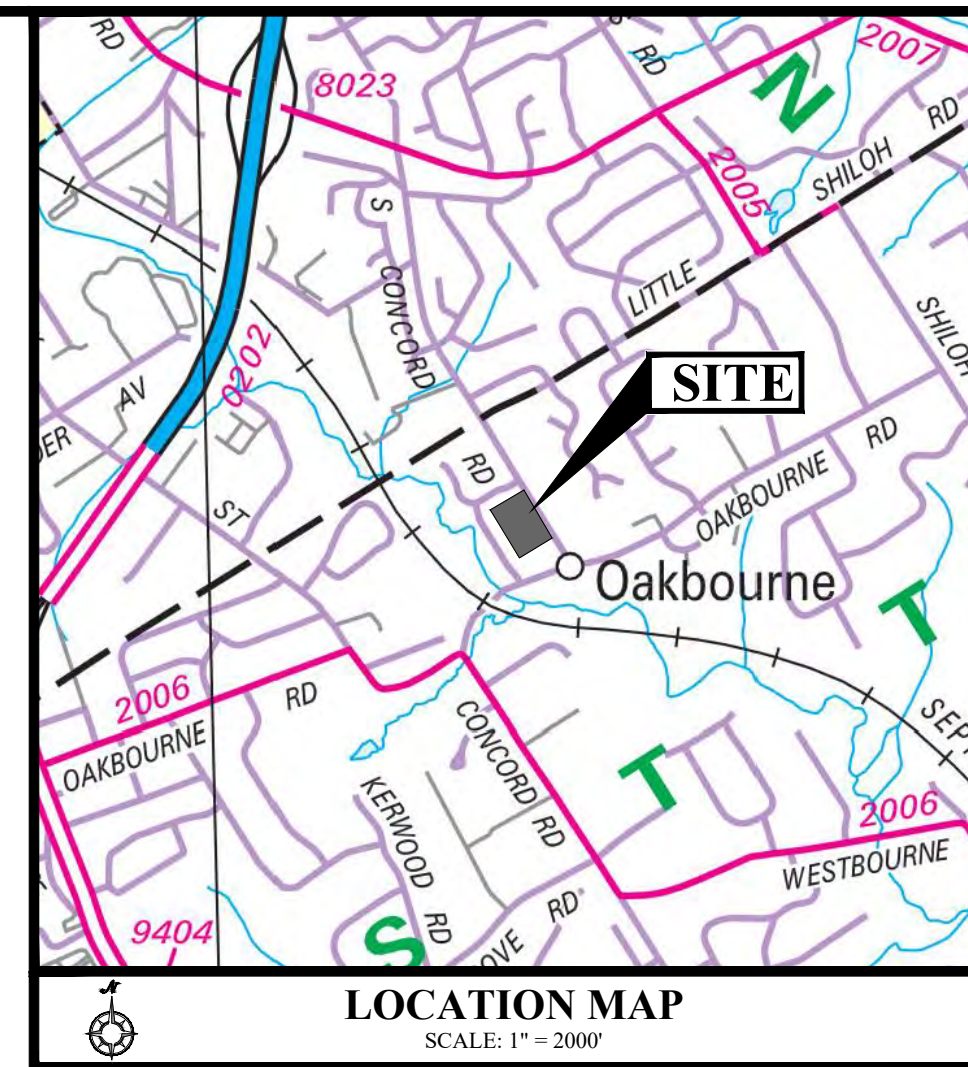
16  
OF 20

N:\1580011541\Draws\Site\16 TREE PROTECTION & LANDSCAPE PLAN.dwg





- NOTE:**  
THE PROPOSED OPEN SPACE IS TO BE DESIGNATED AS LAWN PER SECTION 149-92.034(a) - TO BE MOWED REGULARLY TO ENSURE A NEAT AND TIDY APPEARANCE.
- OPEN SPACE (LAWN)
  - 75 FT. WIDE OPEN SPACE (LAWN)
  - TRAIL WITHIN OPEN SPACE



- GENERAL NOTES:**
- THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
  - THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP SANS AND PER A.P.A. STANDARDS AND SPECIFICATIONS.
  - SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOSHEN SEWER AUTHORITY WWTW.
  - ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP.
  - ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE WEST TOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS.
  - THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH.
  - THERE ARE NO WETLANDS WITHIN SITE LIMITS.
  - THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS IN ACCORDANCE WITH THE HOMEOWNERS ASSOCIATION DOCUMENTS.
  - THE RIGHT-OF-WAY OF SAWMILL COURT, WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE RIGHT-OF-WAY.
  - THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE BOARD OF SUPERVISORS DETERMINES THAT THE RIGHT-OF-WAY IS NEEDED.
  - THE SANITARY SEWER EXTENSION PROPOSED AS A PART OF THIS PROJECT WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE FACILITIES.
  - LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY LAMPS ON EACH INDIVIDUAL PROPERTY OWNER'S LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCENT LIGHTS ARE SHOWN AT EACH DRIVEWAY. THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DISK TO TOWN SENIOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOME OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
  - THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
  - THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN TOWNSHIP TO ALLOW CONSTRUCTION OF CONCRETE TRAILS IN THE NORTHEAST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS SIDEWALKS OR TRAILS ARE EXTENDED TO THESE CORNERS ON THE ADJACENT PARCELS.

- OPEN SPACE NOTES:**
- COMMON OPEN SPACE ON THIS PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
  - THE TRAIL THAT IS LOCATED WITHIN THE OPEN SPACE IS TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
  - THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES LOCATED WITHIN THE OPEN SPACE OR IN EASEMENTS WITHIN THE PROPOSED LOTS.
  - THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE AREAS WITHIN THE SANITARY SEWER EASEMENTS LOCATED WITHIN THE OPEN SPACE.
  - IN THE EVENT THAT THE ORGANIZATION ESTABLISHED TO OWN AND MAINTAIN COMMON OPEN SPACE OR ANY SUCCESSOR ORGANIZATION, SHALL AT ANY TIME FAIL TO MAINTAIN THE COMMON OPEN SPACES IN REASONABLE ORDER AND CONDITION IN ACCORDANCE WITH THE DEVELOPMENT PLAN, THE TOWNSHIP MAY SERVE WRITTEN NOTICE UPON SUCH ORGANIZATION, OR UPON THE RESIDENTS AND OWNERS OF THE DEVELOPMENT, SETTING FORTH THE MANNER IN WHICH THE ORGANIZATION HAS FAILED TO MAINTAIN THE COMMON OPEN SPACE IN REASONABLE CONDITION, AND SAID NOTICE SHALL INCLUDE A DEMAND THAT SUCH DEFICIENCIES OF MAINTENANCE BE CURED WITHIN 30 DAYS THEREOF, AND SHALL STATE THE DATE AND PLACE OF A HEARING WHEREIN THEY SHALL BE HELD WITHIN 14 DAYS OF THE NOTICE. AT SUCH HEARING THE TOWNSHIP MAY MODIFY THE TERMS OF THE ORIGINAL NOTICE AS TO THE DEFICIENCIES AND MAY GIVE AN EXTENSION OF TIME WITHIN WHICH THEY SHALL BE CORRECTED. IF THE DEFICIENCIES SET FORTH IN THE ORIGINAL NOTICE OR IN THE MODIFICATIONS THEREOF SHALL NOT BE CORRECTED WITHIN SAID 30 DAYS OR ANY EXTENSION THEREOF, THE TOWNSHIP, IN ORDER TO PRESERVE THE TAXABLE VALUES OF THE PROPERTIES WITHIN THE DEVELOPMENT AND TO PREVENT THE COMMON OPEN SPACE FROM BECOMING A PUBLIC NUISANCE, MAY, IN ITS DISCRETION, ENTER UPON AND COMMON OPEN SPACE AND MAINTAIN THE SAME FOR A PERIOD OF ONE YEAR. SAID ENTRY AND MAINTENANCE SHALL NOT CONSTITUTE A TAKING OF SAID COMMON OPEN SPACE, AND SHALL NOT VEST IN THE PUBLIC ANY RIGHTS TO USE THE COMMON OPEN SPACE EXCEPT WHILE THE SAME IS VOLUNTARILY DEDICATED TO THE PUBLIC BY THE RESIDENTS AND OWNERS AND SUCH DEDICATION IS ACCEPTABLE TO THE TOWNSHIP. BEFORE THE EXPIRATION OF SAID YEAR, THE TOWNSHIP SHALL, UPON ITS INITIATIVE OR UPON THE REQUEST OF THE ORGANIZATION THEREFOR, BE RESPONSIBLE FOR THE MAINTENANCE OF THE COMMON OPEN SPACE. CALL A PUBLIC HEARING UPON NOTICE TO SUCH ORGANIZATION, OR TO THE RESIDENTS AND OWNERS OF THE DEVELOPMENT, TO BE HELD BY THE TOWNSHIP, AT WHICH HEARING SUCH ORGANIZATION OF THE RESIDENTS AND OWNERS OF THE DEVELOPMENT SHALL SHOW CAUSE WHY SUCH MAINTENANCE BY THE TOWNSHIP SHALL NOT, AT THE DISCRETION OF THE TOWNSHIP, CONTINUE FOR A SUCCEEDING YEAR. IF THE TOWNSHIP SHALL DETERMINE THAT SUCH ORGANIZATION IS READY AND ABLE TO MAINTAIN SAID COMMON OPEN SPACE IN REASONABLE CONDITION, THE TOWNSHIP SHALL CEASE TO MAINTAIN SAID COMMON OPEN SPACE AT THE END OF SAID YEAR. IF THE TOWNSHIP SHALL, IN DETERMINING SUCH ORGANIZATION IS NOT READY AND ABLE TO MAINTAIN SAID COMMON OPEN SPACE IN A REASONABLE CONDITION, THE TOWNSHIP MAY, IN ITS DISCRETION, CONTINUE TO MAINTAIN SAID COMMON OPEN SPACE DURING THE NEXT SUCCEEDING YEAR AND, SUBJECT TO A SIMILAR HEARING AND DETERMINATION, IN EACH YEAR THEREAFTER. THE DECISION OF THE TOWNSHIP IN ANY CASE SHALL CONSTITUTE A FINAL ADMINISTRATIVE DECISION SUBJECT TO JUDICIAL REVIEW.
  - THE COST OF SUCH MAINTENANCE AND ENFORCEMENT PROCEEDINGS BY THE TOWNSHIP SHALL BE ASSESSED RATABLY AGAINST THE PROPERTIES WITHIN THE DEVELOPMENT THAT HAVE A RIGHT OF ENJOYMENT OF THE COMMON OPEN SPACE AND SHALL BECOME A LIEN ON SAID PROPERTIES. SAID ASSESSMENTS OR CHARGES SHALL BE SUBORDINATE IN LIEN TO THE LIEN OF ANY PRIOR MORTGAGE OR MORTGAGES ON THE PROPERTY WHICH IS SUBJECT TO SUCH ASSESSMENTS OR CHARGES. THE TOWNSHIP, AT THE TIME OF ENTERING UPON SUCH SAID COMMON OPEN SPACE FOR THE PURPOSE OF MAINTENANCE, SHALL FILE NOTICE OF SUCH LIEN, IN THE OFFICE OF THE PROTHONOTARY OF CHESTER COUNTY, UPON THE PROPERTIES AFFECTED BY SUCH LIEN WITHIN THE DEVELOPMENT.

