



INLAND DESIGN

Civil Engineers, Surveyors & Land Development Consultants

March 25, 2021

Westtown Township
John Altshul, Township Manager
1039 Wilmington Pike
West Chester, PA 19395

**Re: Sawmill Court
Preliminary/Final Land Development
Response to Carrol Engineering Review letter dated December 29, 2020
Inland Design Project No. 11541**

Mr. Altshul:

We are in receipt of the review letter from Carrol Engineering dated December 29 2020, for the above referenced project. Based on the comments contained in that letter we have revised the plans and offer the following responses:

General

1. The plan proposes construction of 20 single family semi-detached homes on an existing 6.3-acre parcel (UPI 67-4-82). There are also 3 open space parcels to be created.

No response required.

2. The project is located 914-924 South Concord Road in the M-U Multi-use district.

No response required.

3. Sanitary sewer service will be provided by a gravity sewer extension extending from the site across a proposed sanitary sewer easement on the adjacent property at 611 Oakbourne Road to Oakbourne Road, and then in Oakbourne Road to the Township's existing sewer at the intersection of Oakbourne Road and Trellis Lane. Wastewater will be conveyed by the Wild Goose Pump Station to West Goshen Township for treatment.

The proposed sewer alignment results in a second sewer connection to the pump station, which is contrary to the Township's requirements. If the proposed sewers cannot be connected to the existing sewer in Trellis Lane, the existing sewer must be extended to a common manhole in front of the pump station; the existing sewer to the pump station abandoned, and the existing opening in the wet well sealed.

The sewer has been re-aligned based on conversations with Carrol Engineering and no longer calls for a second connection to the wet well.

- Sanitary sewer easements are proposed across the lots 10 and 11 from Sawmill Court to Open Space C, and across Open Space C. The easements should be labeled on the drawings. Legal descriptions and plans of the proposed easement should be submitted to this office for review. The Site Plan shows walkways from the driveways to the houses will be partly within the sewer easements. Easement agreements should hold the Township harmless for any damage to owner's property and injury resulting from any persons use of owner's property in the easement.

The proposed sanitary sewer easement has been labelled on the plans. Legal Descriptions and easement agreements will be provided for review prior to recording.

- Proposed sewers cross Open Space C. General Note 1 on the Cover Sheet states that open space will be owned by a Homeowners Association. A proposed trail crosses the sewer easement. In our prior review, we indicated that the sewer easement agreement shall require the Homeowner's Association (or owner of the trails) to hold the Township harmless. The applicant's response is that the Township will be held harmless for any damage to the trails within the easement. While this is acceptable, we recommend that any agreement holds the Township harmless for any damage or injury resulting from any persons use of the trail.

The easement agreement will reflect the requirement that the Township will be held harmless for any damage to trails or damage or injury resulting from any persons use of the trails within the easement. Easement agreements will be submitted to the township for review prior to recording.

Planning Exemption

- The Applicant's Consultant should confirm that the project qualifies for a planning exemption. The development will connect to the Wild Goose Pump Station. The pump station has sufficient capacity for the proposed EDU's. However, if the total flow including the new EDU's exceeds the permitted capacity, a new permit will be required. If so, a full planning module may be required. The Township should provide this office with a copy of the pump station permit to confirm the permitted capacity.

The applicant is coordinating with Westtown Township and West Goshen Township to verify the sewage planning status of the project.

Sanitary Sewer

- General note 11 should be revised to state that the proposed sewers will be dedicated to Westtown Township.

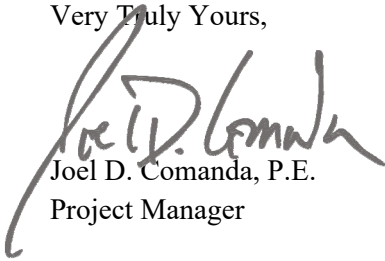
The reference in the General Notes was revised to refer to Westtown Township.

- Details for sanitary sewer construction should be included in the drawings. We will provide copies of details to the Applicant's Consultant.

Sanitary sewer construction details are shown on the plans. The notes also require that construction of the sanitary sewer be performed according to the standards of Westtown Township. If Township standard details are provided Inland Design will add them to the plans.

We trust that the plans adequately address the comments of the Township Consultants. Please feel free to contact me with any questions or comments regarding this matter.

Very Truly Yours,



Joel D. Comanda, P.E.
Project Manager

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