

RESIDENTIAL DEVELOPMENT

ART. VI - R1 RESIDENTIAL DISTRICT
SECT. 170-501.C. CONDITIONAL USES
(2) RESIDENTIAL DEVELOPMENT (FLEXIBLE DEVELOPMENT PROCEDURE - ARTICLE IX)

DRAWING INDEX

Table with 3 columns: SHEET NUMBER, DRAWING NUMBER, SHEET TITLE. Lists sheets 01 through 065 with titles like OVERALL SITE PLAN, SITE PLAN, OPEN SPACE PLAN, etc.

TRACT AREA CALCULATION table showing TRACT AREA (GROSS), EX. LEGAL R/W, AREA EQUAL TO 75% OF FLOODPLAIN, etc.

OPEN SPACE

MINIMUM OPEN SPACE = 40% GROSS TRACT AREA
REQUIRED GROSS TRACT = 64,956 ACRES
PROPOSED GROSS TRACT = 41,838 ACRES

DENSITY CALCULATION

BASE DENSITY: 1.1 D.U. / TRACT AREA
BONUS DENSITY: +0.075 D.U. / 5% OF ADDITIONAL OPEN SPACE = 0.075 * 4 = 0.30 BONUS
MAXIMUM DENSITY = 1.1 + 0.30 = 1.40 D.U. = 51,347 ACS. = 71 LOTS ACHIEVABLE

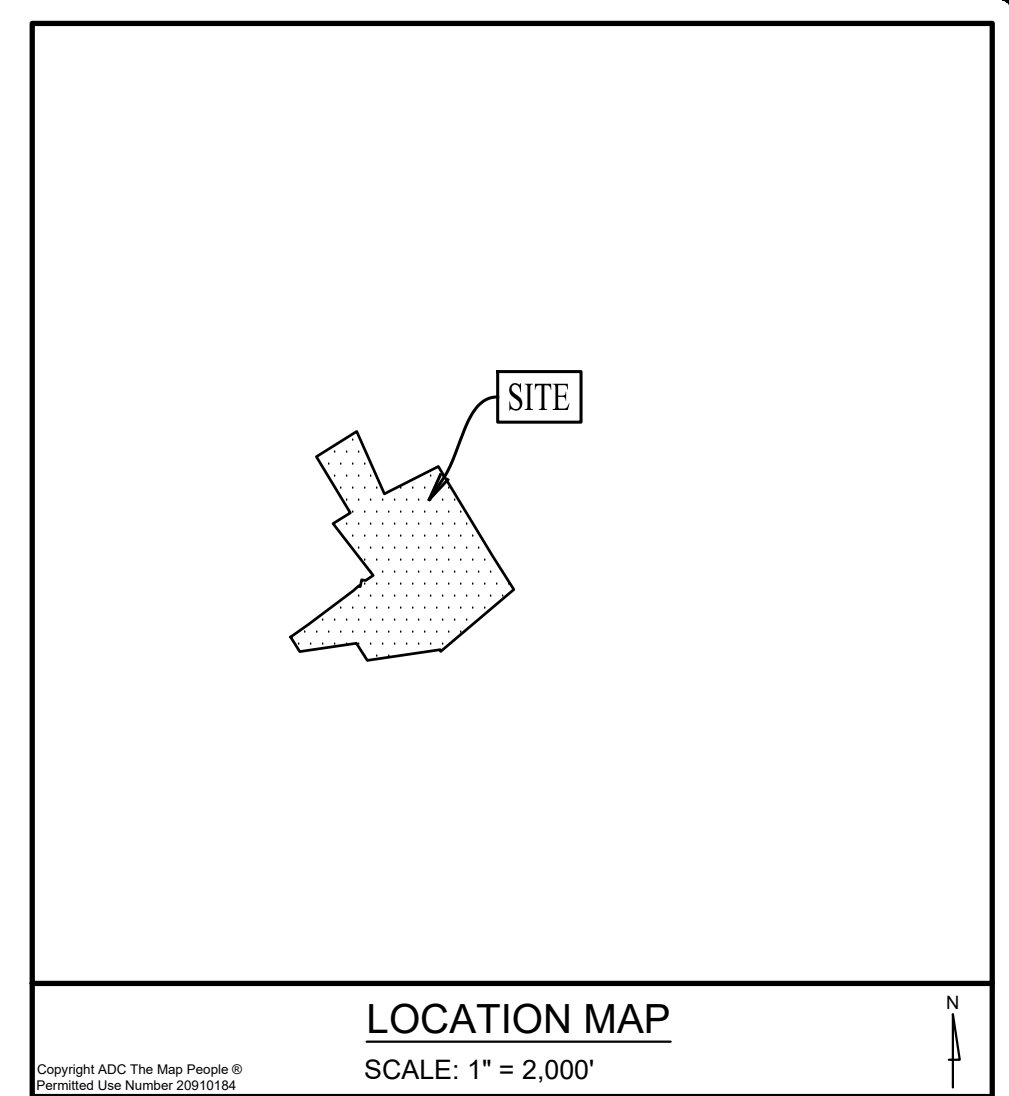
Table with 2 columns: RESIDENTIAL LOT AREA, PROPOSED LOTS, DENSITY, AVERAGE SIZE.