**OPEN SPACE**

DESCRIPTION	AREA (S.F.)	AREA (ACRES)
OPEN SPACE A	17,260 S.F.	0.396 AC.
OPEN SPACE B	10,432 S.F.	0.239 AC.
OPEN SPACE C	60,689 S.F.	1.393 AC.
TOTAL OPEN SPACE	88,381 S.F.	2.0280 AC.

**OPEN SPACE REQUIREMENTS**

DESCRIPTION	REQUIRED	PROVIDED
TOTAL OPEN SPACE AREA	N/A	88,381 SF.
% OF GROSS LOT AREA	30%	34.69%
% OF NET LOT AREA	NA	41.05%
OPEN SPACE IN FLOODPLAIN OR SLOPE >25%	< 40%	0.7% (649 S.F.)

- N/A. DONALD R. MANGONI & MOLLY L. ARON, 638 PICKET WAY, U.P.I. 67-40-19, D.B. 9568, PG. 1110, MULTI-USE ZONING.
- N/A. MARIK KOZAK, 634 PICKET WAY, U.P.I. 67-40-121, D.B. 8639, PG. 2206, MULTI-USE ZONING.
- N/A. CRAIG HATTON, 632 PICKET WAY, U.P.I. 67-40-121, D.B. 7441, PG. 1177, MULTI-USE ZONING.
- N/A. JOSEPH STEPHEN & SANDRA WOLF, 630 PICKET WAY, U.P.I. 67-40-122, D.B. 8121, PG. 2372, MULTI-USE ZONING.
- N/A. KANDASAMY BALASUBRAMANIAN, 628 PICKET WAY, U.P.I. 67-40-123, D.B. 8951, PG. 403, MULTI-USE ZONING.
- N/A. MATTHEW & FRANCES HICKSON, 626 PICKET WAY, U.P.I. 67-40-24, D.B. 8236, PG. 648, MULTI-USE ZONING.
- N/A. MICHELE W. & MICHAEL G. MCKNIGHT, 917 TRELLIS LANE, U.P.I. 67-40-29, D.B. 9256, PG. 371, MULTI-USE ZONING.
- N/A. JOSEPH D. & FLORENCE S. POKORNY, 913 TRELLIS LANE, U.P.I. 67-40-28, D.B. 3995, PG. 892, MULTI-USE ZONING.
- N/A. KYLIE JOSEPH & JACQUELINE COMERTY, 917 TRELLIS LANE, U.P.I. 67-40-27, D.B. 9984, PG. 394, MULTI-USE ZONING.
- N/A. HARRIET E. BUTCHER, 919 TRELLIS LANE, U.P.I. 67-40-28, D.B. 9929, PG. 1836, MULTI-USE ZONING.
- N/A. ANTHONY B. TEH, 921 TRELLIS LANE, U.P.I. 67-40-29, D.B. 7079, PG. 1783, MULTI-USE ZONING.
- N/A. KAREN B. JOHNS, 923 TRELLIS LANE, U.P.I. 67-40-30, D.B. 4208, PG. 1101, MULTI-USE ZONING.
- N/A. GEA C. & WYING J. CHOI, 925 TRELLIS LANE, U.P.I. 67-40-31, D.B. 4216, PG. 2289, MULTI-USE ZONING.
- N/A. LINDA F. MORRIS, 927 TRELLIS LANE, U.P.I. 67-40-32, D.B. 4254, PG. 1499, MULTI-USE ZONING.
- N/A. JAMES MANCOSO, 929 TRELLIS LANE, U.P.I. 67-40-33, D.B. 8962, PG. 1582, MULTI-USE ZONING.
- N/A. RACHEL A. PALENOVIC, 931 TRELLIS LANE, U.P.I. 67-40-34, D.B. 8963, PG. 2072, MULTI-USE ZONING.
- N/A. ROBERT & JULIE MORTON, 933 TRELLIS LANE, U.P.I. 67-40-35, D.B. 8964, PG. 1844, MULTI-USE ZONING.
- N/A. DANIEL KENNETH REED & JULIE ANN HENNESSY, 935 TRELLIS LANE, U.P.I. 67-40-36, D.B. 5687, PG. 457, MULTI-USE ZONING.
- N/A. SCARLETT MORRAY, 937 TRELLIS LANE, U.P.I. 67-40-37, D.B. 9494, PG. 2220, MULTI-USE ZONING.
- N/A. JOHN KAMPANS & DENISE M. DIPRISTO, 939 TRELLIS LANE, U.P.I. 67-40-38, D.B. 4581, PG. 76, MULTI-USE ZONING.

**INLAND DESIGN**  
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www.InLandDesign.net

**COMMONWEALTH OF PENNSYLVANIA**  
JOSEPH D. COMANDA  
ENGINEER  
PROF. 070740

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEW

**PRELIMINARY/FINAL LAND DEVELOPMENT**

GRAPHIC SCALE  
1" = 30'

DATE: 12/07/2020  
SCALE: 1" = 30'  
DRAWN BY: TMW  
CHECKED BY: JDC  
PROJECT NO: 11541

**OPEN SPACE MANAGEMENT PLAN FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET 17 OF 20**





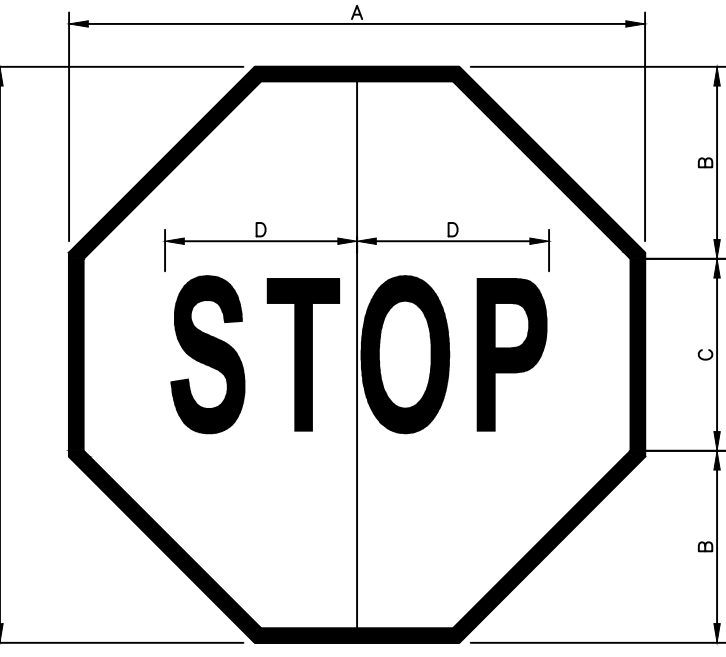


(a) Justification. The Stop Sign (R1-1) is authorized for use on those streets or highways which intersect with a through highway or at a stop intersection as designated by the Department with reference to State designated highways or local authorities with reference to highways under their jurisdiction. The R1-1 sign is also authorized for use in work zones involving one-lane, two-way roadways. At intersections where all approaches are controlled by an R1-1 sign, a supplemental ALL-WAY plaque (R1-3P) shall be mounted below each R1-1 sign.

(b) Authorization. Before local authorities designate any highway as a through highway or stop intersection which will intersect or affect a State-designated highway, approval of such designation shall first be obtained from the Department. Approval to install R1-1 signs in work zones shall not require the approval of the Department or local authorities when the conditions stipulated in the Department's Temporary Traffic Control Guidelines are satisfied.

(c) The standard size R1-1 sign shall be 30" x 30" for single lane conventional highways and 36" x 36" for multi-lane conventional highways. The 24" x 24" size shall only be used for alleys with restrictive physical conditions and vehicle usage that prohibits the installation of the standard size R1-1. A sign that is mounted back-to-back with a R1-1 sign should stay within the edges of the R1-1 sign. If necessary, the size of the R1-1 sign should be increased so that any other sign installed back-to-back with it remains within the edges of the R1-1 sign.

