

RESIDENTIAL DEVELOPMENT

ART. VI - R1 RESIDENTIAL DISTRICT
SECT. 170-501.C. CONDITIONAL USES
(2) RESIDENTIAL DEVELOPMENT (FLEXIBLE DEVELOPMENT PROCEDURE - ARTICLE IX)

Table with 3 columns: AREA AND BULK REGULATIONS, REQUIRED, PROPOSED. Rows include Max. Net Residential Density, Min. Distance from Curbs, etc.

TRACT AREA CALCULATION table showing Tract Area (Gross), Ex. Legal R/W, Area Equal to 75% of Floodplain, etc.

DENSITY CALCULATION table showing Base Density, Bonus Density, and Maximum Density.

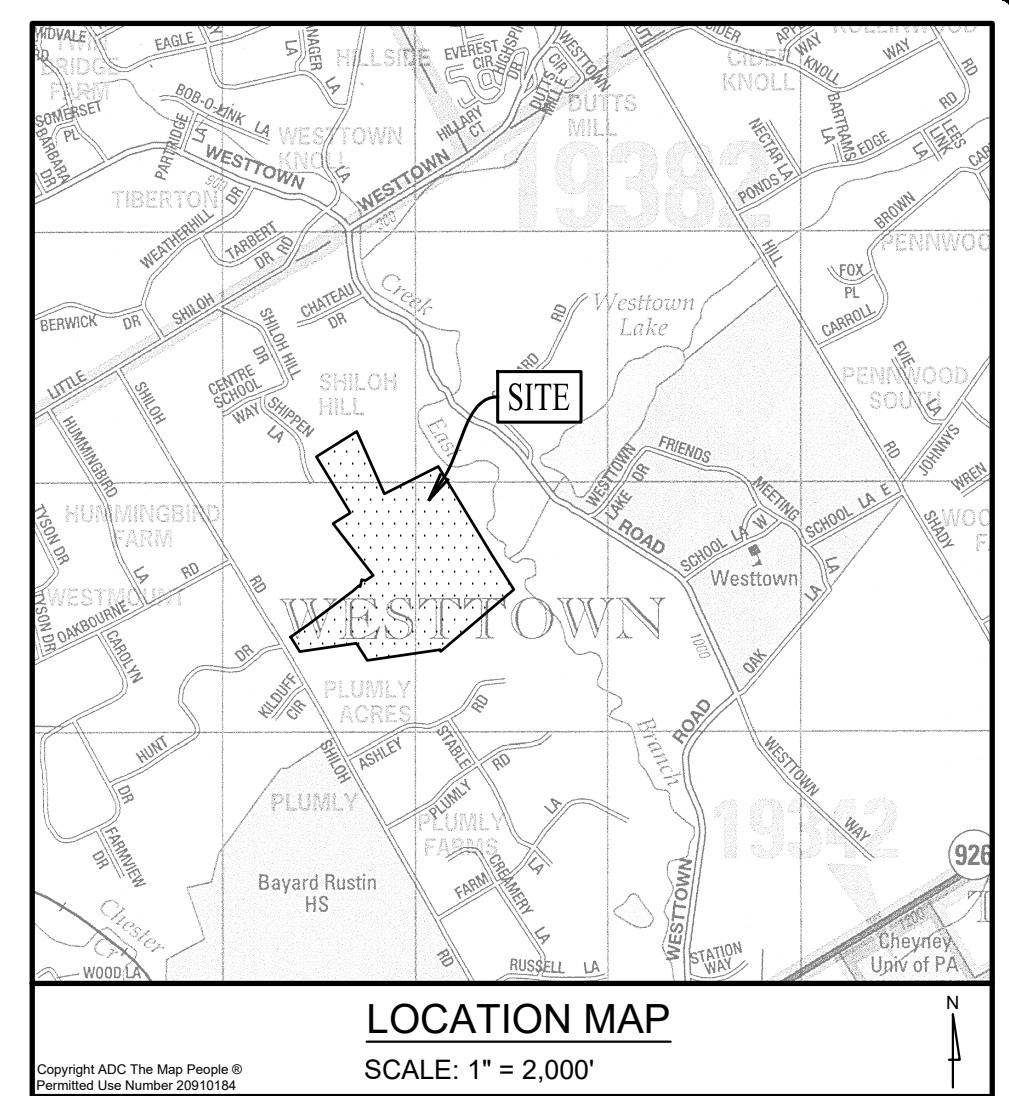
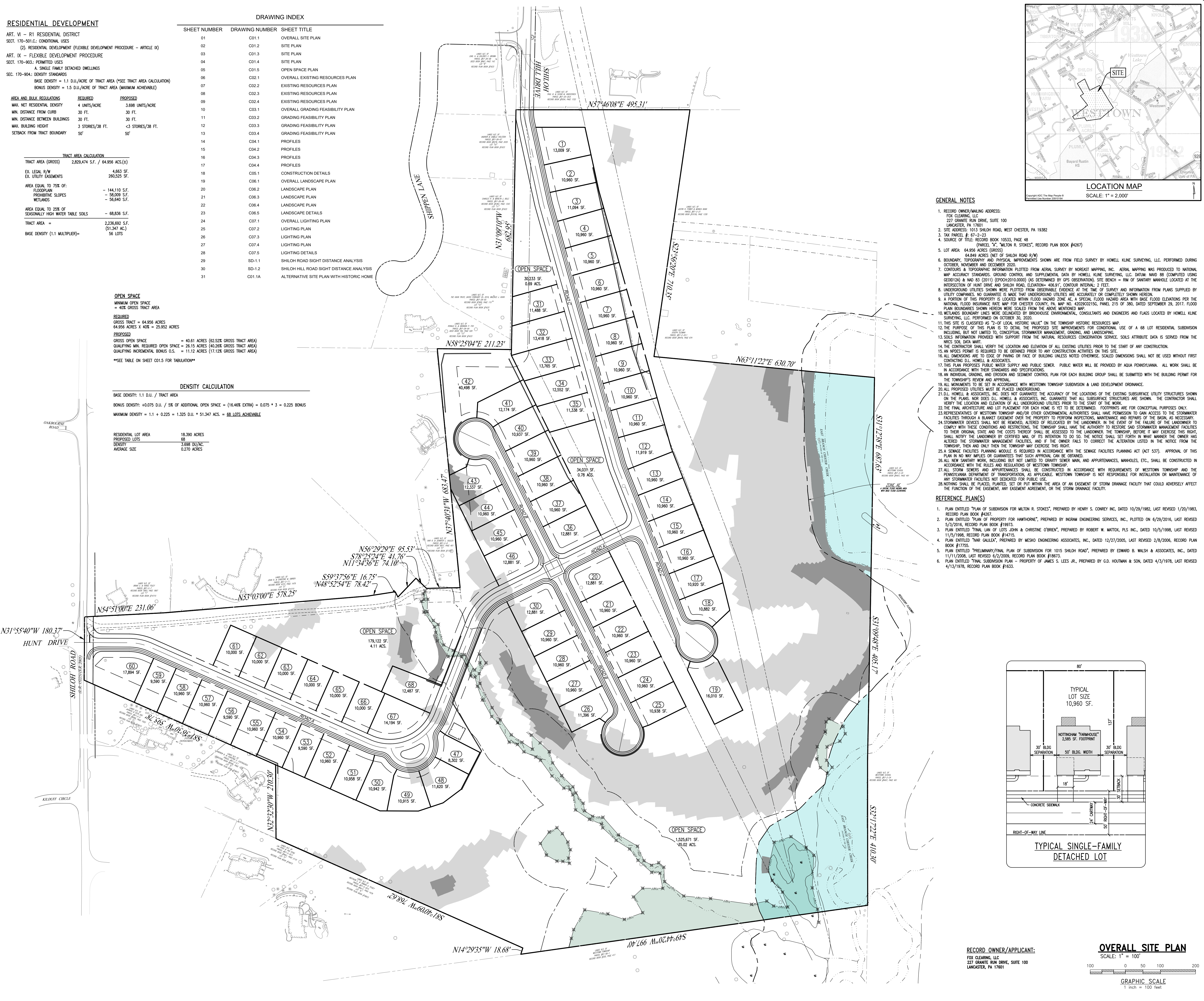
RESIDENTIAL LOT AREA table showing Proposed Lots, Density, and Average Size.

DRAWING INDEX

Table with 3 columns: SHEET NUMBER, DRAWING NUMBER, SHEET TITLE. Lists sheets C01.1 through C01.1A.

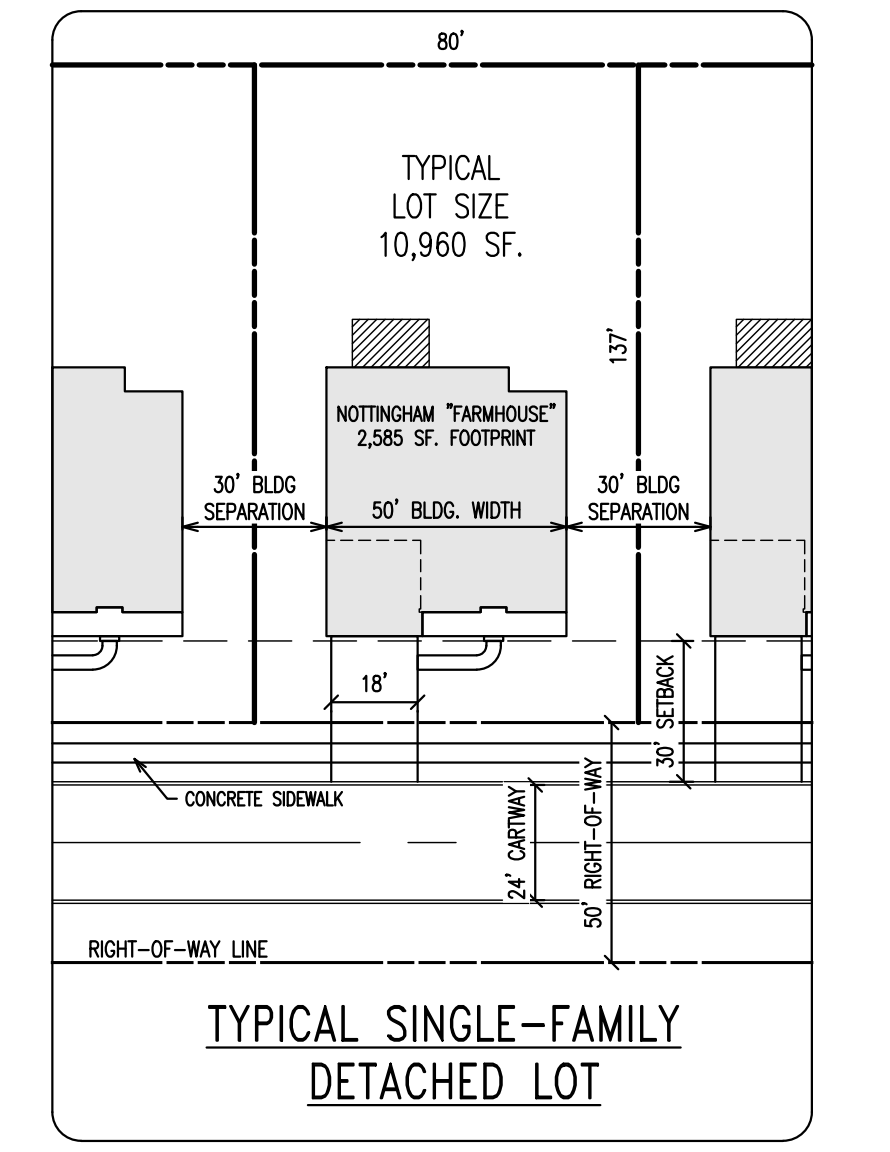
LEGEND

- Legend items: EX. PROPERTY LINE, PROP. PROPERTY LINE, EX. RIGHT-OF-WAY, PROP. RIGHT-OF-WAY, EX. MONUMENT, PROP. MONUMENT, EX. IRON PIPE, PROP. IRON PIPE, EX. EASEMENT, PROP. EASEMENT, EX. WETLAND, PROP. WETLAND, EX. EXISTING CONTOUR, PROP. PROPOSED CONTOUR, EX. SPOT ELEV., NEW SPOT ELEV., EX. SOILS TYPE, SOILS LINE, EX. CONC. CURB, PROP. CONC. CURB, EX. CONC. CURB, PROP. CONC. CURB, EX. LIGHT POLE, PROP. LIGHT POLE, EX. FENCE, EX. MAIL BOX, EX. SIGN, PROP. SIGN, EX. EXIST. PARKING SPACES, PROP. PARKING SPACES, EX. TELE. LINE, PROP. TELE. LINE, EX. ELEC. LINE, PROP. ELEC. LINE, EX. UTILITY POLE, PROP. UTILITY POLE, EX. GUY ANCHOR, EX. GAS LINE, PROP. GAS LINE, EX. GAS VALVE, PROP. GAS VALVE, EX. STORM SEWER LINE, PROP. STORM SEWER LINE, EX. STORM ALLEY, PROP. STORM ALLEY, EX. STORM INLET, PROP. STORM INLET, EX. STORM INLET ID, PROP. STORM INLET ID, EX. SEEPAGE BED, PROP. SEEPAGE BED, EX. SANITARY SEWER LINE, PROP. SAN. SEWER LINE, EX. SAN. SEWER LATERAL, PROP. SAN. SEWER LATERAL, EX. SANITARY MH. ID, PROP. SANITARY MH. ID, EX. WATER LINE, PROP. WATER LINE, EX. WATER LATERAL, PROP. WATER LATERAL, EX. FIRE WATER LINE, PROP. FIRE WATER LINE, EX. WATER VALVE, PROP. WATER VALVE, EX. HYDRANT, PROP. HYDRANT, EX. MANHOLE, PROP. MANHOLE



GENERAL NOTES
1. RECORD OWNER/MAILING ADDRESS: FOX CLEARING, LLC
2. SITE ADDRESS: 1013 SHILOH ROAD, WEST CHESTER, PA 19382
3. TAX PARCEL #: 67-2-23
4. SOURCE OF TITLE: RECORD BOOK 10533, PAGE 48
5. LOT AREA: 64,956 ACRES (GROSS)
6. BOUNDARY, TOPOGRAPHY AND PHYSICAL IMPROVEMENTS SHOWN ARE FROM FIELD SURVEY BY HOWELL KLINE SURVEYING, L.L.C. PERFORMED DURING OCTOBER, NOVEMBER AND DECEMBER 2020.

REFERENCE PLAN(S)
1. PLAN ENTITLED 'PLAN OF SUBDIVISION FOR MILTON R. STOKES', PREPARED BY HENRY S. CORREY, INC. DATED 10/29/1982, LAST REVISED 1/20/1983, RECORD PLAN BOOK #4267.
2. PLAN ENTITLED 'PLAN OF PROPERTY FOR HAWTHORNE', PREPARED BY INGRAM ENGINEERING SERVICES, INC. PLOTTED ON 6/29/2016, LAST REVISED 5/3/2016, RECORD PLAN BOOK #19173.



RECORD OWNER/APPLICANT: FOX CLEARING, LLC
227 GRANITE RUN DRIVE, SUITE 100 LANCASTER, PA 17601
OVERALL SITE PLAN SCALE: 1" = 100'
GRAPHIC SCALE 1 inch = 100 feet



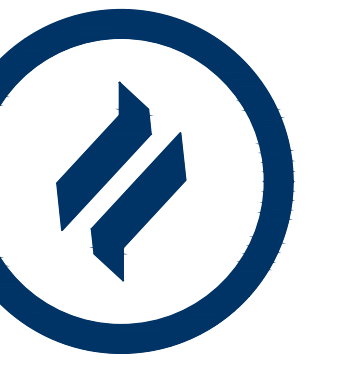
1250 Wrights Lane West Chester, PA 19380 Phone: (610) 918-9002 Fax: (610) 918-9003

Table with 2 columns: REV, DATE. Shows revision 1 on 08/31/21.

Table with 2 columns: REV, DESCRIPTION. Lists various revisions to the plan.

CONDITIONAL USE OVERALL SITE PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

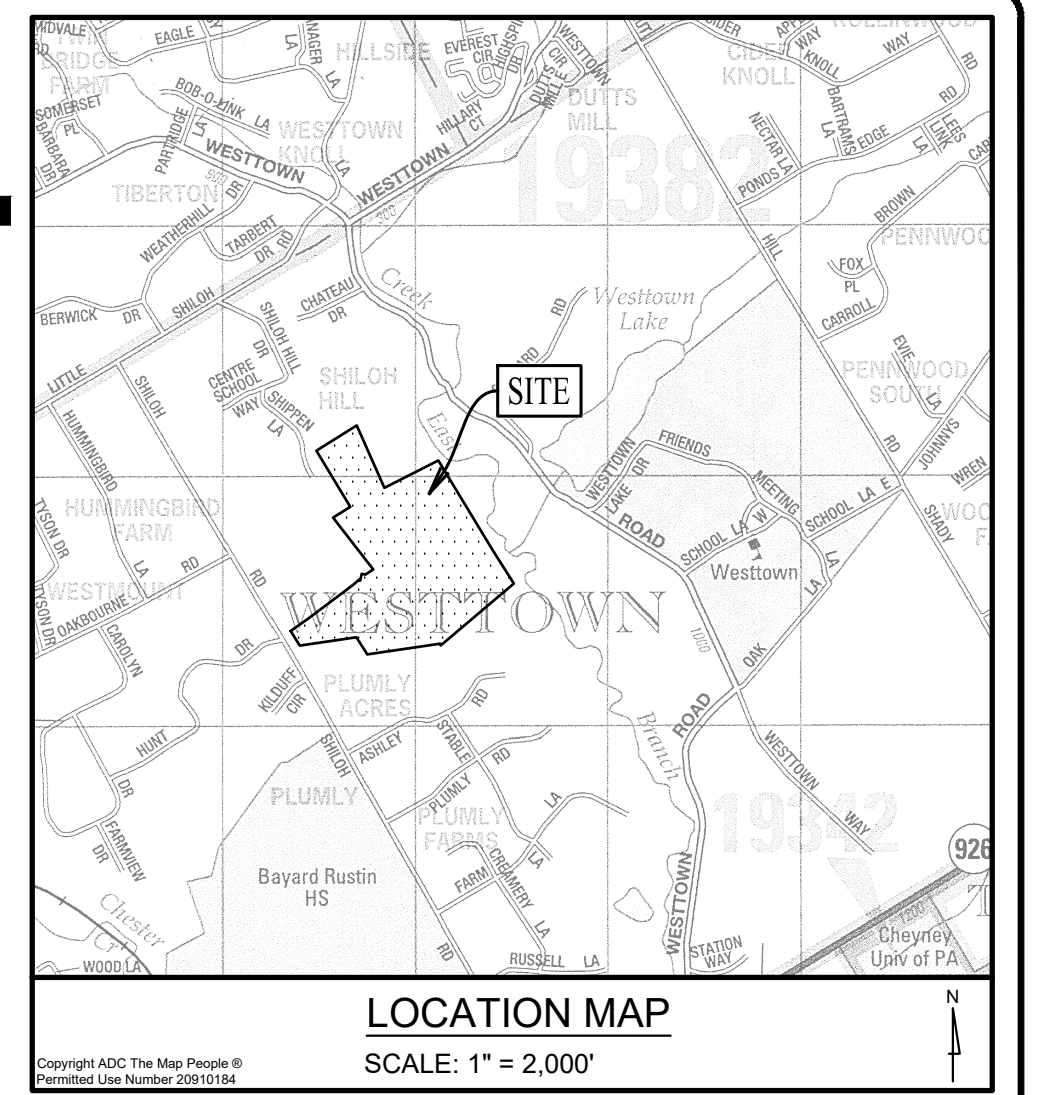
Table with 2 columns: DATE, SCALE, DRAWN BY, CHECKED BY, PROJECT NO., CAD FILE, PLOTTED, DRAWING NO., SHEET. Shows project details like Project No. 3868 and Drawing No. C01.1.



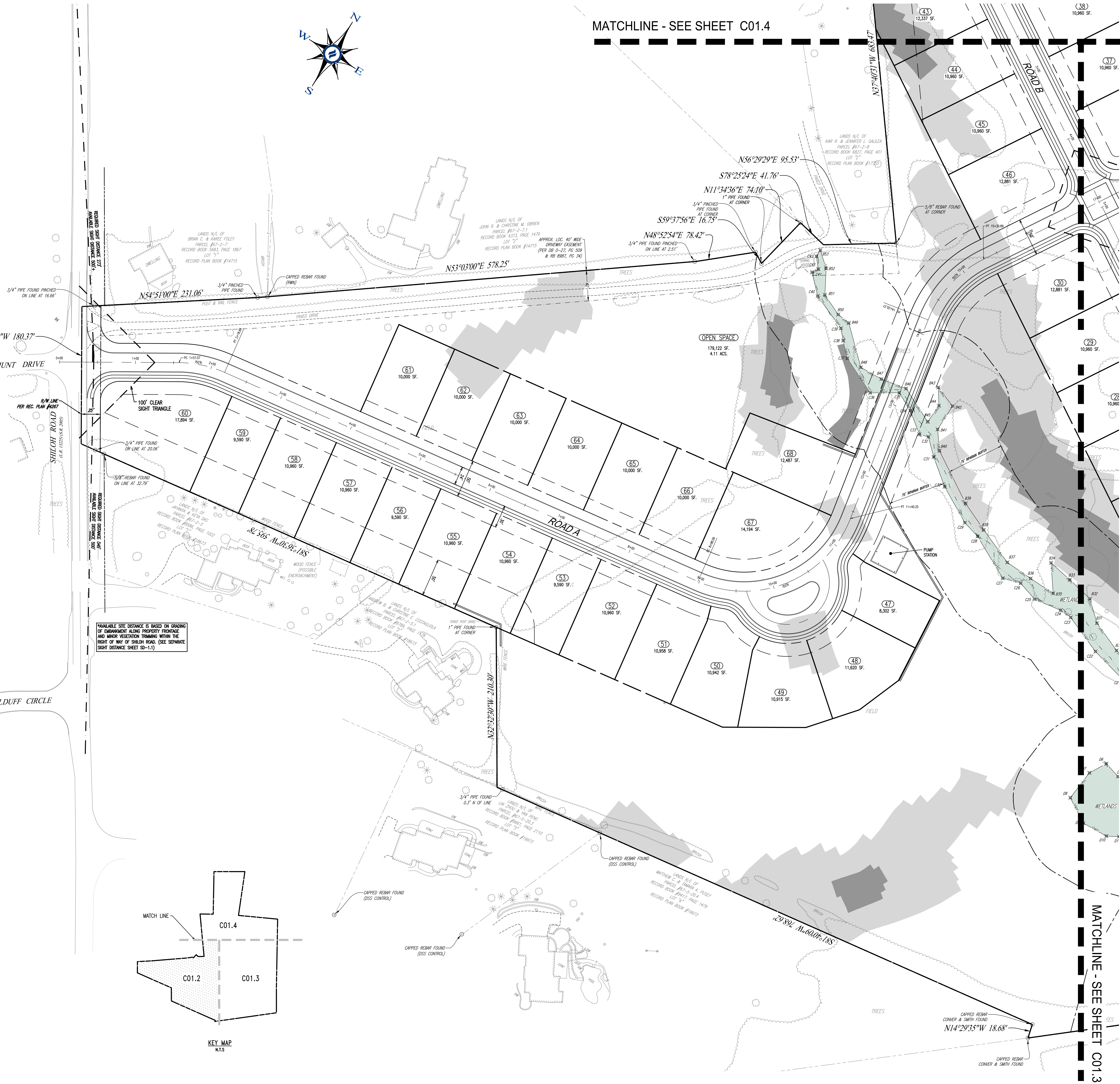
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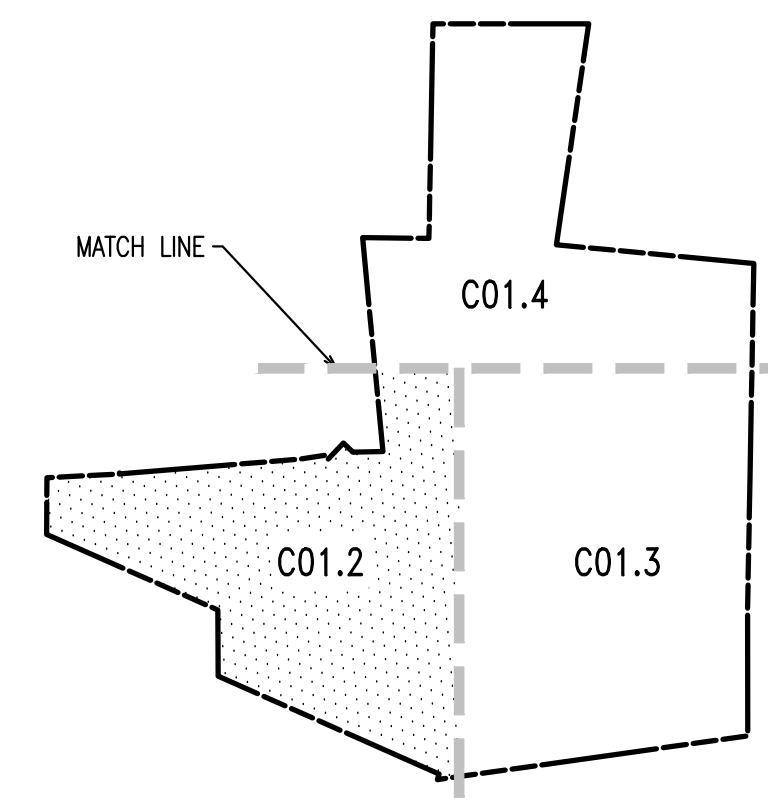


MATCHLINE - SEE SHEET C01.4



- LEGEND**
- EX. PROPERTY LINE
 - PROP. PROPERTY LINE
 - EX. RIGHT-OF-WAY
 - PROP. RIGHT-OF-WAY
 - EX. MONUMENT
 - PROP. MONUMENT
 - EX. IRON PIPE
 - PROP. IRON PIPE
 - EX. EASEMENT
 - PROP. EASEMENT
 - EX. WETLANDS
 - PROP. WETLANDS
 - EX. EXISTING CONTOUR
 - PROP. PROPOSED CONTOUR
 - EX. EXISTING SPOT ELEV.
 - PROP. NEW SPOT ELEV.
 - EX. SOILS TYPE
 - PROP. SOILS LINE
 - EX. CONC. CURB
 - PROP. CONC. CURB
 - EX. EDGE OF PAVING
 - PROP. EDGE OF PAVING
 - EX. LIGHT POLE
 - PROP. LIGHT POLE
 - EX. FENCE
 - PROP. FENCE
 - EX. MAIL BOX
 - PROP. MAIL BOX
 - EX. SIGN
 - PROP. SIGN
 - EX. EXIST. PARKING SPACES
 - PROP. PARKING SPACES
 - EX. TELE. LINE
 - PROP. TELE. LINE
 - EX. ELEC. LINE
 - PROP. ELEC. LINE
 - EX. UTILITY POLE
 - PROP. UTILITY POLE
 - EX. GUY ANCHOR
 - PROP. GUY ANCHOR
 - EX. GAS LINE
 - PROP. GAS LINE
 - EX. GAS VALVE
 - PROP. GAS VALVE
 - EX. STORM SEWER LINE
 - PROP. STORM SEWER LINE
 - EX. STORM INLET
 - PROP. STORM INLET
 - EX. STORM INLET ID
 - PROP. STORM INLET ID
 - EX. SEEPAGE BED
 - PROP. SEEPAGE BED
 - EX. SANITARY SEWER LINE
 - PROP. SAN. SEWER LINE
 - EX. SAN. SEWER LATERAL
 - PROP. SAN. SEWER LATERAL
 - EX. SANITARY MH. ID
 - PROP. SANITARY MH. ID
 - EX. WATER LINE
 - PROP. WATER LINE
 - EX. WATER LATERAL
 - PROP. WATER LATERAL
 - EX. FIRE WATER LINE
 - PROP. FIRE WATER LINE
 - EX. WATER VALVE
 - PROP. WATER VALVE
 - EX. HYDRANT
 - PROP. HYDRANT
 - EX. MANHOLE
 - PROP. MANHOLE
 - EX. ZONE AE FLOODPLAIN
 - PROP. ZONE AE FLOODPLAIN
 - EX. 15%+ SLOPES
 - PROP. 15%+ SLOPES
 - EX. 25%+ SLOPES
 - PROP. 25%+ SLOPES
 - EX. WETLANDS
 - PROP. WETLANDS

AVAILABLE SITE DISTANCE IS BASED ON GRADING OF EMBANKMENT ALONG PROPERTY FRONTAGE AND BANK VEGETATION TRIMMING WITHIN THE RIGHT OF WAY OF SHILOH ROAD. (SEE SEPARATE SIGHT DISTANCE SHEET SD-11)



SITE PLAN
SCALE: 1"=50'
GRAPHIC SCALE
1 inch = 50 feet

REV.	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
2		
3		
4		
5		
6		
7		
8		

**CONDITIONAL USE
SITE PLAN**

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

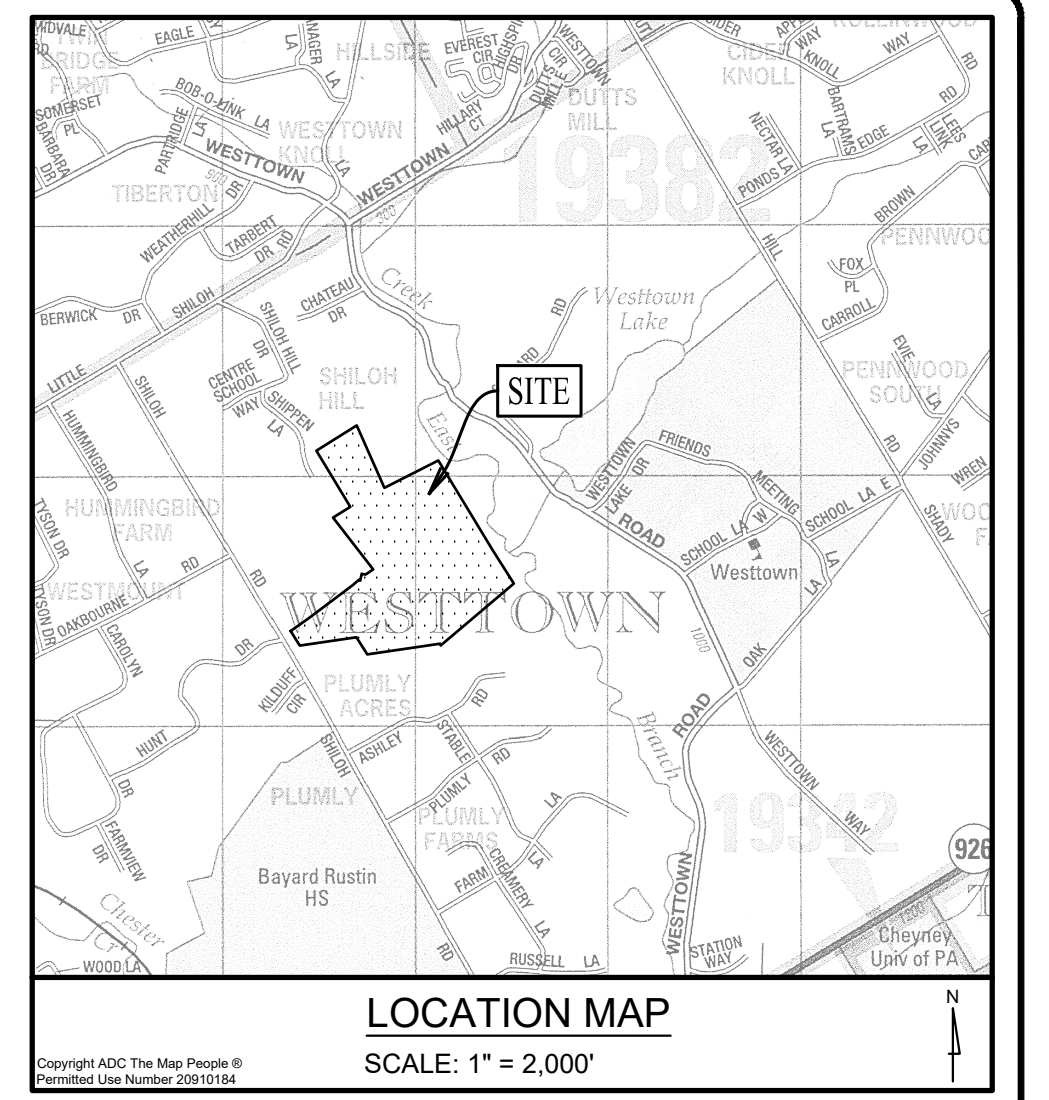
DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: 01 SITE PLAN.dwg
PLOTTER: 08/31/21
DRAWING NO.: C01.2
SHEET 02 of 31



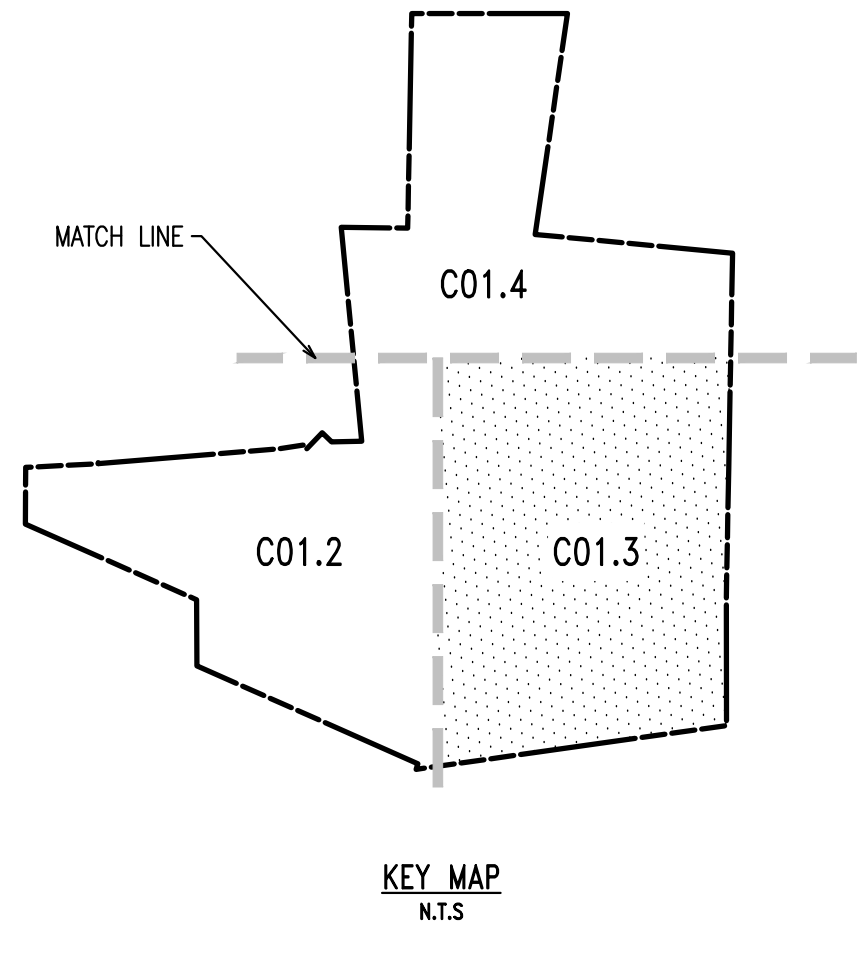
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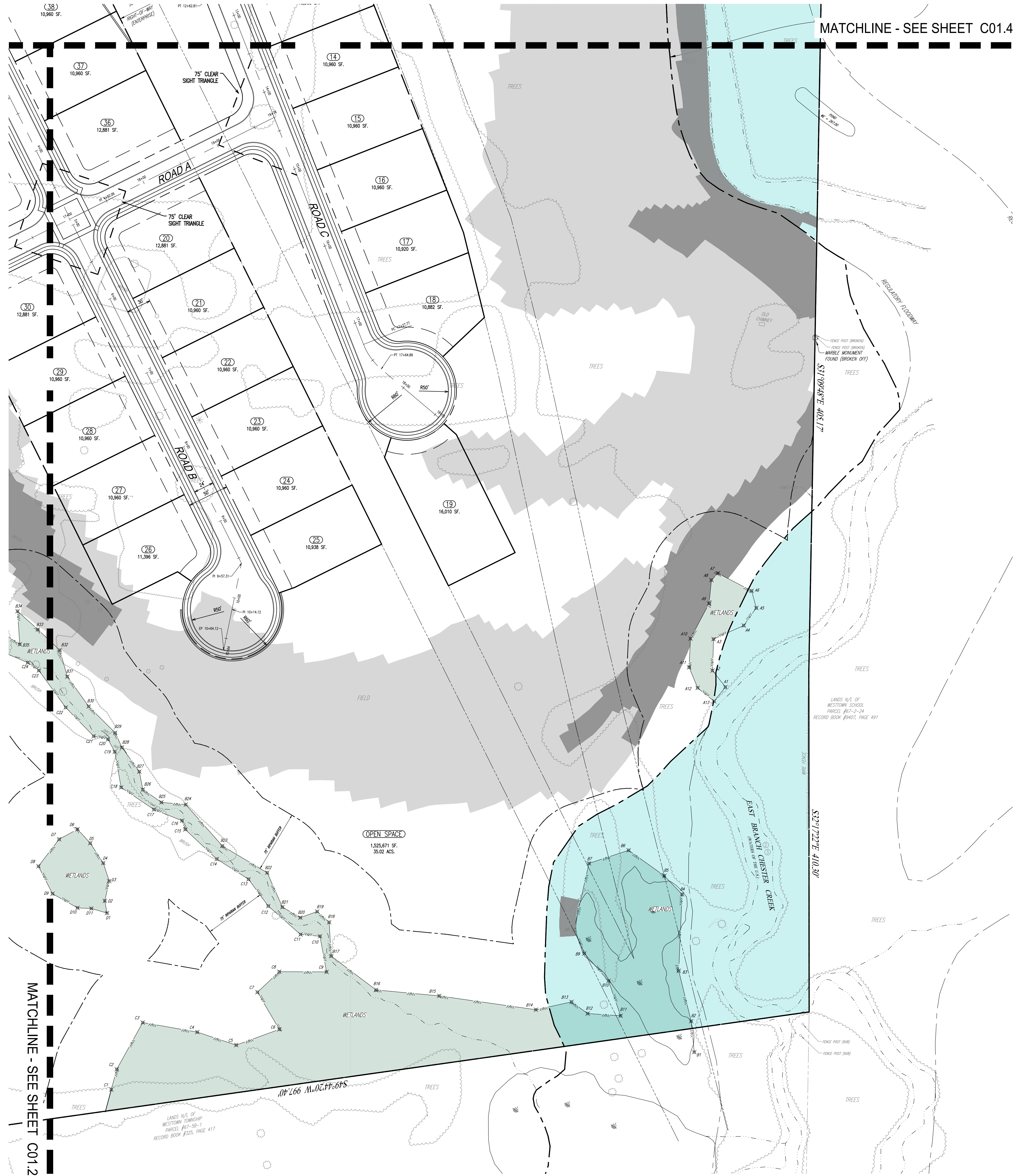
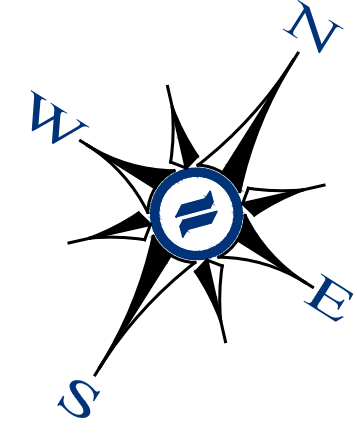
1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003



LOCATION MAP
SCALE: 1" = 2,000'



KEY MAP
N.T.S.