LEGEND

- Legend items: EX. PROPERTY LINE, PROP. PROPERTY LINE, EX. RIGHT-OF-WAY, PROP. RIGHT-OF-WAY, EX. MONUMENT, PROP. MONUMENT, EX. IRON PIPE, PROP. IRON PIPE, EX. EASEMENT, PROP. EASEMENT, EX. EXISTING CONTOUR, PROP. PROPOSED CONTOUR, EX. SPOT ELEV., PROP. NEW SPOT ELEV., EX. SOILS TYPE, PROP. SOILS TYPE, EX. CONC. CURB, PROP. CONC. CURB, EX. CONC. CURB, PROP. CONC. CURB, EX. LIGHT POLE, PROP. LIGHT POLE, EX. FENCE, PROP. FENCE, EX. MAIL BOX, PROP. MAIL BOX, EX. SIGN, PROP. SIGN, EX. EXIST. PARKING SPACES, PROP. PARKING SPACES, EX. TELE. LINE, PROP. TELE. LINE, EX. ELEC. LINE, PROP. ELEC. LINE, EX. UTILITY POLE, PROP. UTILITY POLE, EX. GUY ANCHOR, PROP. GUY ANCHOR, EX. GAS LINE, PROP. GAS LINE, EX. GAS VALVE, PROP. GAS VALVE, EX. STORM SEWER LINE, PROP. STORM SEWER LINE, EX. STORM INLET, PROP. STORM INLET, EX. STORM INLET ID, PROP. STORM INLET ID, EX. SEEPAGE BED, PROP. SEEPAGE BED, EX. SANITARY SEWER LINE, PROP. SAN. SEWER LINE, EX. SAN. SEWER LATERAL, PROP. SAN. SEWER LATERAL, EX. SANITARY MH. ID, PROP. SANITARY MH. ID, EX. WATER LINE, PROP. WATER LINE, EX. WATER LATERAL, PROP. WATER LATERAL, EX. FIRE WATER LINE, PROP. FIRE WATER LINE, EX. WATER VALVE, PROP. WATER VALVE, EX. HYDRANT, PROP. HYDRANT, EX. MANHOLE, PROP. MANHOLE, ZONE A-E FLOODPLAIN, 15%+ SLOPES, 25%+ SLOPES, WETLANDS