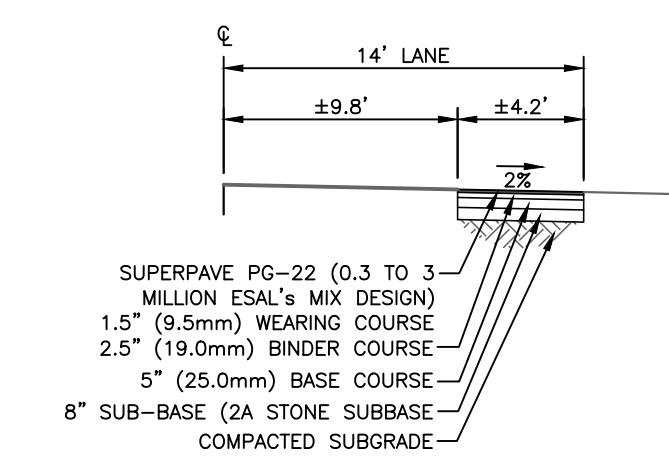
SIGN SIZE	DIMENSIONS					BLANK STD.
	A	B	C	D	E	
24x30	24	30	4	2	10	9-5/16
30x36	30	36	5	2	12	11-5/16
36x42	36	42	6	2	14	13-5/16
42x48	42	48	7	2	16	15-5/16
48x60	48	60	8	2	18	17-5/16



**R1-1 STOP SIGN**  
(NOT TO SCALE)

SIGN SIZE	DIMENSIONS - IN.					BLANK STD.
	A x A	B	C	D	BORDER	
18" x 18"	6	6	6	6	0.4	---
24" x 24"	8	8	8	8	0.6	B1-24
30" x 30"	10	10	10	10	0.8	B1-30
36" x 36"	12	12	12	12	0.8	B1-36
48" x 48"	16	16	16	16	1.2	B1-48

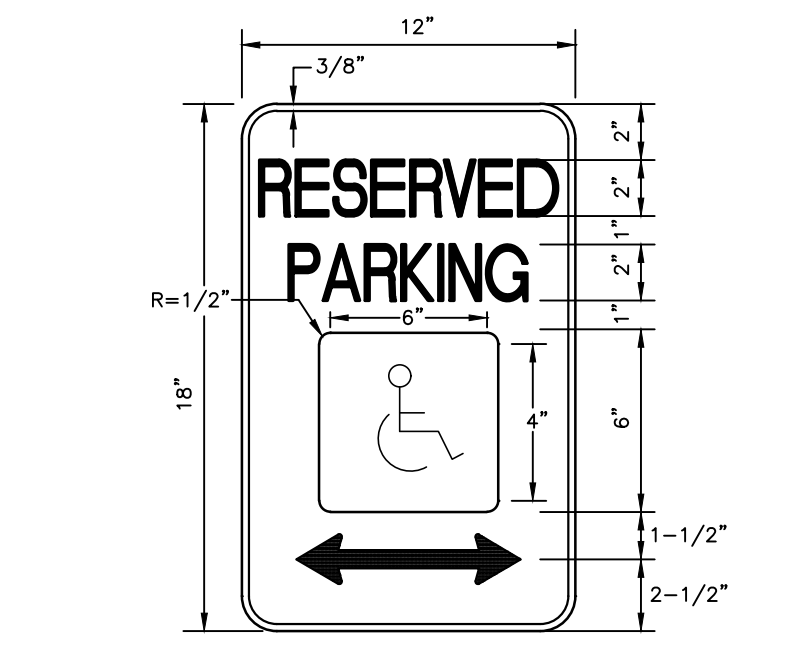
COLOR: LEGEND AND BORDER: WHITE (REFLECTORIZED)  
BACKGROUND: RED (REFLECTORIZED)



**SOUTH CONCORD ROAD WIDENING DETAIL**  
(NOT TO SCALE)

SIGN SIZE	DIMENSIONS					BLANK STD.
	A	B	C	D	E	
24x30	24	30	4	2	10	9-5/16
30x36	30	36	5	2	12	11-5/16
36x42	36	42	6	2	14	13-5/16
42x48	42	48	7	2	16	15-5/16
48x60	48	60	8	2	18	17-5/16

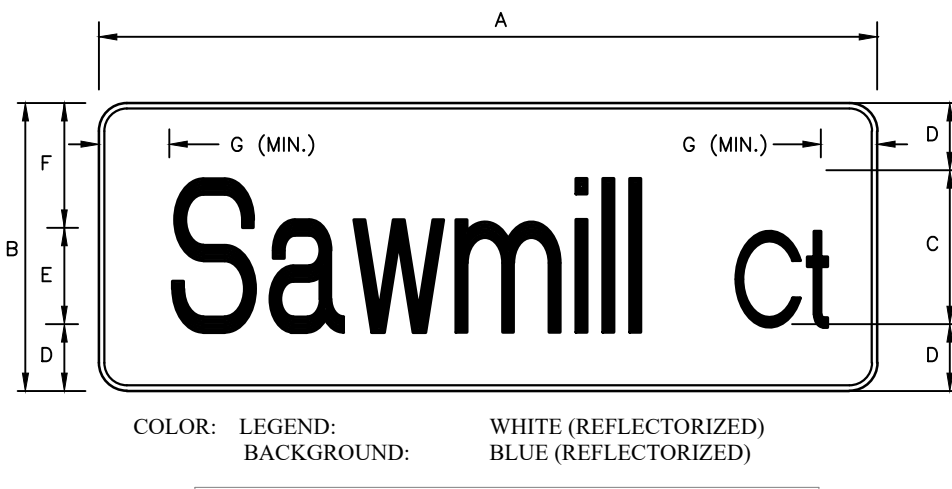
**SPEED LIMIT SIGN (R2-1)**  
(NOT TO SCALE)



**RESERVED PARKING SIGN (R7-8)**  
(NOT TO SCALE)

COLOR: LEGEND AND BORDER: WHITE (REFLECTORIZED)  
BACKGROUND: RED (REFLECTORIZED)

SIGNS TO BE MOUNTED ON A SINGLE POST (SEE DETAIL). BOTTOM OF SIGN TO BE A MINIMUM OF 60 INCHES ABOVE GRADE.

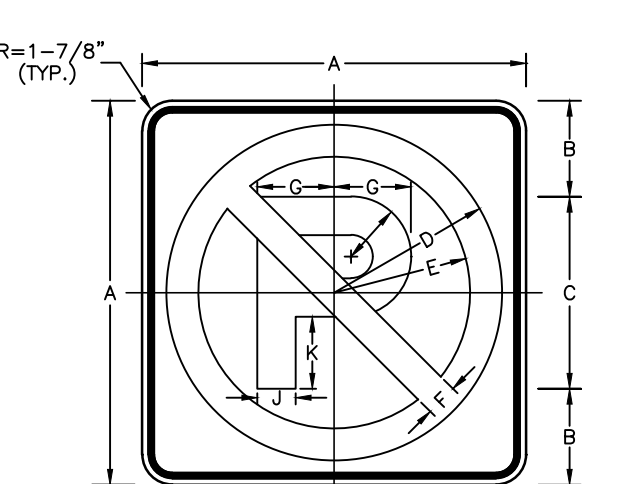


**STREET NAME SIGN (D3-1)**  
(NOT TO SCALE)

SIGN SIZE	DIMENSIONS - IN.					BLANK STD.
	A	B	C	D	E	
VAR. x 6"	4"	1	3"	2	1	---
VAR. x 9"	6"	1.5	4.5"	3	1.4	---
VAR. x 12"	8"	2	6"	4	2	---

**STREET NAME SIGN (D3-1)**  
(NOT TO SCALE)

COLOR: LEGEND AND BORDER: WHITE (REFLECTORIZED)  
BACKGROUND: BLUE (REFLECTORIZED)

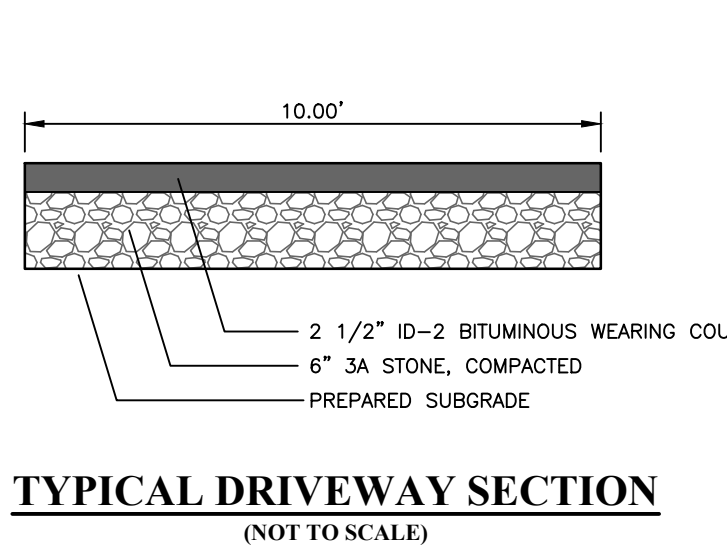


**NO PARKING SIGN (R7-1)**  
(NOT TO SCALE)

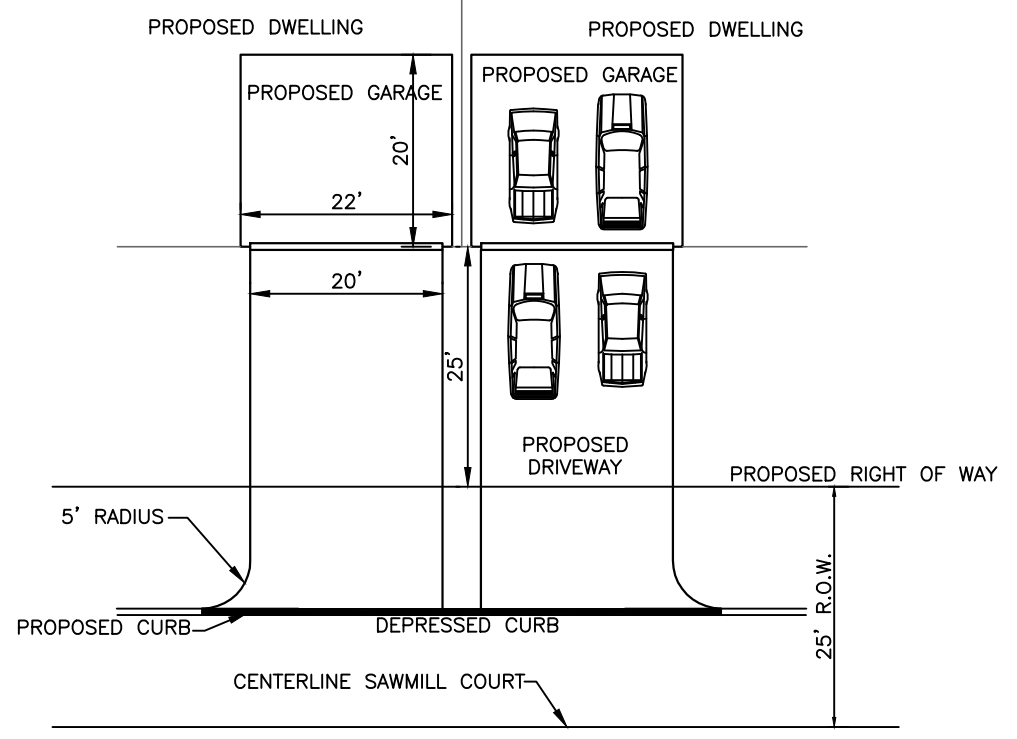
SIGN SIZE	DIMENSIONS					BLANK STD.
	A	B	C	D	E	
12x12	12	3	6	4.78	3.78	1 2 23/64
24x24	24	6	12	10.12	8.12	1 4 25/32
36x36	36	9	18	15.34	12.34	1 7 11/64