MATCHLINE - SEE SHEET C01.4

MATCHLINE - SEE SHEET C01.2

LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLANDS
- 242 EXISTING CONTOUR
- 123.00 PROPOSED CONTOUR
- 123.00 EXISTING SPOT ELEV.
- 123.00 NEW SPOT ELEV.
- GEB2 SOILS TYPE
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EX. PARKING SPACES
- PROP. PARKING SPACES
- (TBR) EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM ALLEY
- PROP. STORM ALLEY
- EX. STORM INLET
- PROP. STORM INLET
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
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- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS

SITE PLAN

SCALE: 1"=50'



GRAPHIC SCALE
1 inch = 50 feet

CONDITIONAL USE
SITE PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
CAD FILE:	01 SITE PLAN.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C01.3
SHEET:	03 of 31

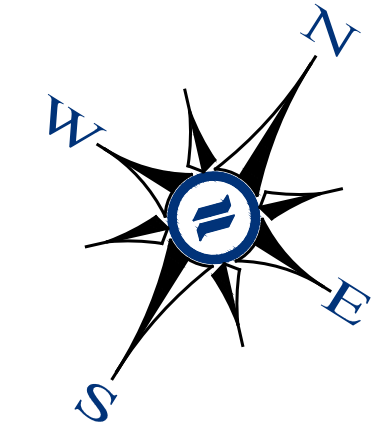
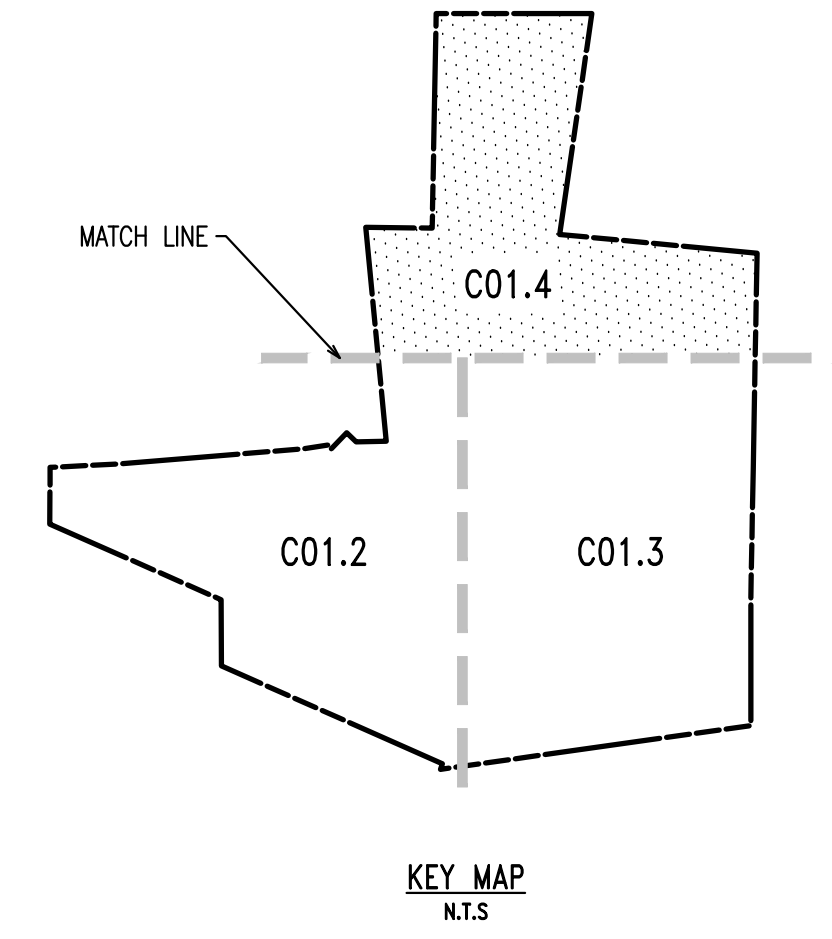
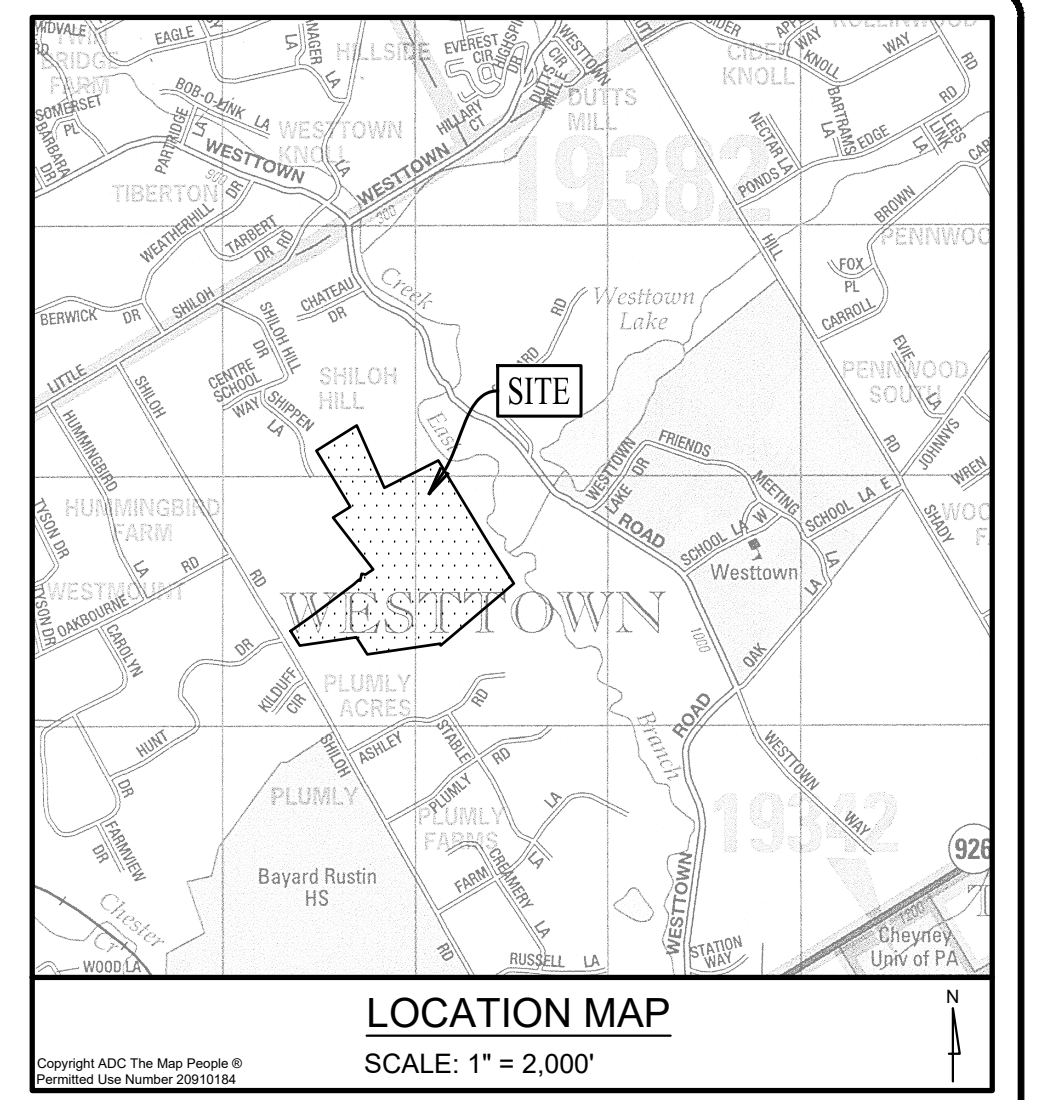
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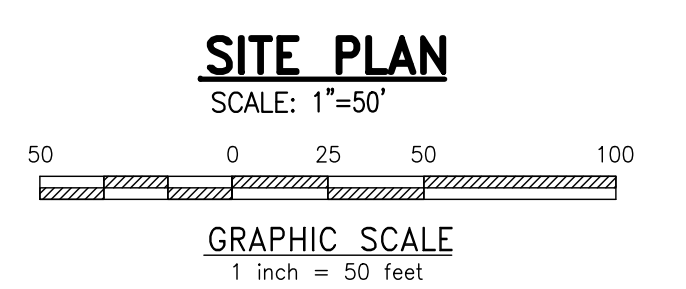
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- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS



SITE PLAN
SCALE: 1"=50'

MATCHLINE - SEE SHEET C01.2

MATCHLINE - SEE SHEET C01.3

CONDITIONAL USE
SITE PLAN

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
CAD FILE:	in SITE PLAN.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C01.4
SHEET:	04 of 31

REV.	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
2		
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MANAGEMENT AND MAINTENANCE OF OPEN SPACE AREAS

THE HOMEOWNERS ASSOCIATION WILL OWN ALL OPEN SPACE AREAS, INCLUDING THOSE LISTED BELOW. THE HOMEOWNERS ASSOCIATION, OR A PROFESSIONAL MANAGEMENT COMPANY SELECTED BY THE HOMEOWNERS ASSOCIATION, WILL BE RESPONSIBLE FOR THE MANAGEMENT AND MAINTENANCE OF THE OPEN SPACE AREAS IN ACCORDANCE WITH PROVISIONS SET FORTH IN THE DECLARATION OF COVENANTS, RESTRICTIONS, EASEMENTS, CHARGES AND LENS FOR THE STOKES RESIDENTIAL TRACT - A PLANNED COMMUNITY. FUNDING FOR THE MAINTENANCE OF THE OPEN SPACE WILL BE PROVIDED BY A CAPITAL CONTRIBUTION MADE BY EACH UNIT PURCHASER AT THE TIME OF SETTLEMENT WITH THE DEVELOPER, AS WELL AS BY AN ONGOING ANNUAL ASSESSMENT. THE OPEN SPACE FUNDING WILL PROVIDE FOR APPROPRIATE AND PROFESSIONAL MAINTENANCE OF ALL ASPECTS OF THE OPEN SPACE. THE TOWNSHIP WILL BE PROVIDED WITH THE RIGHT, IN THE HOMEOWNERS ASSOCIATION DECLARATION, TO UNDERTAKE THE MAINTENANCE OF THE OPEN SPACE IN THE EVENT THAT THE HOMEOWNERS ASSOCIATION FAILS TO PERFORM SUCH MAINTENANCE IN ACCORDANCE WITH THE FINAL OPEN SPACE MANAGEMENT PLAN. THE TOWNSHIP WILL HAVE THE ABILITY TO CHARGE THE HOMEOWNERS ASSOCIATION FOR ANY COSTS INCURRED IN MAINTAINING THE OPEN SPACE, AND RECORD LENS FOR ANY UNPAID COST INCURRED BY THE TOWNSHIP.

WOODED AREAS

THE WOODED AREAS WILL BE LEFT IN THEIR NATURAL STATE AND MAINTAINED TO A LIMITED DEGREE TO PRESERVE THEIR HEALTH AND STABILITY. THIS SHALL BE ACCOMPLISHED BY THE REMOVAL OF EMBAZING INVASIVE VINES ALONG THE WOODLAND EDGES AND IN FOREST GAPS. LIVE AND DEAD TREES SHALL NOT BE CUT DOWN OR REMOVED UNLESS THEY POSE A THREAT TO HUMAN SAFETY. DEAD TREES SHALL BE LEFT STANDING AND LYING ON THE FOREST FLOOR FOR WILDLIFE HABITAT. THE REMOVAL OF NATIVE NON-INVASIVE TREES, SHRUBS, SEEDLINGS AND GROUNDCOVER IS NOT PERMITTED IN THE WOODED COMMON OPEN SPACE AREAS. THE HOMEOWNERS ASSOCIATION SHALL MAINTAIN THE WOODED AREAS.

MEADOWS

ALL OF THE EXISTING AGRICULTURAL FIELDS WILL BE PLANTED WITH NATIVE GRASSES AND CONVERTED TO MEADOWS IF NOT ALREADY CONVERTED AT THE TIME OF CONSTRUCTION. STORMWATER MANAGEMENT AREAS SHALL BE SEEDED AND LANDSCAPED WITH INDIGENOUS SPECIES AND MAINTAINED AS NATURALIZED AREAS. NEWLY SEEDED MEADOW AREAS SHALL BE MOWED TO A HEIGHT OF SIX INCHES WHENEVER PLANTS REACH TWELVE INCHES IN HEIGHT FOR THE FIRST YEAR. THEREAFTER, AND FOR ESTABLISHED MEADOW AREAS MOW TO A HEIGHT OF 12 TO 18 INCHES ONCE ANNUALLY PRIOR TO APRIL 15.

RIPARIAN CORRIDOR

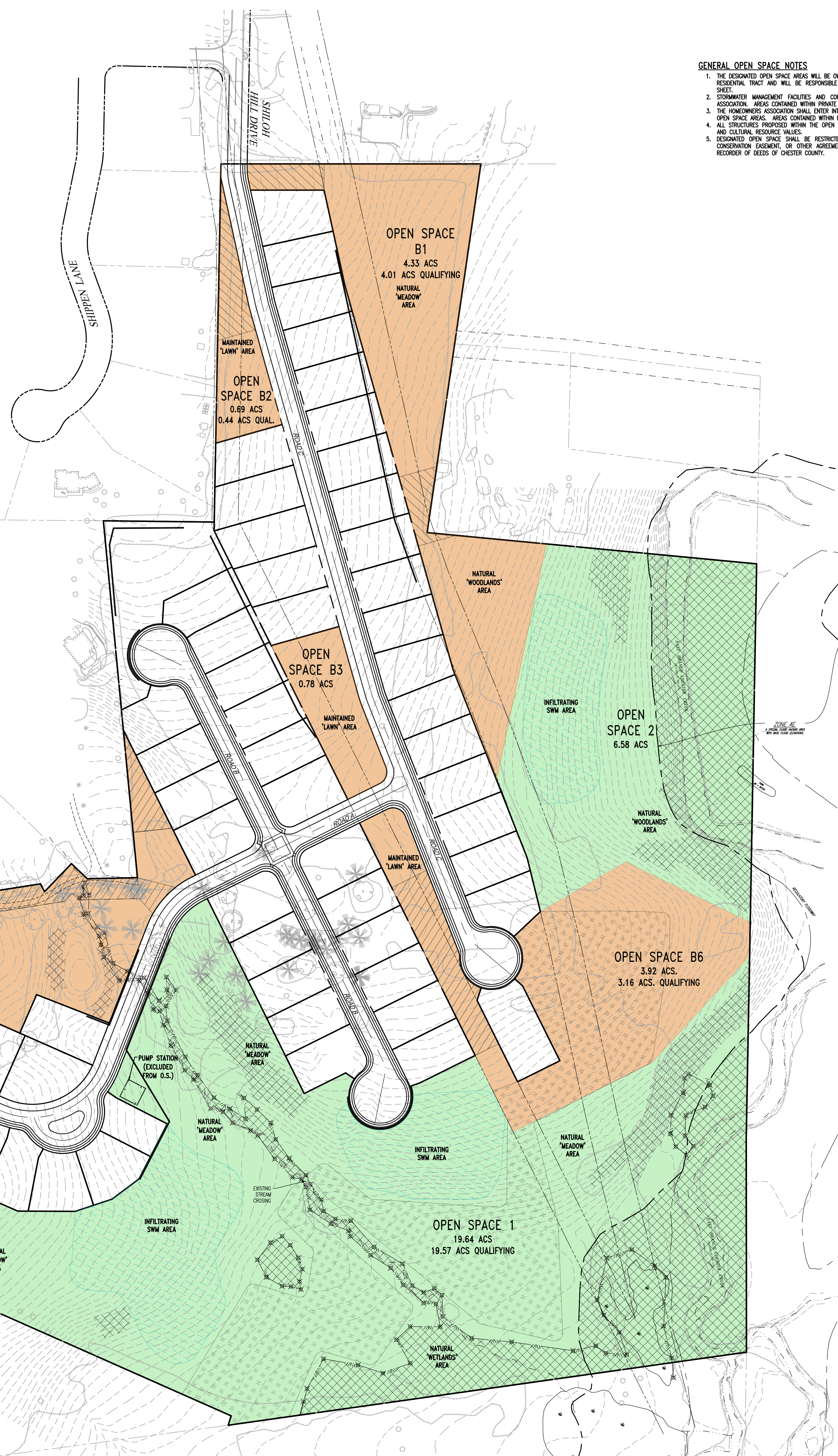
LIMITING DISTURBANCE ADJACENT TO WETLANDS AND STREAMS WILL PROVIDE THE BEST PROTECTION FOR THESE AREAS. THE VEGETATION WITHIN THE WETLAND AND RIPARIAN CORRIDOR AREAS SHALL NOT BE DISTURBED. THE VEGETATION WILL PROVIDE AN EFFECTIVE BUFFER AND NATURALLY CONTROL EROSION AND SEDIMENTATION, ABSORB CHEMICALS AND EXCESS NUTRIENTS, AND PROMOTE INFILTRATION OF STORMWATER RUNOFF. ENCOURAGE WOODLAND GROWTH WITHIN THE CENTRAL RIPARIAN CORRIDOR, PARTICULARLY ADJACENT TO STREAM BANKS, TO PROMOTE SHADING OF THE WATER SURFACE. MONITOR AND CONTROL INVASIVE WEEDS TO PREVENT COMPETITION WITH NATIVE SPECIES. INSPECT ANNUALLY FOR COLONIZATION OF INVASIVE PLANTS. REMOVE INVASIVE PLANTS WITHOUT DISTURBING DESIRABLE SPECIES. LIMIT THE USE OF BROADLY APPLIED HERBICIDE SPRAYS IN FAVOR OF HAND REMOVAL AND LOCALIZED APPLICATION OF HERBICIDE SPRAYS (WHEN AIR IS STILL). INSPECT RIPARIAN CORRIDOR AT A MINIMUM ONCE A YEAR AND AFTER SEVERE STORMS FOR EVIDENCE OF EROSION, SEDIMENT, DEPOSIT, OR CONCENTRATED FLOW CHANNELS. REPAIRS SHOULD BE MADE AS SOON AS POSSIBLE TO HALT EROSION AND STABILIZE ANY ERODED AREAS. STABLE AREAS SUBJECT TO EROSION USING A NATIVE MEADOW SEED MIX IN MEADOW AREAS OR IN WOODED AREAS USING NATIVE SHRUBS AND/OR TREES CAPABLE OF QUICKLY GENERATING A DENSE FIBROUS ROOT SYSTEM, SUCH AS SHRUBBY DOGWOODS (SILKY DOGWOOD, GRAY DOGWOOD, AND RED OSEER DOG WOOD), VIRGINIA SWEETSPHERE, ALDERS, WILLOWS, STAGHORNES, AND RIVER BIRCH. PERIODICALLY MONITOR STREAMBED FLOORS, PARTICULARLY AFTER SEVERE STORM EVENTS. NATURAL DEBRIS SHALL NOT BE REMOVED FROM THE STREAM BED, UNLESS IT IS SIGNIFICANTLY IMPEDING THE FLOW OF WATER IN THE STREAM AND CAUSING EXCESSIVE FLOODING. SHOULD DEBRIS REMOVAL BE NECESSARY, DEBRIS SHOULD BE LEFT AT A POINT JUST ABOVE THE STREAM BANK TO ENHANCE WILDLIFE HABITAT AND ENSURE NUTRIENT RECYCLING. REMOVAL OF DEBRIS SHOULD BE LIMITED TO THAT REQUIRED TO RETURN STREAM FLOW TO ITS NATURAL STATE. IF POSSIBLE, LIMIT ACTIVITIES WITHIN NATURALIZED AREAS, INCLUDING THE RIPARIAN CORRIDOR, BETWEEN APRIL 15 AND AUGUST 15. DISTURBANCE WITHIN THE PERIOD CAN BE DETRIMENTAL TO A VARIETY OF WILDLIFE.

COMMON OPEN SPACE

THE COMMON OPEN SPACE AREAS SHALL SERVE AS AREAS FOR PASSIVE AND INFORMAL ACTIVE RECREATION. THESE AREAS ARE LOCATED THROUGHOUT THE COMMUNITY AND WILL GENERALLY BE KEPT AS MEADOW AND/OR LAWN AREAS. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREAS TO ENSURE THAT THESE AREAS PROVIDE A USABLE TRANSITION BETWEEN THE PROPOSED COMMUNITY AND THE NATURAL RESOURCE PROTECTION AREAS.

STORMWATER MANAGEMENT BASIN AREAS

THE INFILTRATION BASIN AREAS SHALL BE MAINTAINED AS DIRECTED BY THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN.



GENERAL OPEN SPACE NOTES

- 1. THE DESIGNATED OPEN SPACE AREAS WILL BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION (HOA) WITHIN THE RESIDENTIAL TRACT AND WILL BE RESPONSIBLE FOR THE OPEN SPACE MANAGEMENT AND MAINTENANCE LISTED ON THIS SHEET.
2. STORMWATER MANAGEMENT FACILITIES AND COMMON OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. AREAS CONTAINED WITHIN PRIVATE LOTS WILL BE MAINTAINED BY THE LOT OWNER.
3. THE HOMEOWNERS ASSOCIATION SHALL ENTER INTO AN ANNUAL CONTRACT FOR LAWN MAINTENANCE AND LANDSCAPING OF ALL OPEN SPACE AREAS. AREAS CONTAINED WITHIN PRIVATE LOTS WILL BE MAINTAINED BY THE LOT OWNER.
4. ALL STRUCTURES PROPOSED WITHIN THE OPEN SPACE AREAS SHALL BE SITED TO HAVE MINIMAL IMPACT ON THE NATURAL AND CULTURAL RESOURCE VALUES.
5. DESIGNATED OPEN SPACE SHALL BE RESTRICTED FROM FURTHER SUBDIVISION OR DEVELOPMENT BY DEED RESTRICTION, CONSERVATION EASEMENT, OR OTHER AGREEMENT IN A FORM ACCEPTABLE TO THE TOWNSHIP AND RECORDED IN THE RECORDER OF DEEDS OF CHESTER COUNTY.

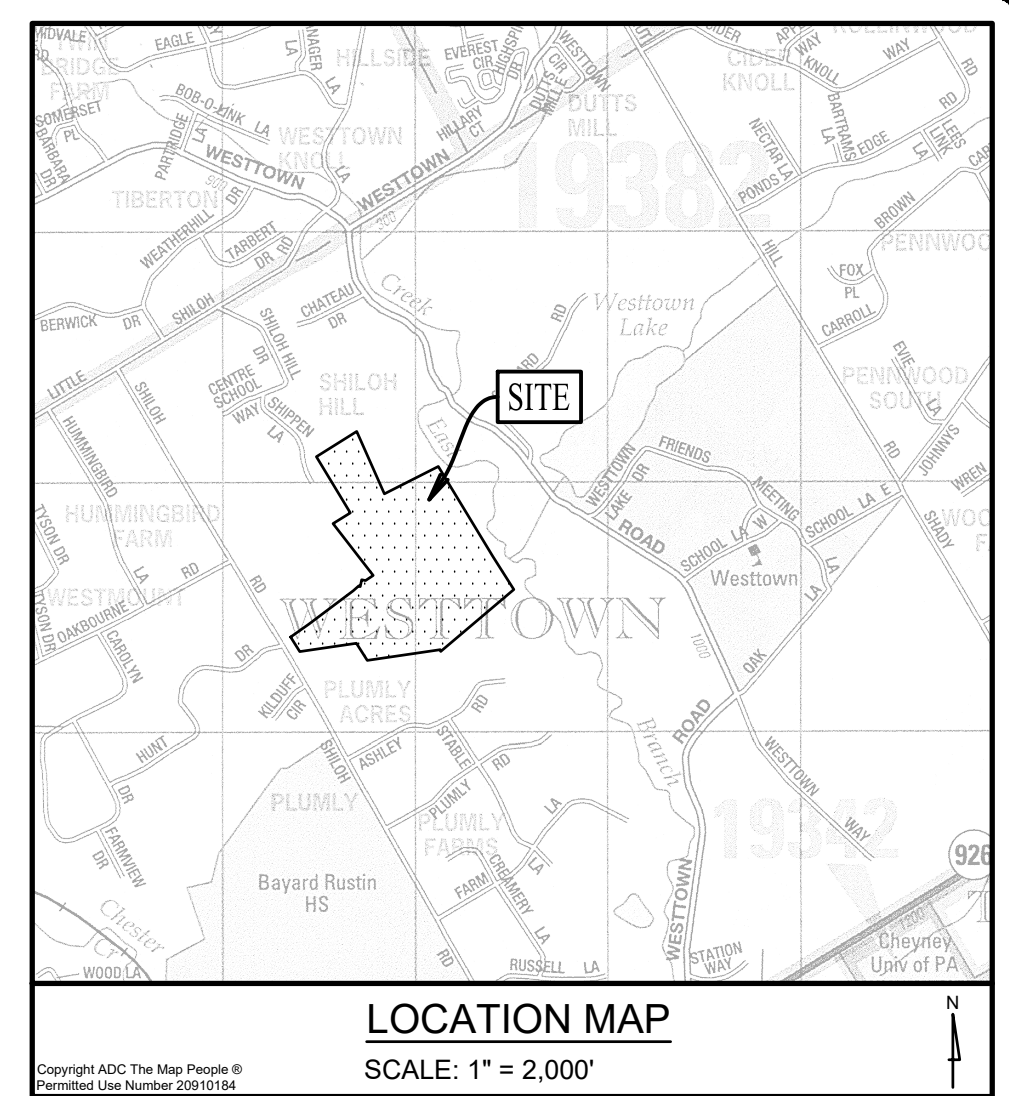


Table with 2 columns: CATEGORY, VALUE. Rows include REQUIRED MINIMUM COMMON OPEN SPACE (40% GROSS TRACT AREA), REQUIRED GROSS TRACT (64,956 ACRES), PROPOSED GROSS OPEN SPACE (40.61 ACRES), QUALIFYING MIN. REQUIRED OPEN SPACE (28.15 ACRES), QUALIFYING INCREMENTAL BONUS O.S. (11.12 ACRES).

- REQUIRED MINIMUM COMMON OPEN SPACE (40% OF THE GROSS TRACT AREA)
INCREMENTAL BONUS OPEN SPACE AREA
NON-QUALIFYING OPEN SPACE (AREAS LESS THAN 75' IN WIDTH & AREAS NOT LESS THAN 0.5 ACRES OF CONTIGUOUS AREA, PUMP STATION DRIVE AND STRUCTURE)
OPEN SPACE AREAS WITHIN FLOODPLAIN, WETLANDS, AND STEEP SLOPES GREATER THAN 25%
AREAS USED FOR SUBSURFACE INFILTRATION WITH OPEN STORAGE ACCESSORY TO INFILTRATION FACILITIES

Summary tables for 'Min. Required Common Open Space (40%)' and 'Bonus Open Space Area'. Includes columns for Gross Area, Area of 25%+ Slopes, Wetland/Waterbodies, and various sub-categories for Bonus Open Space (B1-B6).

AREA AVAILABLE FOR ACTIVE RECREATION
NET TRACT AREA = 2,236,692 S.F.
AREA REQUIRED (10% NET TRACT AREA) X 10% = 223,669 SF -OR- 5.13 ACRES
AREA SUITABLE FOR ACTIVE RECREATION - 5.86 ACRES

- LEGEND
EX. PROPERTY LINE
PROP. PROPERTY LINE
EX. RIGHT-OF-WAY
PROP. RIGHT-OF-WAY
EX. MONUMENT
PROP. MONUMENT
EX. IRON PIPE
PROP. IRON PIPE
EX. EASEMENT
PROP. EASEMENT
EX. EXISTING CONTOUR
PROP. PROPOSED CONTOUR
EX. EXISTING SPOT ELEV.
PROP. NEW SPOT ELEV.
EX. EXISTING SOILS TYPE
PROP. SOILS TYPE
EX. CONC. CURB
PROP. CONC. CURB
EX. LIGHT POLE
PROP. LIGHT POLE
EX. FENCE
PROP. FENCE
EX. SANITARY SEWER LINE
PROP. SAN. SEWER LINE
EX. STORM SEWER LINE
PROP. STORM SEWER LINE
EX. STORM INLET
PROP. STORM INLET
EX. STORM INLET ID
PROP. STORM INLET ID
EX. SEEPAGE BED
PROP. SEEPAGE BED
EX. SANITARY SEWER LINE
PROP. SAN. SEWER LINE
EX. SAN. SEWER LATERAL
PROP. SAN. SEWER LATERAL
EX. SANITARY MH. ID
PROP. SANITARY MH. ID
EX. WATER LINE
PROP. WATER LINE
EX. WATER LATERAL
PROP. WATER LATERAL
EX. FIRE WATER LINE
PROP. FIRE WATER LINE
EX. PROP. WATER VALVE
PROP. WATER VALVE
EX. HYDRANT
PROP. HYDRANT
EX. MANHOLE
PROP. MANHOLE

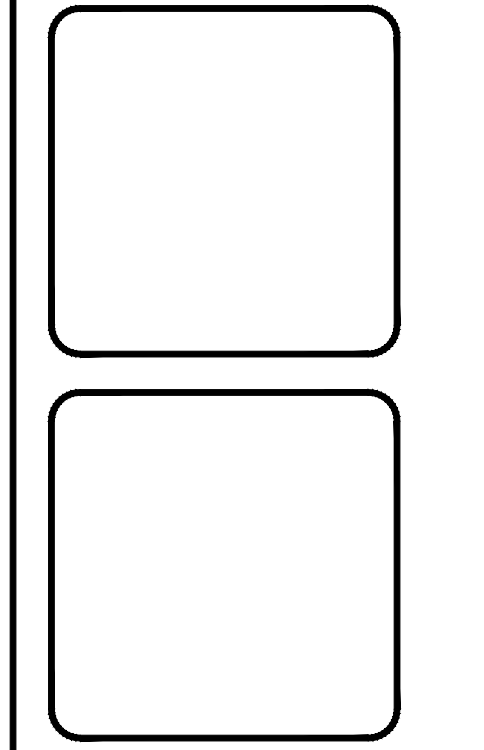


Table with 4 columns: NO., DATE, REVISION, DESCRIPTION. Contains a grid for tracking revisions.

CONDITIONAL USE OPEN SPACE PLAN
DATE: 4/30/21
SCALE: 1"=100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: 01 SITE PLAN.dwg
PLOTTER:
DATE: 08/31/21
DRAWING NO.: C01.5
SHEET 05 OF 31

OPEN SPACE PLAN
SCALE: 1" = 100'
GRAPHIC SCALE
1 inch = 100 feet



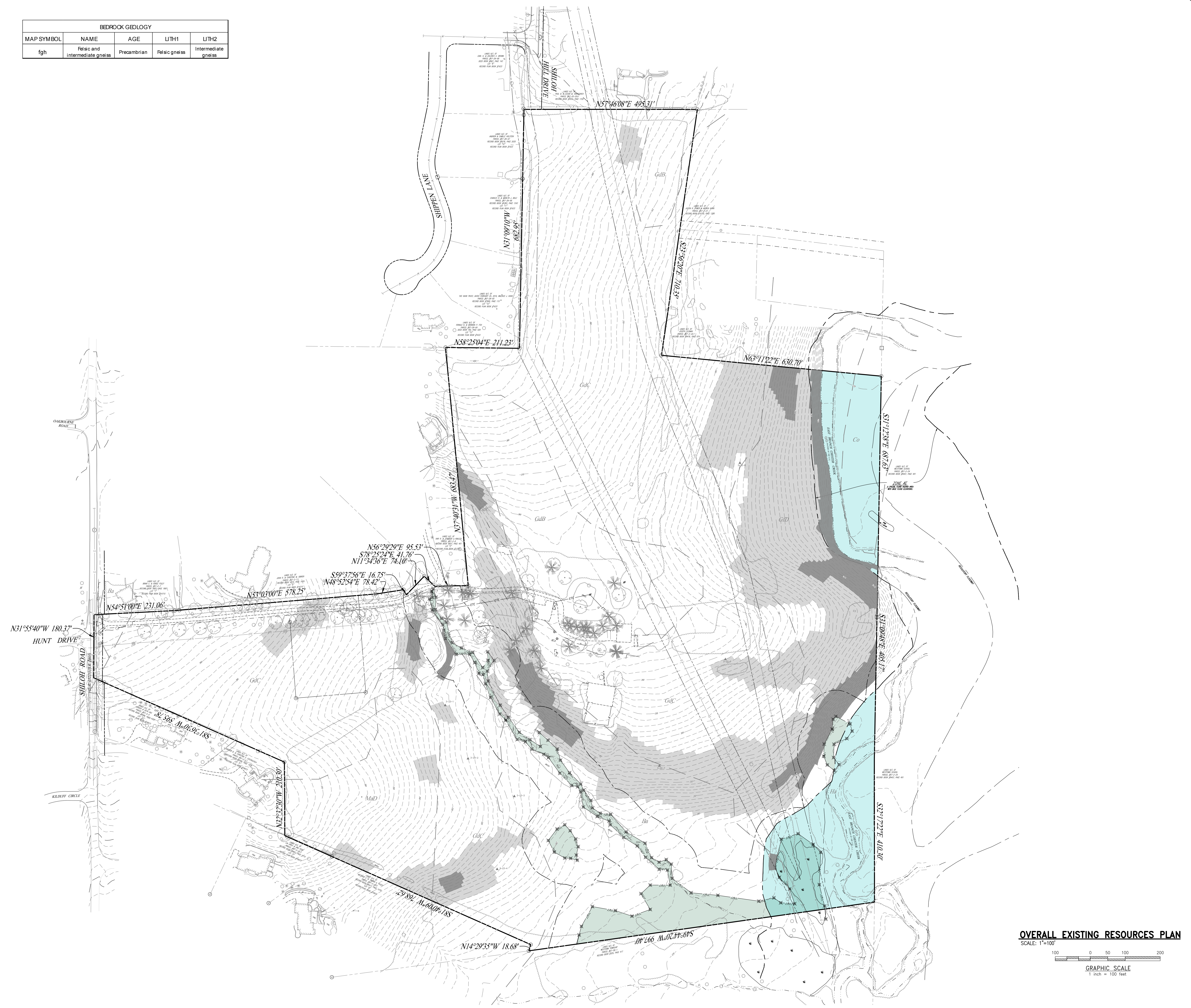
BEDROCK GEOLOGY				
MAP SYMBOL	NAME	AGE	LITH1	LITH2
fgb	Felsic and intermediate gneiss	Precambrian	Felsic gneiss	Intermediate gneiss



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LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLAND
- 242 EXISTING CONTOUR
- 125.00 PROPOSED CONTOUR
- × 125.00 EXISTING SPOT ELEV.
- × 125.00 NEW SPOT ELEV.
- GEB2 SOILS TYPE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. CONC. PAVING
- PROP. CONC. PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- PROP. FENCE
- EX. MAIL BOX
- PROP. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EX. PARKING SPACES
- PROP. PARKING SPACES
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- PROP. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM ALLEY
- PROP. STORM ALLEY
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS

OVERALL EXISTING RESOURCES PLAN

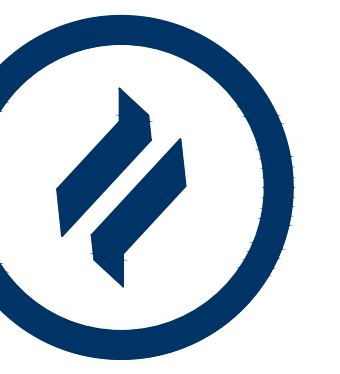
SCALE: 1"=100'
 100 0 50 100 200
 GRAPHIC SCALE
 1 inch = 100 feet

**CONDITIONAL USE
OVERALL EXISTING RESOURCES PLAN**

CLIENT: FOX CLEARING, LLC
 PROJECT: STOKES ESTATE
 LOCATION: 1013 SHILOH ROAD
 WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=100'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
DATE:	08/31/21
DRAWING NO.:	C02.1
SHEET:	06 of 31

REV.	DATE	DESCRIPTION
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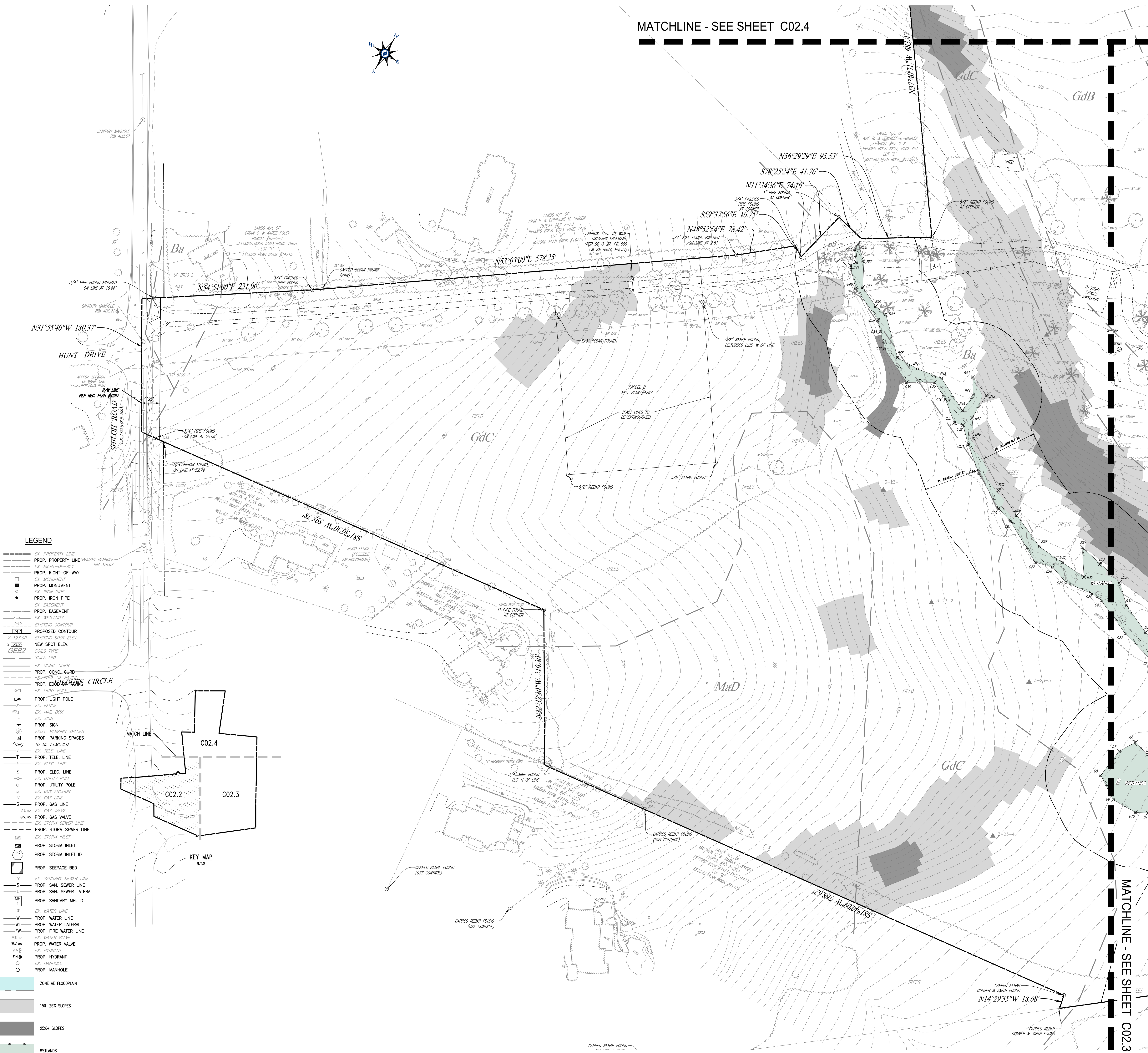


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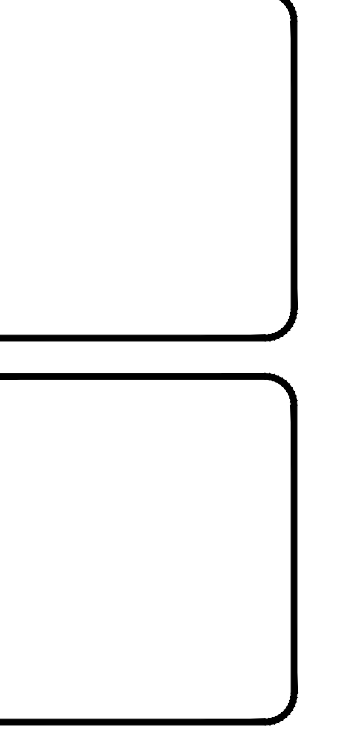
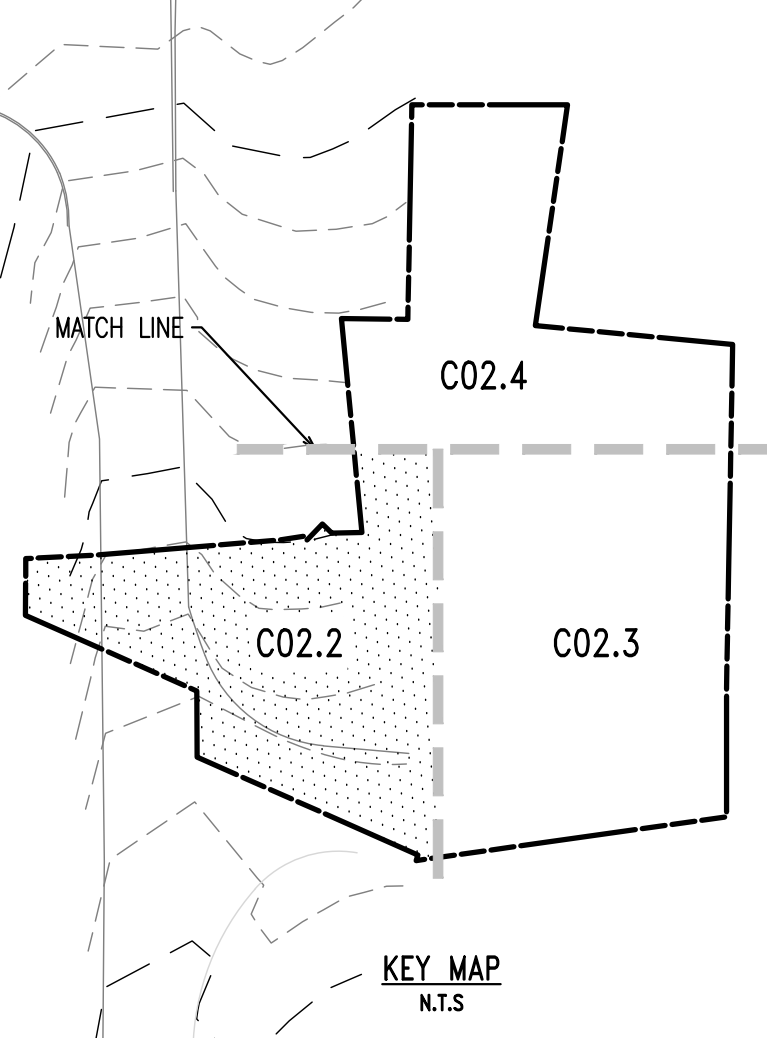
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West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003

MATCHLINE - SEE SHEET C02.4



LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLAND
- 242 EXISTING CONTOUR
- 123.00 PROPOSED CONTOUR
- × 123.00 EXISTING SPOT ELEV.
- × 123.00 NEW SPOT ELEV.
- GEB2 SOILS TYPE
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES TO BE REMOVED
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- PROP. STORM INLET ID
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS

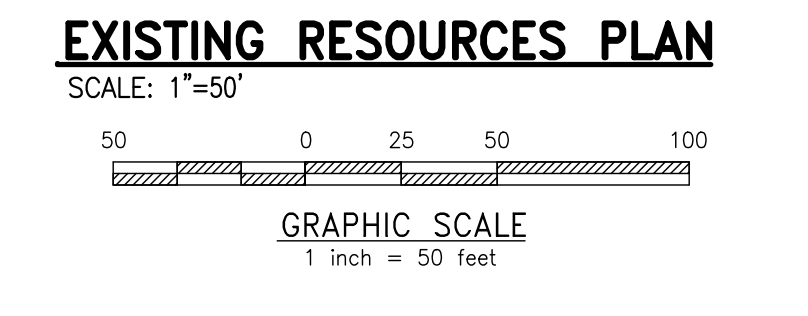


REV.	DATE	DESCRIPTION
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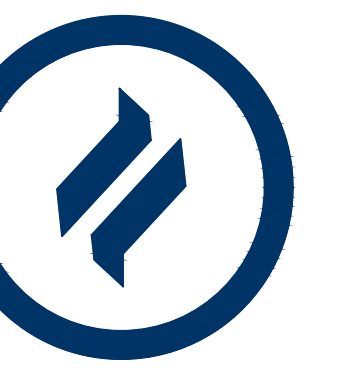
**CONDITIONAL USE
EXISTING RESOURCES PLAN**

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
DATE FILED IN CADRAL EXISTING RESOURCES PLAN:	
DATE:	08/31/21
DRAWING NO.:	C02.2
SHEET:	07 of 31



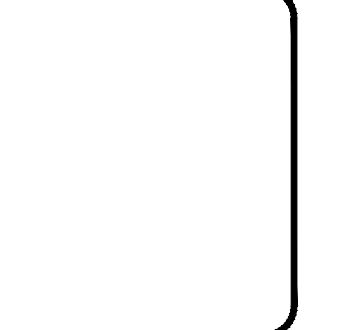
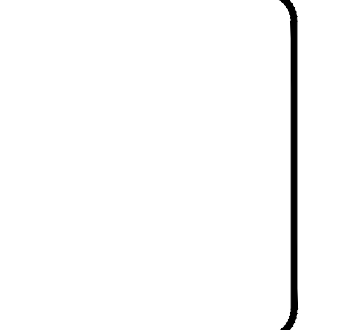
MATCHLINE - SEE SHEET C02.3



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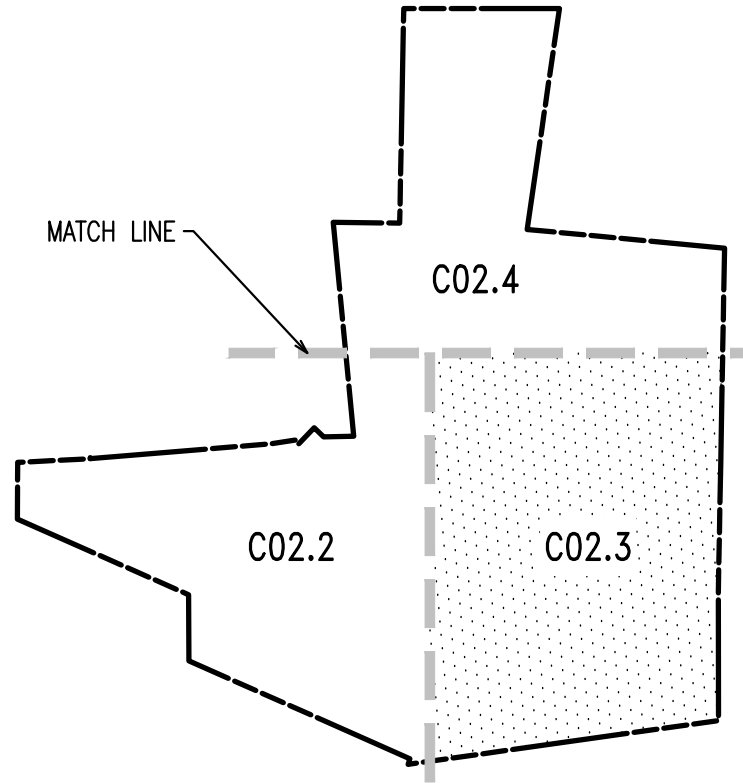
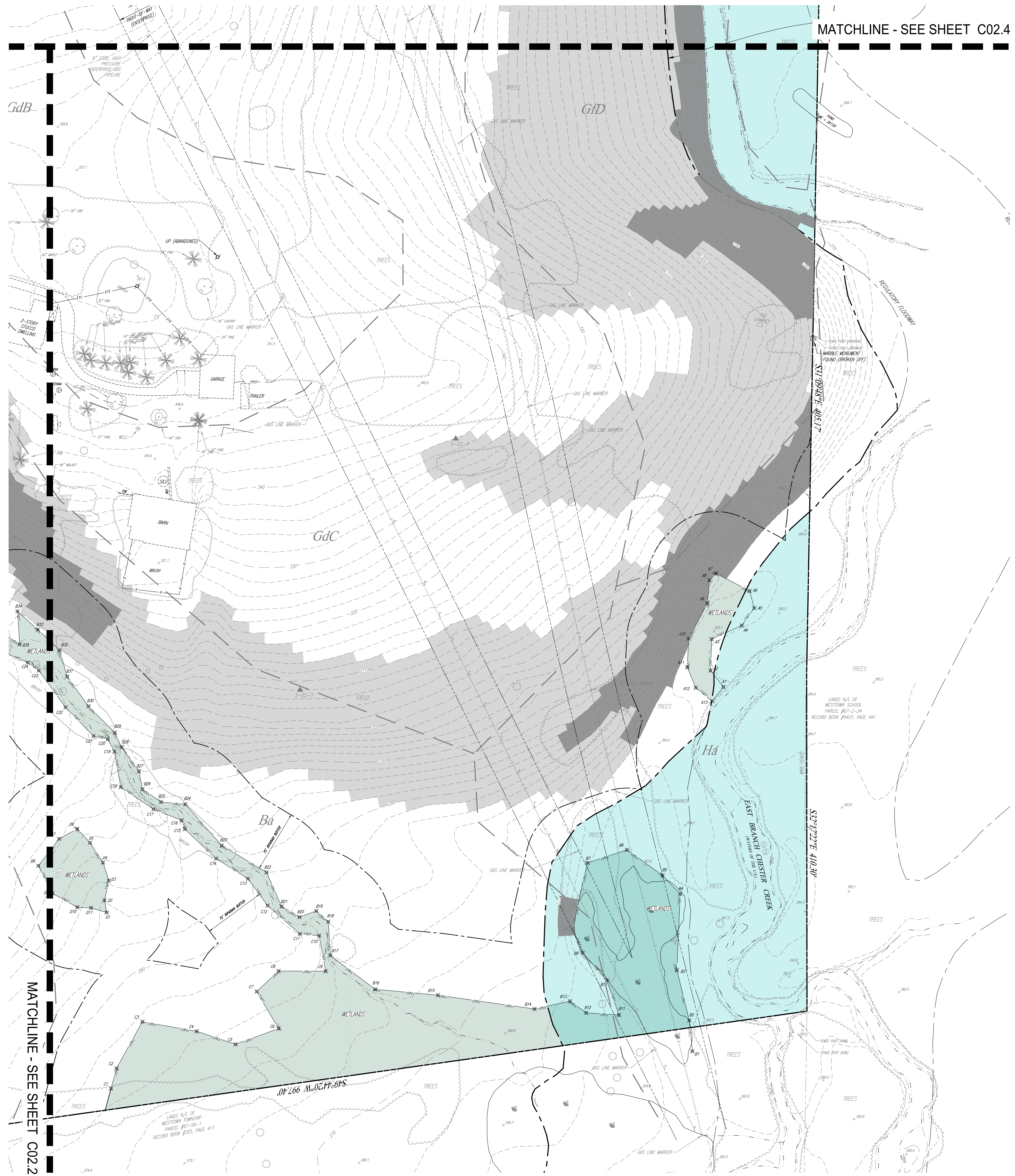


REV.	DATE	REVISIONS PER TOWNSHIP CONSULTANTS' COMMENTS	DESCRIPTION
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1	08/31/21		

CONDITIONAL USE
EXISTING RESOURCES PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
DATE PLOTTED:	08/31/21
DRAWING NO.:	C02.3
SHEET	08 of 31

MATCHLINE - SEE SHEET C02.4



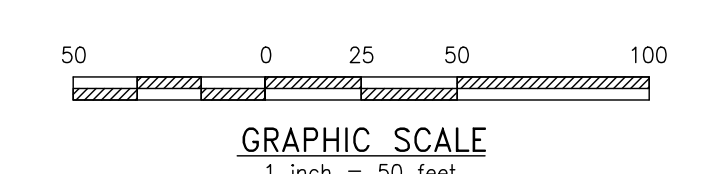
KEY MAP
N.T.S.



LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLANDS
- PROP. WETLANDS
- EX. CONTOUR
- PROP. CONTOUR
- EX. SPOT ELEV.
- PROP. SPOT ELEV.
- EX. SOILS LINE
- PROP. SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. SIDE OF PAVING
- PROP. SIDE OF PAVING
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- PROP. FENCE
- EX. MAIL BOX
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- EX. SIGN
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- PROP. UTILITY POLE
- EX. GUY ANCHOR
- PROP. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
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- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS

EXISTING RESOURCES PLAN
SCALE: 1"=50'



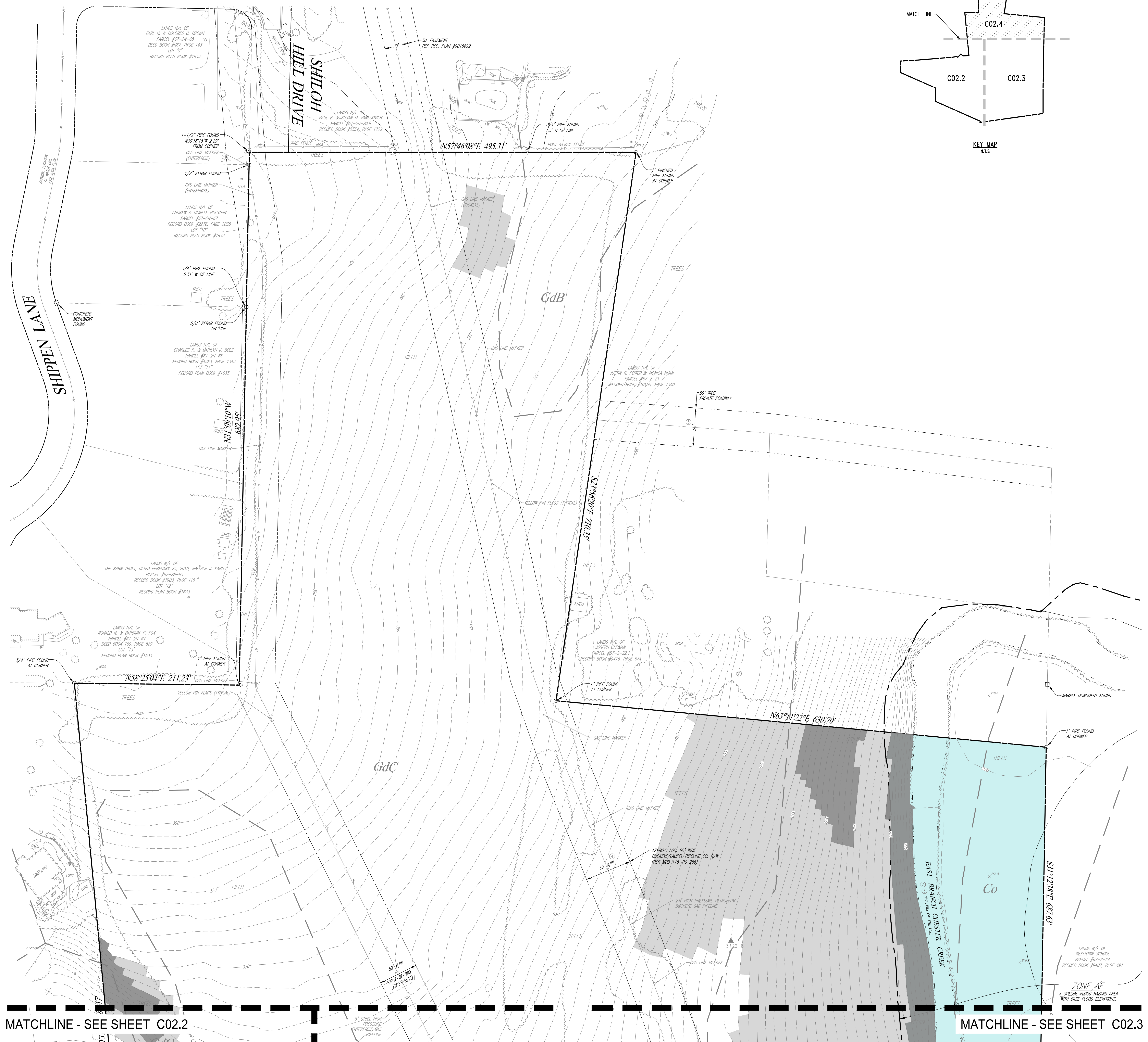
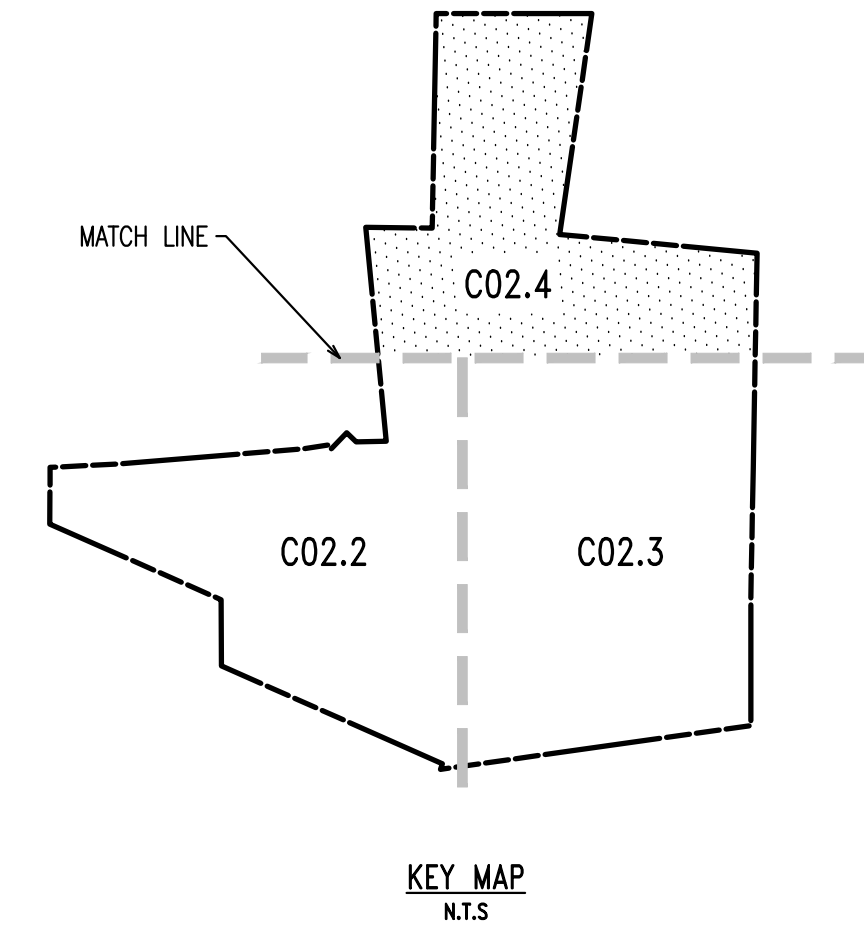
MATCHLINE - SEE SHEET C02.2



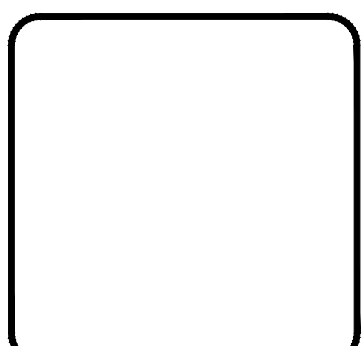
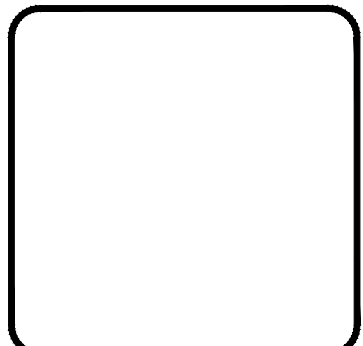
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- LEGEND**
- EX. PROPERTY LINE
 - PROP. PROPERTY LINE
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 - PROP. RIGHT-OF-WAY
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 - EX. IRON PIPE
 - PROP. IRON PIPE
 - EX. EASEMENT
 - PROP. EASEMENT
 - EX. WETLANDS
 - PROP. WETLANDS
 - 242 EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING SPOT ELEV.
 - NEW SPOT ELEV.
 - SOILS TYPE
 - EX. CONC. CURB
 - PROP. CONC. CURB
 - EX. CONC. CURB
 - PROP. CONC. CURB
 - EX. EDGE OF PAVING
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 - EX. LIGHT POLE
 - PROP. LIGHT POLE
 - EX. FENCE
 - PROP. FENCE
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 - EX. PARKING SPACES
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 - EX. GUY ANCHOR
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 - EX. SANITARY SEWER LINE
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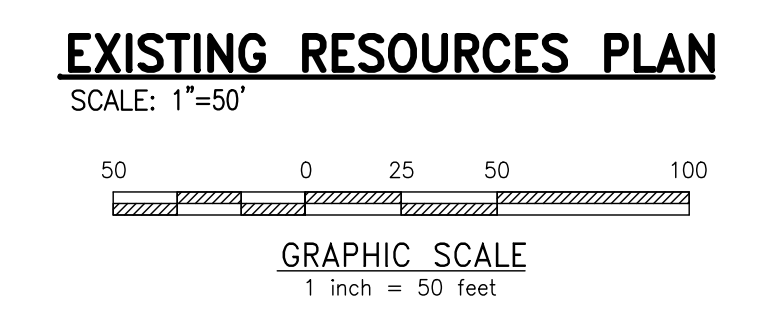


REV.	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
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**CONDITIONAL USE
EXISTING RESOURCES PLAN**

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
DATE:	08/31/21
DRAWING NO.:	C02.4
SHEET:	09 of 31



MATCHLINE - SEE SHEET C02.2

MATCHLINE - SEE SHEET C02.3



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GRADING & UTILITY GENERAL NOTES:

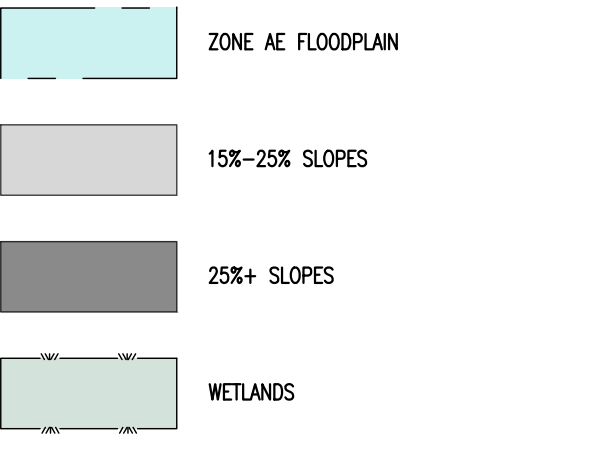
1. PRIOR TO STARTING CONSTRUCTION, ALL UTILITY SERVICES IN THE AREA SHALL BE LOCATED AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES. ANY DAMAGE TO EXISTING FACILITIES SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES IF NECESSARY.
3. LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM FIELD SURVEY AND EXISTING RECORDS. COMPLETENESS AND ACCURACY OF EXISTING UTILITY INFORMATION IS NOT GUARANTEED. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL ACCURATELY FIELD MEASURE LOCATION AND ELEVATION OF EXISTING UTILITIES AT POINTS OF CONNECTION AND POTENTIAL CONFLICT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY DEVIATION FROM INFORMATION SHOWN ON THESE PLANS. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROCEED UP GRADIENT, INTERFACED POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. CONSTRUCTION SHALL BE LOCATED, AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES IN ACCORDANCE WITH PENNSYLVANIA ACT 187. ANY DAMAGE TO EXISTING FACILITIES RESULTING FROM THE NEGLIGENCE OF THE CONTRACTOR SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL PERSONS, VEHICLES AND BUILDINGS WITHIN THE CONSTRUCTION AREAS FROM INJURY AND DAMAGE DURING THE COURSE OF WORK.
6. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFIC BUILDING PERMIT PLAN FOR EACH INDIVIDUAL LOT.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 4.0% MIN. SLOPE ON ASPHALT AND 2.0% MIN. ON GRASS, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
8. ALL SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL STATUTES AND REGULATIONS.
9. ALL TRENCHING, SHORING AND EXCAVATING OPERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
10. SCALED DIMENSIONS FROM THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION WITHOUT CONFIRMATION FROM D.L. HOWELL & ASSOC., INC.
11. SUBBASE MATERIAL FOR WALKS AND ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. IF ANY UNSUITABLE SOIL IS ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL REMOVE IT AND REPLACE TO THE RECOMMENDATIONS OUTLINED IN A GEOTECHNICAL EVALUATION PREPARED SPECIFICALLY FOR THIS SITE.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
13. IF CONDITIONS ON THE GROUND DIFFER FROM THOSE SHOWN ON THE PLAN, THE CONTRACTOR SHALL NOTIFY IMMEDIATELY IN WRITING THE ENGINEER OF RECORD.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TRAFFIC CONTROL, SHEETING, SHORING AND BARRICADES OF OPEN EXCAVATIONS.
15. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER CONTRACT.
16. CONTRACTOR SHALL REVIEW VARIOUS PHASES OF WORK WITH THE OWNER TO DETERMINE WHETHER ANY PHASE WILL CONFLICT WITH THE OWNER'S DAILY OPERATIONS. WHERE CONFLICT IS APPARENT THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE WORK TO BE PERFORMED SO AS TO BE THE LEAST DISRUPTIVE.
17. ANY PAVING DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REMOVED TO SUBGRADE AND REPLACED WITH THE PAVING SECTION AT THE CONTRACTOR'S EXPENSE, AND SHALL MATCH THE EXISTING PAVING SECTION.
18. THE PAVED AREAS WITHIN THE RIGHT-OF-WAY, THAT ARE DISTURBED DURING LATERAL INSTALLATION, SHALL BE MILLED AND OVERLAD WITH WEARING COURSE.
19. IN ANY AREA SUBJECT TO VEHICULAR ACTIVITY DURING CONSTRUCTION, A MINIMUM OF 18 INCHES OF COVER SHALL BE MAINTAINED FOR ALL UNDERGROUND UTILITIES (STORMWATER, SANITARY SEWER, WATER, ELECTRIC, GAS, ETC.)
20. ALL FILL SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT UNDESIRABLE SETTLEMENTS. THE FILL SHALL BE SPREAD IN A SERIES OF LAYERS, NOT EXCEEDING EIGHT INCHES IN THICKNESS, AND BE COMPACTED BY A SHEEPSFOOT ROLLER OR OTHER APPROVED METHOD AFTER EACH LAYER IS SPREAD. THE TOWNSHIP ENGINEER MAY REQUIRE COMPACTION TESTS AND REPORTS.
21. ALL STORM SEWER SHALL BE INSTALLED IN ACCORDANCE WITH WESTTOWNSHIP STANDARDS AND PENNDOT PUBLICATION 408 SPECIFICATIONS.
22. ALL OTHER UTILITY LINES, INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, STREETLIGHT SUPPLY, CABLE TELEVISION, AND TELEPHONE, SHALL BE PLACED UNDERGROUND. INSTALLATION OF UTILITIES SHALL BE IN STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OR PUBLIC UTILITY CONCERNED. UNDERGROUND UTILITIES SHALL BE PUT IN PLACE, CONNECTED, AND APPROVED BEFORE THE STREETS ARE CONSTRUCTED WHERE SUCH UTILITIES LIE UNDER THE PROPOSED DRIVEWAY AND BEFORE ANY PERSON IS PERMITTED TO OCCUPY ANY BUILDING SERVED BY SUCH FACILITIES.
23. THE STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED ASSUMING 4,500 SF OF IMPERVIOUS COVER FOR EACH LOT. IF FUTURE IMPERVIOUS IS ADDED, IT MUST BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM, OR OTHER PROVISIONS MUST BE ADDED.
24. A MINIMUM 18" VERTICAL CLEARANCE SHOULD BE PROVIDED WHERE ANY AND ALL PLACES WHERE THE SEWER LATERALS AND WATER MAIN CROSS. A MINIMUM 18" VERTICAL CLEARANCE SHOULD ALSO BE PROVIDED WHERE THE SEWER LATERALS AND WATER SERVICE PIPING CROSS ALL STORM SEWERS.
25. WHEREVER POSSIBLE, WATER SERVICE PIPING SHOULD CROSS ABOVE SANITARY OR STORM SEWER PIPING WITH THE MINIMUM 18" VERTICAL CLEARANCE. A CONCRETE ENCASUREMENT MUST BE UTILIZED WHEREVER THE 18" VERTICAL CLEARANCE CANNOT BE PROVIDED.
26. A 10" MINIMUM HORIZONTAL SEPARATION DISTANCE AND A 18" MINIMUM VERTICAL SEPARATION DISTANCE SHALL BE PROVIDED BETWEEN THE GRAVITY SANITARY SEWERS AND WATER MAINS. A CONCRETE ENCASUREMENT MUST BE UTILIZED WHEREVER THE 18" VERTICAL CLEARANCE CANNOT BE PROVIDED.
27. THE GRADE OF THE DRIVEWAY WITHIN 20 FEET OF THE PAVEMENT EDGE OR THE CURBLINE OF THE PUBLIC ROAD, TOWNSHIP OR STATE, SHALL NOT EXCEED 4%.
28. THE SUBGRADE WITHIN THE LIMITS OF THE PROPOSED DRIVEWAY SHALL BE SHAPED TO CONFORM TO THE LINE, GRADE AND CROSS-SECTION OF THE PROPOSED DRIVEWAY AND SHALL BE THOROUGHLY COMPACTED AS PER PENNDOT PUBLICATION 408. SUBGRADE SHALL BE SLOPED TO CORRESPOND TO THE SLOPE OF THE FINISHED ROAD SURFACE. BEFORE PLACING THE BASE COURSE, THE SUBGRADE SHALL BE DRESSED WITH ONE INCH OF FINE AGGREGATE.

LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- 242 EXISTING CONTOUR
- 125.00 PROPOSED CONTOUR
- × 123.00 EXISTING SPOT ELEV.
- × 123.00 NEW SPOT ELEV.
- GEB2 SOILS TYPE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EX. PARKING SPACES
- PROP. PARKING SPACES
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE



FORCE MAIN TO EXTEND SOUTHWARD ON SHILOH ROAD APPROX. 2,000 LF. TO A PROPOSED MANHOLE AT THE INTERSECTION WITH FLEMING ROAD, THEN VIA A NEW GRADITY LINE +1,000 LF. TO THE EXISTING MANHOLE AT FARM LANE (TOWARD RUSTIN HIGH SCHOOL ENTRANCE). THIS WILL BE DETAILED DURING LAND DEVELOPMENT.



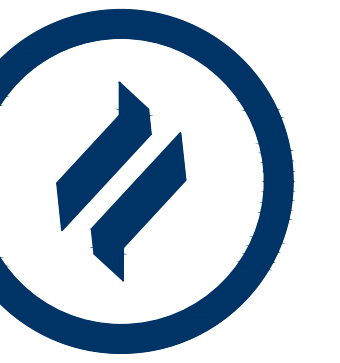
OVERALL GRADING FEASIBILITY PLAN

SCALE: 1"=100'
GRAPHIC SCALE
1 inch = 100 feet

REV.	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
2		
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CONDITIONAL USE
OVERALL GRADING FEASIBILITY PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWNSHIP, CHESTER COUNTY, PA

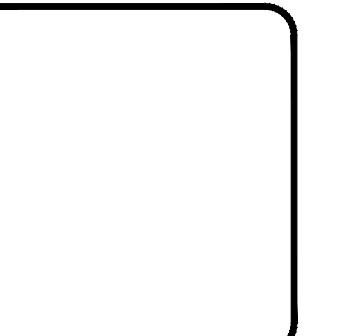
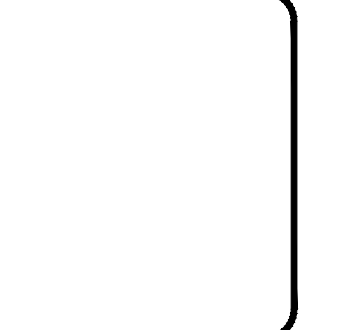
DATE: 4/30/21
SCALE: 1"=100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
DATE OF PLOTTING: 08/31/21
DRAWING NO.: C03.1
SHEET 10 OF 31



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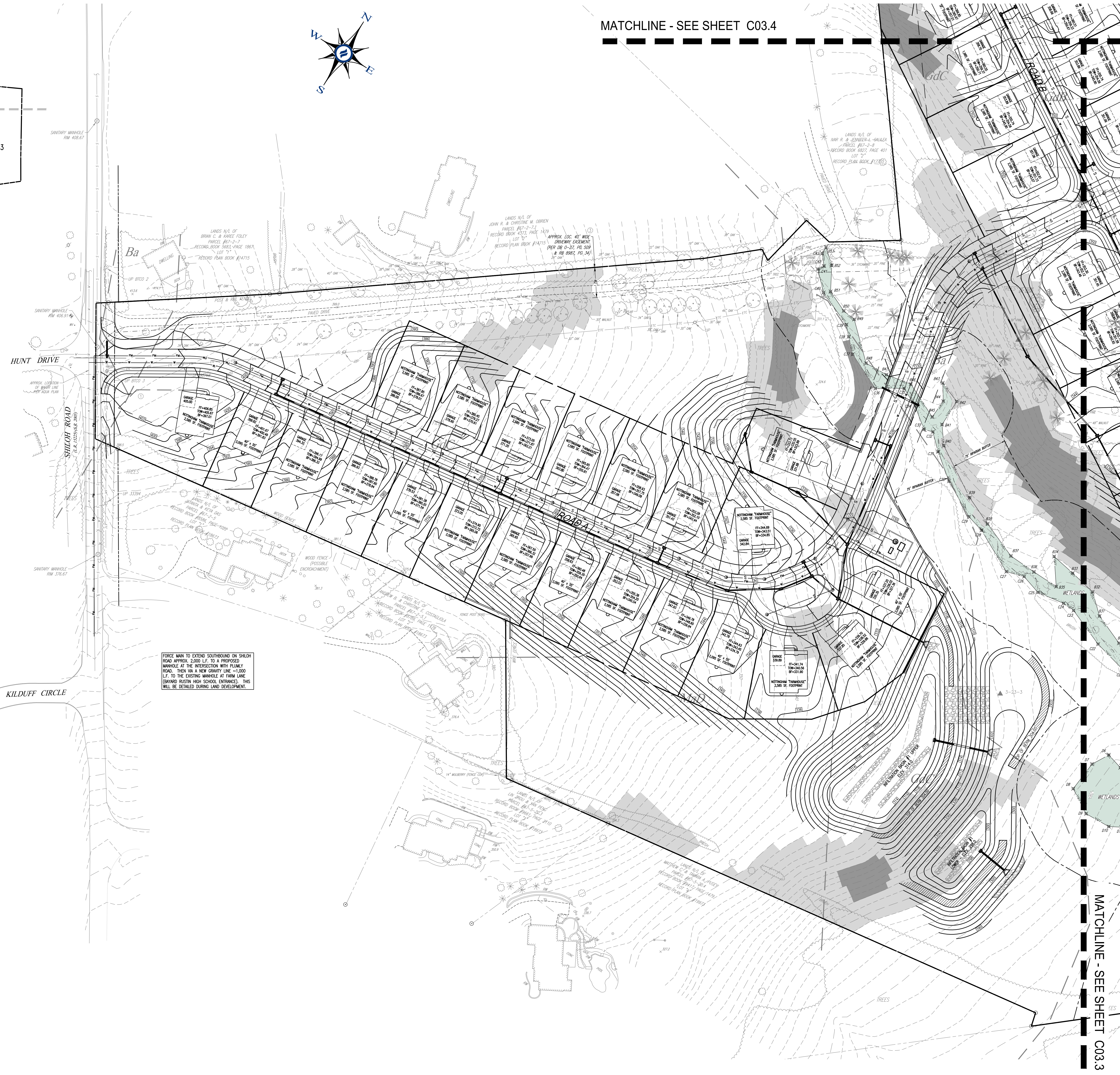
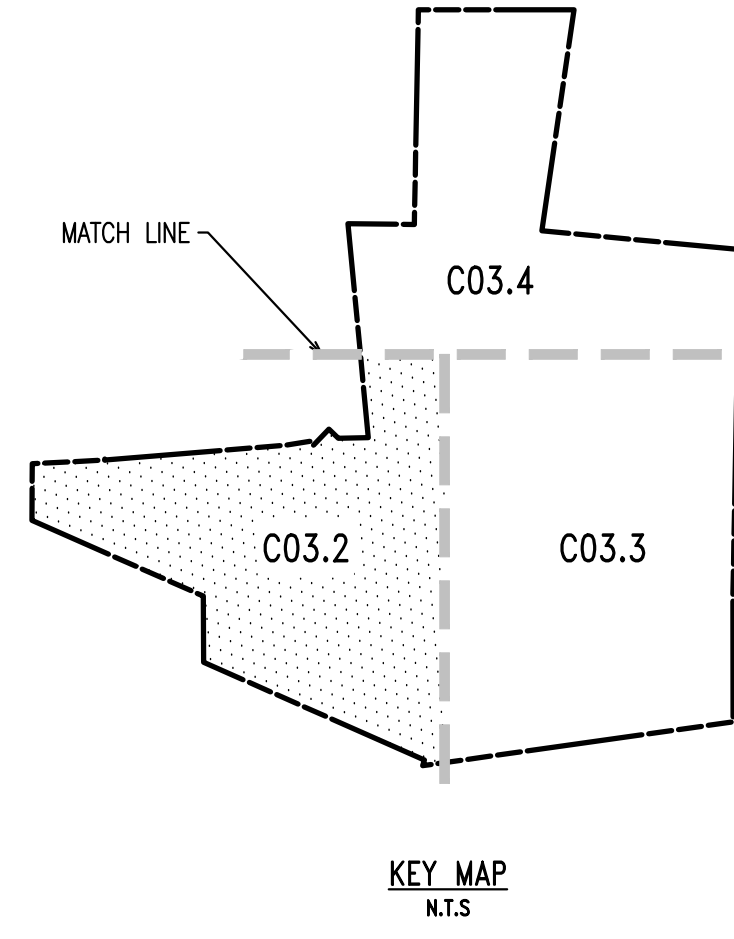
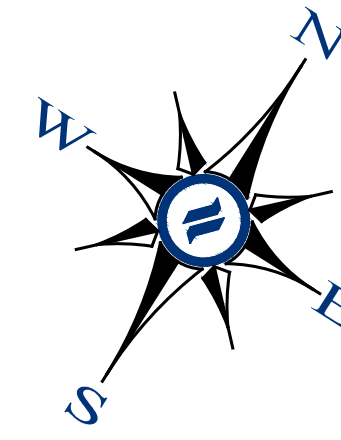


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1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
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CONDITIONAL USE
GRADING FEASIBILITY PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

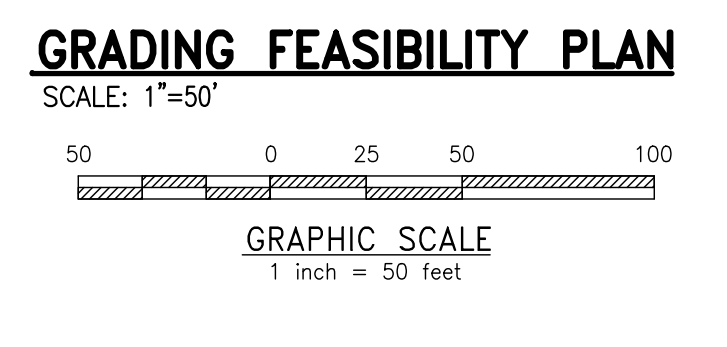
DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
FILE NAME: GRADING FEASIBILITY PLAN.dwg
PLOTTER: 08/31/21
DRAWING NO.: C03.2
SHEET 11 of 31

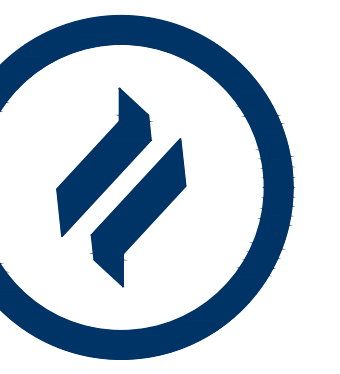
MATCHLINE - SEE SHEET C03.4



FORCE MAIN TO EXTEND SOUTHWARD ON SHILOH ROAD APPROX. 2,000 LF. TO A PROPOSED MANHOLE AT THE INTERSECTION WITH PLUNKY ROAD. THEN VIA A NEW GRAVITY LINE ~1,000 LF. TO THE EXISTING MANHOLE AT FARM LANE (BEHIND RUSTIN HIGH SCHOOL ENTRANCE). THIS WILL BE DETAILED DURING LAND DEVELOPMENT.

- LEGEND**
- EX. PROPERTY LINE
 - PROP. PROPERTY LINE
 - EX. RIGHT-OF-WAY
 - PROP. RIGHT-OF-WAY
 - EX. MONUMENT
 - PROP. MONUMENT
 - EX. IRON PIPE
 - PROP. IRON PIPE
 - EX. EASEMENT
 - PROP. EASEMENT
 - EX. RETAINMENT
 - 242 EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING SPOT ELEV.
 - NEW SPOT ELEV.
 - SOILS TYPE
 - EX. CONC. CURB
 - PROP. CONC. CURB
 - EX. EDGE OF PAVING
 - PROP. EDGE OF PAVING
 - EX. LIGHT POLE
 - PROP. LIGHT POLE
 - EX. FENCE
 - EX. MAIL BOX
 - EX. SIGN
 - PROP. SIGN
 - EXIST. PARKING SPACES
 - PROP. PARKING SPACES TO BE RECLAIMED
 - EX. TELE. LINE
 - PROP. TELE. LINE
 - EX. ELEC. LINE
 - PROP. ELEC. LINE
 - EX. UTILITY POLE
 - PROP. UTILITY POLE
 - EX. GUY ANCHOR
 - EX. GAS LINE
 - PROP. GAS LINE
 - EX. GAS VALVE
 - PROP. GAS VALVE
 - EX. STORM SEWER LINE
 - PROP. STORM SEWER LINE
 - EX. STORM INLET
 - PROP. STORM INLET
 - PROP. STORM INLET ID
 - PROP. SEEPAGE BED
 - EX. SANITARY SEWER LINE
 - PROP. SAN. SEWER LINE
 - EX. SAN. SEWER LATERAL
 - PROP. SAN. SEWER LATERAL
 - EX. SANITARY MH. ID
 - PROP. SANITARY MH. ID
 - EX. WATER LINE
 - PROP. WATER LINE
 - EX. WATER LATERAL
 - PROP. WATER LATERAL
 - EX. FIRE WATER LINE
 - PROP. FIRE WATER LINE
 - EX. WATER VALVE
 - PROP. WATER VALVE
 - EX. HYDRANT
 - PROP. HYDRANT
 - EX. MANHOLE
 - PROP. MANHOLE
 - ZONE AE FLOODPLAIN
 - 15% - 25% SLOPES
 - 25%+ SLOPES
 - WETLANDS

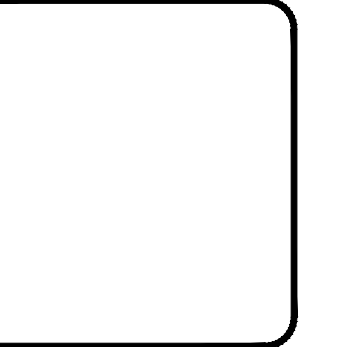
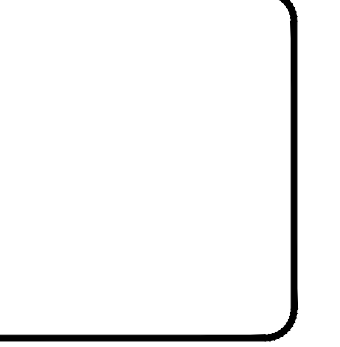




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1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
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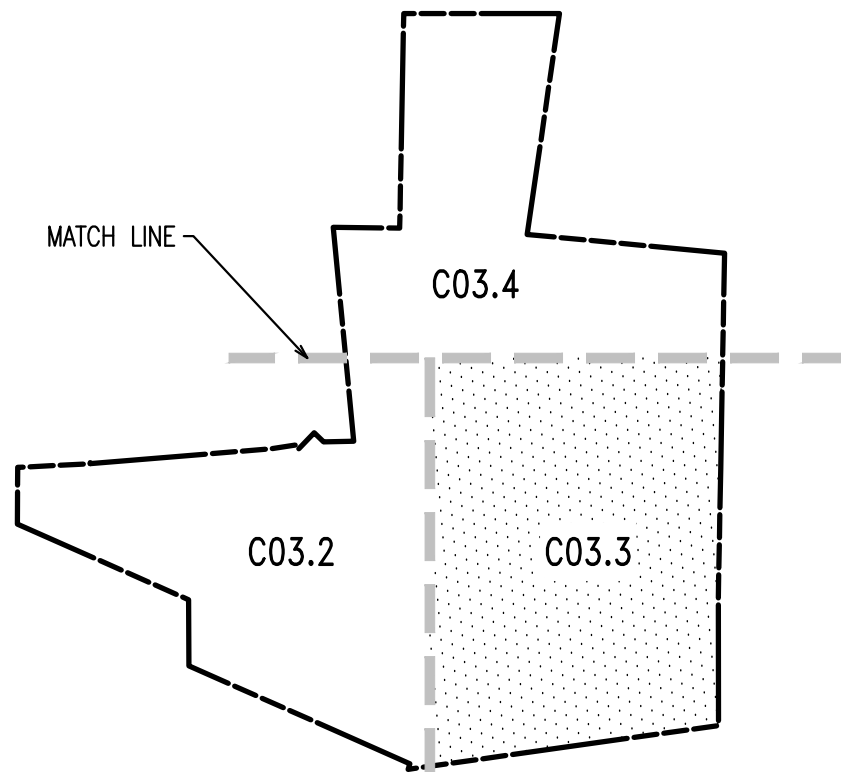
CONDITIONAL USE
GRADING FEASIBILITY PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
CAD FILE:	1013 SHILOH GRADING FEASIBILITY PLAN.dwg
DATE:	08/31/21
DRAWING NO.:	C03.3
SHEET:	12 of 31

MATCHLINE - SEE SHEET C03.4



MATCHLINE - SEE SHEET C03.2



KEY MAP
N.T.S.