EXHIBIT A-4

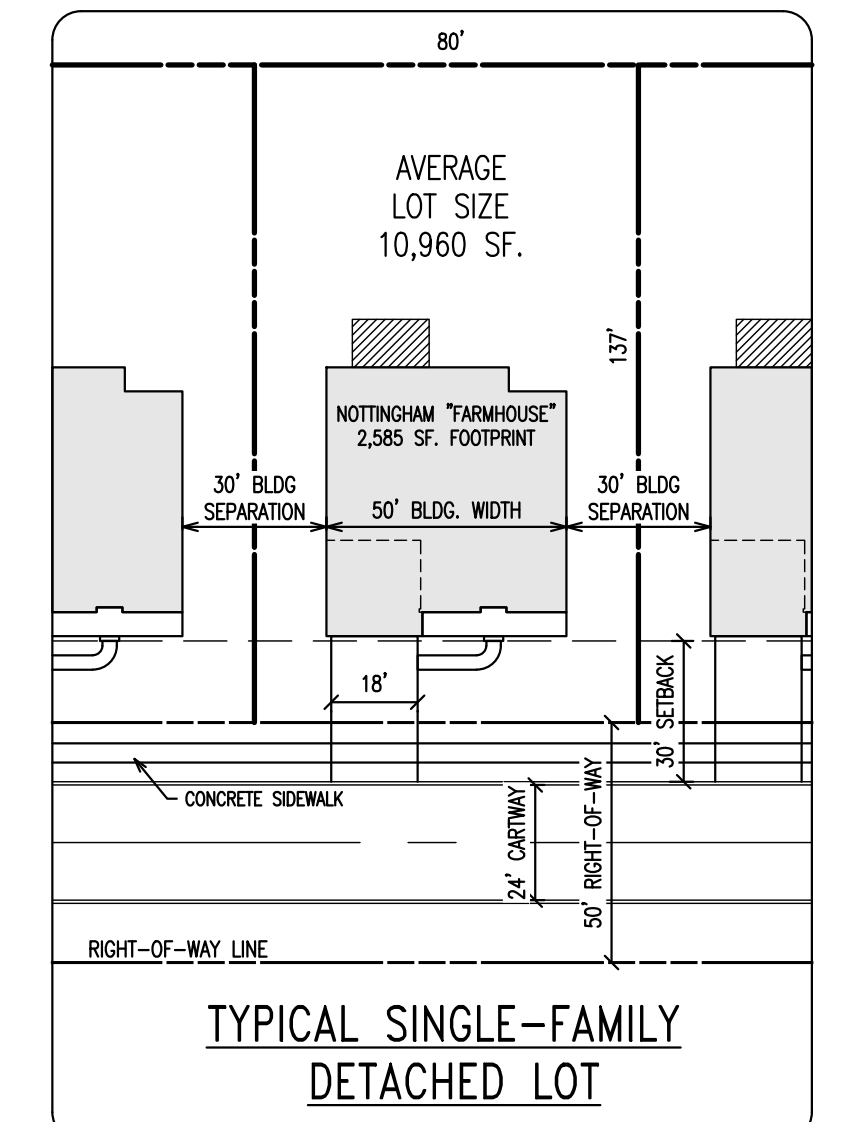


GENERAL NOTES

- 1. RECORD OWNER/MAILING ADDRESS: THE LUCILLE STOKES IRREVOCABLE TRUST I, 104 MURPHY DRIVE, PENNINGTON, NJ 08534
2. SITE ADDRESS: 1013 SHILOH ROAD, WEST CHESTER, PA 19382
3. TAX PARCEL #: 67-2-23
4. SOURCE OF TITLE: RECORD BOOK 9887, PAGE 34 (PARCEL "T", "MILTON R. STOKES", RECORD PLAN BOOK #4267)
5. LOT AREA: 64,956 ACRES (GROSS)
6. BOUNDARY, TOPOGRAPHY AND PHYSICAL IMPROVEMENTS SHOWN ARE FROM FIELD SURVEY BY HOWELL KLINE SURVEYING, L.L.C. PERFORMED DURING OCTOBER, NOVEMBER AND DECEMBER 2020.
7. CONTOURS & TOPOGRAPHIC INFORMATION PLOTTED FROM AERIAL SURVEY BY NEREAST MAPPING, INC. AERIAL MAPPING WAS PRODUCED TO NATIONAL MAP ACCURACY STANDARDS, GROUND CONTROL AND SUPPLEMENTAL DATA BY HOWELL KLINE SURVEYING, L.L.C. DATUM: NAD83 (COMPUTED USING GEOID12A) & NAD 83 (2011) (EPOCH=2010.0000) (AS DETERMINED BY GPS OBSERVATION). SITE BENCH = RIM OF SANITARY MANHOLE LOCATED AT THE INTERSECTION OF HUNT DRIVE AND SHILOH ROAD. ELEVATION: 408.91' CONTOUR INTERVAL: 2 FEET.
8. UNDERGROUND UTILITIES SHOWN WERE DELINEATED BY OBSERVABLE EVIDENCE AT THE TIME OF SURVEY AND INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
9. A PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE A. A SPECIAL FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS PER THE NATIONAL FLOOD INSURANCE RATE MAP FOR CHESTER COUNTY, PA, MAP NO. 4202202156, PANEL 215 OF 380, DATED SEPTEMBER 29, 2017. FLOOD PLAIN BOUNDARIES SHOWN HEREON WERE SCALED FROM THE ABOVE MENTIONED MAP.
10. WETLANDS BOUNDARY LINES WERE DELINEATED BY BROOKHOUSE ENVIRONMENTAL CONSULTANTS AND ENGINEERS AND PLANS LOCATED BY HOWELL KLINE SURVEYING, L.L.C. PERFORMED ON OCTOBER 30, 2020.
11. THIS SITE IS CLASSIFIED AS "2" OF LOCAL HISTORIC VALUE" BY THE TOWNSHIP HISTORIC RESOURCES MAP.
12. THE PURPOSE OF THIS PLAN IS TO DETAIL THE PROPOSED SITE IMPROVEMENTS FOR CONDITIONAL USE OF A 63 LOT RESIDENTIAL SUBDIVISION INCLUDING, BUT NOT LIMITED TO, CONCEPTUAL STORMWATER MANAGEMENT, GRADING, AND LANDSCAPING.
13. SOILS INFORMATION PROVIDED WITH SUPPORT FROM THE NATURAL RESOURCES CONSERVATION SERVICE. SOILS ATTRIBUTE DATA IS DERIVED FROM THE NRCS SOIL DATA MAP.
14. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.
15. AN NPDES PERMIT IS REQUIRED TO BE OBTAINED PRIOR TO ANY CONSTRUCTION ACTIVITIES ON THIS SITE.
16. ALL DIMENSIONS ARE TO EDGE OF PAVING OR FACE OF BUILDING UNLESS NOTED OTHERWISE. SCALED DIMENSIONS SHALL NOT BE USED WITHOUT FIRST CONTACTING D.L. HOWELL & ASSOCIATES.
17. THIS PLAN PROPOSES PUBLIC WATER SUPPLY AND PUBLIC SEWER. PUBLIC WATER WILL BE PROVIDED BY AQUA PENNSYLVANIA. ALL WORK SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND SPECIFICATIONS.
18. AN INDIVIDUAL GRADING AND EROSION AND SEDIMENT CONTROL PLAN FOR EACH BUILDING GROUP SHALL BE SUBMITTED WITH THE BUILDING PERMIT FOR THE TOWNSHIP'S REVIEW AND APPROVAL.
19. ALL MONUMENTS TO BE SET IN ACCORDANCE WITH WESTTOWN TOWNSHIP SUBDIVISION & LAND DEVELOPMENT ORDINANCE.
20. ALL PROPOSED UTILITIES MUST BE PLACED UNDERGROUND.
21. D.L. HOWELL & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS OF THE EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS. NOR DOES D.L. HOWELL & ASSOCIATES, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF THE WORK.
22. THE FINAL ARCHITECTURE AND LOT PLACEMENT FOR EACH HOME IS YET TO BE DETERMINED. FOOTPRINTS ARE FOR CONCEPTUAL PURPOSES ONLY. REPRESENTATIVES OF WESTTOWN TOWNSHIP AND/OR OTHER GOVERNMENTAL AUTHORITIES SHALL HAVE PERMISSION TO GAIN ACCESS TO THE STORMWATER FACILITIES THROUGH A BLANKET EASEMENT OVER THE PROPERTY TO PERFORM INSPECTIONS, MAINTENANCE AND REPAIRS OF THE BASIN, AS NECESSARY.
23. STORMWATER DEVICES SHALL NOT BE REMOVED, ALTERED OR RELOCATED BY THE LANDOWNER. IN THE EVENT OF THE FAILURE OF THE LANDOWNER TO COMPLY WITH THESE CONDITIONS AND RESTRICTIONS, THE TOWNSHIP SHALL HAVE THE AUTHORITY TO RESTORE SAID STORMWATER MANAGEMENT FACILITIES TO THEIR ORIGINAL STATE AND THE COSTS THEREOF SHALL BE ASSESSED TO THE LANDOWNER. THE TOWNSHIP, BEFORE IT MAY EXERCISE THIS RIGHT, SHALL NOTIFY THE LANDOWNER BY CERTIFIED MAIL OF ITS INTENTION TO DO SO. THE NOTICE SHALL SET FORTH IN WHAT MANNER THE OWNER HAS ALTERED THE STORMWATER MANAGEMENT FACILITIES, AND IF THE OWNER FAILS TO CORRECT THE ALTERATION LISTED IN THE NOTICE FROM THE TOWNSHIP, THEN AND ONLY THEN THE TOWNSHIP MAY EXERCISE THIS RIGHT.
24. A SEWER FACILITIES PLANNING MODULE IS REQUIRED IN ACCORDANCE WITH THE SEWERAGE FACILITIES PLANNING ACT (ACT 537). APPROVAL OF THIS PLAN IN NO WAY WAIVES OR GUARANTEES THAT SUCH APPROVAL CAN BE OBTAINED.
25. ALL NEW SANITARY WORK INCLUDING BUT NOT LIMITED TO GRABBY SEWER MAIN AND APPURTENANCES, MANHOLES, ETC., SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF WESTTOWN TOWNSHIP.
26. ALL NEW SANITARY WORK INCLUDING BUT NOT LIMITED TO GRABBY SEWER MAIN AND APPURTENANCES, MANHOLES, ETC., SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF WESTTOWN TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS APPLICABLE. WESTTOWN TOWNSHIP IS NOT RESPONSIBLE FOR INSTALLATION OR MAINTENANCE OF ANY STORMWATER FACILITIES NOT DEDICATED FOR PUBLIC USE.
27. ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH REQUIREMENTS OF WESTTOWN TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS APPLICABLE. WESTTOWN TOWNSHIP IS NOT RESPONSIBLE FOR INSTALLATION OR MAINTENANCE OF ANY STORMWATER FACILITIES NOT DEDICATED FOR PUBLIC USE.
28. NOTHING SHALL BE PLACED PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT OF STORM DRAINAGE FACILITY THAT COULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, ANY EASEMENT AGREEMENT, OR THE STORM DRAINAGE FACILITY.