**NO PARKING SIGN (R7-1)**  
(NOT TO SCALE)

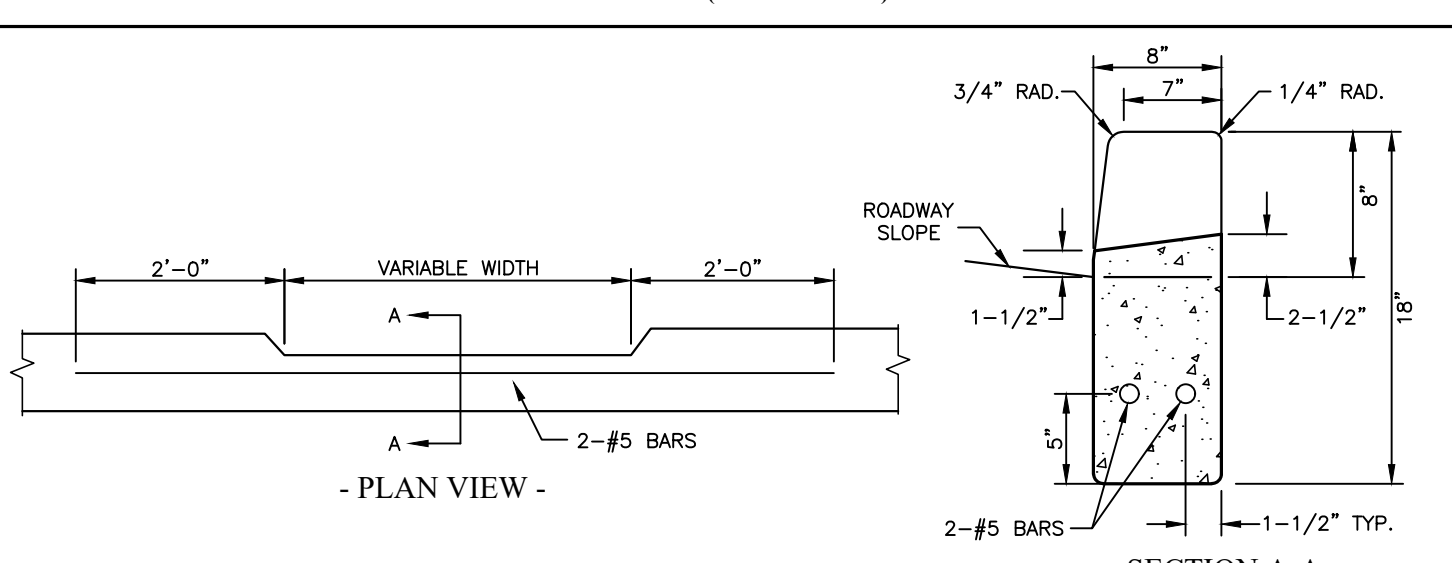
COLOR: SYMBOL AND BORDER: BLACK (NON-REFLECTORIZED)  
CIRCLE AND DIAGONAL: RED (REFLECTORIZED)  
BACK GROUND: WHITE (REFLECTORIZED)



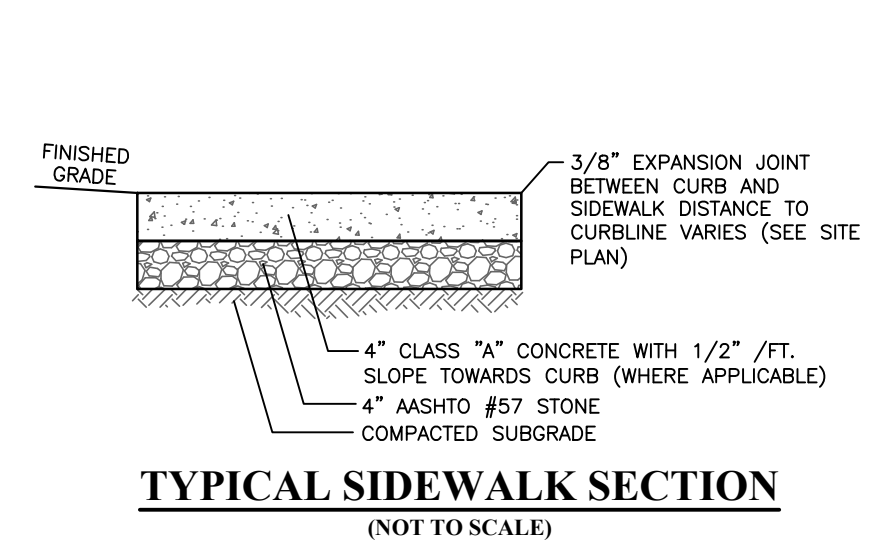
**TYPICAL DRIVEWAY SECTION**  
(NOT TO SCALE)



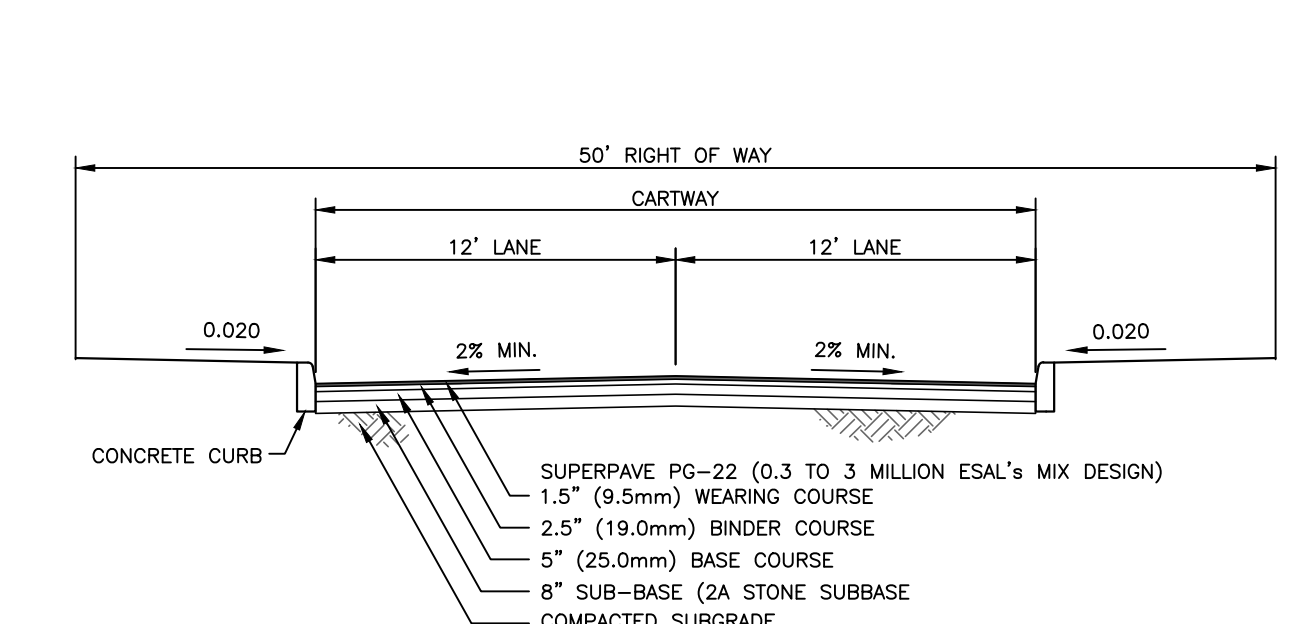
**TYPICAL PARKING DETAIL**  
(SCALE: 1"=20")



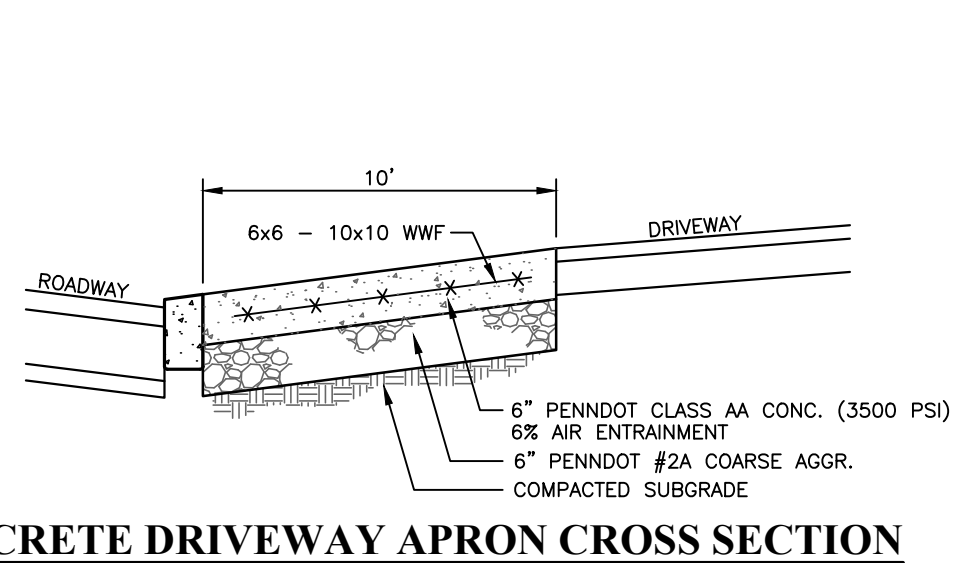
**DEPRESSED CURB FOR DRIVES DETAIL**  
(NOT TO SCALE)