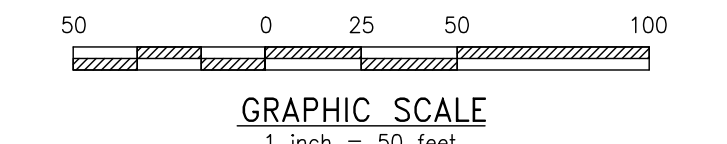


LEGEND

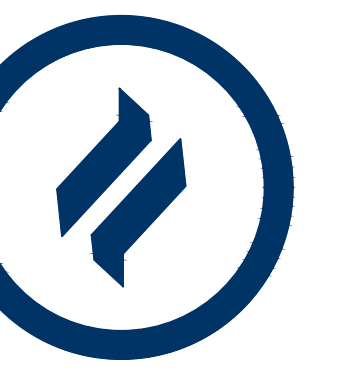
- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- 242 EXISTING CONTOUR
- 1250 PROPOSED CONTOUR
- 1250 EXISTING SPOT ELEV.
- 1250 NEW SPOT ELEV.
- GEB2 SOILS TYPE
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES
- (TOB) EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS

GRADING FEASIBILITY PLAN

SCALE: 1"=50'



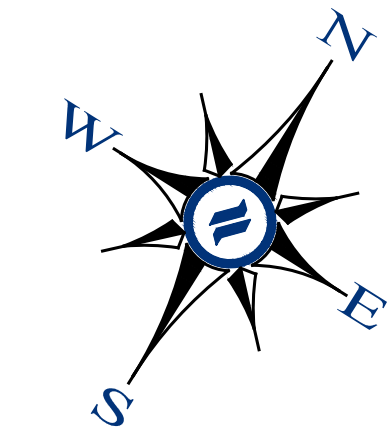
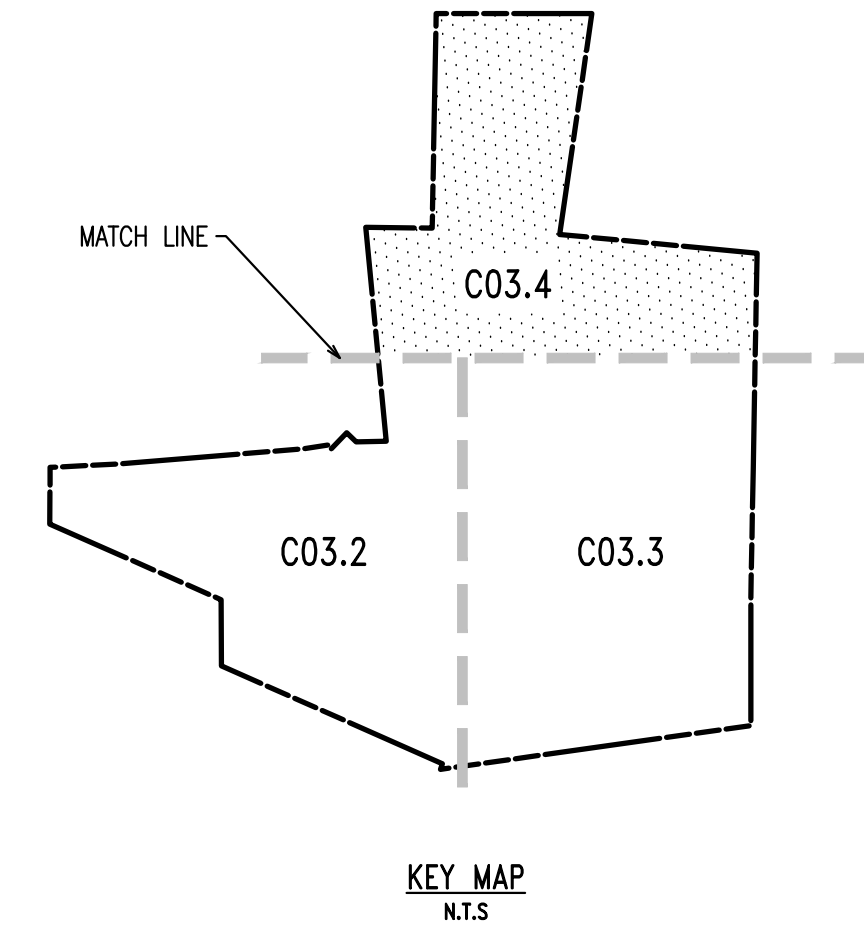
GRAPHIC SCALE
1 inch = 50 feet



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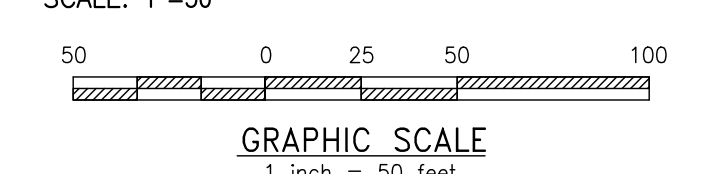


- LEGEND**
- EX. PROPERTY LINE
 - PROP. PROPERTY LINE
 - EX. RIGHT-OF-WAY
 - PROP. RIGHT-OF-WAY
 - EX. MONUMENT
 - PROP. MONUMENT
 - EX. IRON PIPE
 - PROP. IRON PIPE
 - EX. EASEMENT
 - PROP. EASEMENT
 - EX. WELAND
 - 242 EXISTING CONTOUR
 - 123.00 PROPOSED CONTOUR
 - NEW SPOT ELEV.
 - SOILS TYPE
 - EX. CONC. CURB
 - PROP. CONC. CURB
 - EX. EDGE OF PAVING
 - PROP. EDGE OF PAVING
 - EX. LIGHT POLE
 - PROP. LIGHT POLE
 - EX. FENCE
 - EX. MAIL BOX
 - EX. SIGN
 - PROP. SIGN
 - EXIST. PARKING SPACES
 - PROP. PARKING SPACES
 - EX. TELE. LINE
 - PROP. TELE. LINE
 - EX. ELEC. LINE
 - PROP. ELEC. LINE
 - EX. UTILITY POLE
 - PROP. UTILITY POLE
 - EX. GUY ANCHOR
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 - EX. GAS VALVE
 - PROP. GAS VALVE
 - EX. STORM SEWER LINE
 - PROP. STORM SEWER LINE
 - EX. STORM INLET
 - PROP. STORM INLET
 - EX. STORM INLET ID
 - PROP. STORM INLET ID
 - EX. SEEPAGE BED
 - PROP. SEEPAGE BED
 - EX. SANITARY SEWER LINE
 - PROP. SAN. SEWER LINE
 - EX. SAN. SEWER LATERAL
 - PROP. SAN. SEWER LATERAL
 - EX. SANITARY MH. ID
 - PROP. SANITARY MH. ID
 - EX. WATER LINE
 - PROP. WATER LINE
 - EX. WATER LATERAL
 - PROP. WATER LATERAL
 - EX. FIRE WATER LINE
 - PROP. FIRE WATER LINE
 - EX. WATER VALVE
 - PROP. WATER VALVE
 - EX. HYDRANT
 - PROP. HYDRANT
 - EX. MANHOLE
 - PROP. MANHOLE
- ZONE AE FLOODPLAIN
 - 15% - 25% SLOPES
 - 25%+ SLOPES
 - WETLANDS

MATCHLINE - SEE SHEET C03.2

MATCHLINE - SEE SHEET C03.3

GRADING FEASIBILITY PLAN
SCALE: 1"=50'

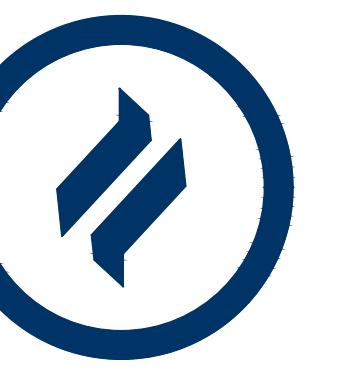


REV.	DATE	REVISIONS PER TOWNSHIP CONSULTANTS' COMMENTS	DESCRIPTION
1	08/31/21		
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**CONDITIONAL USE
GRADING FEASIBILITY PLAN**

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

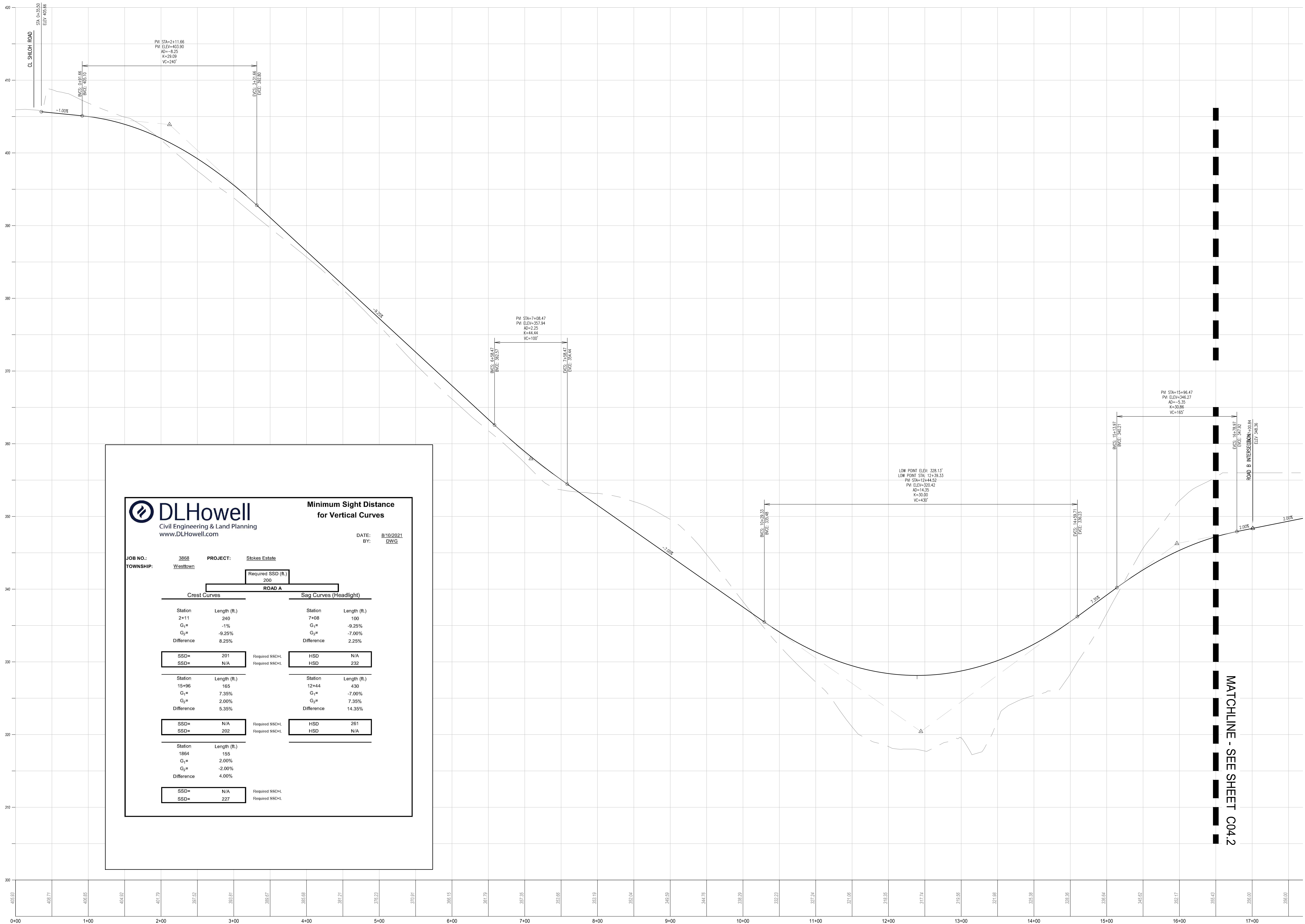
DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
DATE: 08/31/21
DRAWING NO.: C03.4
SHEET 13 OF 31



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DATE: 8/10/2021
BY: DWG

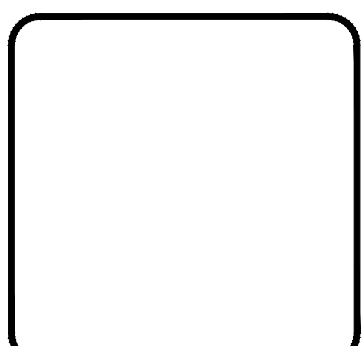
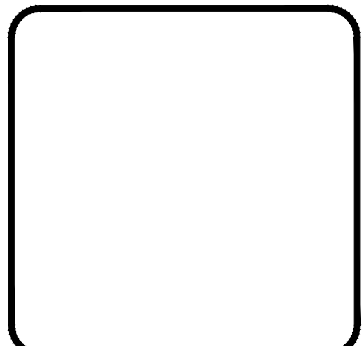
JOB NO.: 3868 PROJECT: Stokes Estate
TOWNSHIP: Westtown

Required SSD (ft.)
200

Crest Curves		Sag Curves (Headlight)	
Station	Length (ft.)	Station	Length (ft.)
2+11	240	7+08	100
G ₁ =	-1%	G ₁ =	-9.25%
G ₂ =	-9.25%	G ₂ =	-7.00%
Difference	8.25%	Difference	2.25%
SSD=	201	Required SSD<	HSD
SSD=	N/A	Required SSD<	HSD
Station	Length (ft.)	Station	Length (ft.)
15+96	165	12+44	430
G ₁ =	7.35%	G ₁ =	-7.00%
G ₂ =	2.00%	G ₂ =	7.35%
Difference	5.35%	Difference	14.35%
SSD=	N/A	Required SSD<	HSD
SSD=	202	Required SSD<	HSD
Station	Length (ft.)	Station	Length (ft.)
1864	155		
G ₁ =	2.00%		
G ₂ =	-2.00%		
Difference	4.00%		
SSD=	N/A	Required SSD<	HSD
SSD=	227	Required SSD<	HSD

ROAD A PROFILE
HORIZ. SCALE: 1"=50'
VERT. SCALE: 1"=5'

MATCHLINE - SEE SHEET C04.2

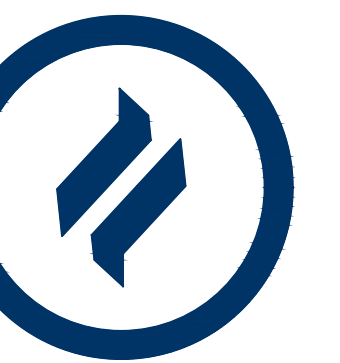


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CONDITIONAL USE
PROFILES

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

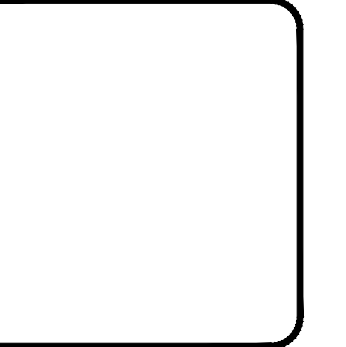
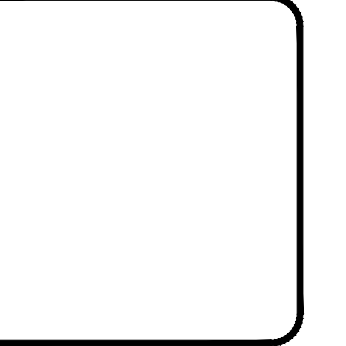
DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: H PROFILES.dwg
PLOTTER: 08/31/21
DRAWING NO.: C04.1
SHEET 14 of 31



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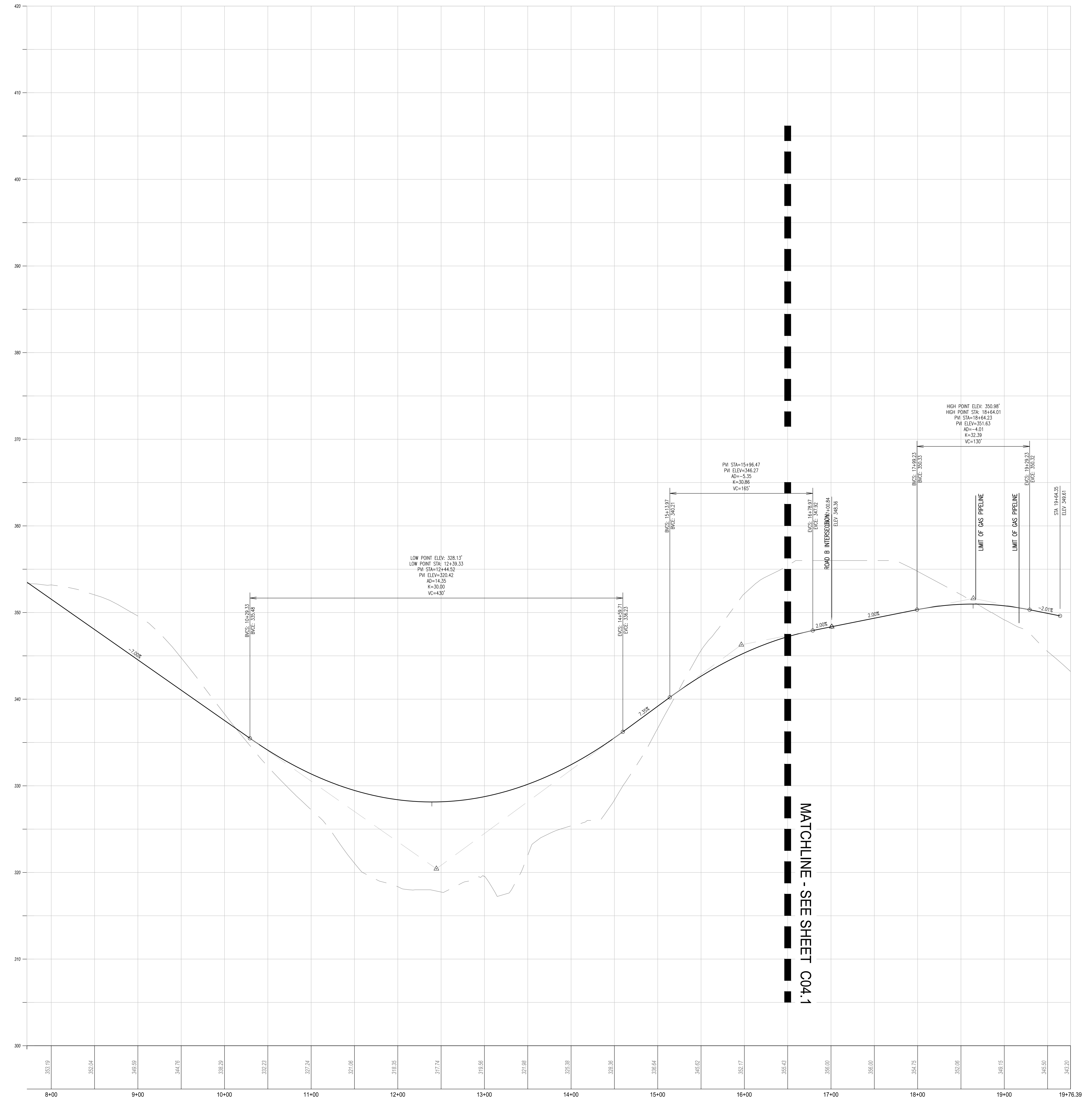


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CONDITIONAL USE
PROFILES

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: H PROFILES.dwg
PLOTTER: 08/31/21
DRAWING NO.: C04.2
SHEET 15 of 31



ROAD A PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'

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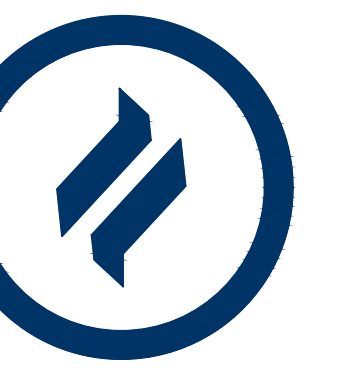
**Minimum Sight Distance
for Vertical Curves**

DATE: 8/10/2021
BY: DWG

JOB NO.: 3868 PROJECT: Stokes Estate
TOWNSHIP: Westtown

Required SSD (ft.)
200

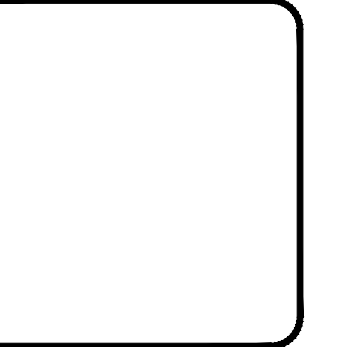
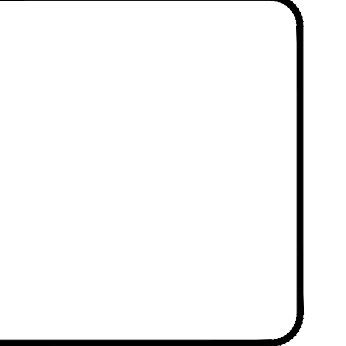
Crest Curves		Sag Curves (Headlight)	
Station	Length (ft.)	Station	Length (ft.)
2+11	240	7+08	100
G ₁ =	-1%	G ₁ =	-9.25%
G ₂ =	-9.25%	G ₂ =	-7.00%
Difference	8.25%	Difference	2.25%
SSD=	201	Required SSD-L	HSD
SSD=	N/A	Required SSD-L	HSD
15+96	165	12+44	430
G ₁ =	7.35%	G ₁ =	-7.00%
G ₂ =	2.00%	G ₂ =	7.35%
Difference	5.35%	Difference	14.35%
SSD=	N/A	Required SSD-L	HSD
SSD=	202	Required SSD-L	HSD
1864	155		
G ₁ =	2.00%		
G ₂ =	-2.00%		
Difference	4.00%		
SSD=	N/A	Required SSD-L	HSD
SSD=	227	Required SSD-L	HSD



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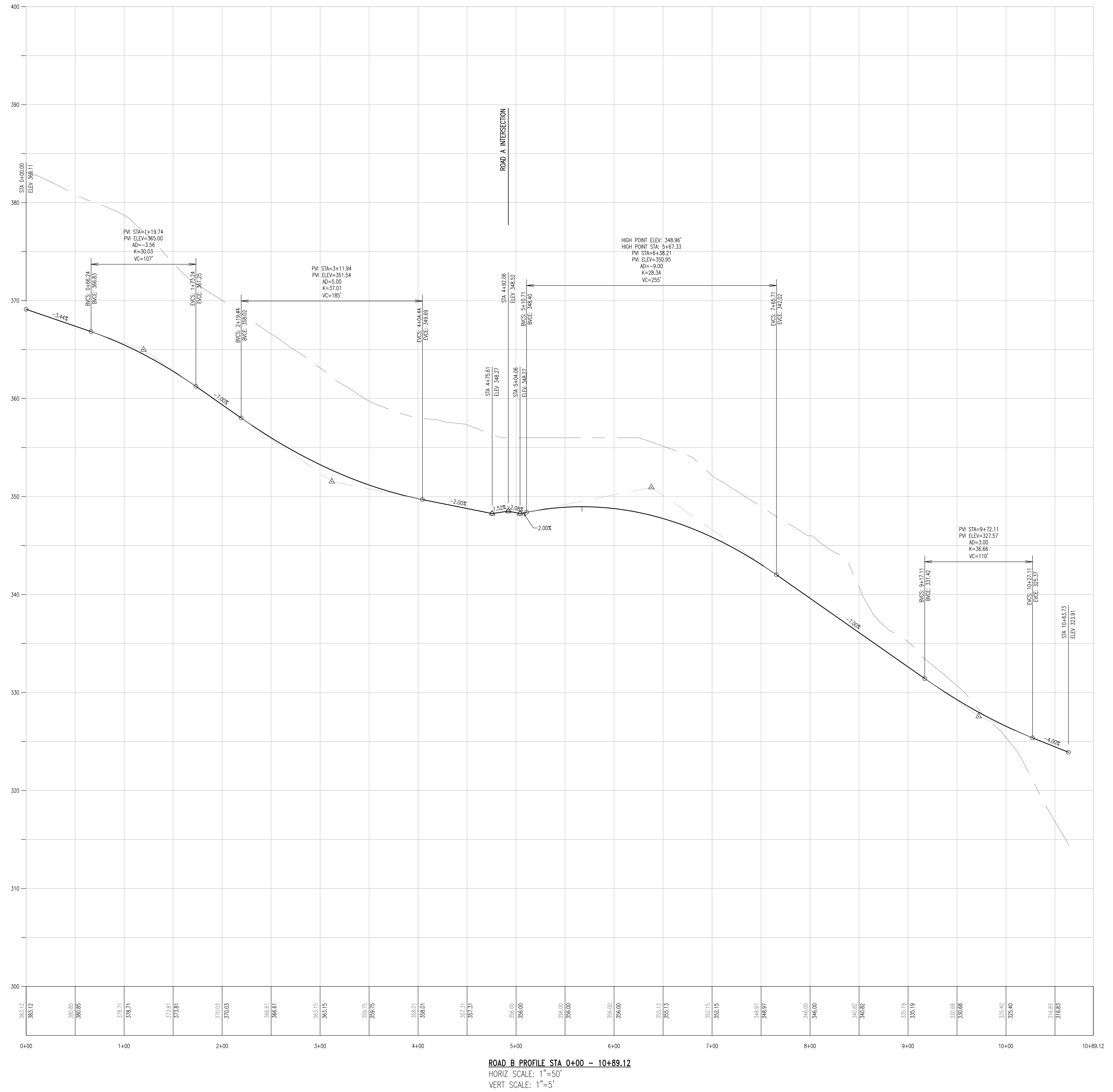


REV	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
2		
3		
4		
5		
6		
7		
8		

CONDITIONAL USE
PROFILES

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
CAD FILE:	H_PROFILES.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C04.3
SHEET:	16 of 31



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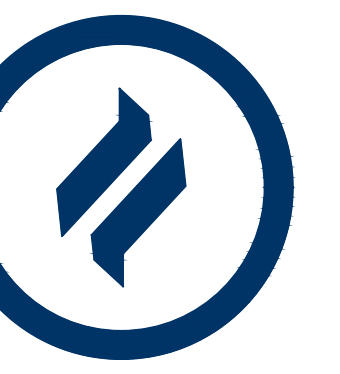
DATE: 8/10/2021
BY: DWG

JOB NO.: 3868 PROJECT: Stokes Estate
TOWNSHIP: Westtown

Minimum Sight Distance for Vertical Curves

Crest Curves		Sag Curves (Headlight)	
Station	Length (ft.)	Station	Length (ft.)
1+20	107	3+23	185
G ₁ =	-3%	G ₁ =	-7.00%
G ₂ =	-7.00%	G ₂ =	-2.00%
Difference	3.56%	Difference	5.00%
SSD=	N/A	HSD	N/A
SSD=	200	HSD	203

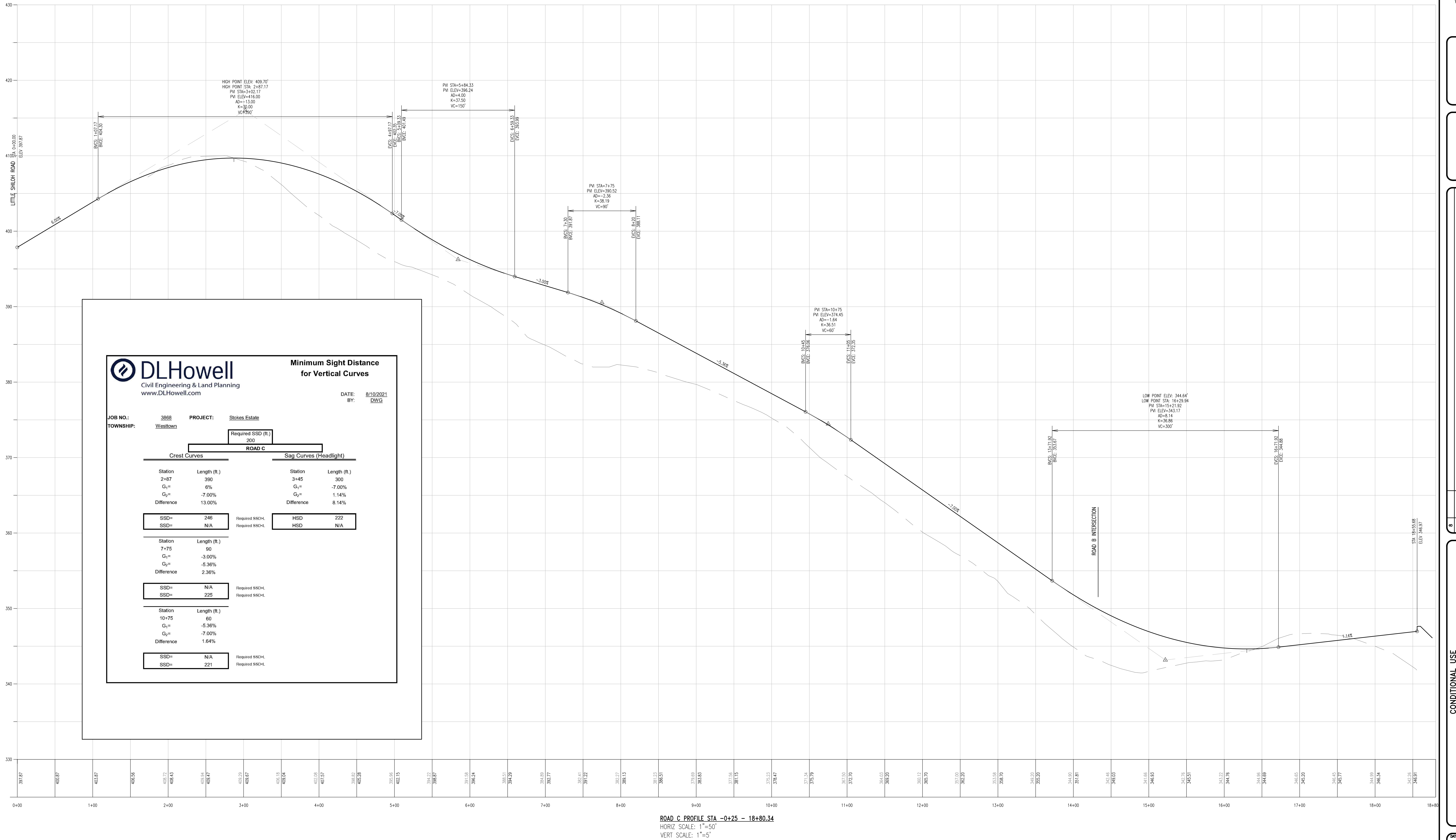
Crest Curves		Sag Curves (Headlight)	
Station	Length (ft.)	Station	Length (ft.)
5+71	255	9+72	110
G ₁ =	2.00%	G ₁ =	-7.00%
G ₂ =	-7.00%	G ₂ =	-4.00%
Difference	9.00%	Difference	3.00%
SSD=	201	HSD	N/A
SSD=	N/A	HSD	201



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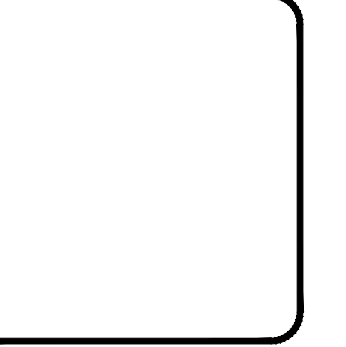
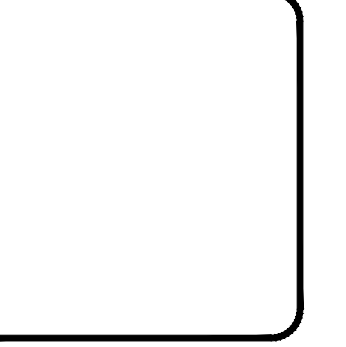
DATE: 8/10/2021
BY: DWG

JOB NO.: 3868 PROJECT: Stokes Estate
TOWNSHIP: Westtown

Required SSD (ft.)
200
ROAD C

Crest Curves		Sag Curves (Headlight)	
Station	Length (ft.)	Station	Length (ft.)
2+87	390	3+45	300
G ₁ =	6%	G ₁ =	-7.00%
G ₂ =	-7.00%	G ₂ =	1.14%
Difference	13.00%	Difference	8.14%
SSD =	246	Required SSD-L	HSD = 222
SSD =	N/A	Required SSD-L	HSD = N/A
Station	Length (ft.)		
7+75	90		
G ₁ =	-3.00%		
G ₂ =	-5.36%		
Difference	2.36%		
SSD =	N/A	Required SSD-L	
SSD =	225	Required SSD-L	
Station	Length (ft.)		
10+75	60		
G ₁ =	-5.36%		
G ₂ =	-7.00%		
Difference	1.64%		
SSD =	N/A	Required SSD-L	
SSD =	221	Required SSD-L	

ROAD C PROFILE STA -0+25 - 18+80.34
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'

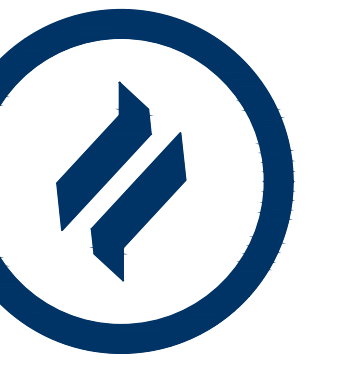


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1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
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CONDITIONAL USE
PROFILES

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

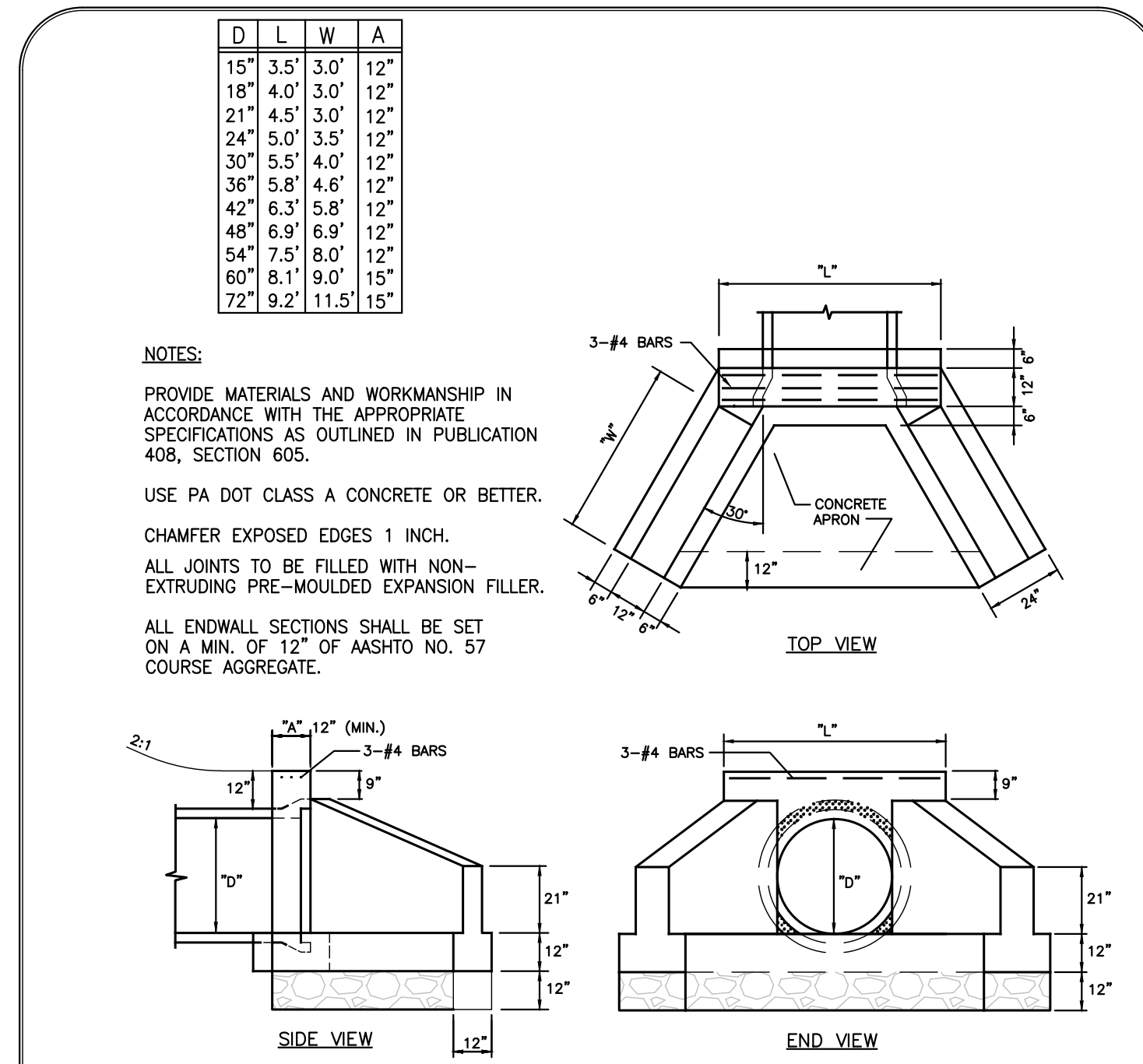
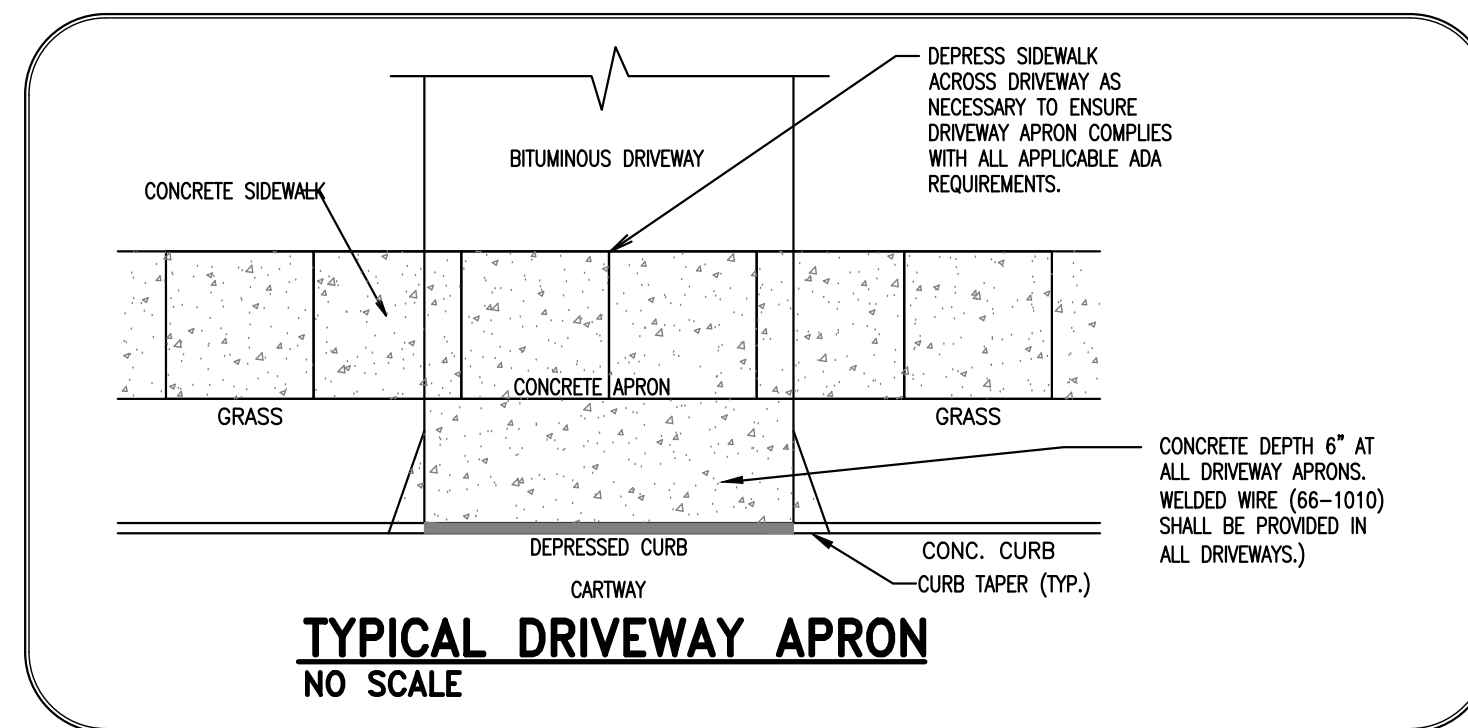
DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
CAD FILE:	H_PROFILES.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C04.4
SHEET	17 of 31



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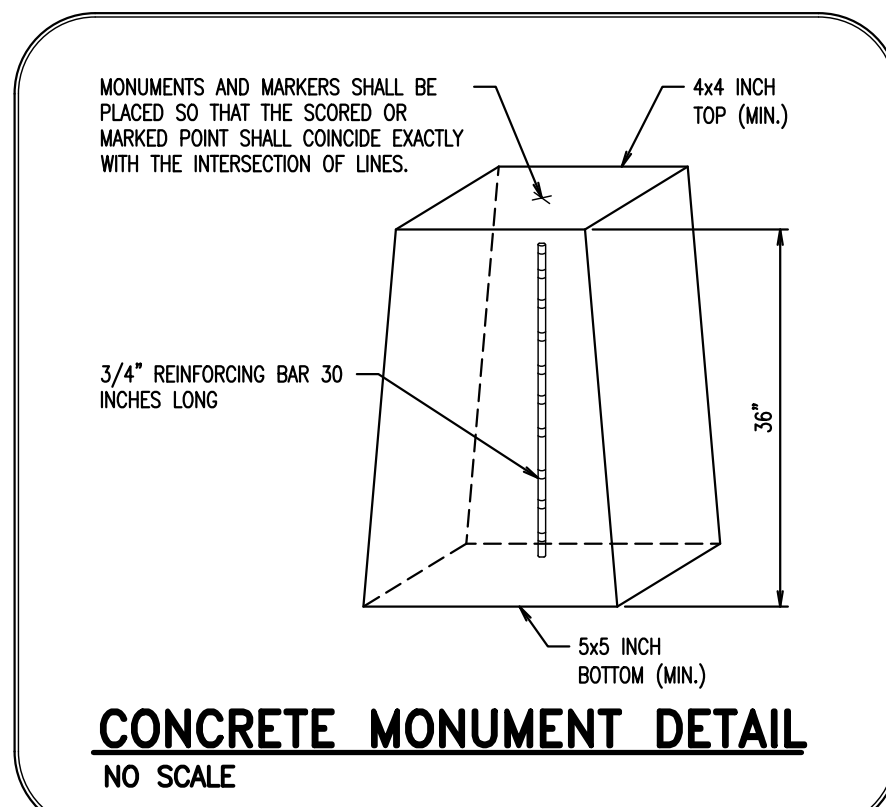
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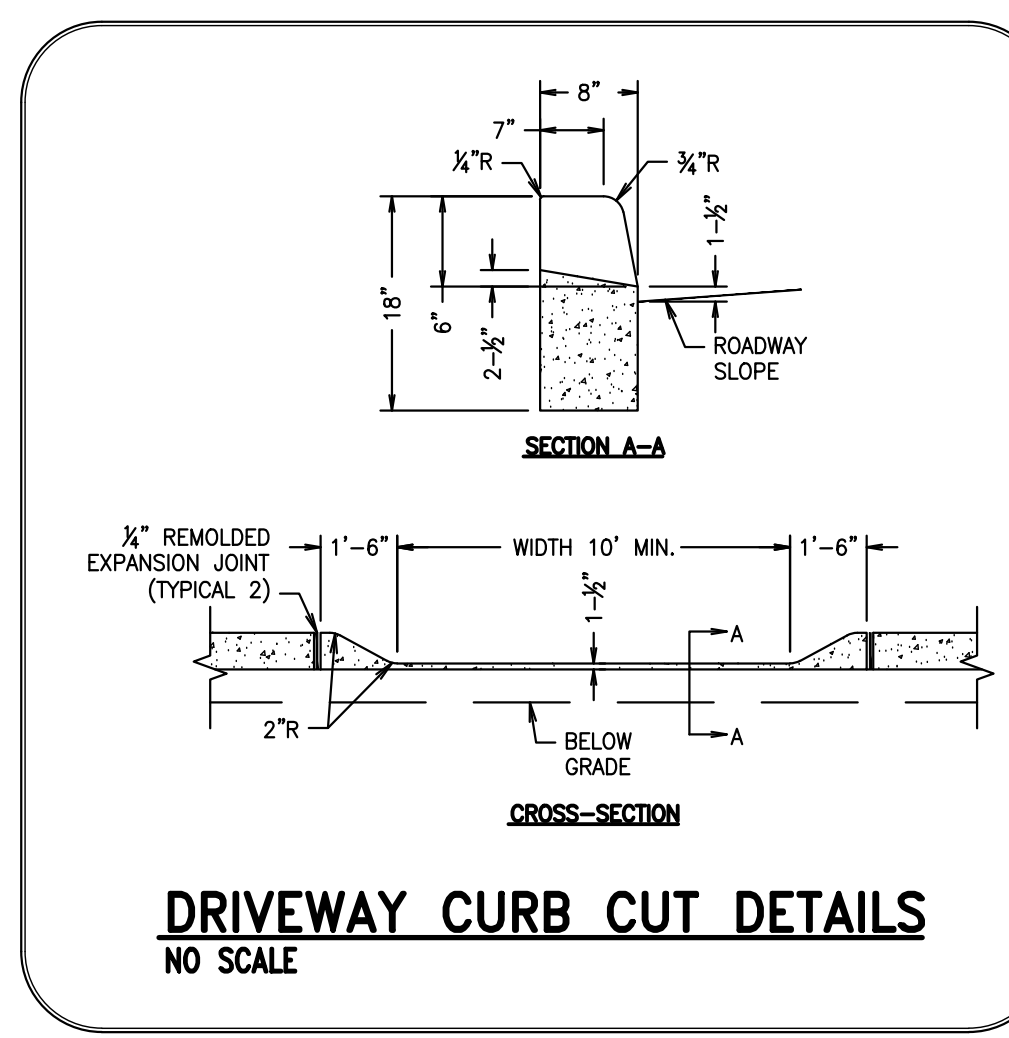