REFERENCE PLAN(S)

- 1. PLAN ENTITLED "PLAN OF SUBDIVISION FOR MILTON R. STOKES", PREPARED BY HENRY S. CORREY INC, DATED 10/29/1982, LAST REVISED 1/20/1983, RECORD PLAN BOOK #4267.
2. PLAN ENTITLED "PLAN OF PROPERTY FOR HAWTHORNE", PREPARED BY INGRAM ENGINEERING SERVICES, INC., PLOTTED ON 6/29/2016, LAST REVISED 5/3/2016, RECORD PLAN BOOK #19973.
3. PLAN ENTITLED "FINAL LAM OF LOTS JOHN & CHRISTINE O'BRIEN", PREPARED BY ROBERT W. MATTOX, PLS INC., DATED 10/5/1998, LAST REVISED 11/5/1998, RECORD PLAN BOOK #14715.
4. PLAN ENTITLED "MARK GALETT", PREPARED BY MESKO ENGINEERING ASSOCIATES, INC., DATED 12/27/2005, LAST REVISED 2/8/2006, RECORD PLAN BOOK #17755.
5. PLAN ENTITLED "PRELIMINARY/FINAL PLAN OF SUBDIVISION FOR 1015 SHILOH ROAD", PREPARED BY EDWARD R. WALSH & ASSOCIATES, INC., DATED 11/11/2008, LAST REVISED 6/27/2009, RECORD PLAN BOOK #18283.
6. PLAN ENTITLED "FINAL SUBDIVISION PLAN - PROPERTY OF JAMES S. LEES JR.", PREPARED BY C.D. HOUTMAN & SON, DATED 4/3/1978, LAST REVISED 4/13/1978, RECORD PLAN BOOK #1633.



OVERALL SITE PLAN

SCALE: 1" = 100'
GRAPHIC SCALE: 1 inch = 100 feet



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Table with 2 columns: NO., DESCRIPTION. Lists items 1 through 6.

Table with 2 columns: NO., DATE. Lists dates from 8 to 1.

CONDITIONAL USE OVERALL SITE PLAN. CLIENT: KEYSTONE HOMES, PROJECT: STOKES PROPERTY, LOCATION: 1013 SHILOH ROAD, WESTTOWN TOWNSHIP, CHESTER COUNTY, PA.

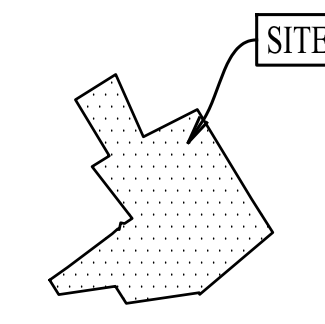
Table with 2 columns: DATE, SCALE, DRAWN BY, CHECKED BY, PROJECT NO., CAD FILE, PLOTTED, DRAWING NO., SHEET. Includes project number 3868 and drawing number C01.1.