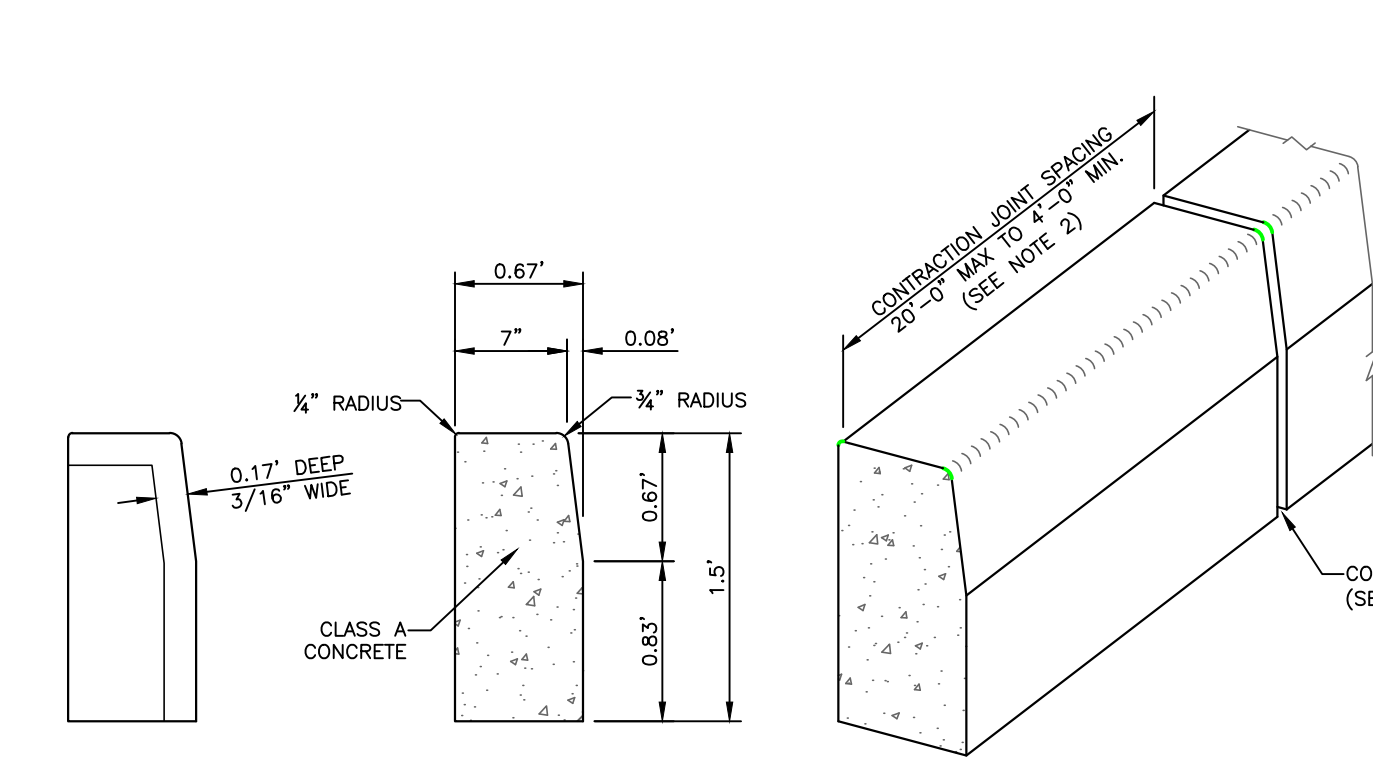
**TYPICAL SIDEWALK SECTION**  
(NOT TO SCALE)



**SAWMILL COURT CROSS SECTION**  
(NOT TO SCALE)



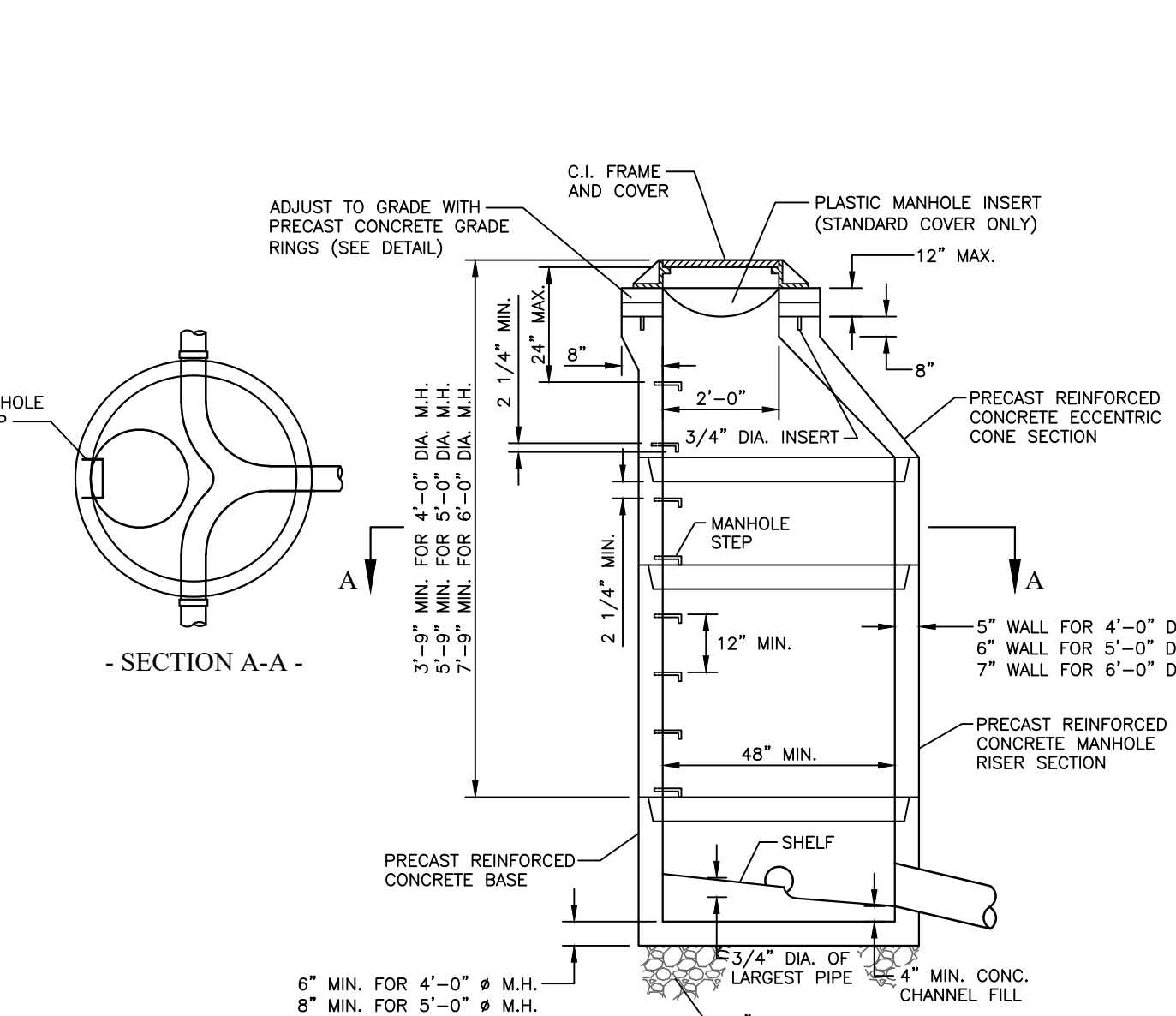
**CONCRETE DRIVEWAY APRON CROSS SECTION**  
(NOT TO SCALE)



**CONCRETE CURB**  
(NOT TO SCALE)

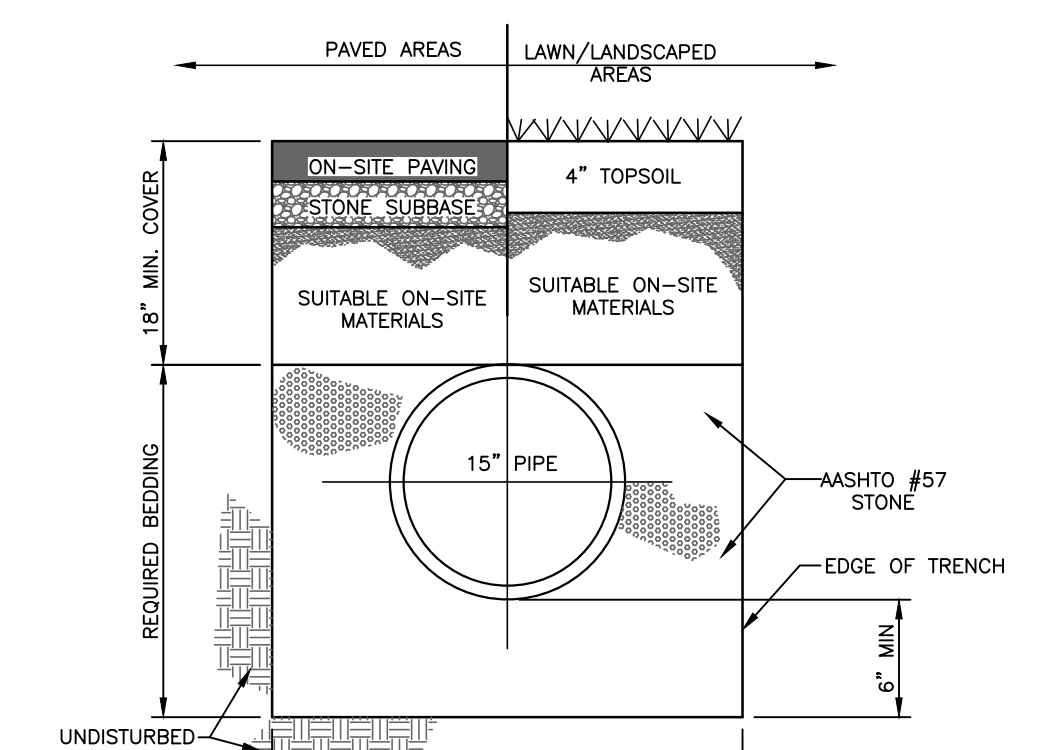
- NOTES**
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER.
  2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
  3. PLACE 3/4" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
  4. WHERE CURBS ARE INSTALLED ADJACENT TO PARKING LINES A 6" HIGH CURB REVEAL CAN BE UTILIZED WITH APPROVAL FROM THE LOCAL MUNICIPALITY.
  5. PROVIDE AN ASPHALTIC SEALER AT THE CURB TO PAVEMENT JOINT.