TYPICAL DRIVEWAY APRON NO SCALE

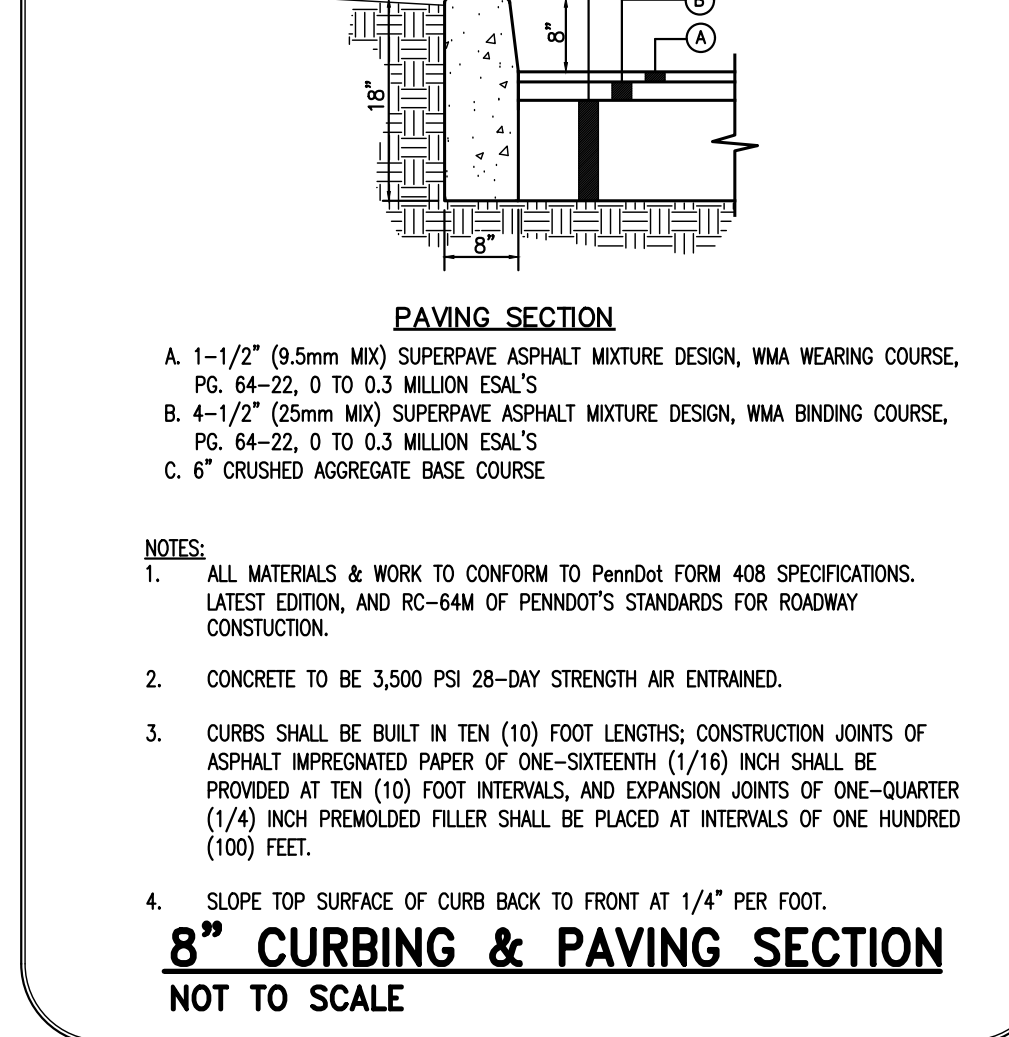
TYPE D-W ENDWALL NO SCALE



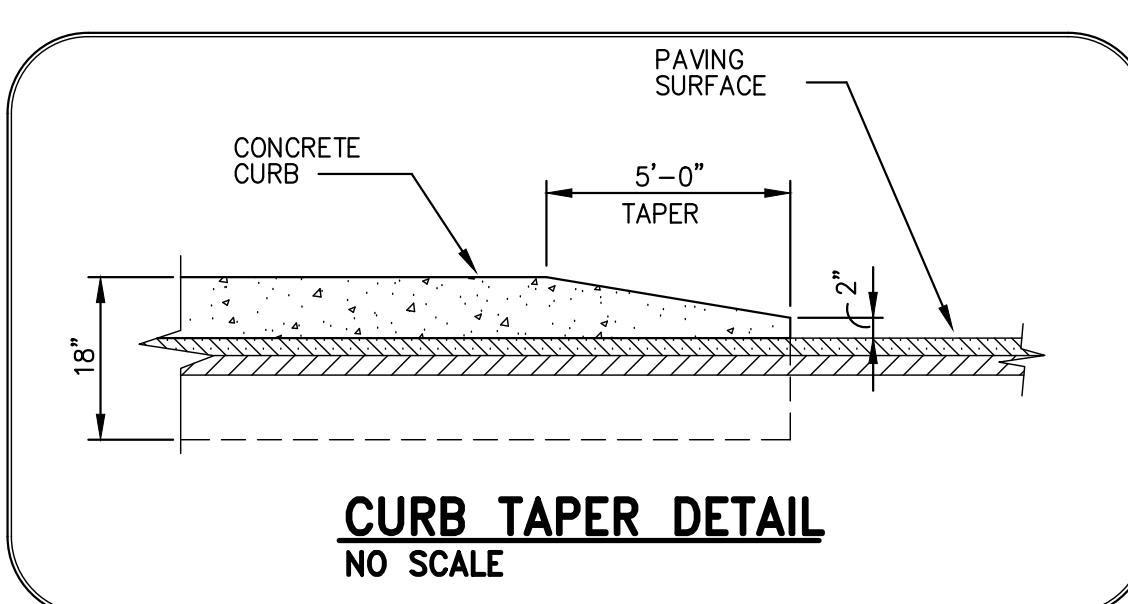
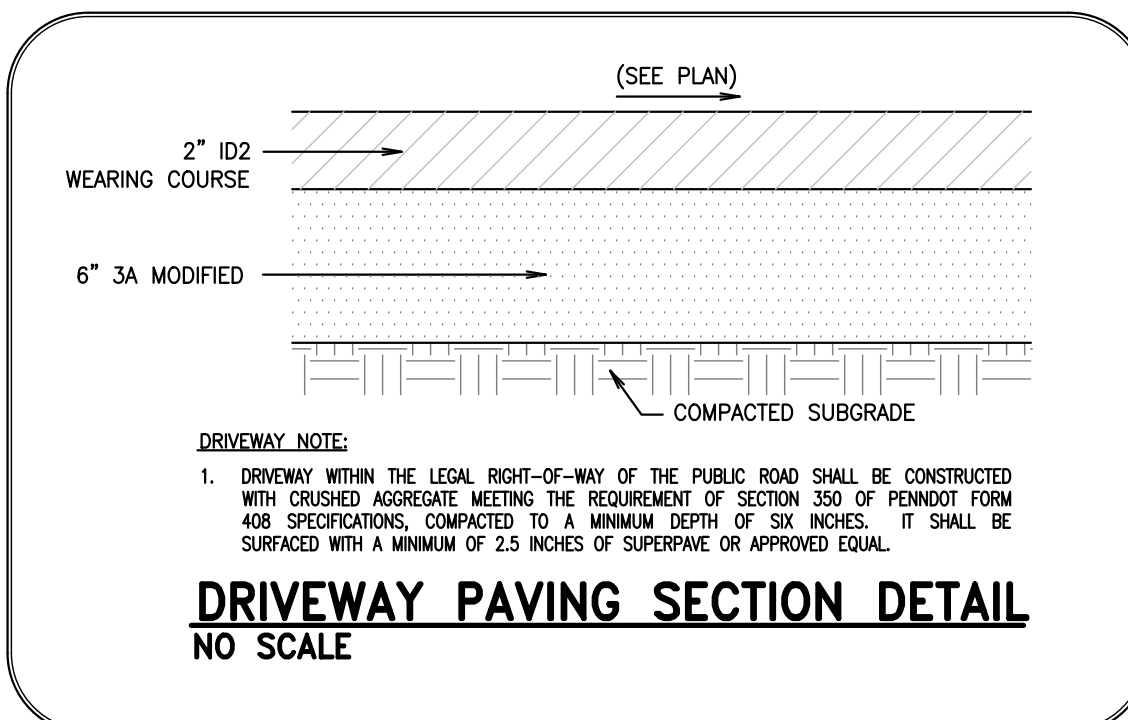
CONCRETE MONUMENT DETAIL NO SCALE



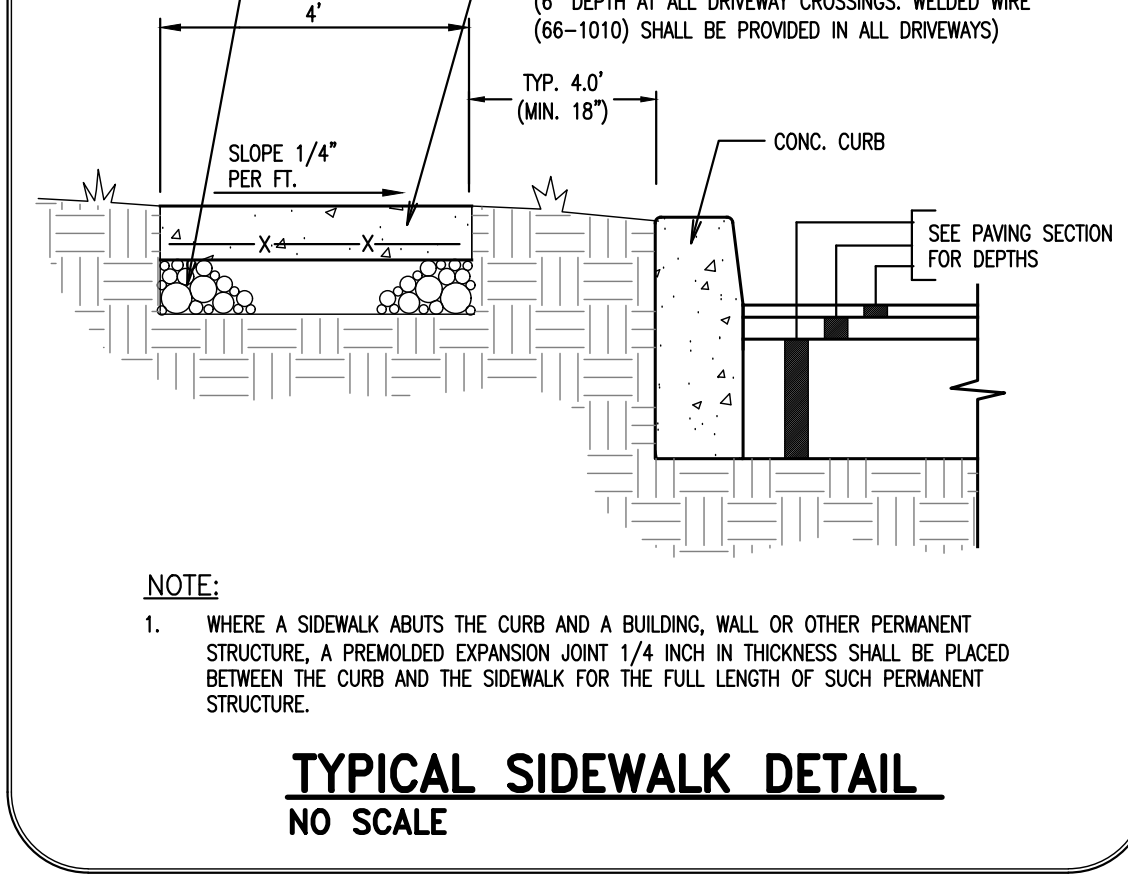
DRIVEWAY CURB CUT DETAILS NO SCALE



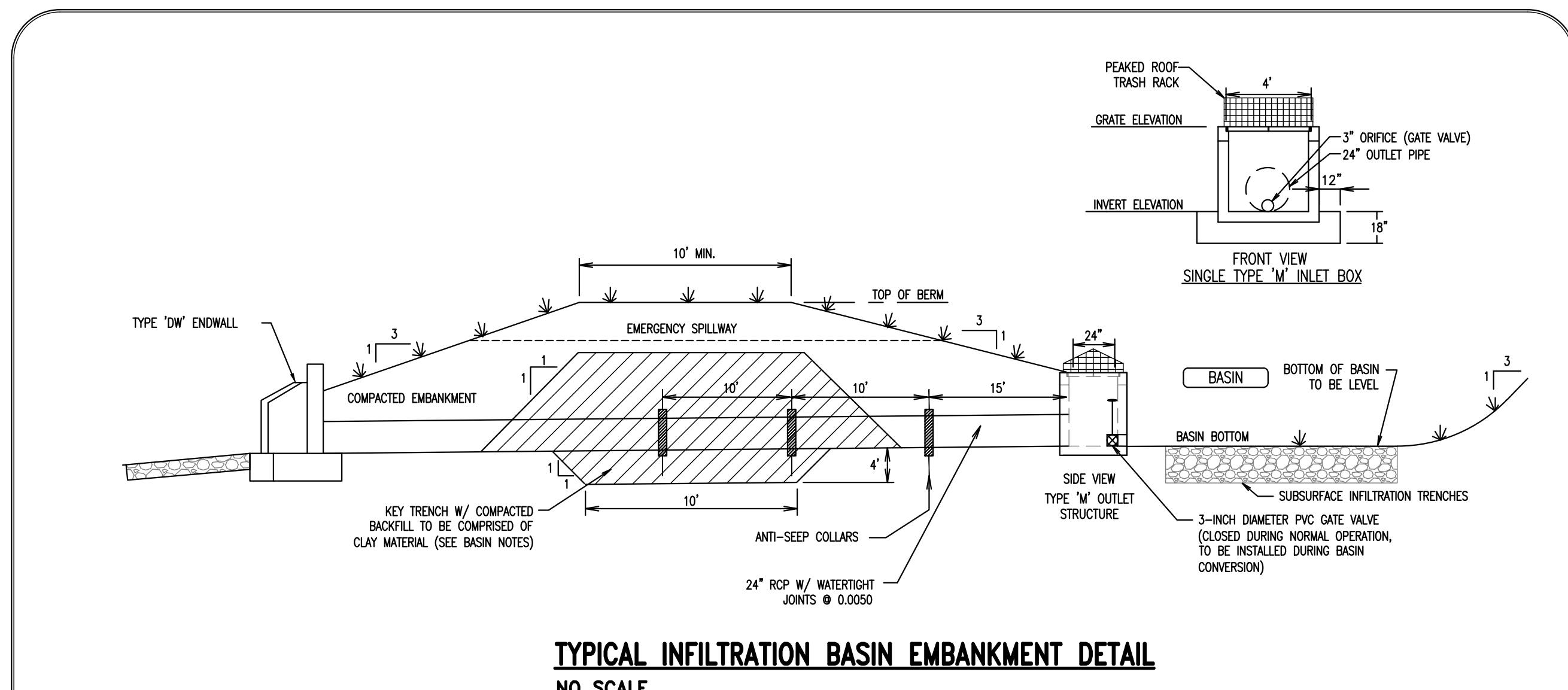
8" CURBING & PAVING SECTION NOT TO SCALE



DRIVEWAY PAVING SECTION DETAIL NO SCALE

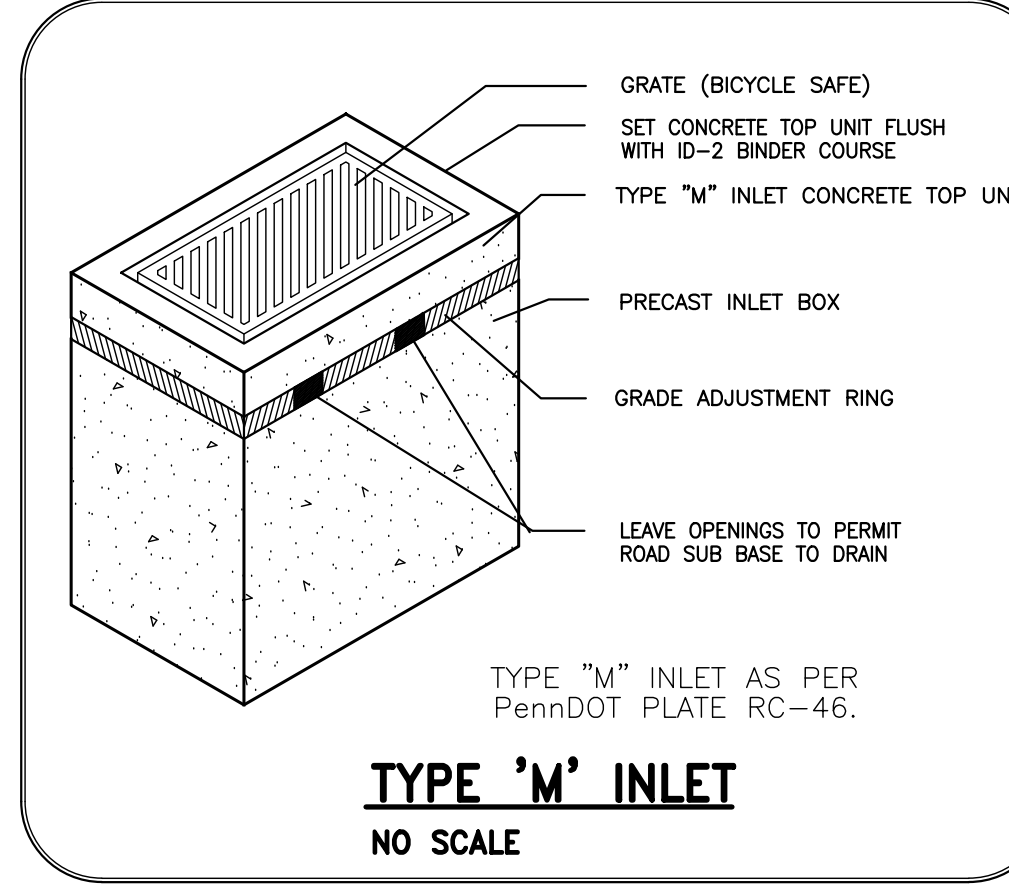


TYPICAL SIDEWALK DETAIL NO SCALE

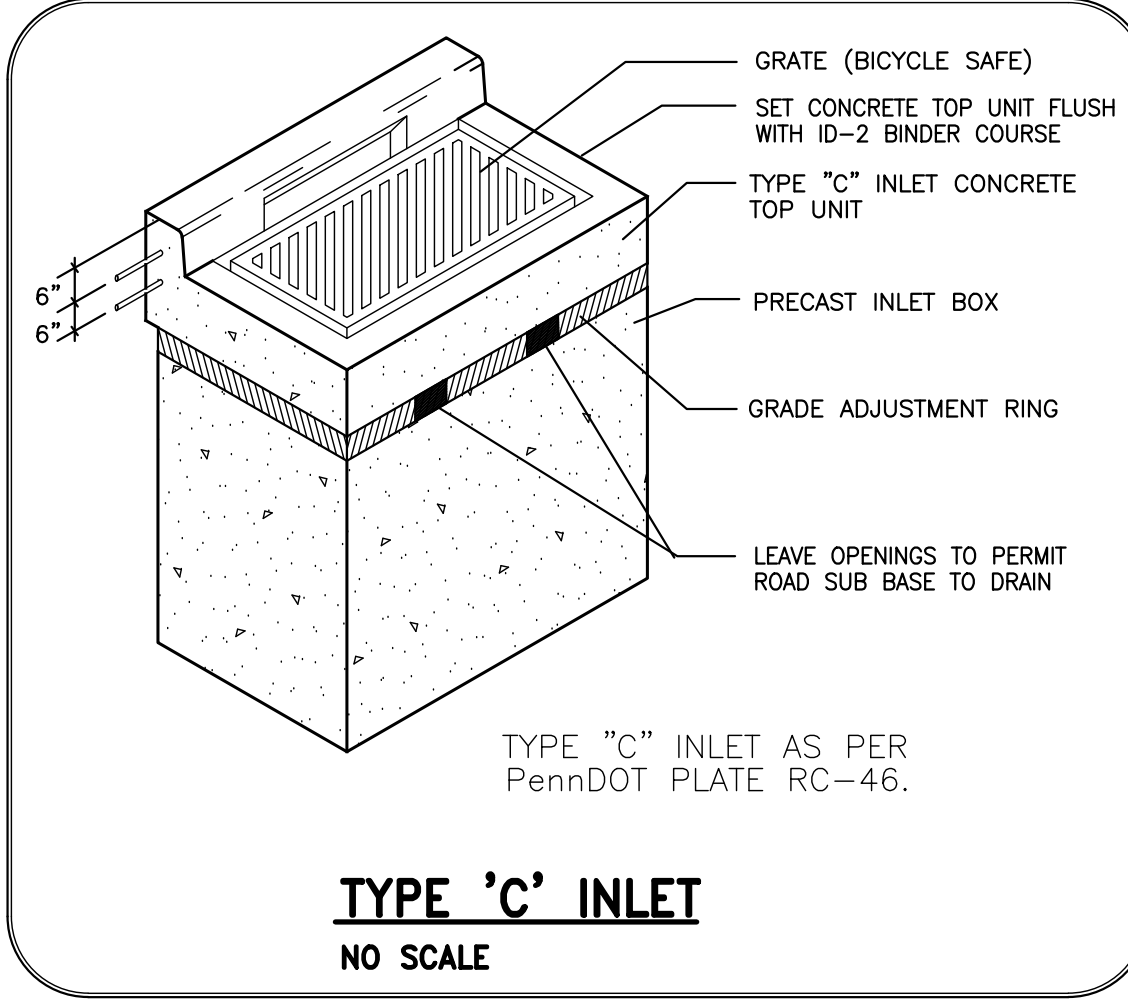


TYPICAL INFILTRATION BASIN EMBANKMENT DETAIL NO SCALE

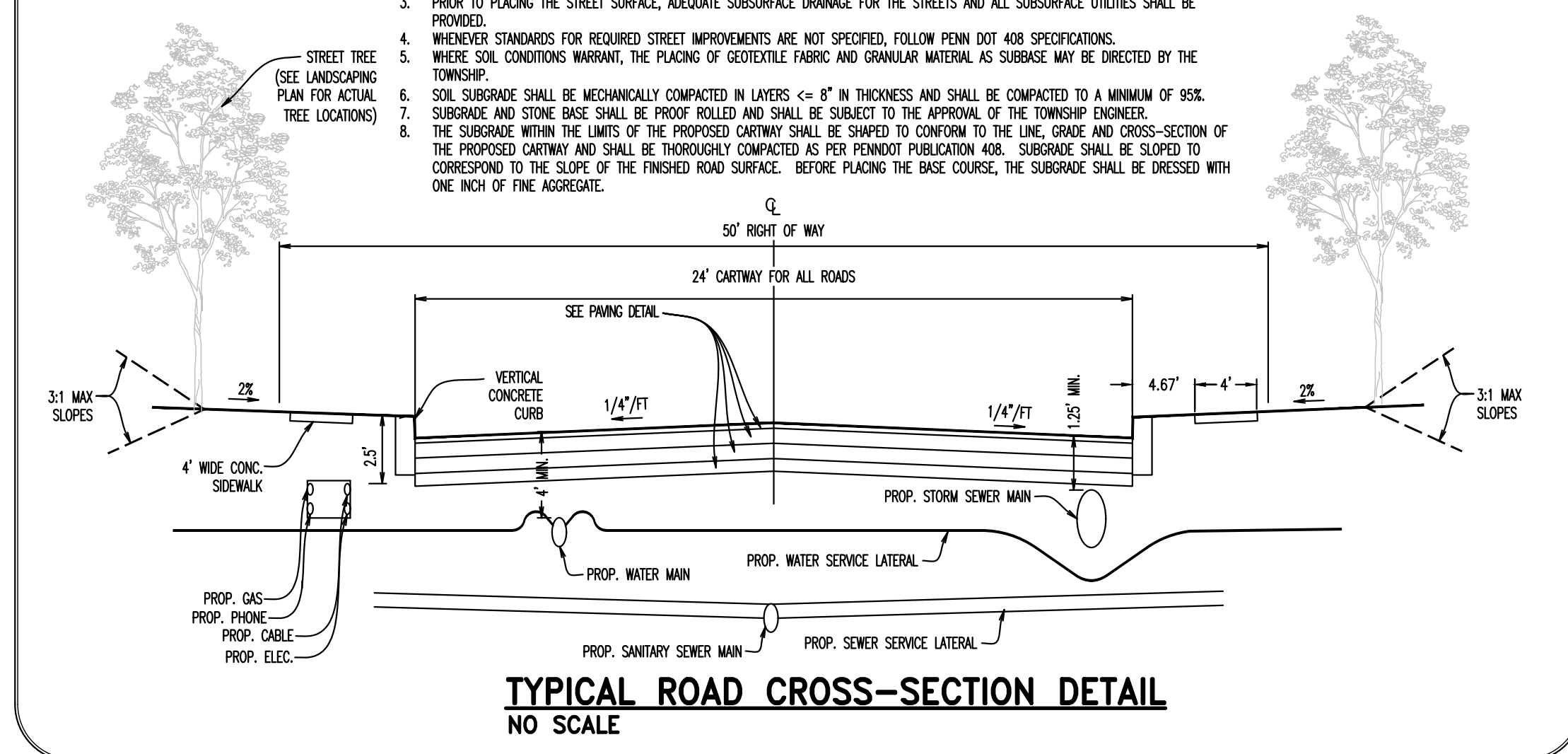
- STORMWATER INFILTRATION BASIN CONSTRUCTION SPECIFICATIONS:
1. PRELIMINARY EMBANKMENT CONSTRUCTION...
2. HEAVY EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED...
3. THE BOTTOM OF ALL INFILTRATION TRENCHES SHALL BE UNDISTURBED...
4. A CUT-OFF TRENCH SHALL BE LOCATED ALONG THE CENTERLINE OF THE EARTH FILL EMBANKMENT...
5. ALL BACK EXCAVATION EQUIPMENT SHALL BE PERFORMED...
6. FILL MATERIAL FOR THE CUT-OFF TRENCH SHALL BE OF UNIFIED SOIL...
7. FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95%...
8. FILL MATERIAL SHALL BE PLACED IN 6 INCH TO 8 INCH CONTINUOUS LAYS...
9. FILL MATERIAL FOR THE EMBANKMENT SHALL BE MINERAL SOIL...
10. THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION...
11. FOLLOWING COMPLETION OF THE FINAL GRADING...
12. THE BASIN SHALL BE STABILIZED IN ACCORDANCE WITH THE APPROPRIATE VEGETATIVE STANDARDS...
13. IF AN INSUFFICIENT AMOUNT OF APPROPRIATE SOIL IS PROVIDED...
14. ONCE INFILTRATION TRENCHES HAVE BEEN CONSTRUCTED...
15. BACK EXCAVATIONS TO BE INCORPORATED BY THE TOWNSHIP ENGINEER...
16. THE DEVELOPER/OWNER SHALL CONDUCT ADDITIONAL SOIL INFILTRATION TESTS...
17. THE BASINS SHALL BE LINED WITH GEOTEXTILE FABRIC.



TYPE 'M' INLET NO SCALE



TYPE 'C' INLET NO SCALE

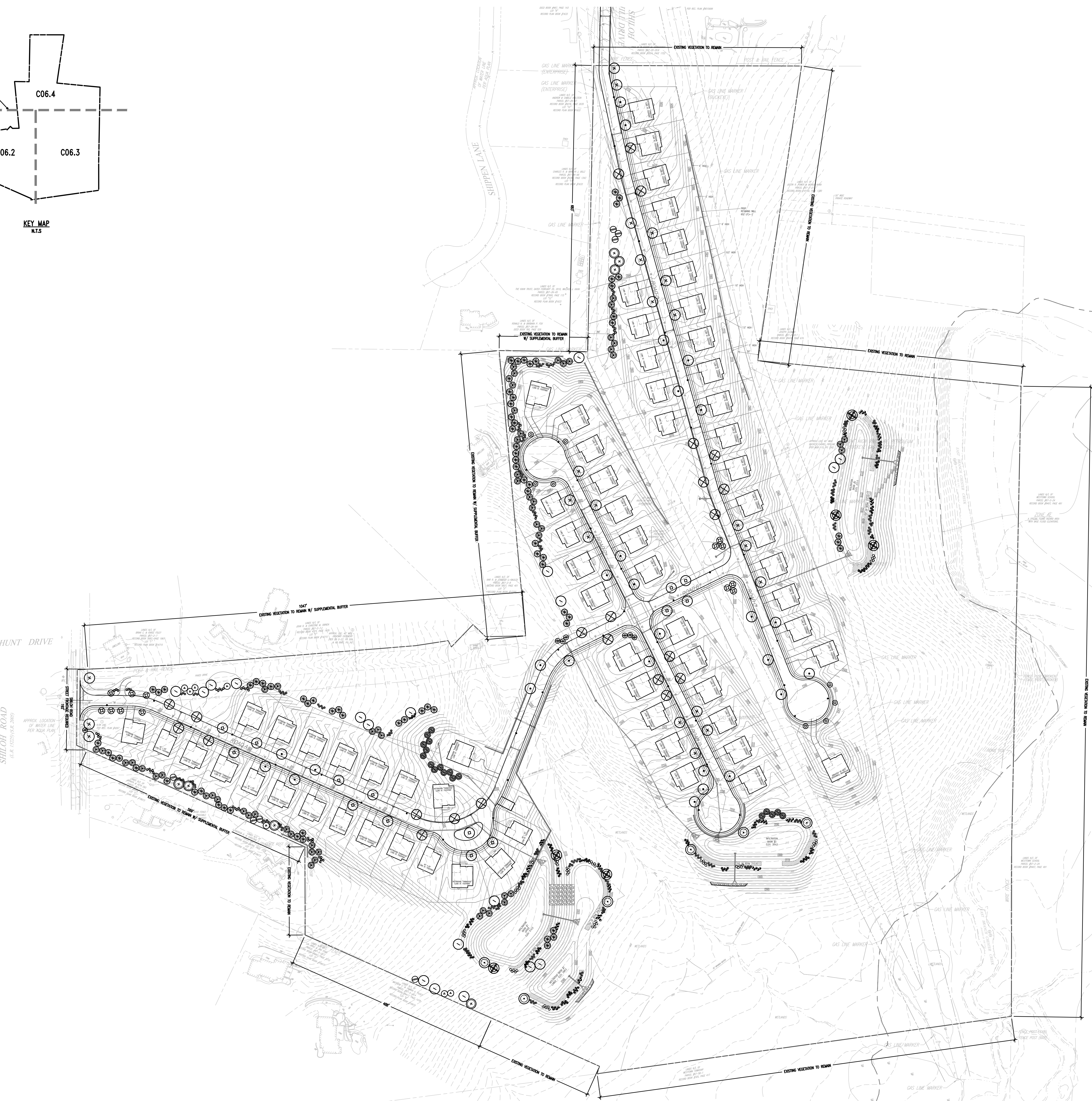
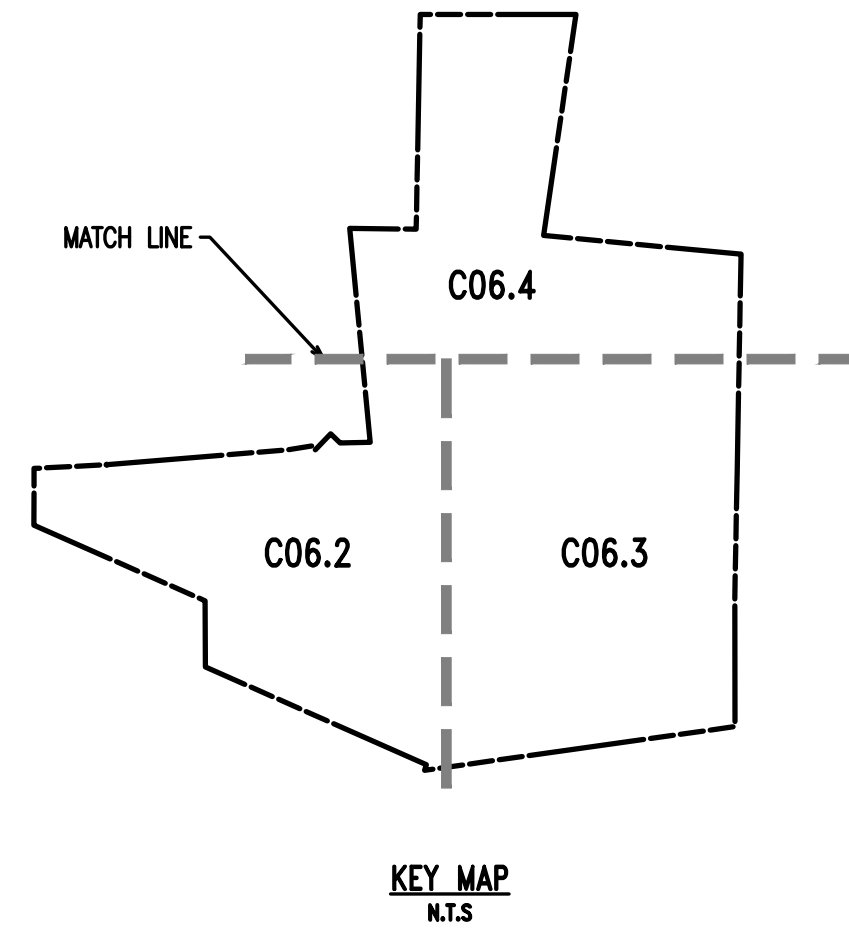


TYPICAL ROAD CROSS-SECTION DETAIL NO SCALE

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Table with 1 row and 1 column for revision tracking.

Table with 1 row and 1 column for revision tracking.



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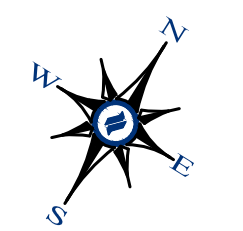
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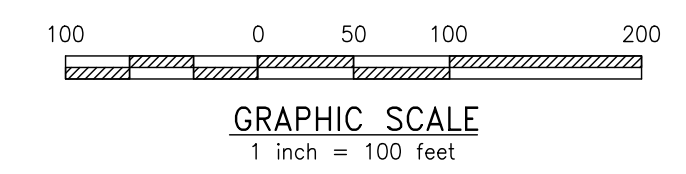
SITE PLAN NOTES:

1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN TO BE USED FOR LANDSCAPING AND SITE IMPROVEMENT PURPOSED ONLY.
3. PLANS CREATED FROM DRAWINGS FROM DL HOWELL ENGINEERING DATED, 08/23/2021.
4. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING TREES AND PLANT MATERIAL WITHIN THE AREA OF PROPOSED IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS OFF-SITE, CLEAN-UP OF ALL PAVED AREAS (ROADWAYS, SIDEWALKS, ETC.); AND RESTORATION OF ALL DISTURBED LAWN AREAS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES DAMAGED.
8. CONTRACTOR SHALL PROVIDE SCREENED PLANTING SOIL WHERE PLANTING IS TO OCCUR, 36" DEPTH, 6" DEPTH AT LAWN AREAS.
9. FOLLOWING COMPLETION OF ALL PLANTING INSTALLATION WORK, THE CONTRACTOR SHALL BE REQUIRED TO RESTORE ALL DISTURBED LAWN AREAS.
10. NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM AN UNDERGROUND UTILITY.
11. ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
12. VERIFY LAYOUT OF ALL PROPOSED WORK TO EXISTING CONDITIONS. REPORT DISCREPANCIES BEFORE ANY CLEARING OR EXCAVATION IS DONE.
13. PROVIDE STAKED LAYOUT ON SITE FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
14. ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
15. PLEASE NOTE, CLIENT DID NOT RETAIN STUART AND ASSOCIATES, LLC, TO PROVIDE LONG TERM MAINTENANCE SPECIFICATIONS FOR THE LANDSCAPE MATERIAL.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PA ONE CALL AND LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY DIGGING OR PLANT REMOVAL OCCURS.
17. CONTRACTOR SHALL INSTALL SILT FENCE IN ANY AREAS WHERE SOIL MAY RUNOFF INTO PARKING AREAS OR INTO EXISTING INLETS.
18. FOLLOWING THE COMPLETION, THE EXISTING VEGETATION WILL BE INSPECTED FOR HEALTH AND QUALITY, AND IF NOT DEEMED IN GOOD CONDITION, REPLACED WITH THE EQUIVALENT COMPENSATORY PLANTINGS.
19. V.I.F. = VERIFY IN FIELD.

NO.	DATE	REVISION	DESCRIPTION
1	08/31/21		
2			
3			
4			
5			
6			
7			
8			



OVERALL LANDSCAPE PLAN
SCALE: 1"=100'



CONDITIONAL USE
OVERALL LANDSCAPE PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA

DATE:	04/30/21
SCALE:	1"=100'
DRAWN BY:	TAS
CHECKED BY:	PJS
PROJECT NO.:	3868
CAD FILE:	001083L_STOKES_TLP.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C06.1
SHEET:	19 of 31

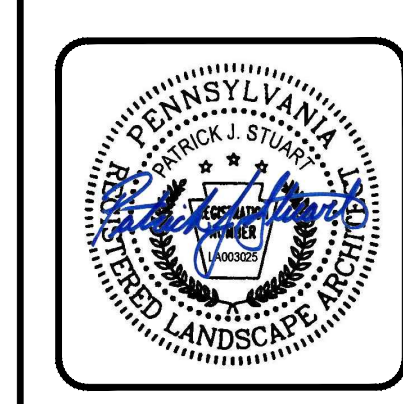
MATCHLINE - SEE SHEET C06.4

stuart
LANDSCAPE ARCHITECTS
PLANNERS | DESIGNERS



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SITE PLAN NOTES:

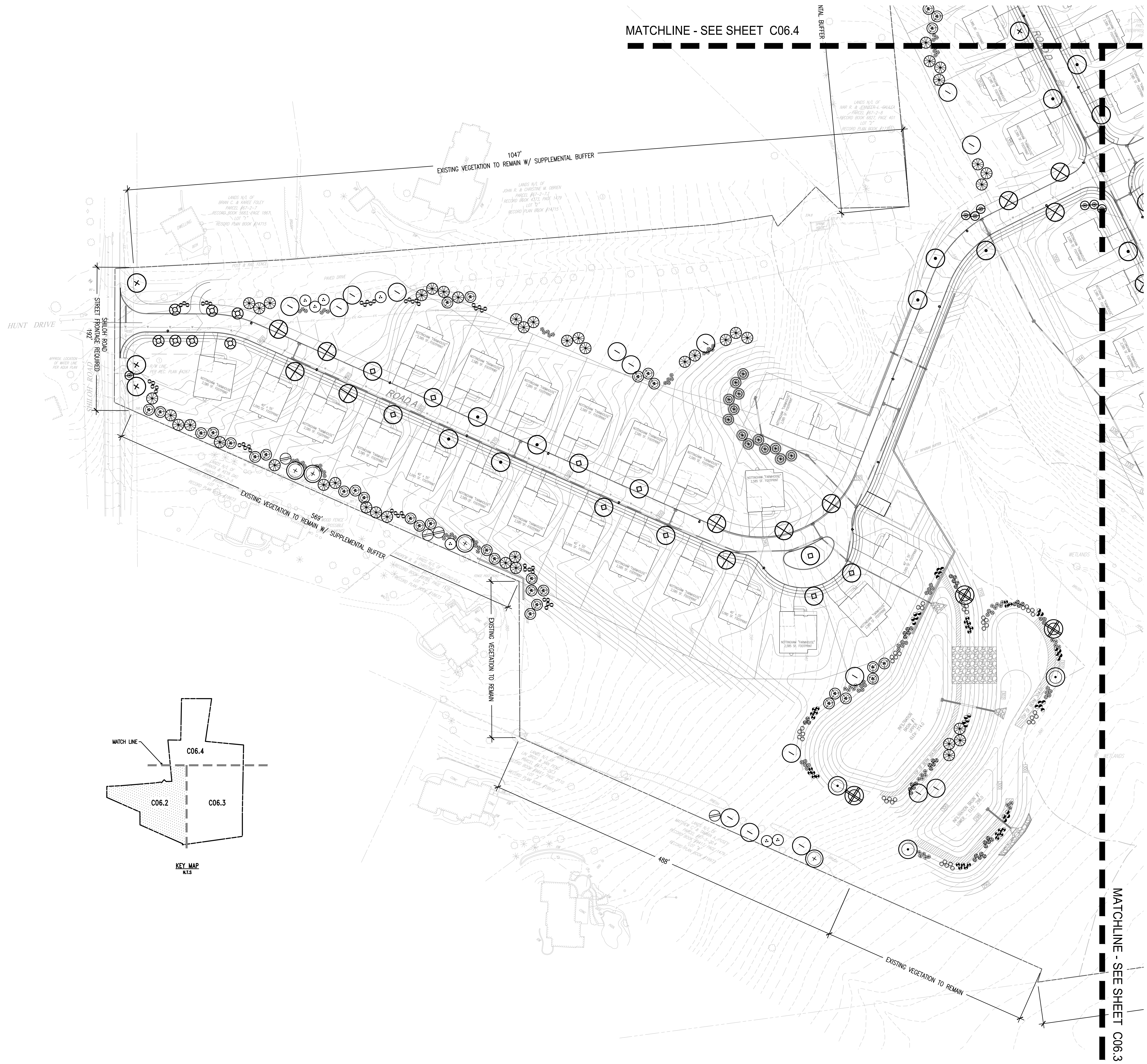
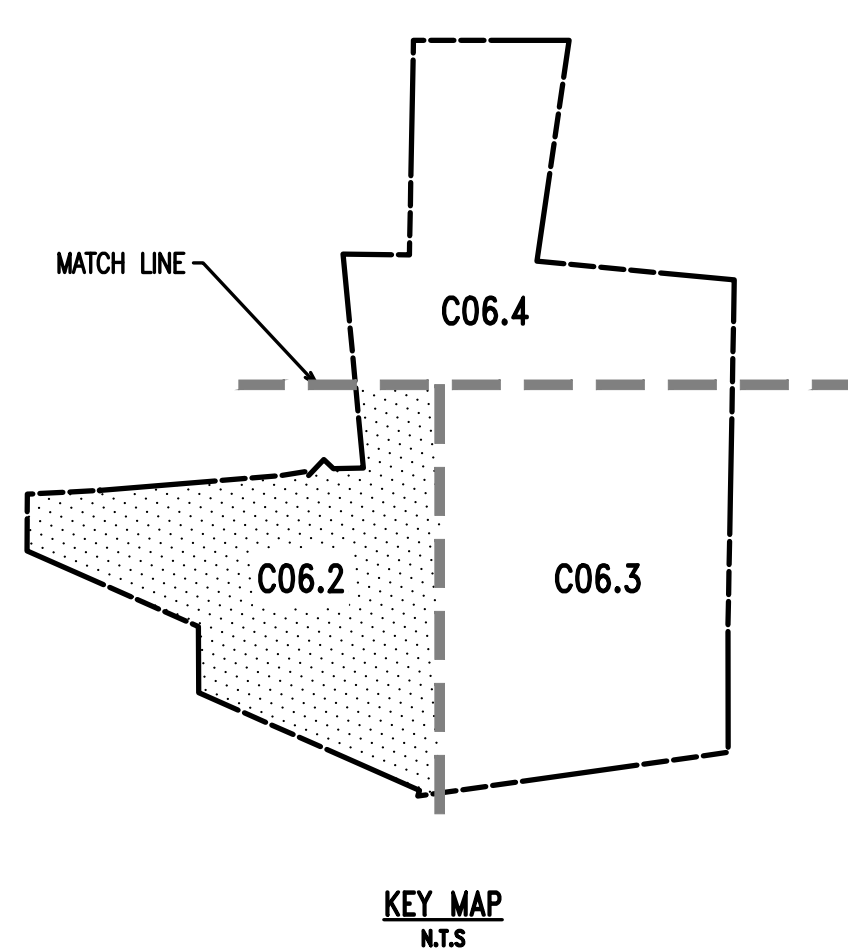
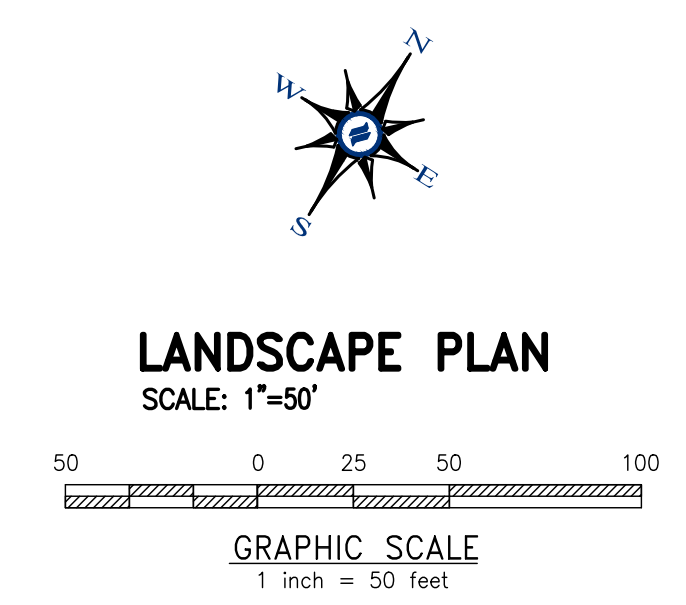
1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN TO BE USED FOR LANDSCAPING AND SITE IMPROVEMENT PURPOSES ONLY.
3. PLANS CREATED FROM DRAWINGS FROM DL HOWELL ENGINEERING DATED 08/23/2021.
4. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING TREES AND PLANT MATERIAL WITHIN THE AREA OF PROPOSED IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS OFF-SITE, CLEAN-UP OF ALL PAVED AREAS (ROADWAYS, SIDEWALKS, ETC.); AND RESTORATION OF ALL DISTURBED LAWN AREAS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES DAMAGED.
8. CONTRACTOR SHALL PROVIDE SCREENED PLANTING SOIL WHERE PLANTING IS TO OCCUR. 36" DEPTH, 6" DEPTH AT LAWN AREAS.
9. FOLLOWING COMPLETION OF ALL PLANTING INSTALLATION WORK, THE CONTRACTOR SHALL BE REQUIRED TO RESTORE ALL DISTURBED LAWN AREAS.
10. NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM AN UNDERGROUND UTILITY.
11. ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
12. VERIFY LAYOUT OF ALL PROPOSED WORK TO EXISTING CONDITIONS. REPORT DISCREPANCIES BEFORE ANY CLEARING OR EXCAVATION IS DONE.
13. PROVIDE STAKED LAYOUT ON SITE FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
14. ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
15. PLEASE NOTE, CLIENT DID NOT RETAIN STUART AND ASSOCIATES, LLC. TO PROVIDE LONG TERM MAINTENANCE SPECIFICATIONS FOR THE LANDSCAPE MATERIAL.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PA ONE CALL AND LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY DIGGING OR PLANT REMOVAL OCCURS.
17. CONTRACTOR SHALL INSTALL SILT FENCE IN ANY AREAS WHERE SOIL MAY RUNOFF INTO PARKING AREAS OR INTO EXISTING INLETS.
18. FOLLOWING THE COMPLETION, THE EXISTING VEGETATION WILL BE INSPECTED FOR HEALTH AND QUALITY, AND IF NOT DEEMED IN GOOD CONDITION, REPLACED WITH THE EQUIVALENT COMPENSATORY PLANTINGS.
19. V.I.F. = VERIFY IN FIELD.