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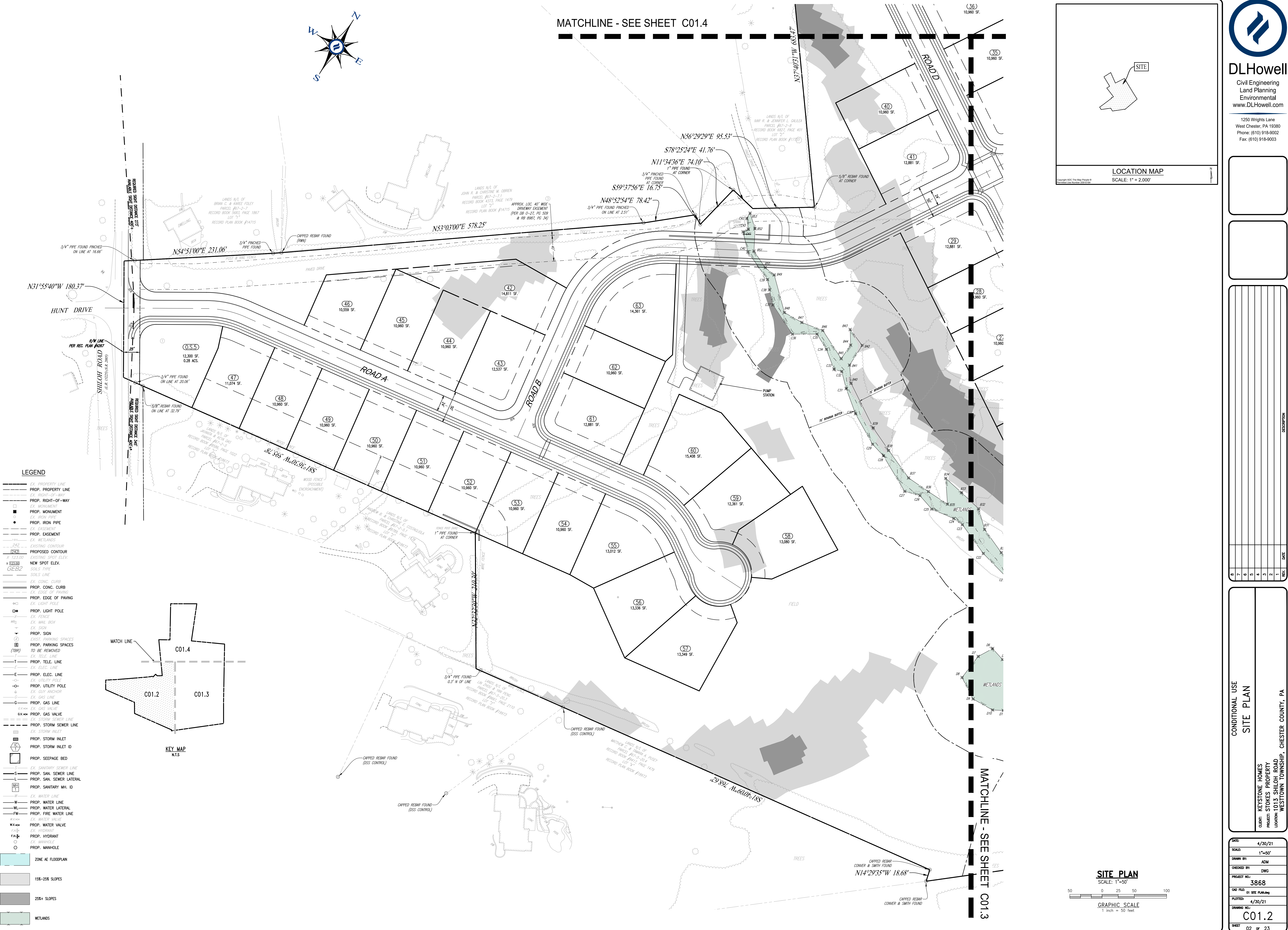
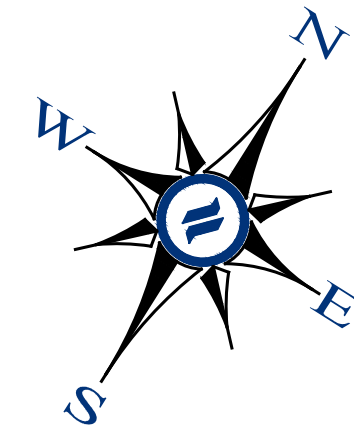
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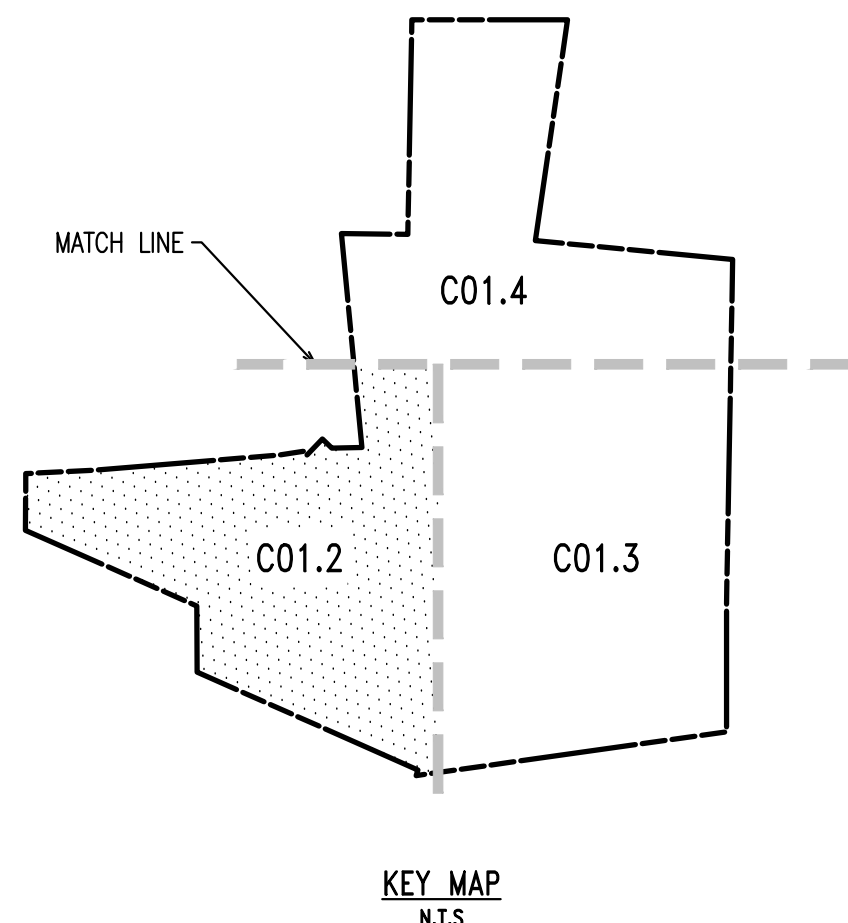
LOCATION MAP
SCALE: 1" = 2,000'

MATCHLINE - SEE SHEET C01.4



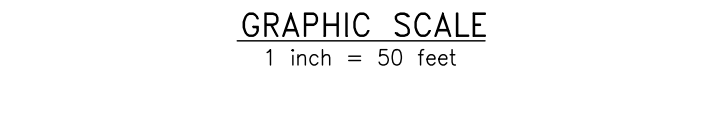
LEGEND

- PROP. PROPERTY LINE
- - - EX. RIGHT-OF-WAY
- - - PROP. RIGHT-OF-WAY
- - - EX. EASEMENT
- - - PROP. EASEMENT
- EX. CONTOUR
- PROP. CONTOUR
- EX. CONTOUR
- PROP. CONTOUR
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EX. PARKING SPACES
- PROP. PARKING SPACES
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
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- PROP. STORM INLET ID
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- PROP. SEEPAGE BED
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- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
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- PROP. SANITARY MH. ID
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- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS



SITE PLAN

SCALE: 1"=50'