CONCRETE CURB  
(NOT TO SCALE)

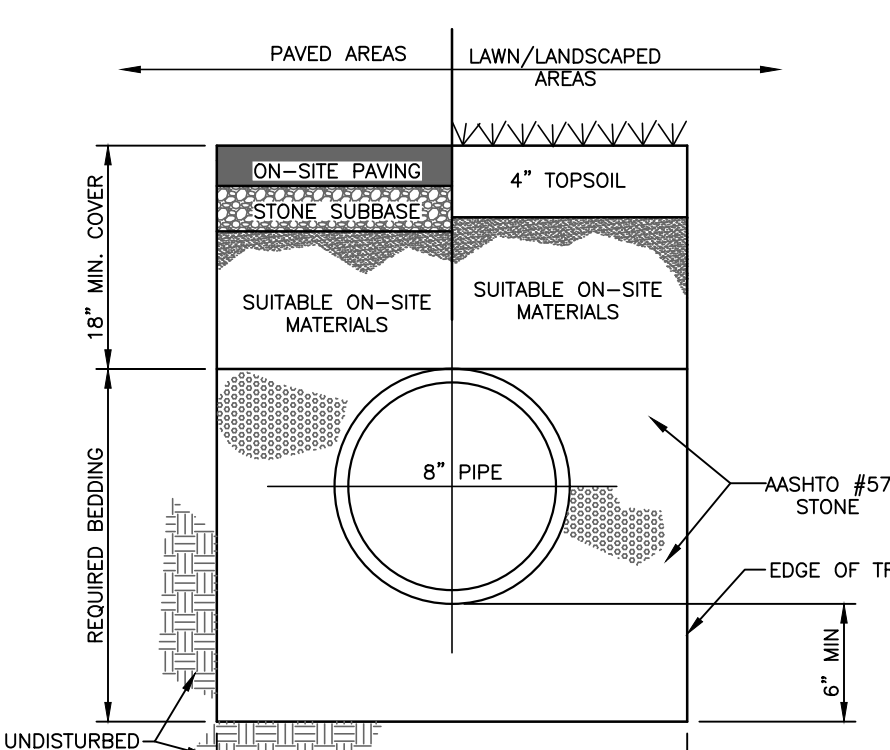


**PRECAST CONCRETE MANHOLE**  
(NOT TO SCALE)

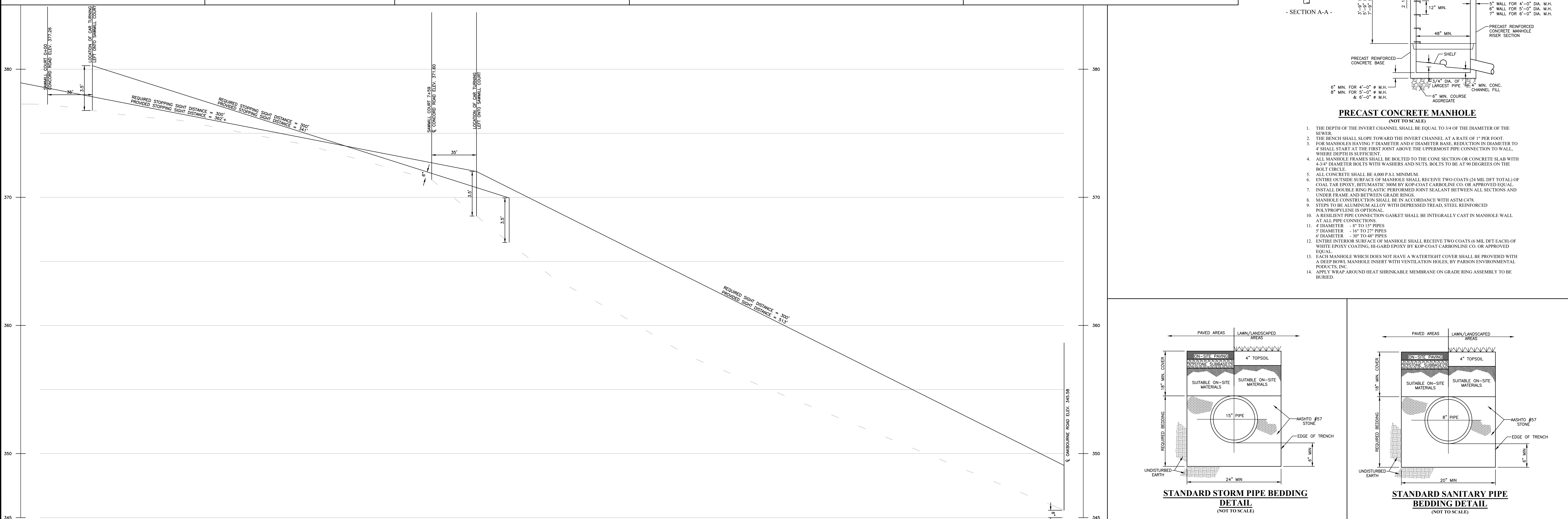
- NOTES**
1. THE DEPTH OF THE INVERT CHANNEL SHALL BE EQUAL TO 3/4 OF THE DIAMETER OF THE SEWER.
  2. THE BENCH SHALL SLOPE TOWARD THE INVERT CHANNEL AT A RATE OF 1" PER FOOT.
  3. FOR MANHOLES HAVING 5' DIAMETER AND 6' DIAMETER BASE, REDUCTION IN DIAMETER TO 5' SHALL START AT THE FIRST JOINT ABOVE THE UPPERMOST PIPE CONNECTION TO WALL, WHERE DEPTH IS SUFFICIENT.
  4. ALL MANHOLE FRAMES SHALL BE BOLTED TO THE CONC. SECTION OR CONCRETE SLAB WITH 4-3/4" DIAMETER BOLTS WITH WASHERS AND NUTS. BOLTS TO BE AT 90 DEGREES ON THE BOLT CIRCLE.
  5. ALL CONCRETE SHALL BE 4000 P.S.I. MINIMUM.
  6. ENTIRE OUTSIDE SURFACE OF MANHOLE SHALL RECEIVE TWO COATS (4 MIL DFT TOTAL) OF COAL TAR EPOXY BITUMASTIC 300M BY KOP-COAT CARBONLINE CO. OR APPROVED EQUAL.
  7. INSTALL DOUBLE RING PLASTIC PERFORMED JOINT SEALANT BETWEEN ALL SECTIONS AND UNDER FRAME AND BETWEEN RING RINGS.
  8. MANHOLE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ASTM C478.
  9. STEPS TO BE ALUMINUM ALLOY WITH DEEP TREAD. STEEL REINFORCED POLYPROPYLENE IS OPTIONAL.
  10. A RESILIENT PIPE CONNECTION GASKET SHALL BE INTEGRALLY CAST IN MANHOLE WALL AT ALL PIPE CONNECTIONS.
  11. 4" DIAMETER - 8" TO 15" PIPES  
5" DIAMETER - 16" TO 27" PIPES  
6" DIAMETER - 30" TO 48" PIPES
  12. ENTIRE INTERIOR SURFACE OF MANHOLE SHALL RECEIVE TWO COATS (4 MIL DFT EACH) OF WHITE EPOXY COATING, HIL-GARD EPOXY BY KOP-COAT CARBONLINE CO. OR APPROVED EQUAL.
  13. EACH MANHOLE WHICH DOES NOT HAVE A WATERTIGHT COVER SHALL BE PROVIDED WITH A DEEP BOWL MANHOLE INSERT WITH VENTILATION HOLES, BY PARSON ENVIRONMENTAL PRODUCTS, INC.
  14. APPLY WRAP AROUND HEAT SHRINKABLE MEMBRANE ON GRADE RING ASSEMBLY TO BE BURIED.



**STANDARD STORM PIPE BEDDING DETAIL**  
(NOT TO SCALE)



**STANDARD SANITARY PIPE BEDDING DETAIL**  
(NOT TO SCALE)



**SOUTH CONCORD ROAD SIGHT DISTANCE PROFILE**  
SCALE: (H) 1"=20' (V) 1"=2'

**INLAND DESIGN**  
Civil Engineers, Surveyors & Land Development Consultants  
16 Hagerty Blvd. West Chester, PA 19382  
Phone: (484) 947-2928 Fax: (484) 947-2946  
Info@InLandDesign.net

