



Civil Engineers, Surveyors & Land Development Consultants

April 21, 2021

Westtown Township
John Altshul, Township Manager
1039 Wilmington Pike
West Chester, PA 19395

**Re: Sawmill Court
Preliminary/Final Land Development
Response to Albert Federico Consulting, LLC Review letter dated April 12, 2021
Inland Design Project No. 11541**

Mr. Altshul:

We are in receipt of the review letter from Albert Federico Consulting, LLC dated April 12, 2021, for the above referenced project. Based on the comments contained in that letter we have revised the plans and offer the following responses:

1. As previously noted,
 - a. Sawmill Court is proposed to be constructed with a minimum (150') horizontal radius and significant sag vertical curve. Sharp horizontal curvature should not be introduced near the bottom of a steep grade approaching or near the lowpoint of a pronounced sag vertical curve. The Applicant has indicated that the alignment is necessitated by the constraints of the site.
No additional response required.
 - b. Provide an exhibit demonstrating that pedestrian crossings of Sawmill Court can be constructed in accordance with applicable accessibility standards. *{§149- 916B}*. As presented the proposed vertical alignment of Sawmill Court will not provide a compliant cross-slope (2% max) through the pedestrian crossing.
The profile of Sawmill Court has been modified to provide the 2% cross slope through the pedestrian crossings. Spot grades at the ramps and crossings have been updated accordingly.
 - c. Where practicable, blocks along collector streets shall not be less than 1,000' long. *{§149-913D}* The Applicant is requesting a waiver.
No additional response required.
 - d. Consideration should be given to future pedestrian connectivity along South Concord Road. This should include bringing the trail closer to the site's northeast and southeast corners and providing appropriate easements to facilitate the future connections. *{§149-916}* The

Applicant has offered an easement (Sheet 4, General Note 14) permitting future connections.

No additional response required.

2. As discussed at the April 7 Planning Commission Meeting future submissions will include sidewalk along Concord Road and Sawmill Court. Note that per PennDOT five feet is the preferred width for sidewalks. Additionally, consideration should be given to providing a green space to separate the sidewalk from South Concord Road to the maximum amount feasible.

5' wide sidewalk has been added along South Concord Road and along the inner side of Sawmill Court.

3. The limits of the off-street parking be adjusted to remove the excess paved areas or mark the end areas to indicate no parking.

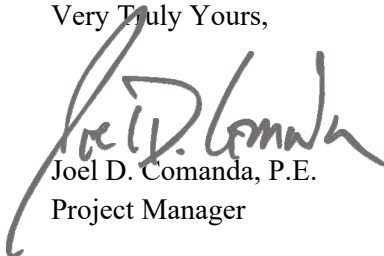
The curb in this area has been adjusted as requested.

4. Provide a third "No Parking" along Sawmill Court in the vicinity of lots 14 and 15.

A third "No Parking" Sign has been added between Lots 14 and 15.

We trust that the plans adequately address the comments of the Township Consultants. Please feel free to contact me with any questions or comments regarding this matter.

Very Truly Yours,



Joel D. Comanda, P.E.
Project Manager

C: file