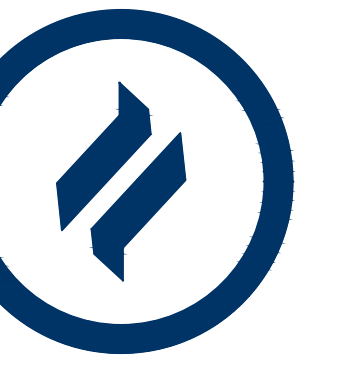


1 inch = 50 feet

CONDITIONAL USE
SITE PLAN

CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

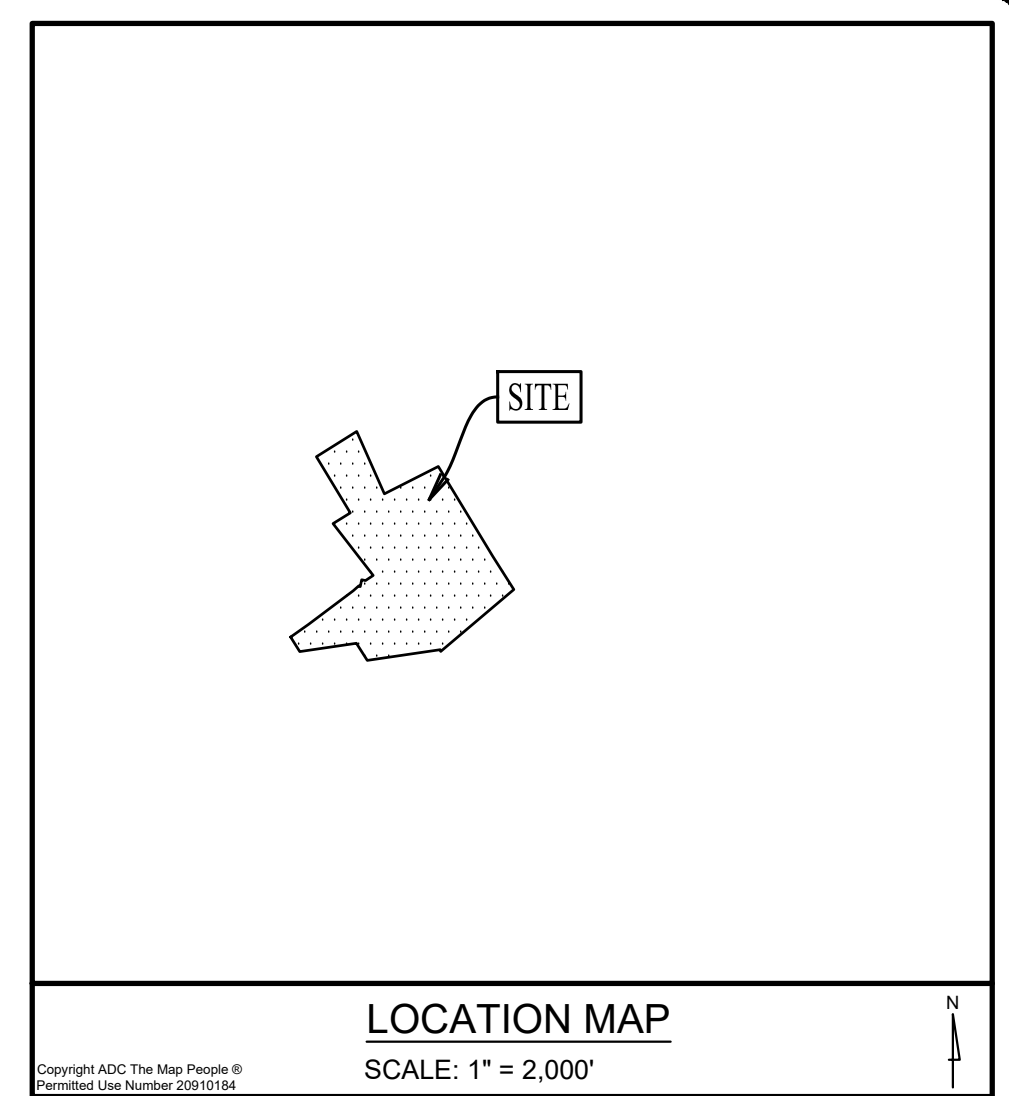
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CHECKED BY:	DWG
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PLOTTED:	
DRAWING NO.:	C01.2
SHEET:	02 of 23