**JOEL D. COMANDA**  
ENGINEER  
PE#070740  
PENNSYLVANIA

No.	Date:	Description:
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
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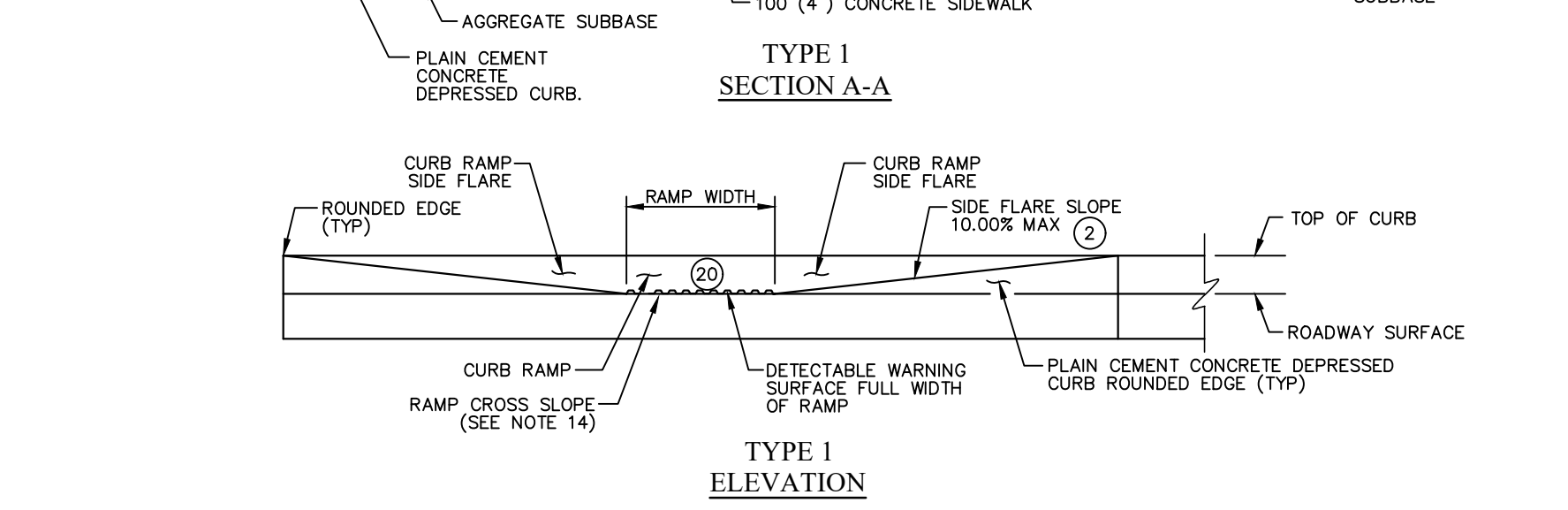
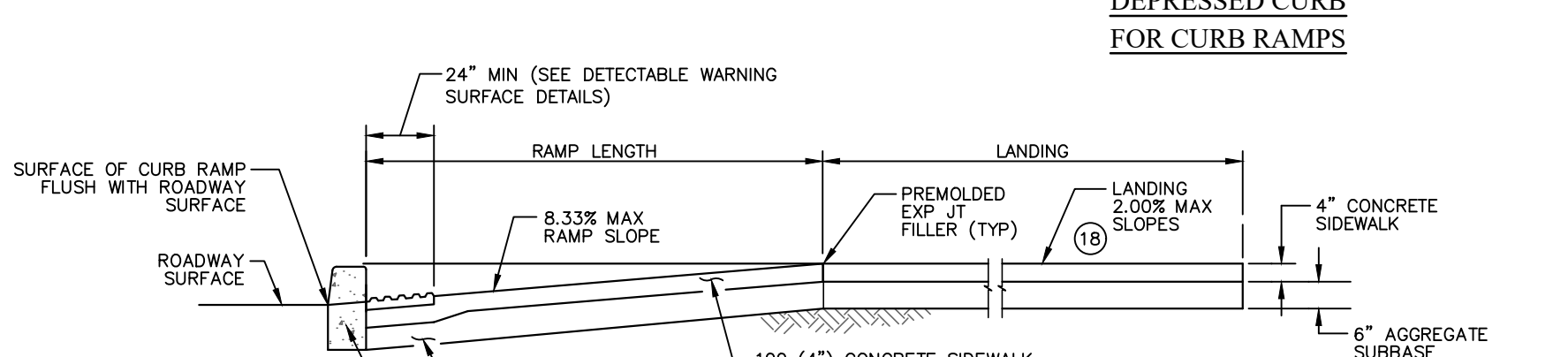
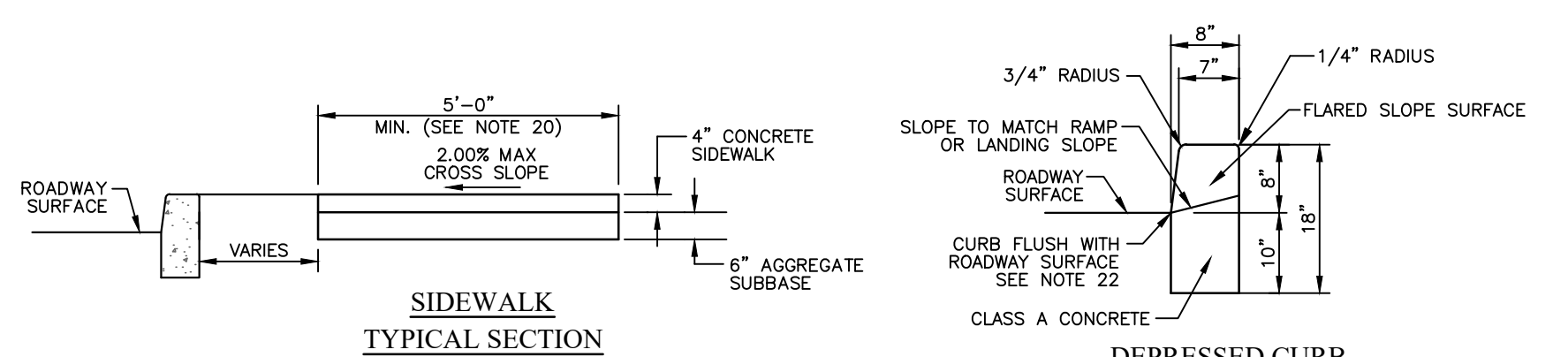
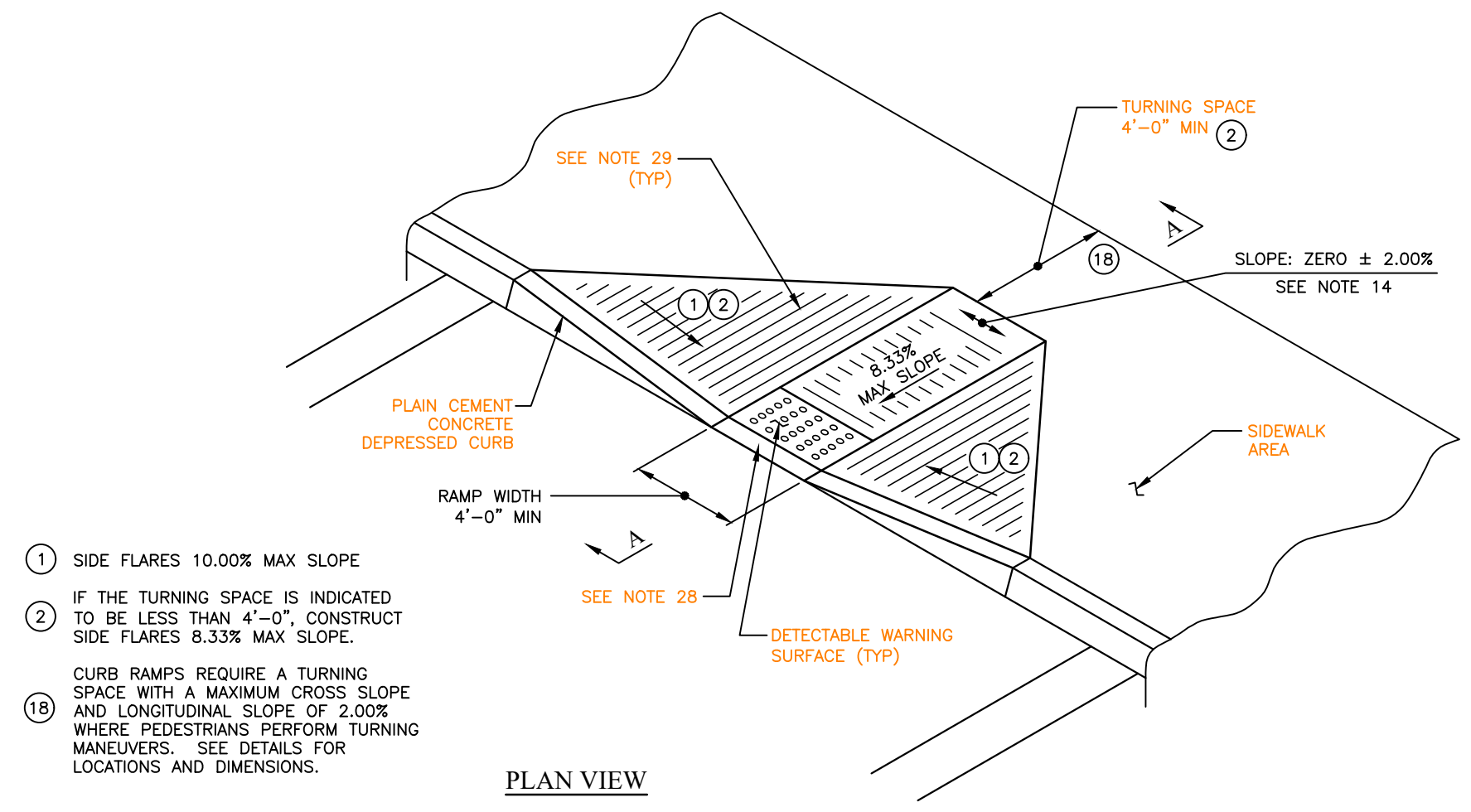
**PRELIMINARY/FINAL LAND DEVELOPMENT**

Date: 12/07/2020  
Scale: AS NOTED  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

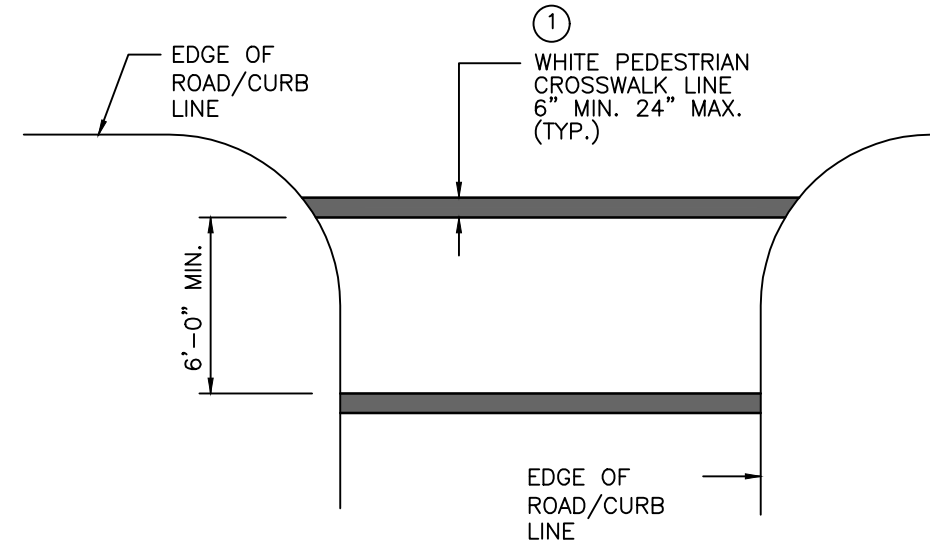
**CONSTRUCTION DETAILS 'B' FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET 19 OF 20**