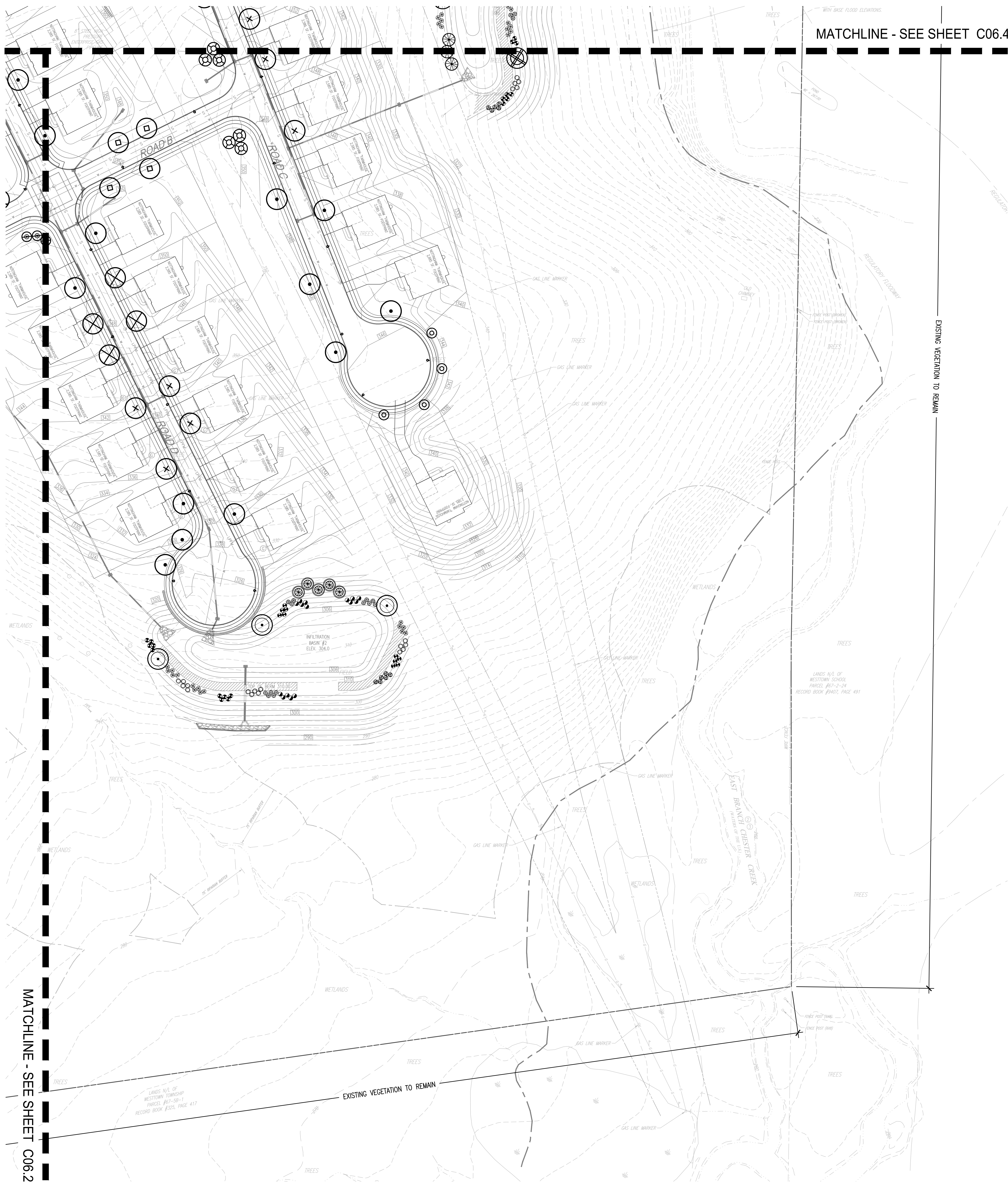
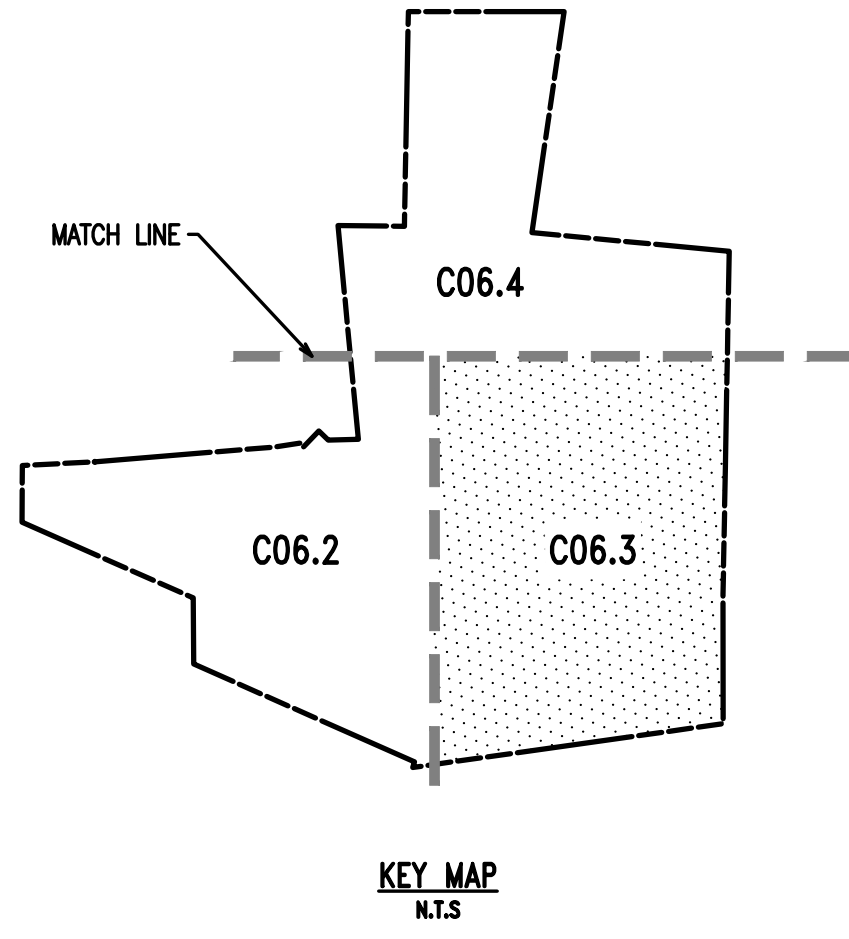
REV.	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANT COMMENTS
2		
3		
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5		
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CONDITIONAL USE
LANDSCAPE PLAN

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA

DATE: 04/30/21
SCALE: 1"=50'
DRAWN BY: TAS
CHECKED BY: PJS
PROJECT NO.: 3868
CAD FILE: 1013SHILOH_STOKES_TLP.dwg
PLOTTED: 08/31/21
DRAWING NO.: C06.2
SHEET 20 OF 31





MATCHLINE - SEE SHEET C06.4

EXISTING VEGETATION TO REMAIN

MATCHLINE - SEE SHEET C06.2

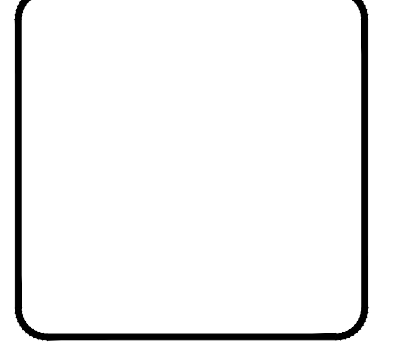
SITE PLAN NOTES:

1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN TO BE USED FOR LANDSCAPING AND SITE IMPROVEMENT PURPOSES ONLY.
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19. V.I.F. = VERIFY IN FIELD.

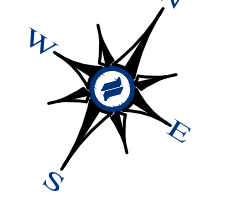


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Fax: (610) 918-9003



REV.	DATE	REVISION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANT COMMENTS
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LANDSCAPE PLAN
SCALE: 1"=50'

GRAPHIC SCALE
1 inch = 50 feet

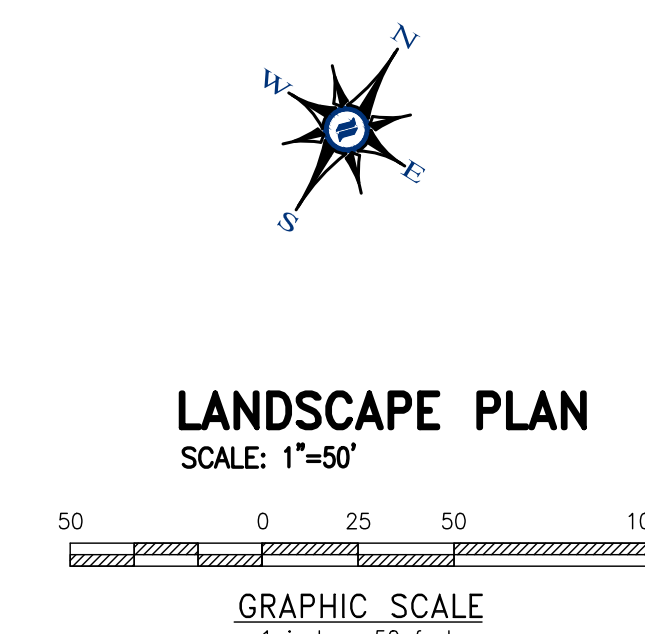
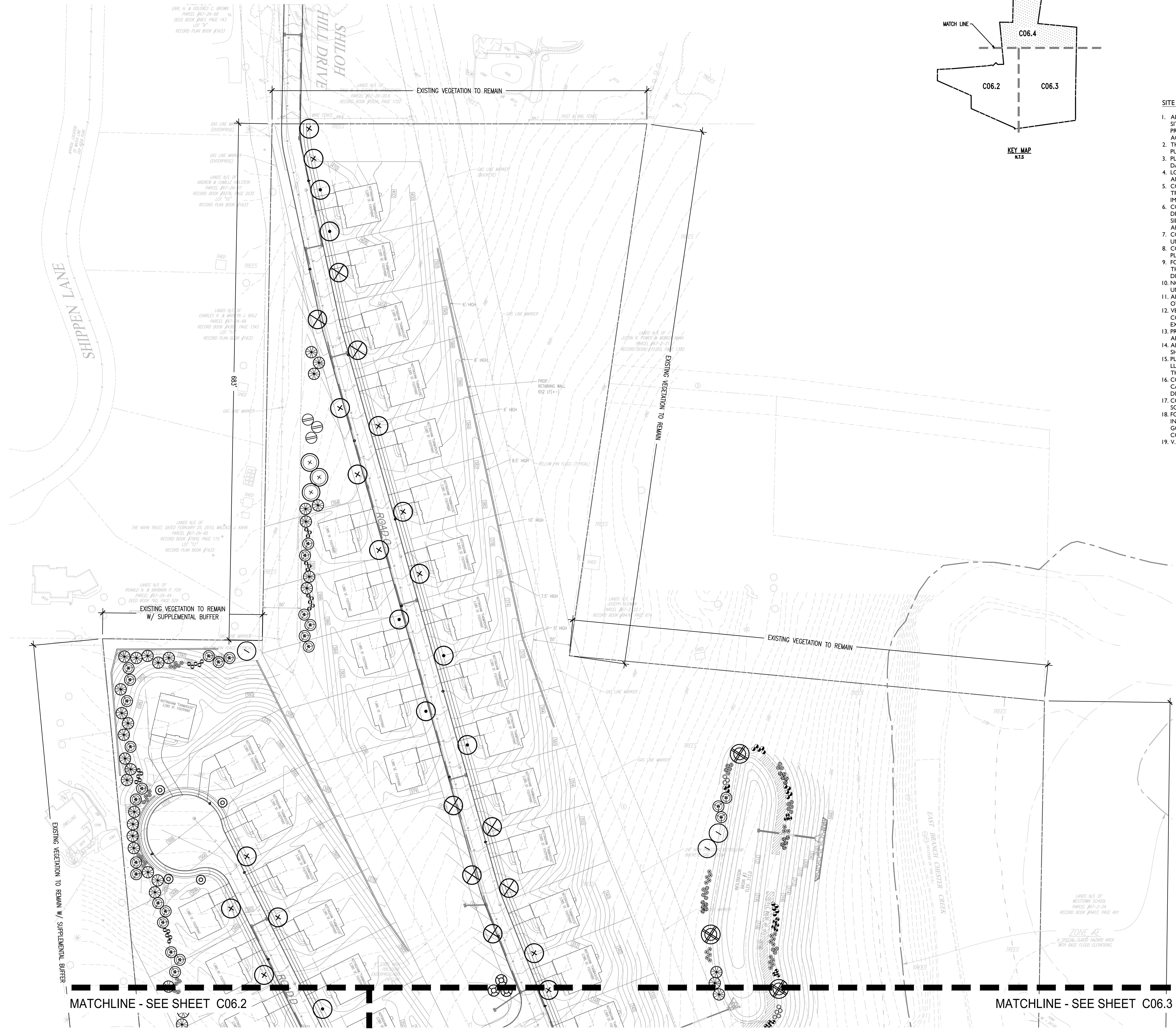
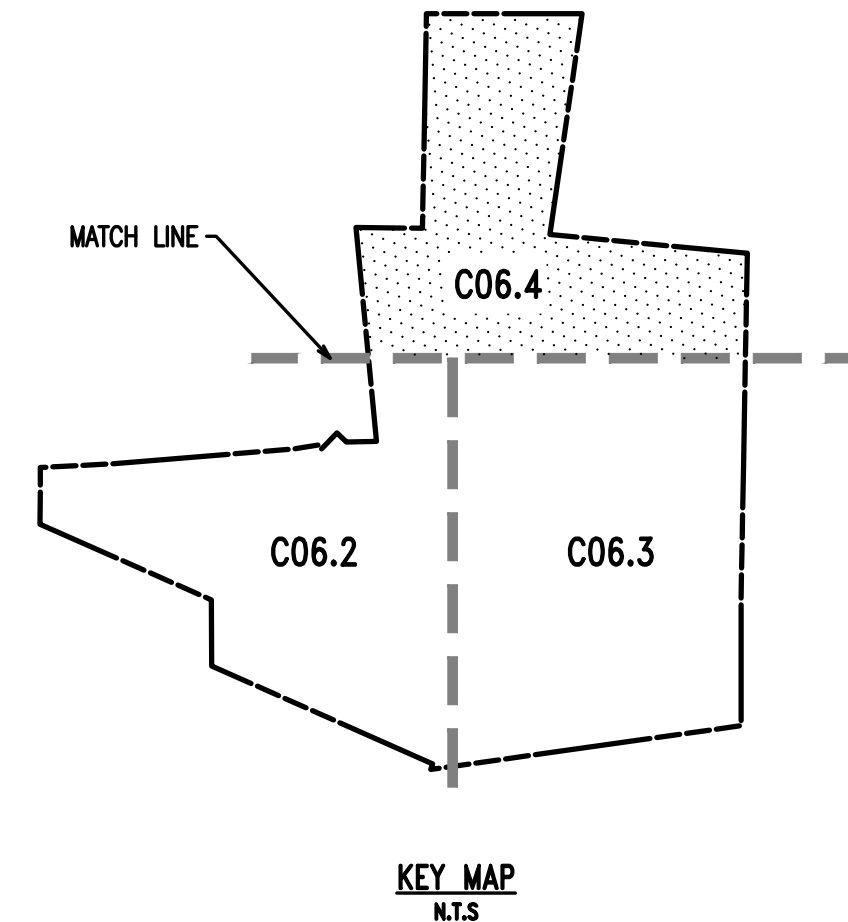
CONDITIONAL USE
LANDSCAPE PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA

DATE:	04/30/21
SCALE:	1"=50'
DRAWN BY:	TAS
CHECKED BY:	PJS
PROJECT NO.:	3868
CAD FILE:	20210821_STOKES_TLP.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C06.3
SHEET:	21 OF 31



SITE PLAN NOTES:

1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN TO BE USED FOR LANDSCAPING AND SITE IMPROVEMENT PURPOSES ONLY.
3. PLANS CREATED FROM DRAWINGS FROM DL HOWELL ENGINEERING DATED, 08/13/2021.
4. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING TREES AND PLANT MATERIAL WITHIN THE AREA OF PROPOSED IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS OFF-SITE, CLEAN-UP OF ALL PAVED AREAS (ROADWAYS, SIDEWALKS, ETC.), AND RESTORATION OF ALL DISTURBED LAWN AREAS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES DAMAGED.
8. CONTRACTOR SHALL PROVIDE SCREENED PLANTING SOIL WHERE PLANTING IS TO OCCUR, 36" DEPTH, 6" DEPTH AT LAWN AREAS.
9. FOLLOWING COMPLETION OF ALL PLANTING INSTALLATION WORK, THE CONTRACTOR SHALL BE REQUIRED TO RESTORE ALL DISTURBED LAWN AREAS.
10. NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM AN UNDERGROUND UTILITY.
11. ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
12. VERIFY LAYOUT OF ALL PROPOSED WORK TO EXISTING CONDITIONS. REPORT DISCREPANCIES BEFORE ANY CLEARING OR EXCAVATION IS DONE.
13. PROVIDE STAKED LAYOUT ON SITE FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
14. ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
15. PLEASE NOTE, CLIENT DID NOT RETAIN STUART AND ASSOCIATES, LLC. TO PROVIDE LONG TERM MAINTENANCE SPECIFICATIONS FOR THE LANDSCAPE MATERIAL.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PA ONE CALL AND LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY DIGGING OR PLANT REMOVAL OCCURS.
17. CONTRACTOR SHALL INSTALL SILT FENCE IN ANY AREAS WHERE SOIL MAY RUNOFF INTO PARKING AREAS OR INTO EXISTING INLETS.
18. FOLLOWING THE COMPLETION, THE EXISTING VEGETATION WILL BE INSPECTED FOR HEALTH AND QUALITY, AND IF NOT DEEMED IN GOOD CONDITION, REPLACED WITH THE EQUIVALENT COMPENSATORY PLANTINGS.
19. V.I.F. = VERIFY IN FIELD.



MATCHLINE - SEE SHEET C06.2

MATCHLINE - SEE SHEET C06.3

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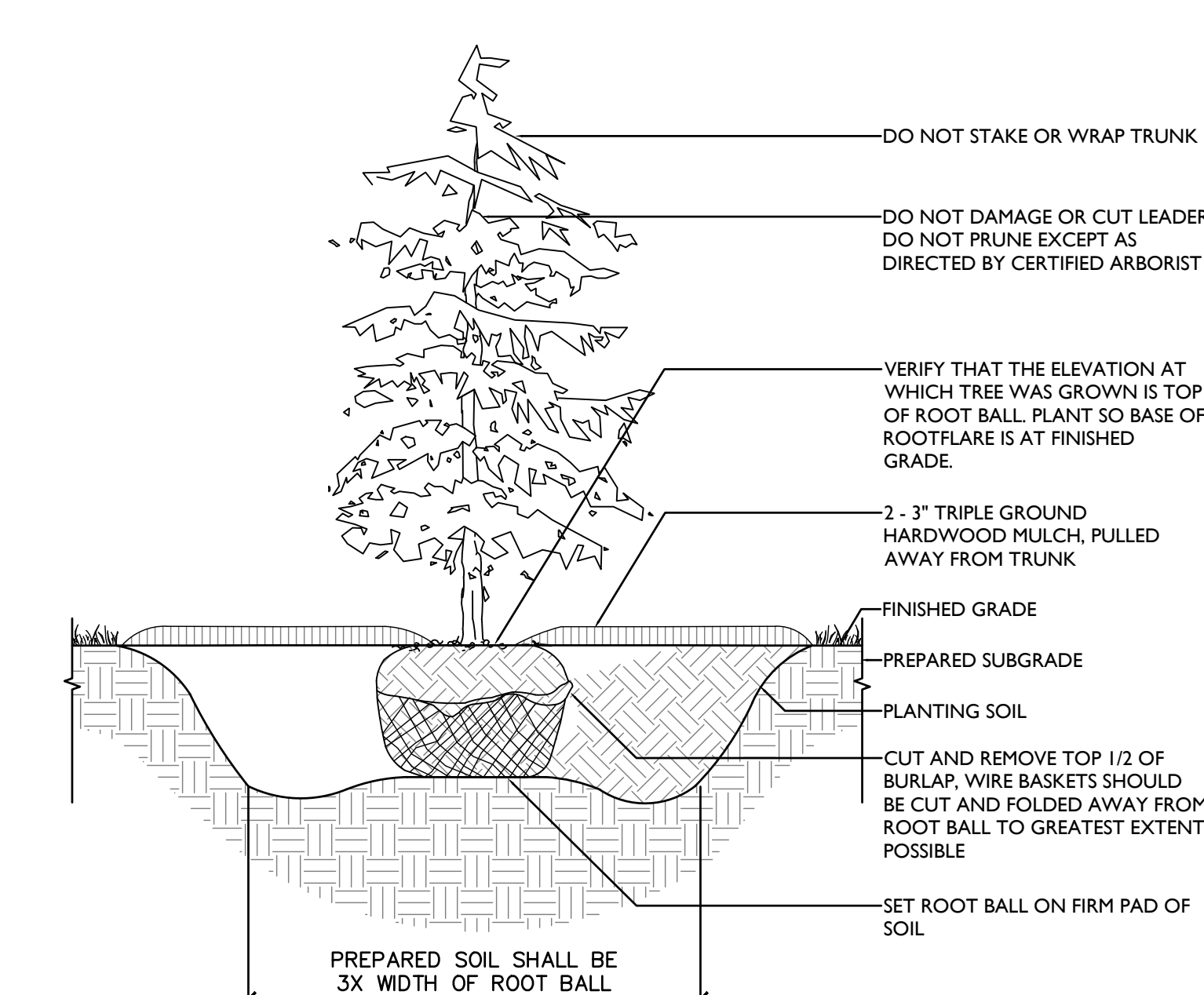
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PLOTTED: 08/31/21
DRAWING NO.: **C06.4**
SHEET 22 OF 31

WESTTOWN TOWNSHIP LANDSCAPE REQUIREMENTS
DISTRICT: R-1 RESIDENTIAL DISTRICT

SALDO:	REQUIRED	PROPOSED
§149-922. BUFFERS: As required by Zoning §170-1508		
B. All buffers shall include a completely planted visual barrier or landscape screen. (1) Existing tree masses shall be retained wherever possible. (3) The landscape screen shall be composed of both high-level and low-level plantings. (a) The high-level screen shall consist of a combination of evergreen trees and deciduous trees. (b) The low-level screen shall consist of evergreen shrubs.	33 DECIDUOUS TREES 108 EVERGREEN TREES 125 SHRUBS	34 TREES 114 TREES 136 SHRUBS
§149-924. EXISTING TREES:		
D.12. COMPENSATORY PLANTING. B. NON-SPECIMEN TREES: (1) ONE INCH OF NEW TREE CALIPER SHALL BE PROVIDED FOR EVERY (4) FOUR INCHES OF TREE DIAMETER REMOVED. # INCHES REMOVED / 4 INCHES = # REPLACEMENT INCHES # REPLACEMENT INCHES / 3 1/2 INCHES = # TREES REQUIRED SPECIMEN TREES: (1) ONE INCH OF NEW TREE DIAMETER FOR EVERY (1) ONE INCH OF TREE DIAMETER TO BE REMOVED. # INCHES REMOVED / 4 INCHES = # REPLACEMENT INCHES # REPLACEMENT INCHES / 3 1/2 INCHES = # TREES REQUIRED COMPENSATORY TREES SHALL BE 3 1/2 INCHES IN CALIPER. EVERGREEN TREES MAY BE SUBSTITUTED AS A RATIO OF (2) TWO EVERGREENS TO (1) ONE DECIDUOUS TREE. §149-925. LANDSCAPING REQUIREMENTS AND STANDARDS:	TO BE DETERMINED DURING LAND DEVELOPMENT PHASE	TO BE DETERMINED DURING LAND DEVELOPMENT PHASE
G. MINIMUM PLANT QUANTITIES:		
1. LOT OR PERIMETER YARD: PER 100 LINEAR FEET, STREET FRONTAGES SHALL HAVE 1.5 CANOPY TREES AND 0.5 ORNAMENTAL FLOWERING TREES.		
SHILOH RD = 192 LF 192' / 100 = 1.9 1.9 X 1.5 = 2.85 1.9 X 0.5 = 0.95 ROAD A = 1440 LF 1440' / 100 = 12.5 14.4 X 1.5 = 21.6 14.4 X 0.5 = 7.2 ROAD B = 675 LF 675' / 100 = 6.75 6.75 X 1.5 = 10.2 6.75 X 0.5 = 3.4 ROAD C = 1990 LF 1990' / 100 = 19.9 19.9 X 1.5 = 29.8 19.9 X 0.5 = 9.9 ROAD D = 1410 LF 1410' / 100 = 9.5 14.1 X 1.5 = 21.15 14.1 X 0.5 = 7	3 CANOPY TREES 1 ORNAMENTAL TREES	3 TREES 1 TREES
ROAD A = 1440 LF 1440' / 100 = 12.5 14.4 X 1.5 = 21.6 14.4 X 0.5 = 7.2 ROAD B = 675 LF 675' / 100 = 6.75 6.75 X 1.5 = 10.2 6.75 X 0.5 = 3.4 ROAD C = 1990 LF 1990' / 100 = 19.9 19.9 X 1.5 = 29.8 19.9 X 0.5 = 9.9 ROAD D = 1410 LF 1410' / 100 = 9.5 14.1 X 1.5 = 21.15 14.1 X 0.5 = 7	22 CANOPY TREES 7 ORNAMENTAL TREES	22 TREES 7 TREES
ROAD B = 675 LF 675' / 100 = 6.75 6.75 X 1.5 = 10.2 6.75 X 0.5 = 3.4 ROAD C = 1990 LF 1990' / 100 = 19.9 19.9 X 1.5 = 29.8 19.9 X 0.5 = 9.9 ROAD D = 1410 LF 1410' / 100 = 9.5 14.1 X 1.5 = 21.15 14.1 X 0.5 = 7	10 CANOPY TREES 3 ORNAMENTAL TREES	10 TREES 3 TREES
ROAD C = 1990 LF 1990' / 100 = 19.9 19.9 X 1.5 = 29.8 19.9 X 0.5 = 9.9 ROAD D = 1410 LF 1410' / 100 = 9.5 14.1 X 1.5 = 21.15 14.1 X 0.5 = 7	30 CANOPY TREES 10 ORNAMENTAL TREES	30 TREES 10 TREES
ROAD D = 1410 LF 1410' / 100 = 9.5 14.1 X 1.5 = 21.15 14.1 X 0.5 = 7	21 CANOPY TREES 7 ORNAMENTAL TREES	21 TREES 7 TREES
2. STORMWATER RETENTION/DETENTION BASINS: A. DECIDUOUS OR EVERGREEN TREES AT THE RATE OF ONE TREE PER 2,000 SQ FT OF BASIN AREA B. SHRUBS, HEDGES, OR YEW'S AT THE RATE OF ONE PLANT PER 200 SQ FT OF BASIN AREA. 77,650 TOTAL SQ FT OF BASIN AREA 77,650 / 2,000 = 38.8 77,650 / 200 = 388.3	39 TREES 388 SHRUBS	39 TREES 388 SHRUBS

Quantity	Symbol	Scientific Name	Common Name	Size
Buffers				
7	⊙	<i>Acer saccharum</i>	Sugar Maple	2.5-3" cal. min., B&B
13	⊖	<i>Acer rubrum</i>	Red Maple	2.5-3" cal. min., B&B
7	⊙	<i>Diospyros ebenaceae</i>	Persimmon	2.5-3" cal. min., B&B
7	⊙	<i>Sassafras albidum</i>	Sassafras	2.5-3" cal. min., B&B
66	⊙	<i>Picea abies</i>	Norway Spruce	8-10' ht., B&B
48	⊙	<i>Picea glauca</i>	White Spruce	8-10' ht., B&B
64	⊙	<i>Myrica pennsylvanica</i>	Bayberry	36-42" ht., 30-36" spacing
72	⊙	<i>Viburnum x praganese</i>	Prague Viburnum	36-42" ht., 30-36" spacing
Street Frontage				
27	⊙	<i>Gleditsia tricanthos inermis</i> 'Skyline'	'Skyline' Thornless Honeylocust	3-3.5" cal. min., B&B
14	⊙	<i>Quercus imbricaria</i>	Shingle Oak	3-3.5" cal. min., B&B
23	⊕	<i>Celtis occidentalis</i>	Hackberry	3-3.5" cal. min., B&B
22	⊕	<i>Platanus x acerfolia</i> 'Exclamation'	'Exclamation' London Planetree	3-3.5" cal. min., B&B
13	⊕	<i>Amelanchier canadensis</i>	Serviceberry	8-10' ht., B&B
7	⊕	<i>Cornus florida rubra</i> 'Cherokee Brave'	'Cherokee Brave' Dogwood	8-10' ht., B&B
8	⊕	<i>Cercis canadensis</i>	Eastern Redbud	8-10' ht., B&B
Basins				
6	⊕	<i>Liquidambar styraciflua</i>	American Sweetgum	3-3.5" cal. min., B&B
6	⊕	<i>Betula nigra</i>	River Birch	3-3.5" cal. min., B&B
6	⊖	<i>Acer rubrum</i>	Red Maple	3-3.5" cal. min., B&B
7	⊕	<i>Picea abies</i>	Norway Spruce	7-8' ht. min., B&B
9	⊕	<i>Picea glauca</i>	White Spruce	7-8' ht. min., B&B
5	⊕	<i>Thuja plicata</i> 'Green Giant'	'Green Giant' Arborvitae	7-8' ht. min., B&B
65	⊕	<i>Ilex glabra</i>	Inkberry Holly	24-30" ht., 30-36" spacing
65	⊕	<i>Hamamelis virginiana</i> 'Little Suzie'	'Little Suzie' Dwarf Witch Hazel	24-30" ht., 30-36" spacing
65	⊕	<i>Cornus sericea</i>	Red Osier Dogwood	24-30" ht., 30-36" spacing
63	⊕	<i>Lindera benzoin</i>	Spicebush	24-30" ht., 30-36" spacing
65	⊕	<i>Sambucus canadensis</i>	Elderberry	24-30" ht., 30-36" spacing
65	⊕	<i>Clethra alnifolia</i> 'Hummingbird'	'Hummingbird' Summersweet	24-30" ht., 30-36" spacing
Additional Landscaping				
13	⊕	<i>Thuja plicata</i> 'Green Giant'	'Green Giant' Arborvitae	7-8' ht. min., B&B

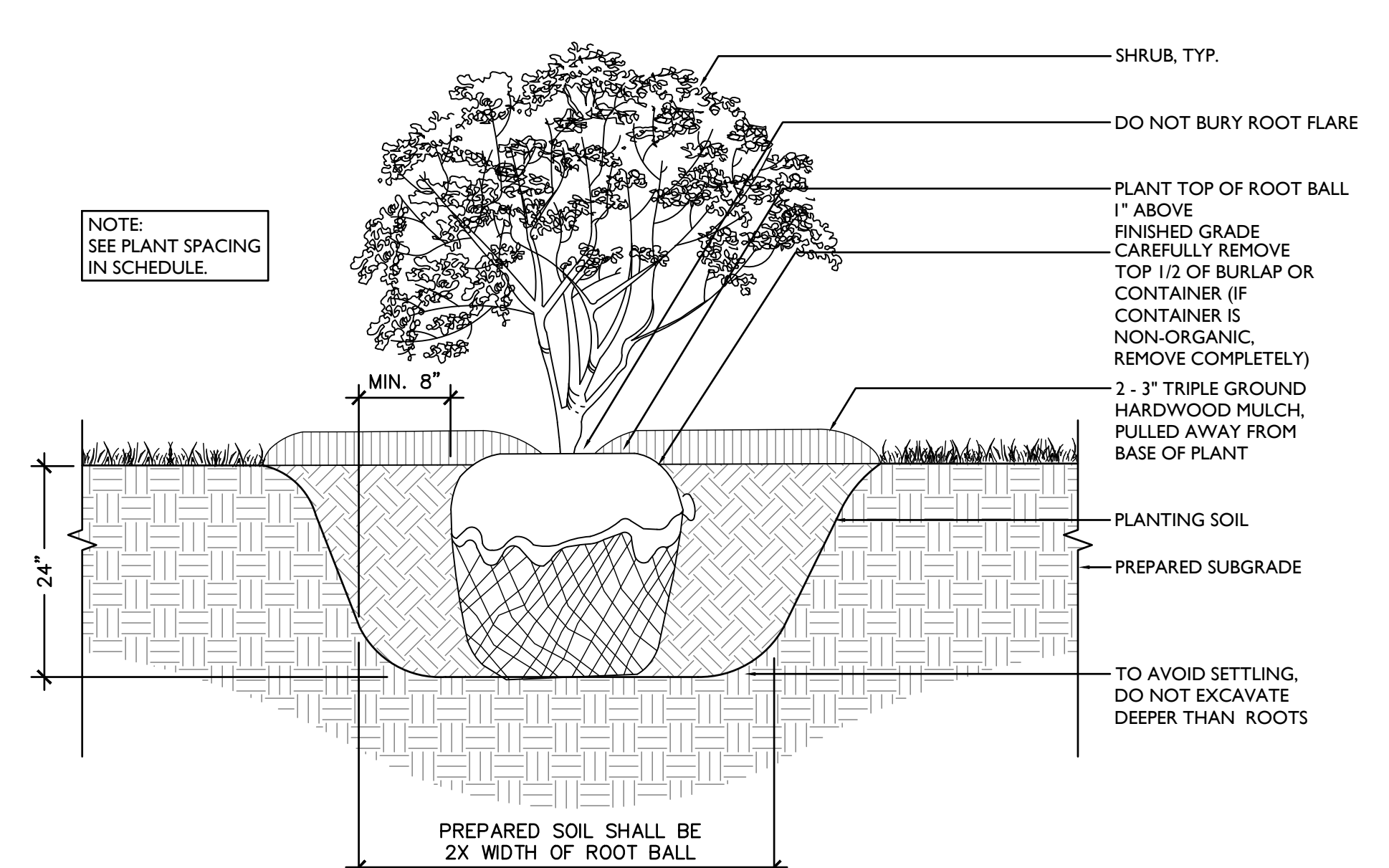


NOTES:
1. TO AVOID SETTLING, DO NOT DIG THE HOLE DEEPER THAN THE ROOT BALL DEPTH.
2. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS.

2 EVERGREEN TREE PLANTING DETAIL ON GRADE
SCALE: 1/2" = 1'-0"

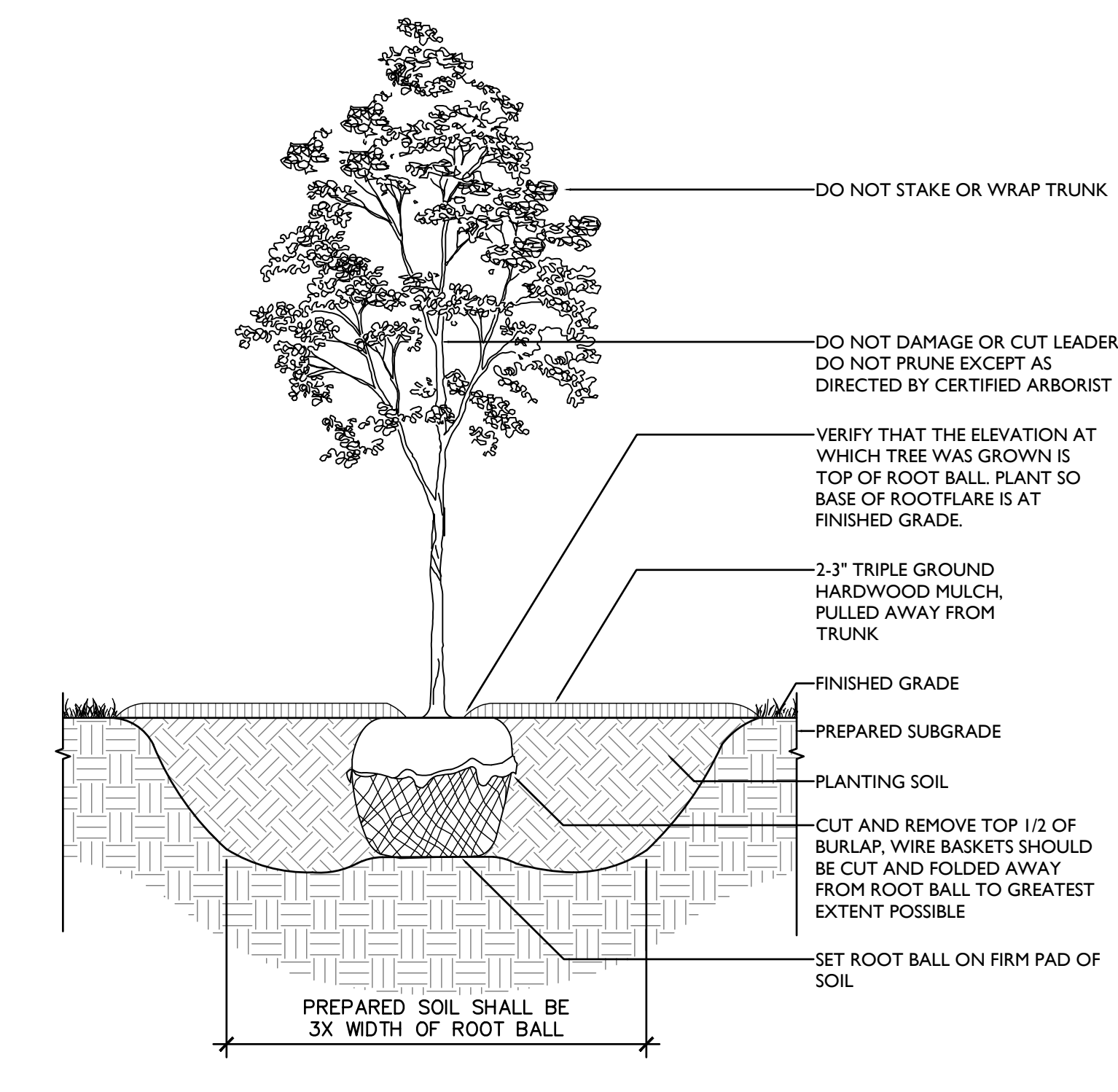
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 - V.I.F. = VERIFY IN FIELD.

- GENERAL PLANTING NOTES:**
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR 18 MONTHS.
 - ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY.
 - ALL PLANT MATERIAL SHALL BE LAID OUT IN FIELD BY LANDSCAPE ARCHITECT. (NOTE: NO SHRUBS SHALL BE PLANTED UNTIL ALL TREE PLANTING IS COMPLETED.)
 - ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED DURING INSTALLATION AND THROUGHOUT THE GUARANTEE PERIOD.
 - ALL PLANT MATERIAL SHALL BE WATERED BY CONTRACTOR AT LEAST THREE (3) TIMES IN ABSENCE OF NATURAL RAINFALL OR UNTIL THE END OF THE GUARANTEE PERIOD.
 - ALL TREES SHALL BE PROVIDED WITH A 3" DEEP SAUCER, CONSISTING OF SHREDDED OAK BARK MULCH.
 - ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PLANT ACCORDING TO ANSI A300 PART 6.
 - CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT WITH NURSERY SOURCE OF ALL PLANT MATERIAL. LANDSCAPE ARCHITECT SHALL PERFORM A SITE VISIT TO INSPECT NURSERY SOURCE PRIOR TO DELIVERY OF ANY PLANT MATERIAL.
 - ALL TREES AND SHRUBS DELIVERED TO THE SITE SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ALL TREES AND SHRUBS SHALL HAVE WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
 - ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE TOWNSHIP.
 - ANY PLANT MATERIAL EXHIBITING SIGNS OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT SHALL BE REJECTED.
 - ALL PROPOSED SHRUBS SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS, CONSISTING OF 3" OF OAK BARK MULCH.
 - SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
 - LIFT AND SET THE TREE BY ROOTBALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
 - SET THE TOP OF THE ROOTBALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
 - AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/2 OF THE ROOTBALL.
 - PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH THE ANSI A300 SPECIFICATIONS. IF ADDITIONAL PRUNING IS NECESSARY, IT SHALL BE DONE BY A CERTIFIED ARBORIST.
 - REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.
 - DO NOT REMOVE TREE IDENTIFICATION TAGS UNTIL THE LANDSCAPE ARCHITECT HAS CONFIRMED CORRECT SPECIES MATCHES THE PROJECT PLANTING SCHEDULE.
 - LANDSCAPING MATERIALS SHALL BE FIELD ADJUSTED DURING INSTALLATION TO AVOID CONFLICT BETWEEN THE LIGHT FIXTURES, UTILITIES, AND TREE CANOPIES.



NOTE: SEE PLANT SPACING IN SCHEDULE.