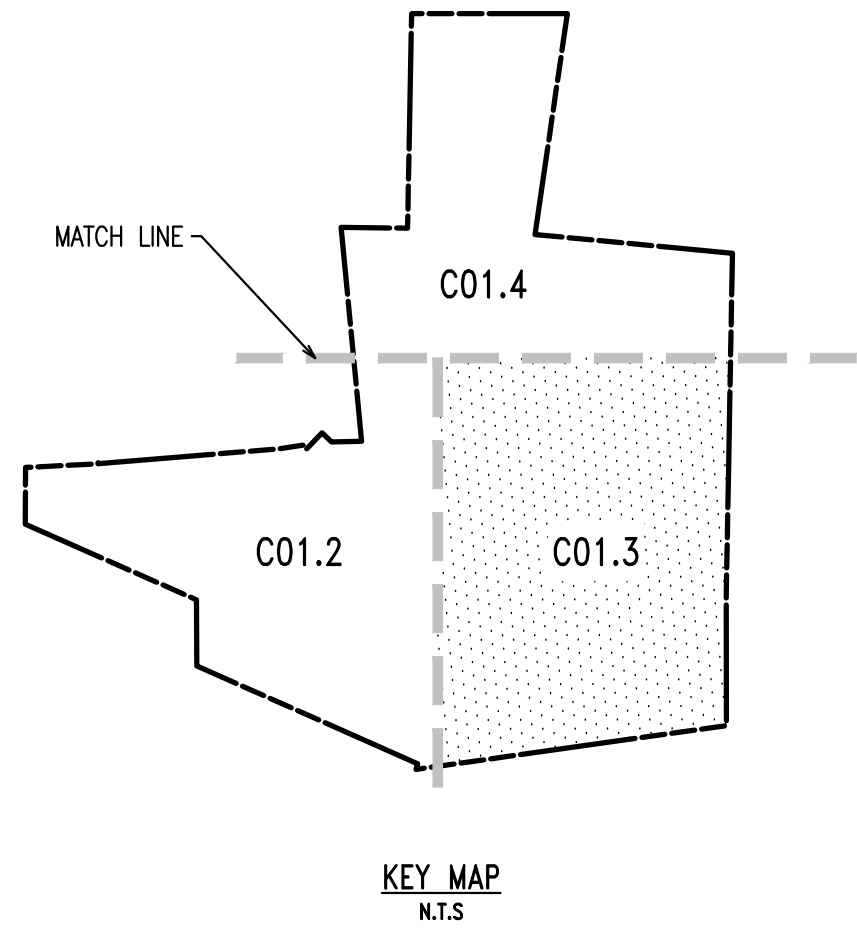
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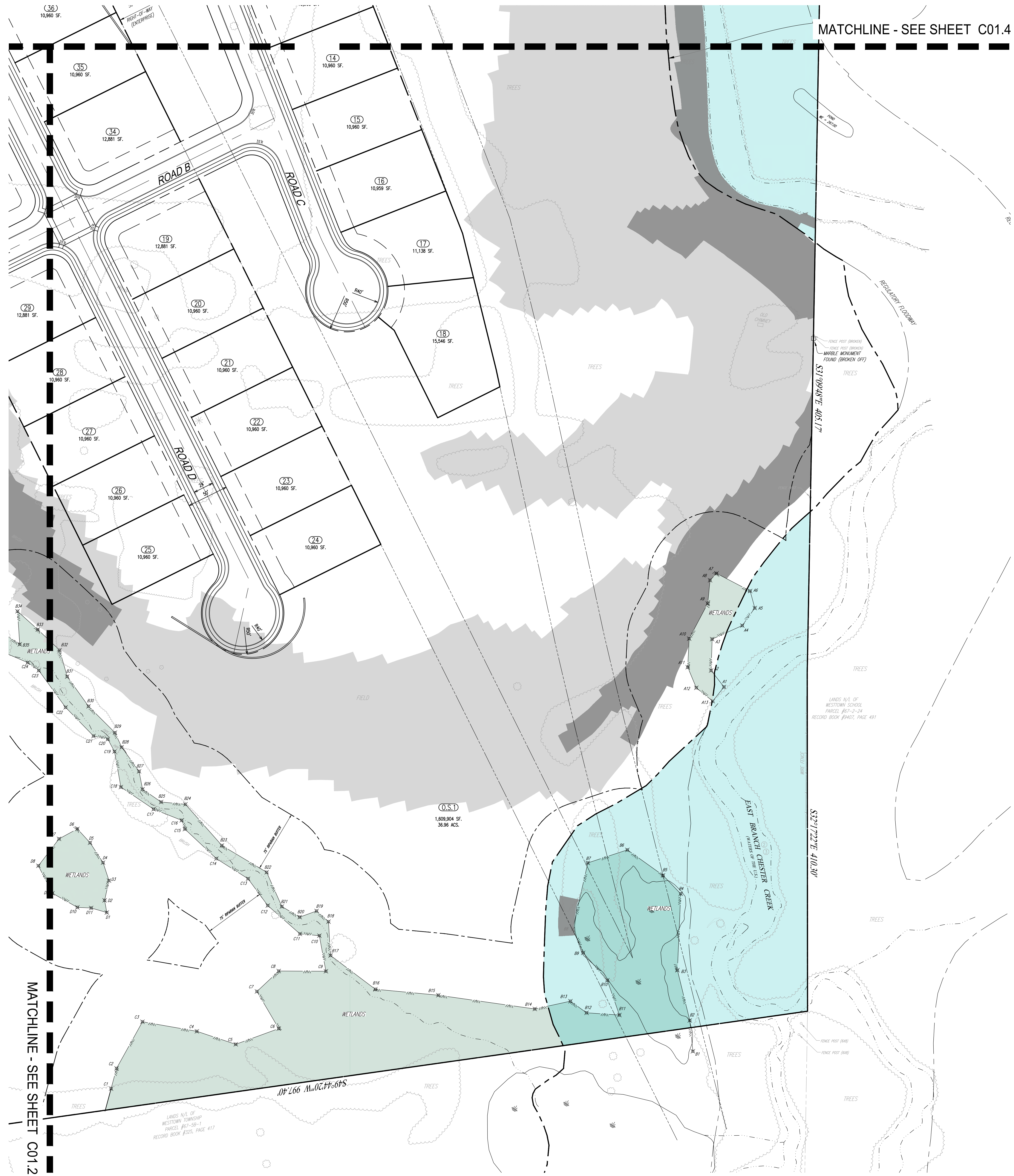
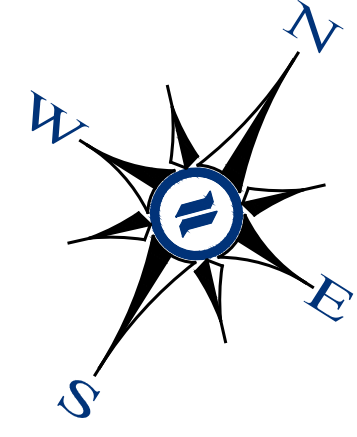
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LOCATION MAP
SCALE: 1" = 2,000'



KEY MAP
N.T.S.