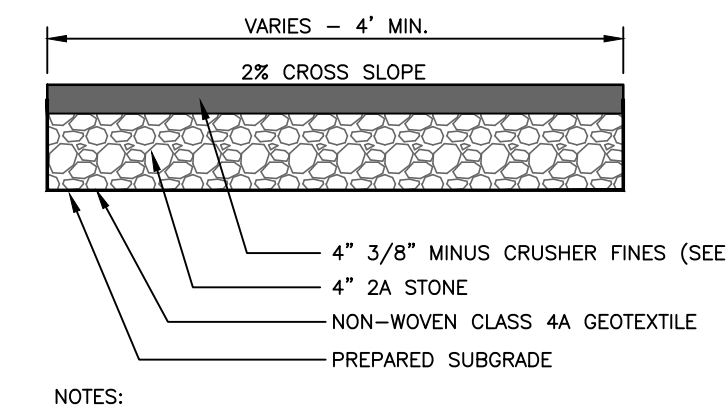




**TYPE I CURB RAMP**  
(NOT TO SCALE)

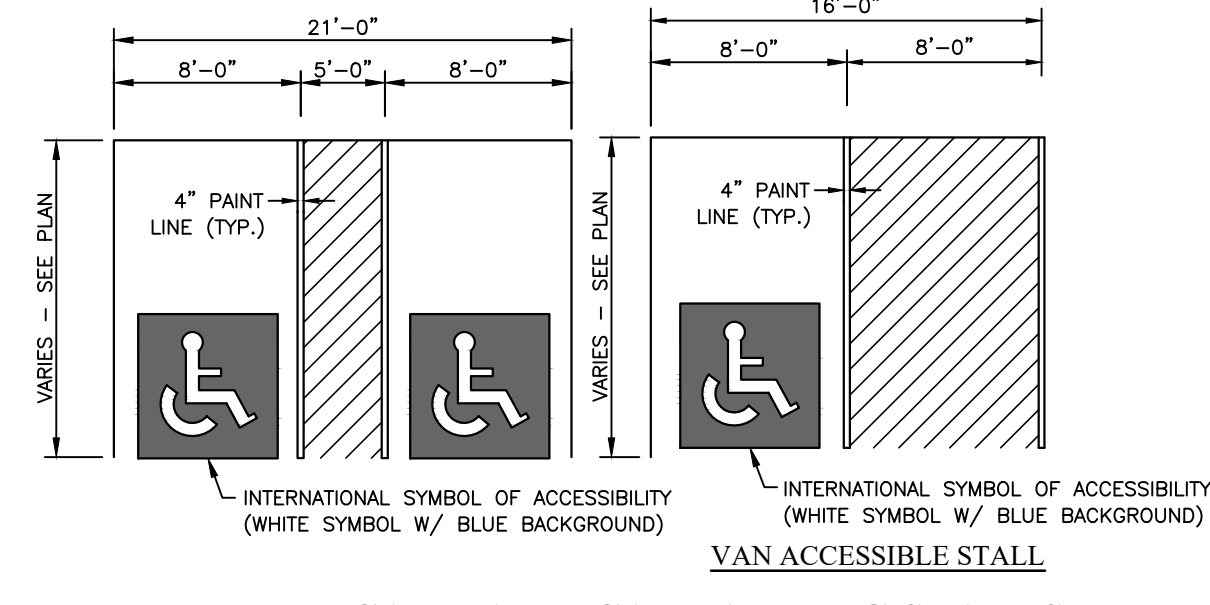


**TYPE A - PARALLEL STANDARD CROSSWALK MARKING**  
(NOT TO SCALE)



**TYPICAL WALKING TRAIL SECTION**  
(NOT TO SCALE)

- NOTES**
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 650, 676, 694, AND 695.
  2. PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FLUSH WITH ADJACENT CONCRETE SURFACE.
  3. CONSTRUCT CURB RAMPS WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEYOND THE CURB FACE WITHIN THE WIDTH OF THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. SEE SHEET 7 FOR CROSSWALK DETAILS.
  4. SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
  5. PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING SIDE FLARES.
  6. MOODY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 6" HEIGHT.
  7. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
  8. TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVERSING THE HEIGHT OF CURB RAMP LENGTH NOT TO EXCEED 12'-0" ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT FEASIBLE.
  9. NON-WALK AREA IS AN OBSTRUCTED OR GRASS/NON-PAVED AREA ADJACENT TO THE PEDESTRIAN ACCESS ROUTE THAT IS NOT USED BY THE PEDESTRIAN FOR ACCESS.
  10. THE DETAILS DEPICT PEDESTRIAN PUSHBUTTON POLES TO ILLUSTRATE THE RECOMMENDED ALIGNMENT OF PEDESTRIAN PUSHBUTTONS. FOR ALTERNATION PROJECTS, PROVIDE ACCESS TO EXISTING PEDESTRIAN PUSHBUTTONS TO THE MAXIMUM EXTENT FEASIBLE. INSTALL PEDESTRIAN PUSHBUTTON STUB POLES, WHERE APPLICABLE, SO AS NOT TO CREATE PEDESTRIAN OBSTRUCTIONS.
  11. SEE TIC-8803 FOR ADDITIONAL PEDESTRIAN PUSHBUTTON DETAILS NOT SHOWN.
  12. ALIGN DETECTABLE WARNING SURFACE TRUNCATED DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB. SEE SHEET 9 FOR INSTALLATIONS ALONG CURVED SURFACES.
  13. PROVIDE DETECTABLE WARNING SURFACES (DWS) 24" MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP.
  14. FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESSIBLE ROUTE.
  15. FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAX SLOPE ALLOWABLE. SLOPES THAT EXCEED THOSE INDICATED IN THE DETAILS OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
  16. CONSTRUCT SIDEWALKS AT A LONGITUDINAL SLOPE NOT TO EXCEED 5.00% FOR ROADWAY PROFILE SLOPES THAT EXCEED 5.00%. CONSTRUCT PARALLEL SIDEWALKS ADJACENT TO ROADWAY AT A LONGITUDINAL SLOPE NOT TO EXCEED ROADWAY PROFILE SLOPE.
  17. THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED AN ALGEBRAIC DIFFERENCE OF 13.33%. THE COUNTER SLOPE OF THE CUTTER OR ROAD AT THE FOOT OF A CURB RAMP, TURNING SPACE OR BLENDED TRANSITION IS NOT TO EXCEED 5.00%. SEE SHEET 8 FOR DETAILS.
  18. THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
  19. ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 6" CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 4'-0" FOR A 12:1 SLOPE).
  20. SIDEWALK WIDTH MAY BE REDUCED TO 4'-0", WHEN PASSING AREAS 5'-0" X 5'-0" ARE PROVIDED EVERY 200'.
  21. THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST. THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
  22. CONSTRUCT DEPRESSED CURB FOR CURB RAMPS FLUSH TO ADJACENT ROADWAY. GRADE EDGE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT POHOLES. FOR LEVEL TURNING SPACES BEHIND DEPRESSED CURB, ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE AT THE JOINT BETWEEN DEPRESSED CURB AND ROADWAYS. REMOVE EXCESS JOINT SEALER AND COVER THE SEALED AREA WITH A LIGHT APPLICATION OF DRY SAND.
  23. CHEEK WALLS ARE PERMITTED WHEN ADJACENT TO NON-WALK AREAS OR ELEVATION DIFFERENCES CANNOT BE ACCOMMODATED BY FLARES OR GRADING. GRASS AREAS OR OTHER NON-WALK AREAS AT 3:1 OR FLATTER. DO NOT INSTALL CHEEK WALLS THAT INTERSECT THE PEDESTRIAN PATH.
  24. CONSTRUCT TOP OF PLAIN CEMENT CONCRETE DEPRESSED CURB TO BE FLUSH WITH ADJACENT SURFACES (RAMPS, SIDEWALKS, FLARES).
  25. FOR CURB RAMPS THAT LEAD TO A SINGLE CROSSWALK, THE RAMP (EXCLUDING FLARES) IS TO BE FULLY INSIDE OF MARKED CROSSWALK LINES. SEE SHEET 7 FOR DETAILS.
  26. A 4'-0" MAXIMUM DIGITAL DISPLAY LEVEL WILL BE USED TO VERIFY THE SLOPES OF CURB RAMPS AND SIDEWALKS.
  27. INSTALL DUMMY JOINTS WHERE RAMPS, TURNING SPACES, FLARES, AND SIDEWALKS ABUT.
  28. CONSTRUCT DEPRESSED CURB SLOPE TO MATCH ROADWAY PROFILE AND HAVE A FLUSH CONNECTION. TRANSITION CURB RAMP CROSS SLOPE TO MATCH ROADWAY PROFILE AS GRADUALLY AS POSSIBLE. DO NOT EXCEED 3.00% PER 1'-0" CROSS SLOPE RATE OF CHANGE WHEN TRANSITIONING TO ROADWAY PROFILE.
  29. DO NOT SCORE OR MAKE GROOVES ON SLOPED SURFACES. LINES SHOWN ON DETAILS ARE FOR ILLUSTRATION ONLY. SEE NOTE 5.



**TYPICAL HANDICAP PARKING STALLS**  
(NOT TO SCALE)

LAAYOUT SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS SECTION 4.6.3 & 4.30.

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Pennsylvania One Call System  
PA, act 172 of 1986 requires  
Serial Numbers  
**20201921658**

PENNSYLVANIA ACT 187 REQUIREMENTS:  
Inland Design, LLC does not guarantee the accuracy of the location for existing utility safety structures shown on the plans. nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

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JOEL D. COMANDA  
REGISTERED PROFESSIONAL ENGINEER  
PE070740  
PENNSYLVANIA

No.	Date:	Description:
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEW

**PRELIMINARY/FINAL LAND DEVELOPMENT**

Date:  
**12/07/2020**  
Scale:  
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Drawn by:  
TMW  
Checked by:  
JDC  
Project No.  
**11541**

**CONSTRUCTION DETAILS 'C'**  
FOR  
**SAWMILL COURT**  
**914-924 S. CONCORD ROAD**  
**WEST CHESTER, PENNSYLVANIA, 19382**  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

S H E E T  
**20**  
OF 20