3 SHRUB DETAIL ON GRADE
SCALE: 1" = 1'-0"



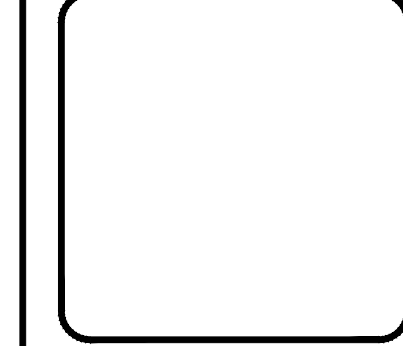
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1 DECIDUOUS TREE PLANTING DETAIL ON GRADE
SCALE: 1/2" = 1'-0"



Civil Engineering
Land Planning
Environmental
www.DLHowell.com

1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003

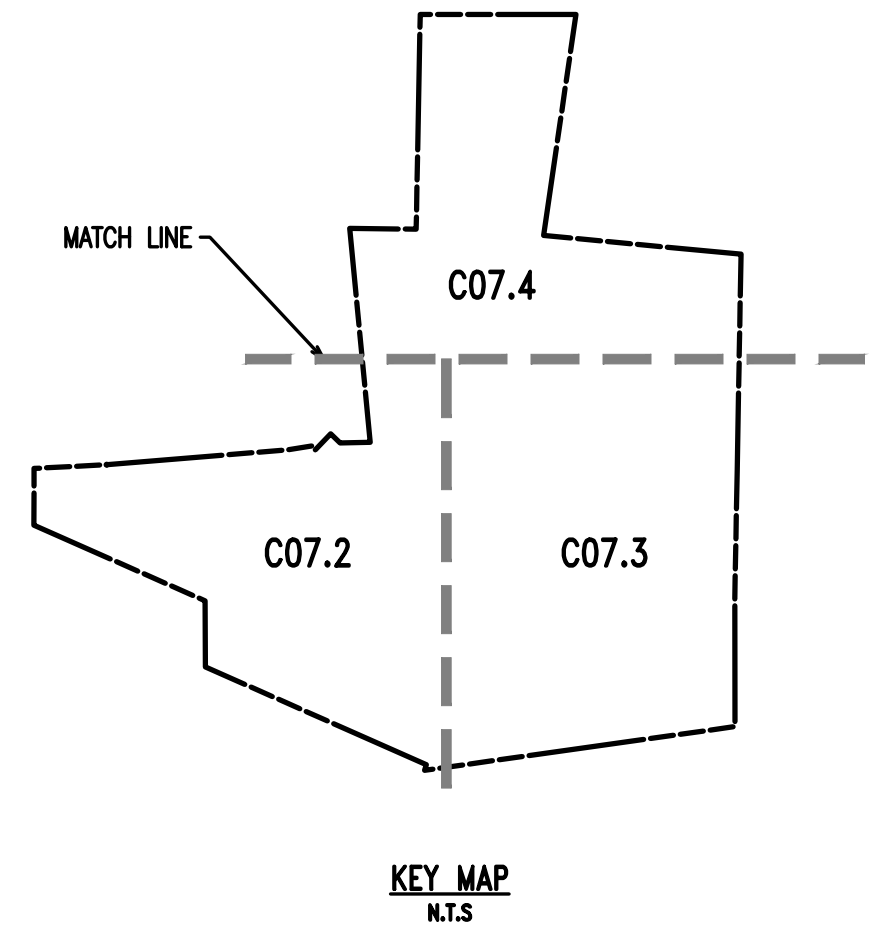


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CONDITIONAL USE
DETAILS AND NOTES

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PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA

DATE: 04/30/21
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DESIGN BY: TJS
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PLOTTED: 08/31/21
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SHEET 23 of 31



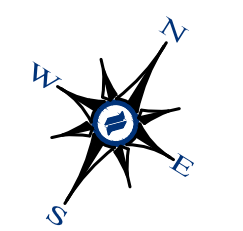
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 - V.I.F. = VERIFY IN FIELD.
- SPEC NOTES:**
- POST LIGHT TO BE INSTALLED ON MATCHING FINISH POLE.
 - FINISH/COLOR: BLACK
 - MOUNTING HEIGHT: 15'
 - SEE PLAN/SCHEDULE FOR DISTRIBUTION TYPE.
 - WATTAGE TO BE SELECTED BY CONTRACTOR.
- CONTRACTOR NOTES:**
- GENERAL CONTRACTOR TO COORDINATE AND PROVIDE CONDUIT PER LIGHTING SHOWN.
 - CONTRACTOR TO PROVIDE LIGHTING SUBMITTAL FOR FINAL APPROVAL BY OWNER AND LANDSCAPE ARCHITECT.
 - REFER TO MANUFACTURER FOR INSTALLATION INSTRUCTIONS.

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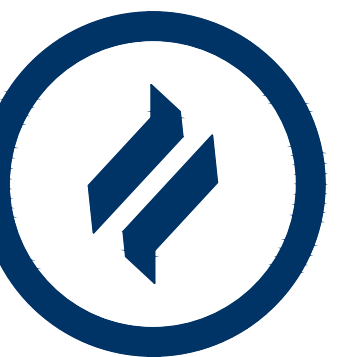
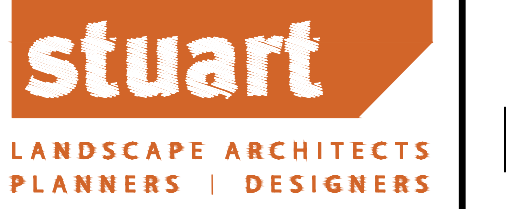


OVERALL LANDSCAPE PLAN
SCALE: 1"=100'
GRAPHIC SCALE
1 inch = 100 feet

CONDITIONAL USE
OVERALL LIGHTING PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA

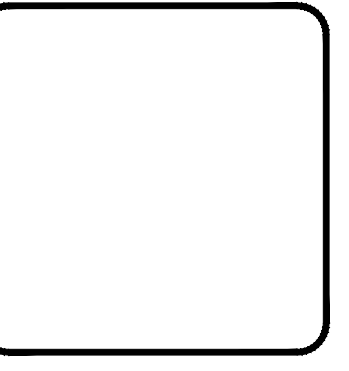
DATE:	04/30/21
SCALE:	1"=100'
DRAWN BY:	TAS
CHECKED BY:	PJS
PROJECT NO.:	3868
CAD FILE:	001083L_STOKES_TLP.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C07.1
SHEET:	24 of 31

MATCHLINE - SEE SHEET C07.4



Civil Engineering
Land Planning
Environmental
www.DLHowell.com

1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003



REV.	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANT COMMENTS
2		
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SITE PLAN NOTES:

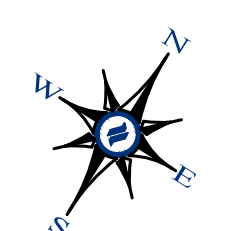
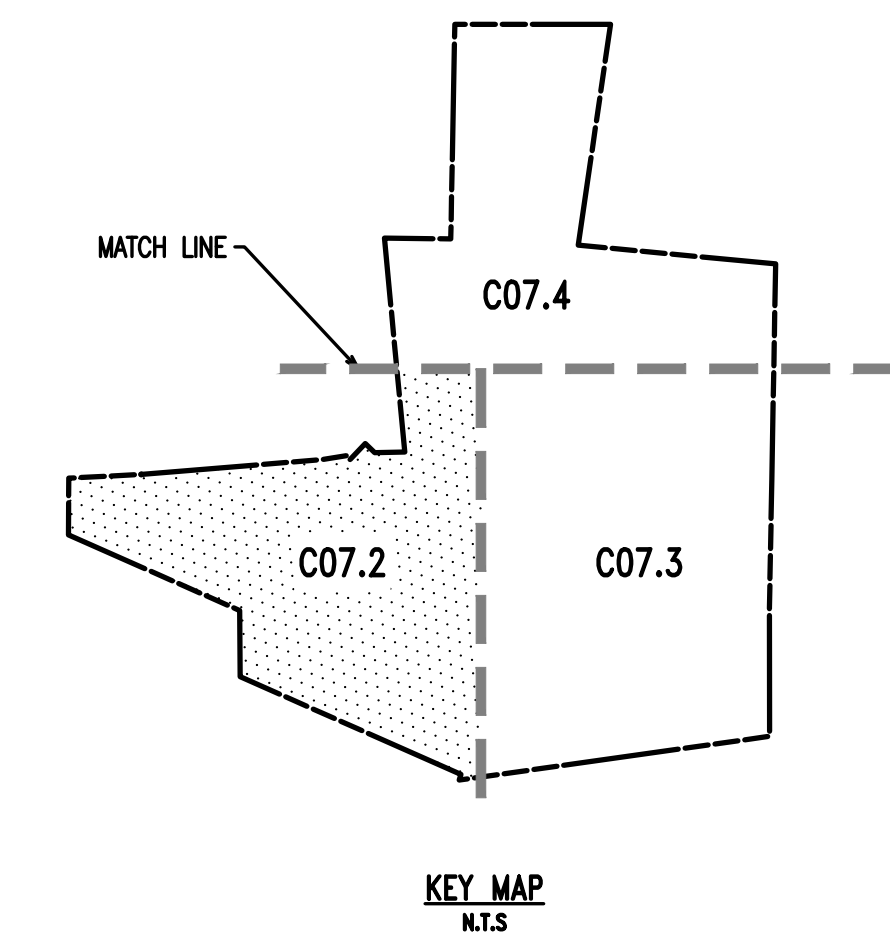
1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN TO BE USED FOR LANDSCAPING AND SITE IMPROVEMENT PURPOSES ONLY.
3. PLANS CREATED FROM DRAWINGS FROM DL HOWELL ENGINEERING DATED, 08/23/2021.
4. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING TREES AND PLANT MATERIAL WITHIN THE AREA OF PROPOSED IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS OFF-SITE, CLEAN-UP OF ALL PAVED AREAS (ROADWAYS, SIDEWALKS, ETC.); AND RESTORATION OF ALL DISTURBED LAWN AREAS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES DAMAGED.
8. CONTRACTOR SHALL PROVIDE SCREENED PLANTING SOIL WHERE PLANTING IS TO OCCUR. 36" DEPTH, 6" DEPTH AT LAWN AREAS.
9. FOLLOWING COMPLETION OF ALL PLANTING INSTALLATION WORK, THE CONTRACTOR SHALL BE REQUIRED TO RESTORE ALL DISTURBED LAWN AREAS.
10. NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM AN UNDERGROUND UTILITY.
11. ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
12. VERIFY LAYOUT OF ALL PROPOSED WORK TO EXISTING CONDITIONS. REPORT DISCREPANCIES BEFORE ANY CLEARING OR EXCAVATION IS DONE.
13. PROVIDE STAKED LAYOUT ON SITE FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
14. ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
15. PLEASE NOTE, CLIENT DID NOT RETAIN STUART AND ASSOCIATES, LLC, TO PROVIDE LONG TERM MAINTENANCE SPECIFICATIONS FOR THE LANDSCAPE MATERIAL.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PA ONE CALL AND LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY DIGGING OR PLANT REMOVAL OCCURS.
17. CONTRACTOR SHALL INSTALL SILT FENCE IN ANY AREAS WHERE SOIL MAY RUNOFF INTO PARKING AREAS OR INTO EXISTING INLETS.
18. FOLLOWING THE COMPLETION, THE EXISTING VEGETATION WILL BE INSPECTED FOR HEALTH AND QUALITY, AND IF NOT DEEMED IN GOOD CONDITION, REPLACED WITH THE EQUIVALENT COMPENSATORY PLANTINGS.
19. V.I.F. = VERIFY IN FIELD.

SPEC NOTES:

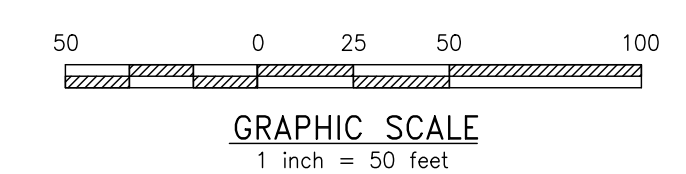
1. POST LIGHT TO BE INSTALLED ON MATCHING FINISH POLE.
2. FINISH/COLOR : BLACK
3. MOUNTING HEIGHT : 15'
4. SEE PLANSCHEDULE FOR DISTRIBUTION TYPE
5. WATTAGE TO BE SELECTED BY CONTRACTOR.

CONTRACTOR NOTES:

1. GENERAL CONTRACTOR TO COORDINATE AND PROVIDE CONDUIT PER LIGHTING SHOWN.
2. CONTRACTOR TO PROVIDE LIGHTING SUBMITTAL FOR FINAL APPROVAL BY OWNER AND LANDSCAPE ARCHITECT.
3. REFER TO MANUFACTURER FOR INSTALLATION INSTRUCTIONS.



LANDSCAPE PLAN
SCALE: 1"=50'



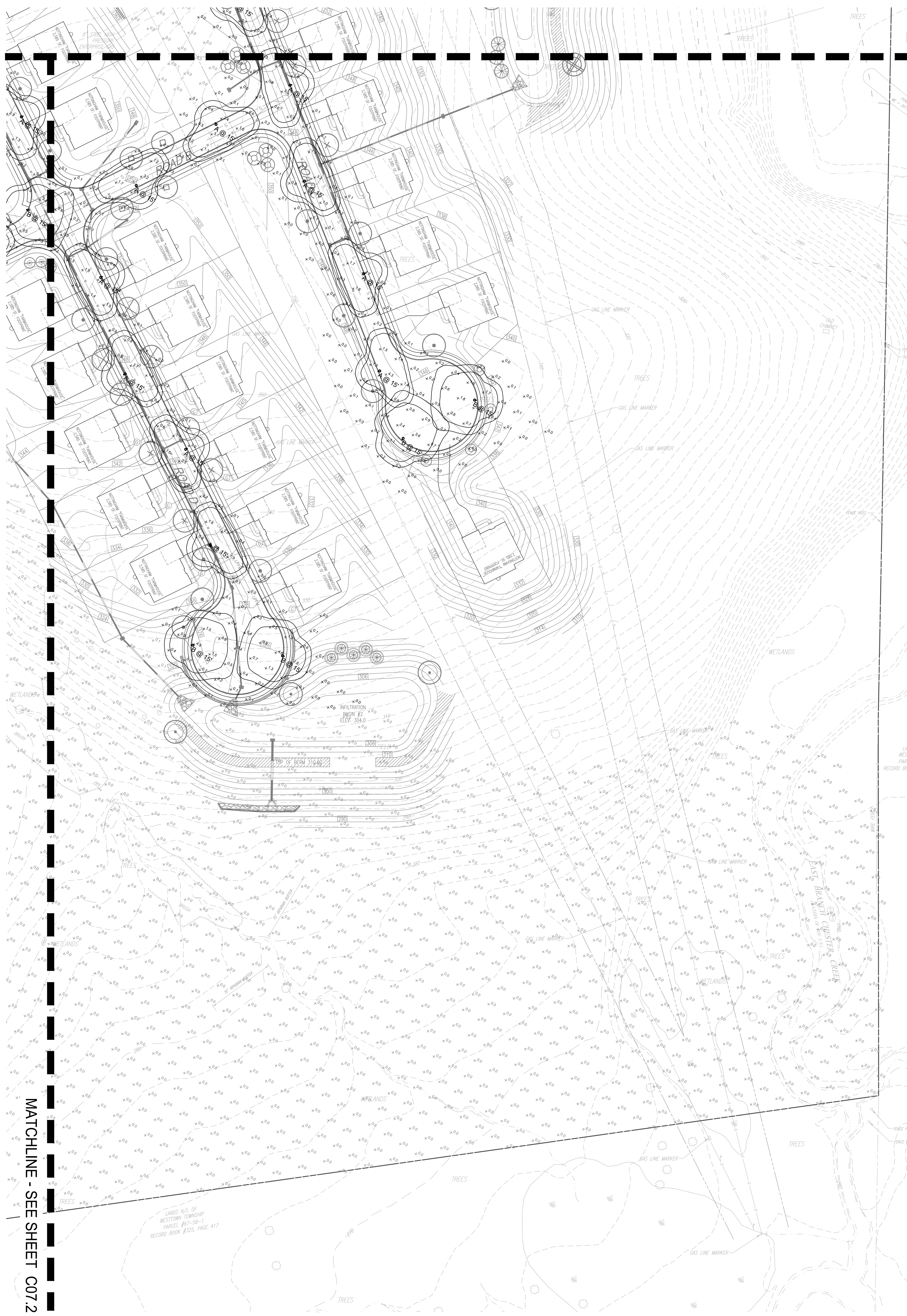
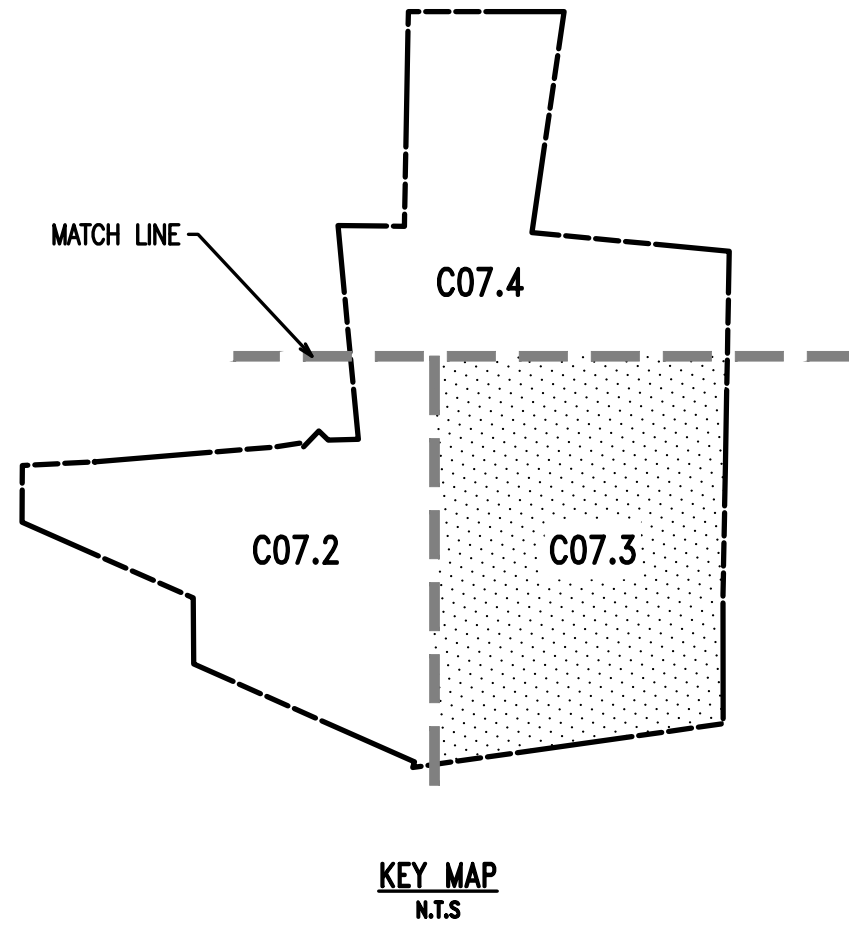
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
⊙	A		36	Lumense	ALG-120/277-CSL-560-30K-CRI 80-3	Allegra	1	5068	0.95	55	
⊙	B		9	Lumense	ALG-120/277-CSL-180-30K-CRI 80-4	Allegra	1	6176	0.95	64	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AREA	+	0.1 fc	4.9 fc	0.0 fc	N/A	N/A
ROAD A	+	1.1 fc	4.7 fc	0.0 fc	N/A	N/A
ROAD B	+	0.9 fc	3.2 fc	0.1 fc	32.0:1	9.0:1
ROAD C	+	1.2 fc	4.8 fc	0.0 fc	N/A	N/A
ROAD D	+	1.0 fc	4.9 fc	0.0 fc	N/A	N/A
ROUNDBOULT - ROAD A	+	1.2 fc	4.6 fc	0.0 fc	N/A	N/A

Note
 1. MOUNTING HEIGHT AT 15'
 2. CALCULATIONS TAKEN AT GRADE
 3. CALCULATIONS ARE ESTIMATIONS BASED ON THE INFORMATION PROVIDED AND MAY VARY WITH ACTUAL CONDITIONS

MATCHLINE - SEE SHEET C07.3

DATE:	04/30/21
SCALE:	1"=50'
DRAWN BY:	TAS
CHECKED BY:	PJS
PROJECT NO.:	3868
CAD FILE:	20210831_STOKES_LRP.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C07.2
SHEET:	25 of 31



MATCHLINE - SEE SHEET C07.4

SITE PLAN NOTES:

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SPEC NOTES:

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- FINISH COLOR: BLACK
- MOUNTING HEIGHT: 15'
- SEE PLAN/SCHEDULE FOR DISTRIBUTION TYPE.
- WATTAGE TO BE SELECTED BY CONTRACTOR.

CONTRACTOR NOTES:

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Note
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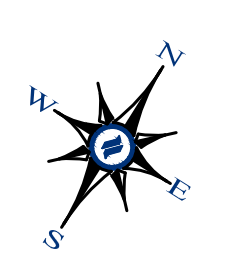
1250 Wrights Lane
 West Chester, PA 19380
 Phone: (610) 918-9002
 Fax: (610) 918-9003



NO.	DATE	REVISION	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANT COMMENTS	

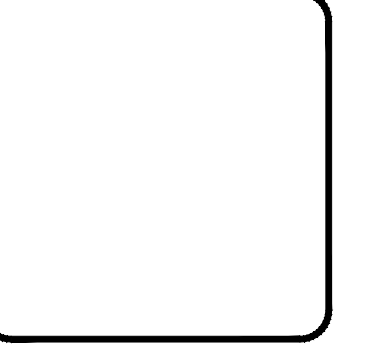
NO.	DATE	REVISION	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANT COMMENTS	

CONDITIONAL USE
LIGHTING PLAN
 CLIENT: FOX CLEARING, LLC
 CLIENT: STOKES PROPERTY
 LOCATION: 1013 SHILOH ROAD
 WESTTOWN TWP., CHESTER COUNTY, PA

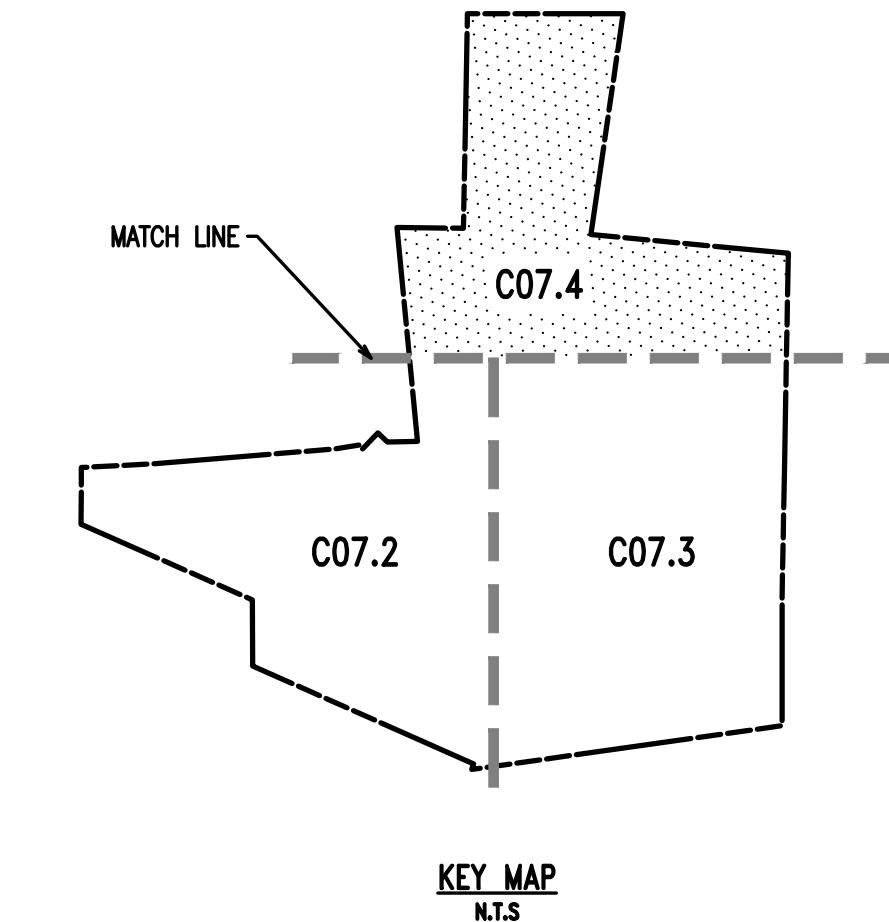


LANDSCAPE PLAN
 SCALE: 1"=50'
 0 25 50 100
 GRAPHIC SCALE
 1 inch = 50 feet

DATE:	04/30/21
SCALE:	1"=50'
DRAWN BY:	TAS
CHECKED BY:	PJS
PROJECT NO.:	3868
CAD FILE:	20210813_STOKES_TLP.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C07.3
SHEET:	26 OF 31



NO.	DATE	REVISION / TOWNSHIP CONSULTANT COMMENTS	DESCRIPTION
1	08/31/21		
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 - V.I.F. = VERIFY IN FIELD.
- SPEC NOTES:**
- POST LIGHT TO BE INSTALLED ON MATCHING FINISH POLE.
 - FINISH/COLOR - BLACK
 - MOUNTING HEIGHT - 15'
 - SEE PLANSCHEDULE FOR DISTRIBUTION TYPE.
 - WATTAGE TO BE SELECTED BY CONTRACTOR.
- CONTRACTOR NOTES:**
- GENERAL CONTRACTOR TO COORDINATE AND PROVIDE CONDUIT PER LIGHTING SHOWN.
 - CONTRACTOR TO PROVIDE LIGHTING SUBMITTAL FOR FINAL APPROVAL BY OWNER AND LANDSCAPE ARCHITECT.
 - REFER TO MANUFACTURER FOR INSTALLATION INSTRUCTIONS.

Schedule

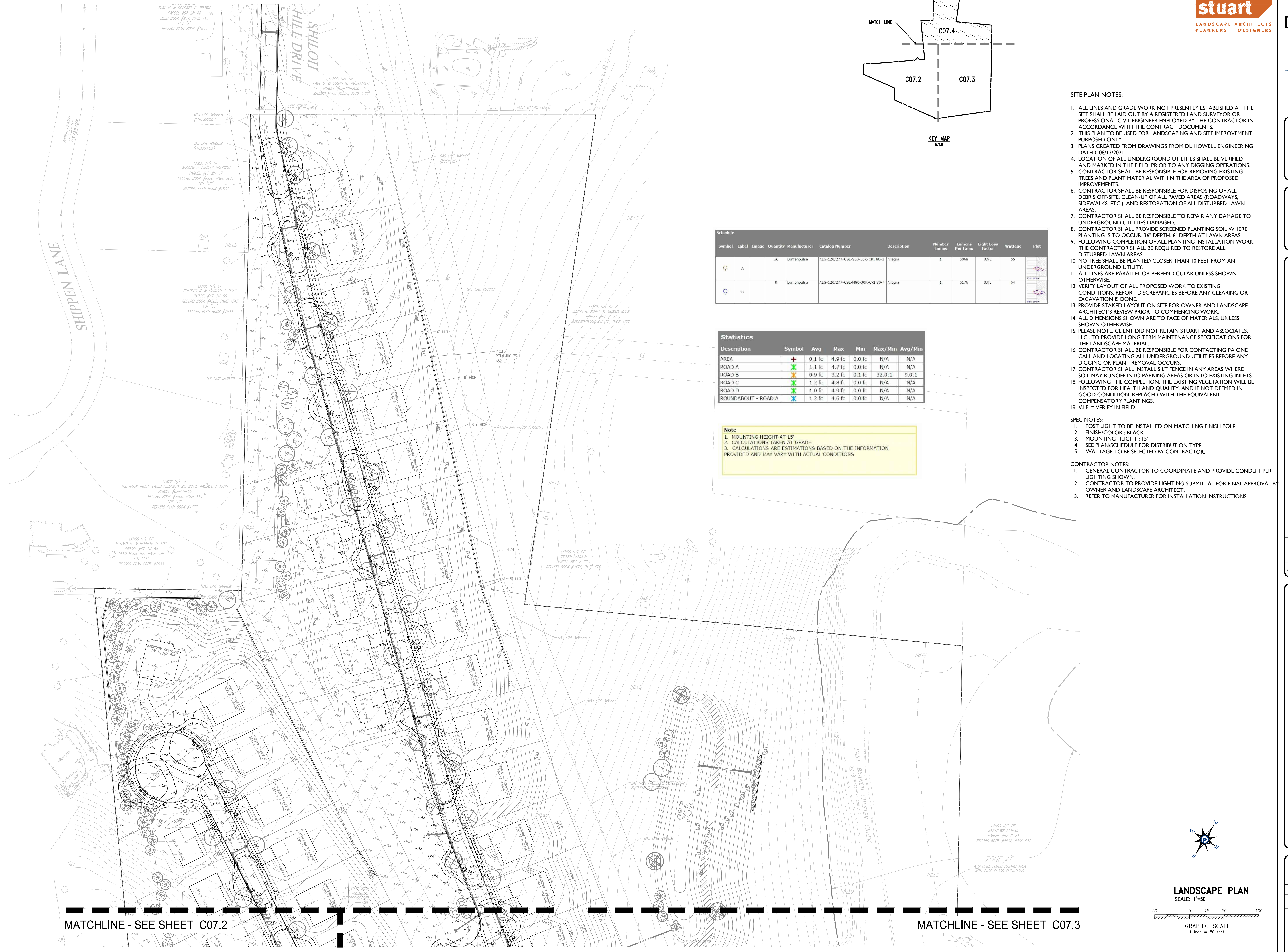
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Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AREA	+	0.1 fc	4.9 fc	0.0 fc	N/A	N/A
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Note

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- CALCULATIONS TAKEN AT GRADE
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MATCHLINE - SEE SHEET C07.2

MATCHLINE - SEE SHEET C07.3

LANDSCAPE PLAN
SCALE: 1"=50'

DATE: 04/30/21
SCALE: 1"=50'
DESIGN BY: TAS
CHECKED BY: PJS
PROJECT NO.: 3868
CAD FILE: 031083L_STOKES_TLP.dwg
PLOTTED: 08/31/21
DRAWING NO.: C07.4
SHEET 27 of 31

CONDITIONAL USE
LIGHTING PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA

LIGHTING AND LIGHTING SUBSTITUTION NOTES:

- 1. EXTERIOR LIGHTING HAS BEEN DESIGNED PER THE LIGHTING HANDBOOK OF THE ENGINEERING SOCIETY OF NORTH AMERICA (IESNA)
2. SELECTED FIXTURES TO BE FULL-CUT AND DARK SKY FRIENDLY.
3. THE TOWNSHIP MAY REQUIRE GLARE SHIELDING DEVICES, AT THE APPLICANTS EXPENSES, IF DETERMINED APPLICABLE POST CONSTRUCTION.
4. THE TOWNSHIP RESERVES THE RIGHT TO CONDUCT ONE OR MORE POST-INSTALLATION NIGHTTIME INSPECTIONS TO VERIFY COMPLIANCE WITH THE REQUIREMENTS OF THIS SECTION, AND IF APPROPRIATE, TO REQUIRE SUITABLE REMEDIAL ACTION AT NO EXPENSE TO TOWNSHIP.
5. POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTION FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. LIGHTING FIXTURES AND EQUIPMENT SHALL BE MAINTAINED SO AS TO CONTINUOUSLY MEET TOWNSHIP REQUIREMENTS.
7. ALL FIXTURES TO BE CONTROLLED WITH WIRELESS CONTROLLERS AND ALL SITE LIGHTING WILL BE REDUCED BY 50% FROM 11PM TO DAWN.
8. ALL 120 VOLT CIRCUITS TO BE INSTALLED BY LICENSED ELECTRICIAN.
9. ALL 120 VOLT CABLE TO BE RUN IN CONDUIT.
10. CONTRACTOR TO PROVIDE SUFFICIENT NIGHTTIME ADJUSTMENT TO ALL LIGHTING TO SATISFY TOWNSHIP REQUIREMENTS AND OWNER OR OWNER'S REPRESENTATIVE.
11. ALL LIGHTING TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
12. ALL ELECTRICAL CONDUITS SHALL BE SCH. 40 PVC AND ALL BENDS SHALL BE SWEEP TYPE FOR PULLING WIRE. CONDUIT TO EXTEND BEYOND THE EDGE OF HARDCAPE ELEMENTS BY 12" MIN. CONDUIT TO BE TEMPORARILY CAPPED AND LOCATIONS STAKED PRIOR TO BACKFILLING.
13. WHILE EXTENDING CONDUITS UNDER EXISTING STRUCTURE THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING STRUCTURES.
14. ALL SWITCHING CONTROL DEVICE TYPE AND LOCATIONS TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
15. ALL LIGHTING FIXTURES TO BE CONTROLLED BY AUTOMATIC SWITCHES TO PERMIT EXTINGUISHING LIGHT BETWEEN 11PM AND DAWN, ALL-NIGHT SAFETY OR SECURITY LIGHTING SHALL NOT HAVE LIGHTING INTENSITY LEVELS WHICH EXCEED 25% OF THE LEVELS NORMALLY PERMITTED BY THE TOWNSHIP BUT IN NO CASE SHALL THE INTENSITY LEVELS BE LESS THAN THE MINIMUM LEVELS FOR SAFETY AND SECURITY AS INVOKED BY THE IESNA. A FINAL LIGHT LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.
16. CONTRACTOR TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE OWNER AND OWNER'S REPRESENTATIVES TO DISCUSS ALL UNDERGROUND UTILITIES, AS-BUILT DRAWINGS ARE REQUESTED OF ALL SUCH FACILITIES.
17. CONTRACTOR TO PREPARE A PLAN OF ALL AS-BUILT UNGROUNDED UTILITIES.
18. ALL FINAL LIGHT LOCATIONS TO BE FIELD ADJUSTED, AIMED AS NECESSARY SO AS TO AVOID SHINING OF LIGHT INTO WINDOWS AND DOORS. CONTRACTOR TO ARRANGE PRE-CONSTRUCTION MEETING WITH THE OWNER AND OWNER'S REPRESENTATIVES INCLUDING MASONS AND OTHER INDIVIDUALS FAMILIAR WITH ANY UNDERGROUND FACILITIES.
19. ALL WIRING, UP LIGHTING AND SPOT LIGHT LOCATIONS TO BE COORDINATED WITH TREES ON THE LANDSCAPE PLAN.
20. CONDUIT TRENCHING TO AVOID ROOT ZONES OF EXISTING TREES TO REMAIN.
21. ALL TRENCH LOCATIONS NEAR AND AROUND EXISTING TREES TO BE MARKED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT.
22. PROJECT ELECTRICAL ENGINEER TO PROVIDE POWER PLAN.
23. IN THE EVENT THAT THE CONTRACTOR PROPOSES LIGHT FIXTURE SUBSTITUTIONS, REQUEST MUST BE RECEIVED BY THE LANDSCAPE ARCHITECT FOR REVIEW (14) FOURTEEN DAYS PRIOR TO BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTIONS. FAILURE TO SUBMIT WITHIN THAT DEADLINE RENDERS ALL SUBSTITUTIONS REQUESTS VOID, AND ORIGINALLY SPECIFIED FIXTURE(S) WILL BE SUPPLIED. THE CONTRACTOR SHALL SUBMIT THE FOLLOWING:
23.1. TOWNSHIP REQUIRED COPIES OF ALL MANDATORY SUBMITTALS FOR BOTH THE ORIGINALLY SPECIFIED FIXTURE(S) AND THE PROPOSED SUBSTITUTION(S)
23.2. CONTRACTOR'S WRITTEN CERTIFICATION THAT THE PROPOSED SUBSTITUTION(S) CONFORM TO ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS IN EVERY RESPECT AND IS APPROPRIATE FOR THE APPLICATION INDICATED IN THE DOCUMENTS.
23.3. CONTRACTOR'S WRITTEN STATEMENT INDICATING THE EFFECT OF THE SUBSTITUTION(S) ON THE CONSTRUCTION SCHEDULE COMPARED TO THE SCHEDULE WITH THE ORIGINALLY SPECIFIED FIXTURE(S).
23.4. CONTRACTOR-NET UNIT PRICE FOR THE ORIGINALLY SPECIFIED FIXTURE(S) AND FOR THE PROPOSED SUBSTITUTE FIXTURE(S).
23.5. ONE SAMPLE OF THE PROPOSED SUBSTITUTION FIXTURE(S) WITH SPECIFIED LAMPS AND CORD AND PLUG CONNECTION FOR 277 VOLT OPERATIONS.
23.6. CONTRACTOR'S WRITTEN CERTIFICATION THAT ANY ALTERATIONS THAT MAY RESULT FROM THE PROPOSED LIGHTING FIXTURE SUBSTITUTION(S) WILL BE DESIGNED AND CONSTRUCTED AT THE CONTRACTOR'S EXPENSE.
23.7. REIMBURSEMENT TO THE LANDSCAPE ARCHITECT FOR ALL TIME ASSOCIATED WITH REVIEW OF FIXTURE SUBSTITUTIONS. PAYMENT SHALL BE MADE IN ADVANCE OF THE REVIEW, BASED ON THE LANDSCAPE ARCHITECTS HOURLY RATES FOR THE PERSONAL INVOLVED IN THE REVIEW.
23.8. CONTRACTOR'S WRITTEN WAIVER OF RIGHTS TO ADDITIONAL PAYMENT AND/OR TIME THAT MAY BECOME NECESSARY SHOULD THE PROPOSED SUBSTITUTION(S) FAIL TO PERFORM IN A MANNER THAT IS EQUIVALENT TO THE ORIGINALLY SPECIFIED FIXTURE(S).
23.9. AS NOTED ABOVE, AN ADDENDUM INCORPORATING THE SUBSTITUTION SHALL INCORPORATE THE FOLLOWING REQUIREMENTS:
23.9.1. ANY SUBSTITUTIONS TO LIGHTING FIXTURES AND THEIR PARTS MUST BE APPROVED BY THE OWNER, TENANT, TOWNSHIP, AND THE LANDSCAPE ARCHITECT. ANY COST ASSOCIATED WITH REVIEW AND APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR.
23.9.2. COMPUTER PREPARED LIGHTING PLANS AND PHOTOMETRIC LAYOUTS OF THE PROPOSED LIGHTING AREA WHICH INDICATES THE SYSTEM'S PERFORMANCE.
23.9.3. A PHOTOMETRIC STUDY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS, SUMMARY, ISOLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
23.9.4. POLE MANUFACTURER ASHOTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
23.9.5. A PHOTOGRAPH THAT CLEARLY ILLUSTRATES THE REPLACEMENT FIXTURE MOUNTED NOTING THE COLOR, FINISH, MANUFACTURER, AND ADDITIONAL PHYSICAL CHARACTERISTICS.

SPEC NOTES:

- 1. POST LIGHT TO BE INSTALLED ON MATCHING FINISH POLE.
2. FINISH/COLOR: BLACK
3. MOUNTING HEIGHT: 15'
4. SEE PLANSCHEDULE FOR DISTRIBUTION TYPE.
5. WATTAGE TO BE SELECTED BY CONTRACTOR.

CONTRACTOR NOTES:

- 1. GENERAL CONTRACTOR TO COORDINATE AND PROVIDE CONDUIT PER LIGHTING SHOWN
2. CONTRACTOR TO PROVIDE LIGHTING SUBMITTAL FOR FINAL APPROVAL BY OWNER AND LANDSCAPE ARCHITECT.
3. REFER TO MANUFACTURER FOR INSTALLATION INSTRUCTIONS.

SITE PLAN NOTES:

- 1. ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THIS PLAN TO BE USED FOR LANDSCAPING AND SITE IMPROVEMENT PURPOSES ONLY.
3. PLANS CREATED FROM DRAWINGS FROM DL HOWELL ENGINEERING DATED, 08/23/2021.
4. LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AND MARKED IN THE FIELD, PRIOR TO ANY DIGGING OPERATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING TREES AND PLANT MATERIAL WITHIN THE AREA OF PROPOSED IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS OFF-SITE, CLEAN-UP OF ALL PAVED AREAS (ROADWAYS, SIDEWALKS, ETC.); AND RESTORATION OF ALL DISTURBED LAWN AREAS.
7. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES DAMAGED.
8. CONTRACTOR SHALL PROVIDE SCREENED PLANTING SOIL WHERE PLANTING IS TO OCCUR. 36" DEPTH. 6" DEPTH AT LAWN AREAS.
9. FOLLOWING COMPLETION OF ALL PLANTING INSTALLATION WORK, THE CONTRACTOR SHALL BE REQUIRED TO RESTORE ALL DISTURBED LAWN AREAS.
10. NO TREE SHALL BE PLANTED CLOSER THAN 10 FEET FROM AN UNDERGROUND UTILITY.
11. ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
12. VERIFY LAYOUT OF ALL PROPOSED WORK TO EXISTING CONDITIONS. REPORT DISCREPANCIES BEFORE ANY CLEARING OR EXCAVATION IS DONE.
13. PROVIDE STAKED LAYOUT ON SITE FOR OWNER AND LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
14. ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
15. PLEASE NOTE, CLIENT DID NOT RETAIN STUART AND ASSOCIATES, LLC. TO PROVIDE LONG TERM MAINTENANCE SPECIFICATIONS FOR THE LANDSCAPE MATERIAL.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PA ONE CALL AND LOCATING ALL UNDERGROUND UTILITIES BEFORE ANY DIGGING OR PLANT REMOVAL OCCURS.
17. CONTRACTOR SHALL INSTALL SILT FENCE IN ANY AREAS WHERE SOIL MAY RUNOFF INTO PARKING AREAS OR INTO EXISTING INLETS.
18. FOLLOWING THE COMPLETION, THE EXISTING VEGETATION WILL BE INSPECTED FOR HEALTH AND QUALITY, AND IF NOT DEEMED IN GOOD CONDITION, REPLACED WITH THE EQUIVALENT COMPENSATORY PLANTINGS.
19. V.I.F. = VERIFY IN FIELD.

Schedule

Table with columns: Symbol, Label, Image, Quantity, Manufacturer, Catalog Number, Description, Number Lamps, Lumens Per Lamp, Light Loss Factor, Wattage, Plot. Contains two rows for Allegra fixtures (A and B).

Statistics

Table with columns: Description, Symbol, Avg, Max, Min, Max/Min, Avg/Min. Rows for AREA, ROAD A, ROAD B, ROAD C, ROAD D, ROUNDABOUT - ROAD A.

Note:

- 1. MOUNTING HEIGHT AT 15'
2. CALCULATIONS TAKEN AT GRADE
3. CALCULATIONS ARE ESTIMATIONS BASED ON THE INFORMATION PROVIDED AND MAY VARY WITH ACTUAL CONDITIONS

Configured Specification Sheet

Product specification sheet for Allegra Medium luminaire. Includes Project Name, Type, Catalog # Part Number, and detailed technical drawings of the luminaire and its distribution patterns. Includes sections for Distributions, Description, Features, Colors and Color Temperatures, Controls, Rating, and Certifications.

Configured Specification Sheet

Product specification sheet for Allegra Medium luminaire. Includes 'How to order' section with a detailed table listing various configurations based on housing, voltage, lens, output, color, and mounting options.

Note:

- 1. Check fixture finish and color on manufacturer's website for a selection of compatible decorative finishes.
2. Available with 144, 344, 544, 944 and 1500 lumens options.
3. Available with base 2, 3, 5, 8, 12, 18, 24, 36, 48 and 60 distribution only.
4. Available with 120, 180, 270, 360, 450, 540 and 630 lumens options.
5. Available up to 120V.
6. Contact factory for more color temperature options.
7. Available for CR 80.
8. Available with CR 80.
9. When order 2 more than order below with the exception of 300K.
10. Specify PPS, number followed by "1" for natural finish (see RA107070) or "2" for standard finish (see RA107070). Natural finish fixtures are not recommended for the durability of appearance. If it is desired to specify with the natural finish, specify the finish in the comments section. Please contact factory for other PPS, textures and glass. In no event alternate color check, that will not be accepted.
11. Larger wall heat sink can be used for color RA, color finish.
12. Contact factory for more CR 80 color temperature options.
13. Contact factory for more CR 80 color temperature options.
14. Use only with respective control. The color is not required for normal outdoor exposure.
15. See manufacturer website for more options.

lumenpulse

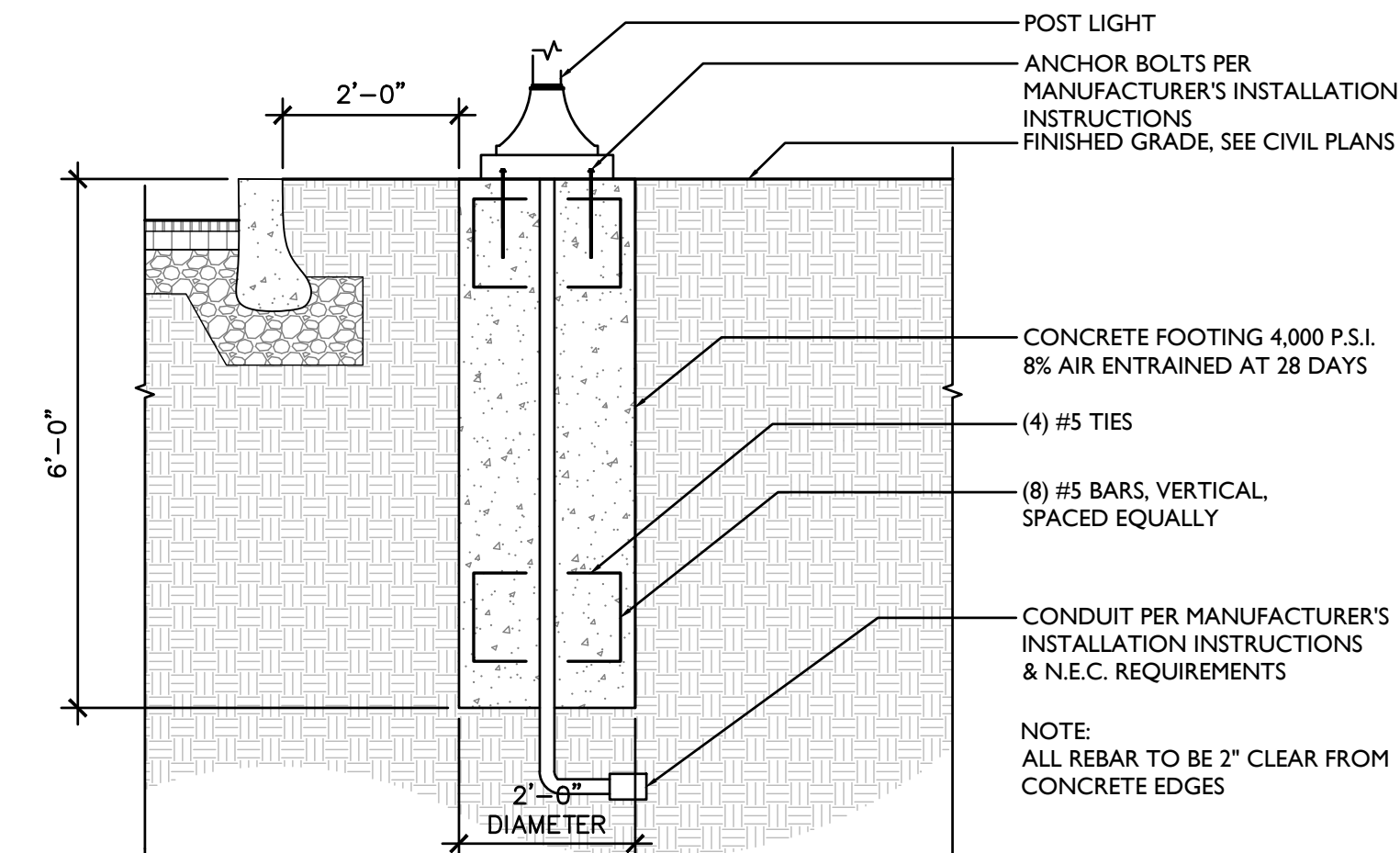
1200 Main Victoria Blvd., Lenoirville, GA 345 249 CA info@lumenpulse.com www.lumenpulse.com 1 United States 617.907.9700 | Canada 1.877.997.3000 | 314.937.3000 F 314.937.4009 M 314.937.3000 Copyright © 2021 LMP Co Inc. 1 / 4 M.S. # 113

POST LIGHT CUTSHEET CONT.

SCALE: N.T.S.

POST LIGHT CUTSHEET

SCALE: N.T.S.



POST LIGHT FOOTING DETAIL, TYP.

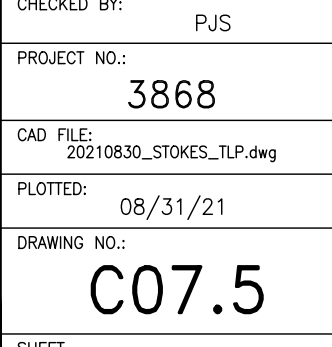
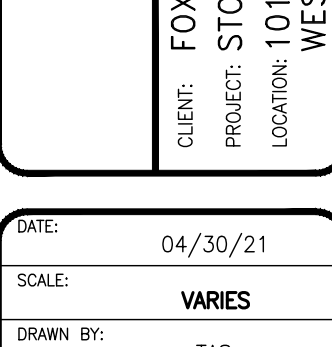
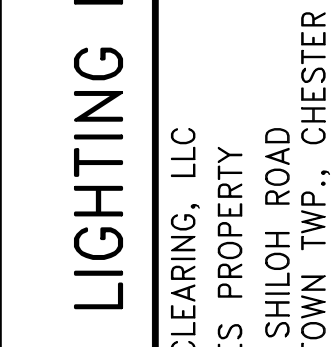
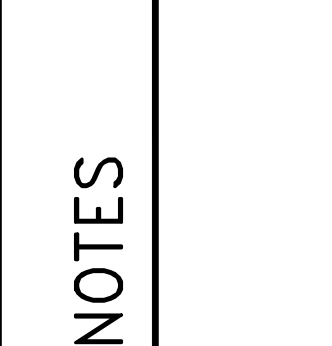
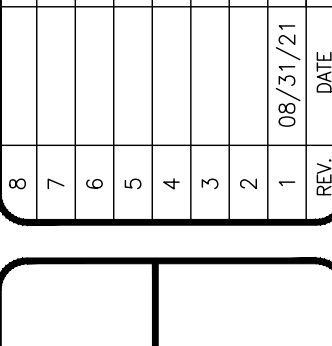
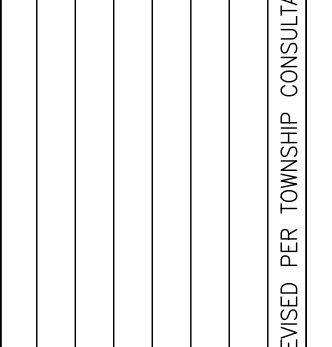
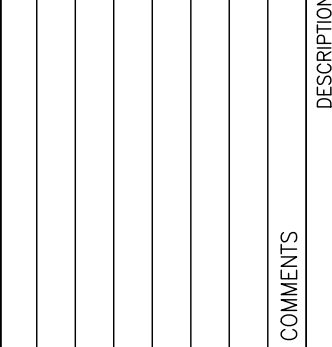
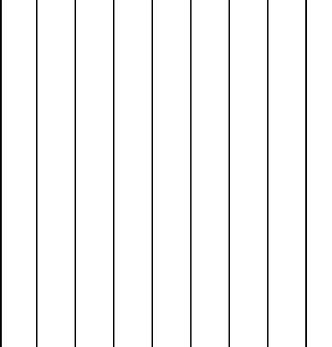
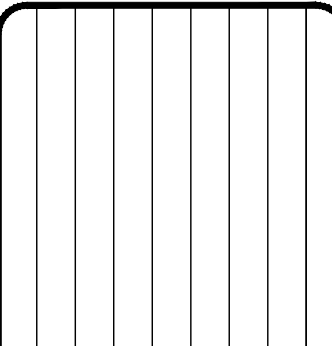
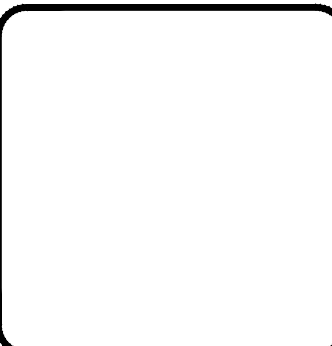
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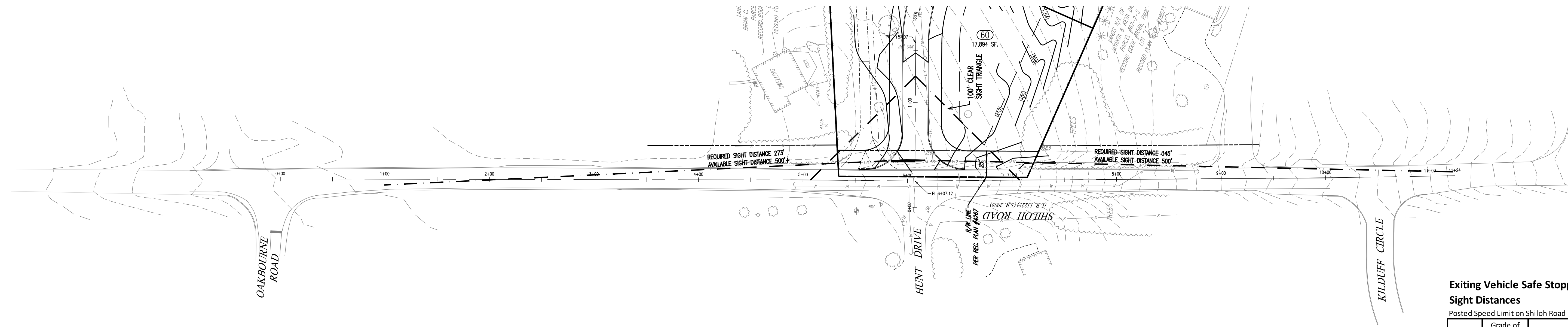
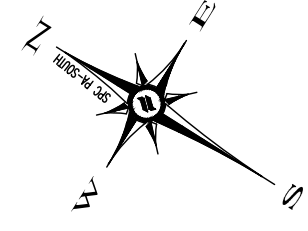
1250 Wrights Lane West Chester, PA 19380 Phone: (610) 918-9002 Fax: (610) 918-9003



CONDITIONAL USE LIGHTING DETAILS AND NOTES

CLIENT: FOX CLEARING, LLC PROJECT: STOKES PROPERTY LOCATION: 101.5 SHILOH ROAD WESTMINSTER TWP., CHESTER COUNTY, PA

DATE: 04/30/21 SCALE: VARIOUS DESIGNED BY: TJS CHECKED BY: PJS PROJECT NO.: 3868 CAD FILE: 1011083L_STOKES_TWP.dwg PLOTTED: 08/11/21 DRAWING NO.: C07.5 SHEET: 28 of 31



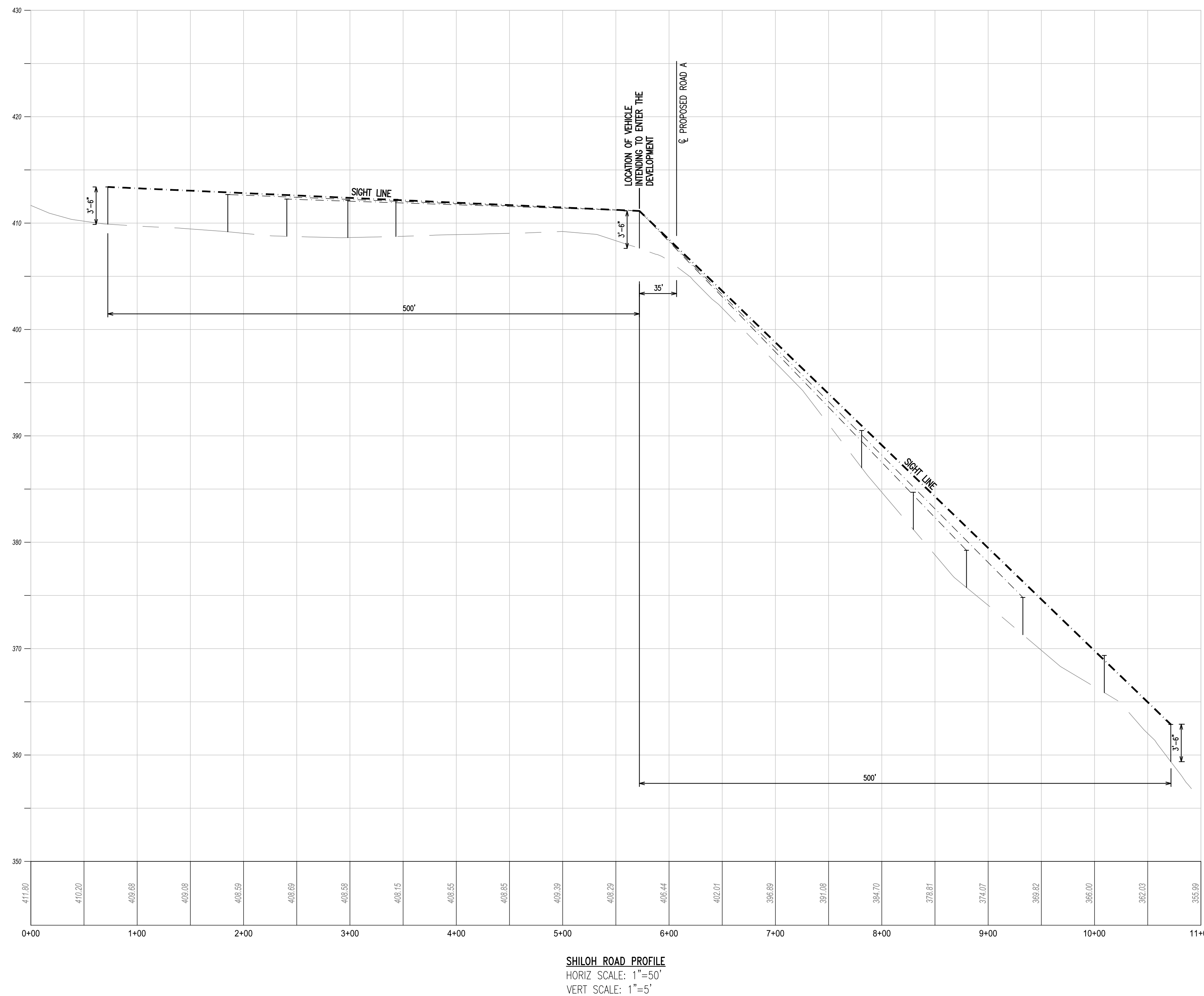
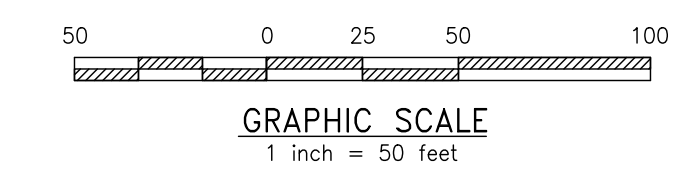
Exiting Vehicle Safe Stopping Sight Distances

Posted Speed Limit on Shiloh Road is 30 mph

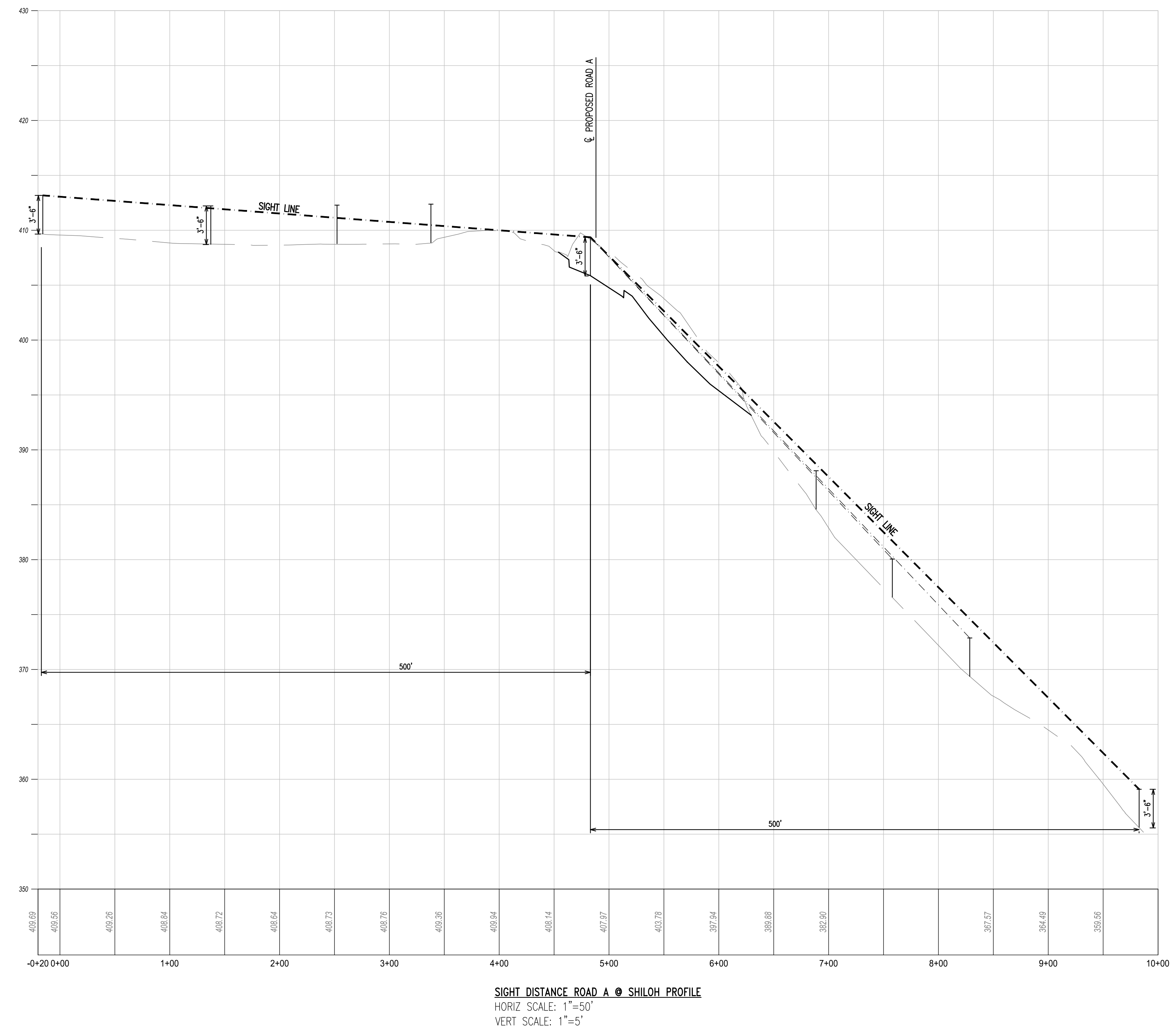
Direction	Grade of Approaching Vehicle	Speed	Available SSSD	Required SSSD
Looking Right	-3%	30	+500'	204'
Looking Right	-3%	40 (10 mph over)	+500'	331'
Looking Left	+9%	30	500	178'
Looking Left	+9%	40 (10 mph over)	+500'	277'

SHILOH ROAD SIGHT DISTANCE ANALYSIS

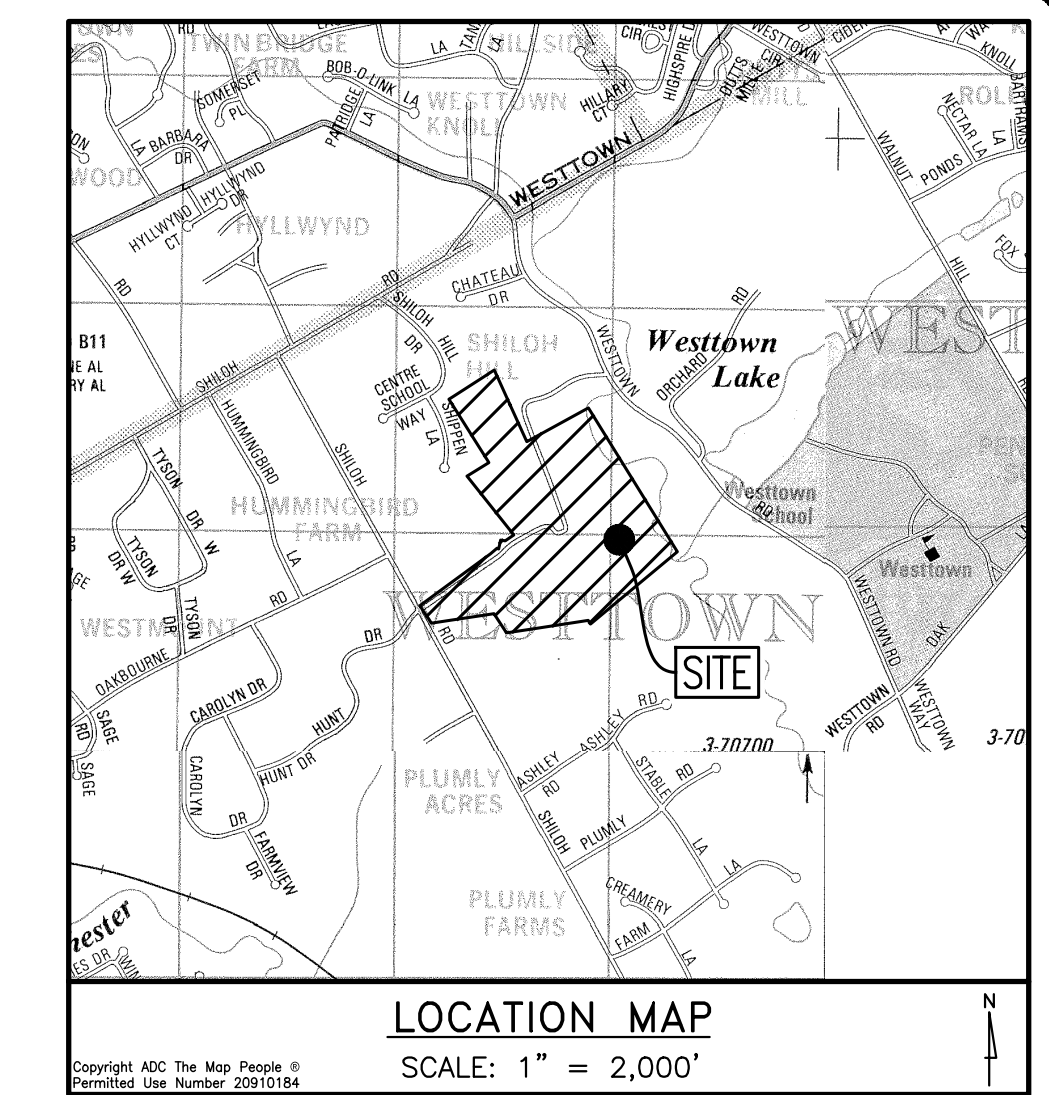
SCALE: 1" = 50'



SHILOH ROAD PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'

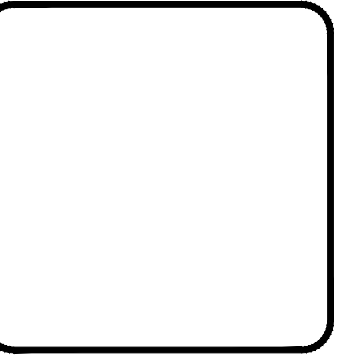
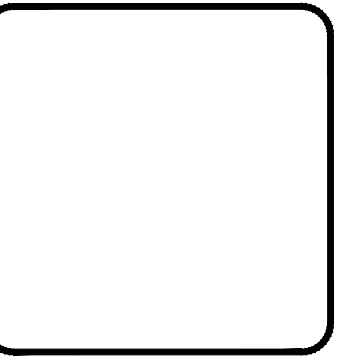


SIGHT DISTANCE ROAD A @ SHILOH PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



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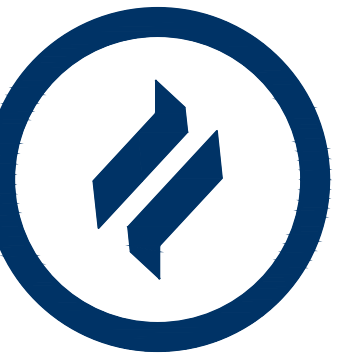
1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003



REV	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
2		
3		
4		
5		
6		
7		
8		

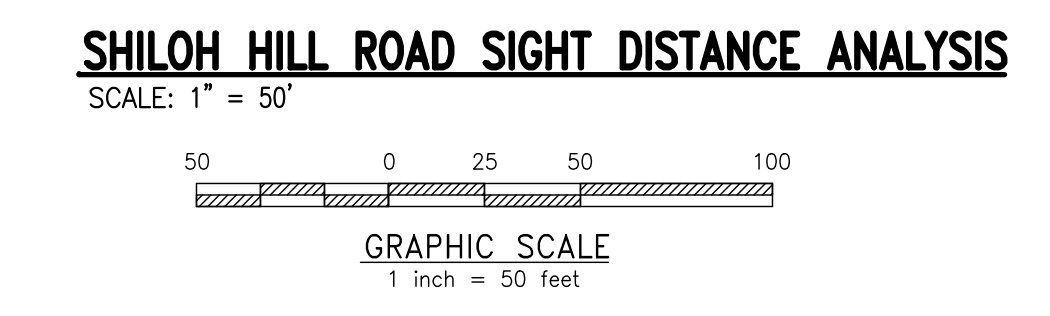
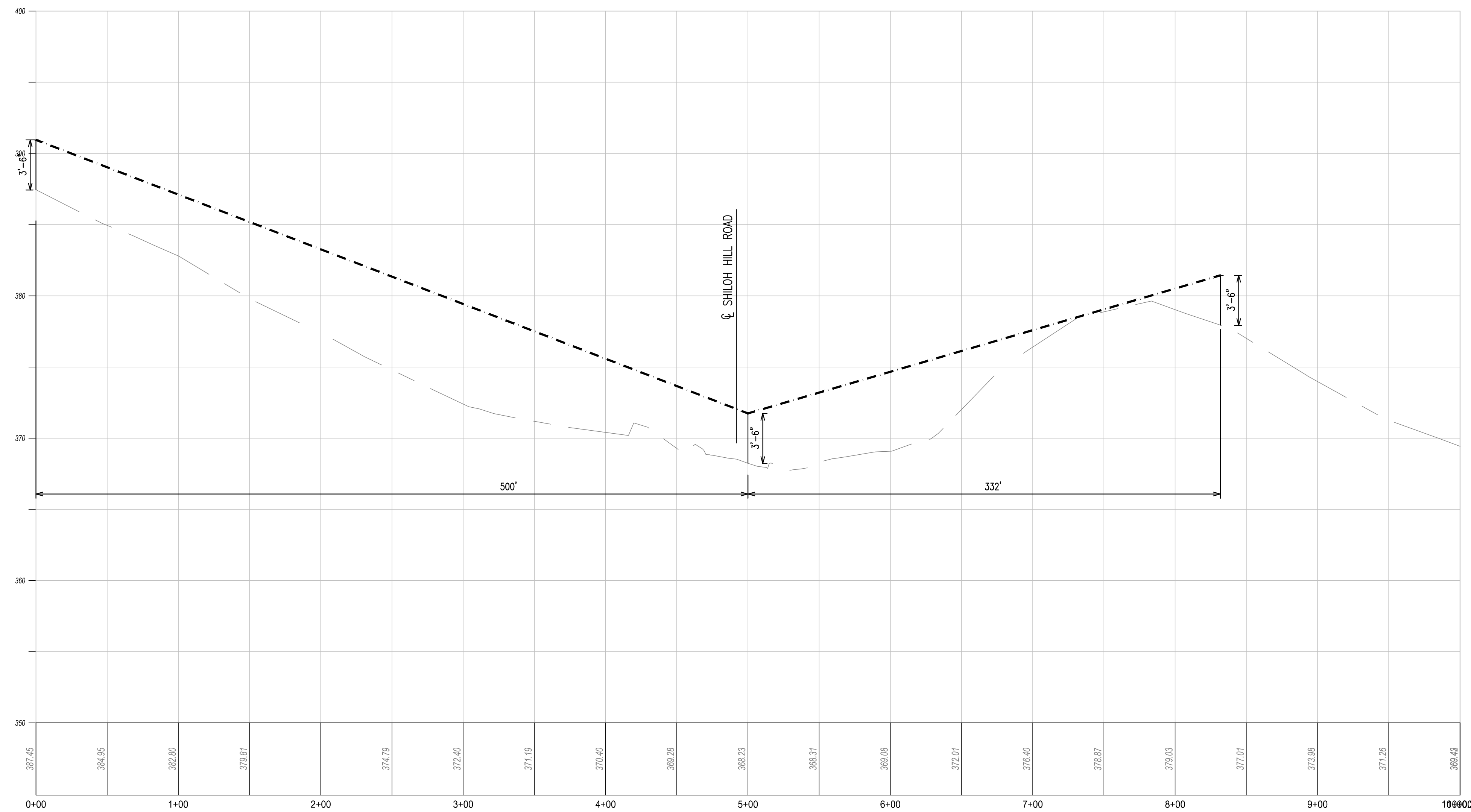
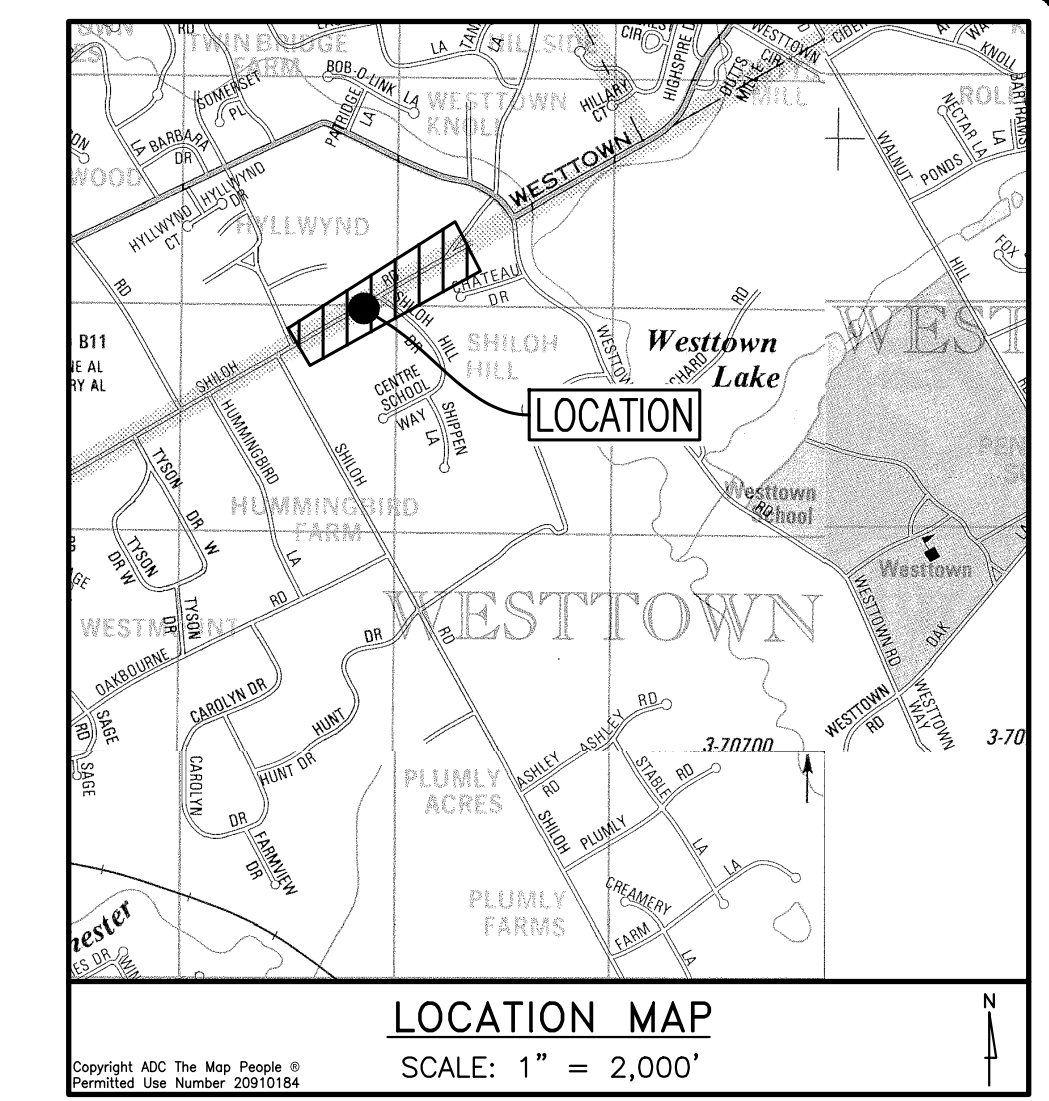
CONDITIONAL USE
SHILOH ROAD SIGHT DISTANCE ANALYSIS
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CADD FILE: 3868 P.dwg
PLOTTER: 3868/31/21
DRAWING NO.: SD-1.1
SHEET 29 of 31



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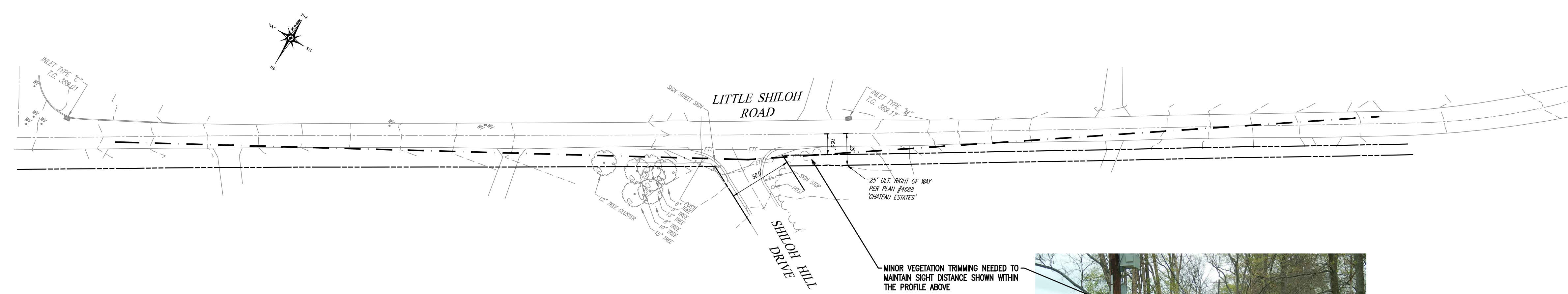
1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003



Exiting Vehicle Safe Stopping Sight Distances

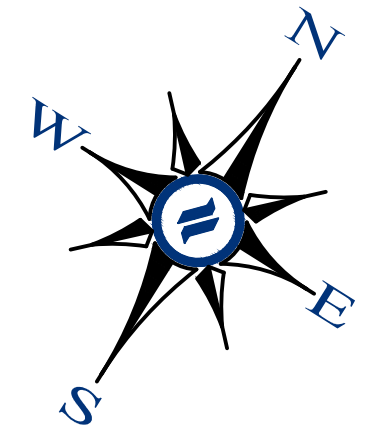
Posted Speed Limit on Little Shiloh Road is 25 mph

Direction	Grade of Approaching Vehicle	Speed	Available SSSD	Required SSSD
Looking Right	-2%	25	+332'	150'
Looking Right	-2%	35 (10 mph over)	+332'	256'
Looking Left	-2%	25	+500'	150'
Looking Left	-2%	35 (10 mph over)	+500'	256'



CONDITIONAL USE
SHILOH HILL ROAD SIGHT DISTANCE ANALYSIS
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CADD FILE: 2008 Project
PLOTTER: 06/21/21
DRAWING NO.: SD-1.2
SHEET 30 of 31



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1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003

GENERAL NOTES:
1. THE PURPOSE OF THIS PLAN IS TO DEPICT A POSSIBLE ALTERNATIVE PLAN IN ORDER TO SAVE THE HISTORIC HOME. THE TOTAL PROPOSED LOTS WOULD BE 69 NEW SINGLE FAMILY HOMES AND 1 (ONE) OPEN SPACE PARCEL (LOT 70) FOR THE HISTORIC HOME.

RESIDENTIAL DEVELOPMENT

ART. VI - R1 RESIDENTIAL DISTRICT
SECT. 170-501.C. CONDITIONAL USES
(2). RESIDENTIAL DEVELOPMENT (FLEXIBLE DEVELOPMENT PROCEDURE - ARTICLE IX)
ART. IX - FLEXIBLE DEVELOPMENT PROCEDURE
SECT. 170-903. PERMITTED USES
A. SINGLE FAMILY DETACHED DWELLINGS
SECT. 170-904. DENSITY STANDARDS
BASE DENSITY = 1.1 D.U./ACRE OF TRACT AREA (*SEE TRACT AREA CALCULATION)
BONUS DENSITY = 1.5 D.U./ACRE OF TRACT AREA (MAXIMUM ACHIEVABLE)

AREA AND BULK REGULATIONS

REQUIRED	PROPOSED
MAX. NET RESIDENTIAL DENSITY	4 UNITS/ACRE / 3,698 UNITS/ACRE
MIN. DISTANCE FROM CURB	30 FT. / 30 FT.
MIN. DISTANCE BETWEEN BUILDINGS	30 FT. / 30 FT.
MAX. BUILDING HEIGHT	3 STORES/38 FT. / <3 STORES/38 FT.
SETBACK FROM TRACT BOUNDARY	50' / 50'

TRACT AREA CALCULATION

TRACT AREA (GROSS)	2,829,474 S.F. / 64,956 ACS(A)
EX. LEGAL R/W	4,863 S.F.
EX. UTILITY EASEMENTS	260,505 S.F.
AREA EQUAL TO 75% OF: FLOODPLAIN	- 144,110 S.F.
PROHIBITIVE SLOPES	- 50,000 S.F.
WETLANDS	- 56,640 S.F.
AREA EQUAL TO 25% OF SEASONALLY HIGH WATER TABLE SOILS	- 68,836 S.F.
TRACT AREA =	2,236,892 S.F. (51,347 AC.)
BASE DENSITY (1.1 MULTIPLIER)=	56 LOTS

OPEN SPACE
MINIMUM OPEN SPACE = 40% GROSS TRACT AREA
REQUIRED GROSS TRACT = 64,956 ACRES
64,956 ACRES X 40% = 25,982 ACRES
PROPOSED = 39.34 ACRES (60,568 GROSS TRACT AREA)
QUALIFYING MIN. REQUIRED OPEN SPACE = 26.33 ACRES (40,548 GROSS TRACT AREA)
QUALIFYING INCREMENTAL BONUS O.S. = 9.92 ACRES (15,276 GROSS TRACT AREA)

DENSITY CALCULATION

BASE DENSITY: 1.1 D.U. / TRACT AREA
BONUS DENSITY:
§ 170-904(2)(a)
+0.075 D.U. / 5% OF ADDITIONAL OPEN SPACE = (15.27% EXTRA) = 0.075 * 3 = 0.225 BONUS
MAXIMUM DENSITY = 1.1 + 0.225 = 1.325 D.U. * 51,347 ACS. = 68 LOTS
SPECIAL BONUS DENSITY:
§ 170-904(2)(a)(1)
PLUS 1 (ONE) ADDITIONAL UNIT / 2 ACRE OPEN SPACE PARCEL CONTAINING HISTORIC BUILDING = +1 LOT
§ 170-904(2)(a)(2)
PLUS 1 (ONE) ADDITIONAL UNIT / 2,000 SF GROSS FLOOR AREA HISTORIC RESTORATION OR REHABILITATION = +1 LOT
MAXIMUM DENSITY WITH SPECIAL BONUS DENSITY = 68 + 2 = 70 LOTS ACHIEVABLE

RESIDENTIAL LOT AREA

RESIDENTIAL LOT AREA	21,806 ACRES
PROPOSED LOTS	70
DENSITY	3.21 D.U./AC.
AVERAGE SIZE	0.312 ACRES

- REQUIRED MINIMUM COMMON OPEN SPACE (40% OF THE GROSS TRACT AREA)
- HISTORIC HOME OPEN SPACE PARCEL (INCLUDED AS PART OF THE REQUIRED MINIMUM COMMON OPEN SPACE)
- INCREMENTAL BONUS OPEN SPACE AREA
- NON-QUALIFYING OPEN SPACE (AREAS LESS THAN 75' IN WIDTH & AREAS NOT LESS THAN 0.5 ACRES OF CONTIGUOUS AREA)
- OPEN SPACE AREAS WITHIN FLOODPLAIN, WETLANDS, AND STEEP SLOPES GREATER THAN 25%
- AREAS USED FOR SUBSURFACE INFILTRATION WITH OPEN STORAGE ACCESSORY TO INFILTRATION FACILITIES

	Min. Required Common Open Space Area (40%)			TOTAL
	1	2	O.S. Parcel	
Gross Area (Acres)	17.63	6.58	2.78	26.99
- Areas less than 75' in width	0	0	0	0
- Areas less than 1/2 acre	0	0	0	0
- Non-infiltrating SWM Facilities	0	0	0	0
- Miscellaneous Impervious	0.02	0.14	0	0.16
Qualifying Base Open Space	17.63	6.58	2.78	26.99
Floodplain	2.78	2.28	0	5.06
Area of 25%+ Slopes	0.86	0.57	0.39	1.82
Wetland/Waterbodies	1.62	0	0.12	1.74
Area of Floodplain, wetland, slopes > 25% in Min. Required Common Open Space (Min. 50% allowed)	5.26	2.85	0.51	8.62
				32.74%

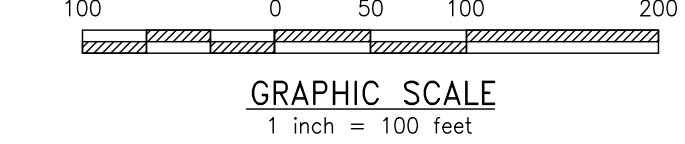
	Bonus Open Space Area						TOTAL
	B1	B2	B3	B4	B5	B6	
Gross Area (Acres)	4.33	0.69	0.78	2.57	0.56	3.92	12.85
- Areas less than 75' in width	0.32	0.25	0	1.37	0	0.49	2.43
- Areas less than 1/2 acre	0	0	0	0	0	0	0
Floodplain	0	0	0	0	0	0	0
Area of 25%+ Slopes (including proposed)	0	0	0	0.08	0.12	0.27	0.47
Wetland/Waterbodies	0	0	0	0.03	0	0	0.03
Impervious Surfaces	0	0	0	0	0	0	0
Stormwater Facilities	0	0	0	0	0	0	0
Qualifying Bonus Open Space	4.01	0.44	0.78	1.09	0.44	3.16	9.92
							15.27%

*B4 excludes 40' wide access easement

AREA AVAILABLE FOR ACTIVE RECREATION
NET TRACT AREA = 2,236,892 S.F.
AREA REQUIRED (10% NET TRACT AREA) X 10%
223,689 SF -OR- 5.13 ACRES
AREA SUITABLE FOR ACTIVE RECREATION - 5.86 ACRES

ALTERNATIVE SITE PLAN WITH HISTORIC HOME

SCALE: 1" = 100'



LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. METEOROLOGICAL
- 242 EXISTING CONTOUR
- 242 PROPOSED CONTOUR
- X 123.00 EXISTING SPOT ELEV.
- X 123.00 NEW SPOT ELEV.
- X GEB2 SOILS TYPE
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- PROP. FENCE
- EX. MAIL BOX
- PROP. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- PROP. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM ALLEY
- PROP. STORM ALLEY
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE A/F FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS



REV.	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
2		
3		
4		
5		
6		
7		
8		

CONDITIONAL USE
ALTERNATIVE SITE PLAN WITH HISTORIC HOME
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
DATE FOR PLAN HISTORY OPERATIONS: 08/31/21
DRAWING NO.: C01.1A
SHEET 31 OF 31