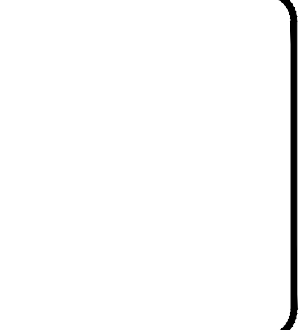


MATCHLINE - SEE SHEET C01.4

MATCHLINE - SEE SHEET C01.2

LEGEND

- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLAND
- EX. CONTOUR
- PROP. CONTOUR
- EX. SPOT ELEV.
- NEW SPOT ELEV.
- EX. SOILS
- GEB2
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EX. PARKING SPACES
- PROP. PARKING SPACES
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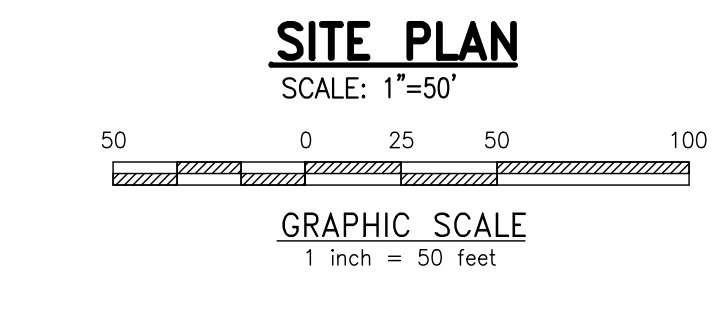


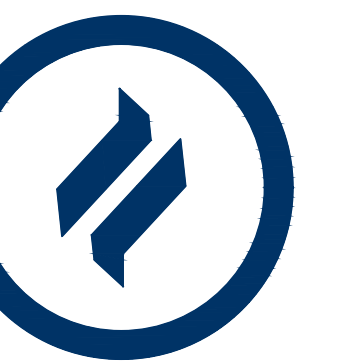
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CONDITIONAL USE
SITE PLAN

CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: 03 SITE PLAN.dwg
PLOTTER: 4/30/21
DRAWING NO.: C01.3
SHEET 03 of 23

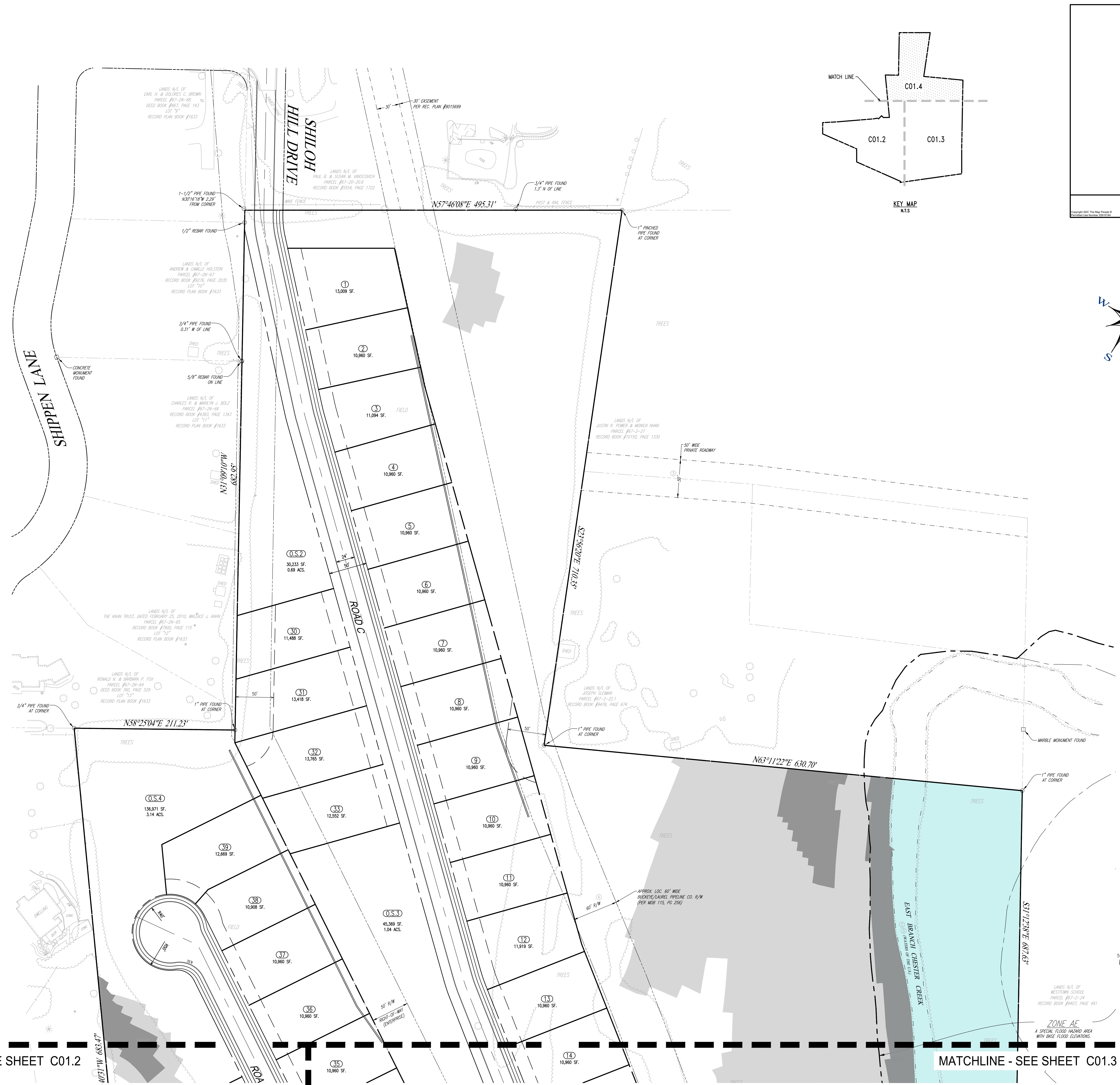
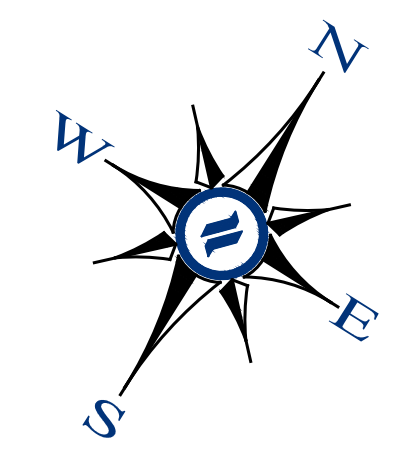
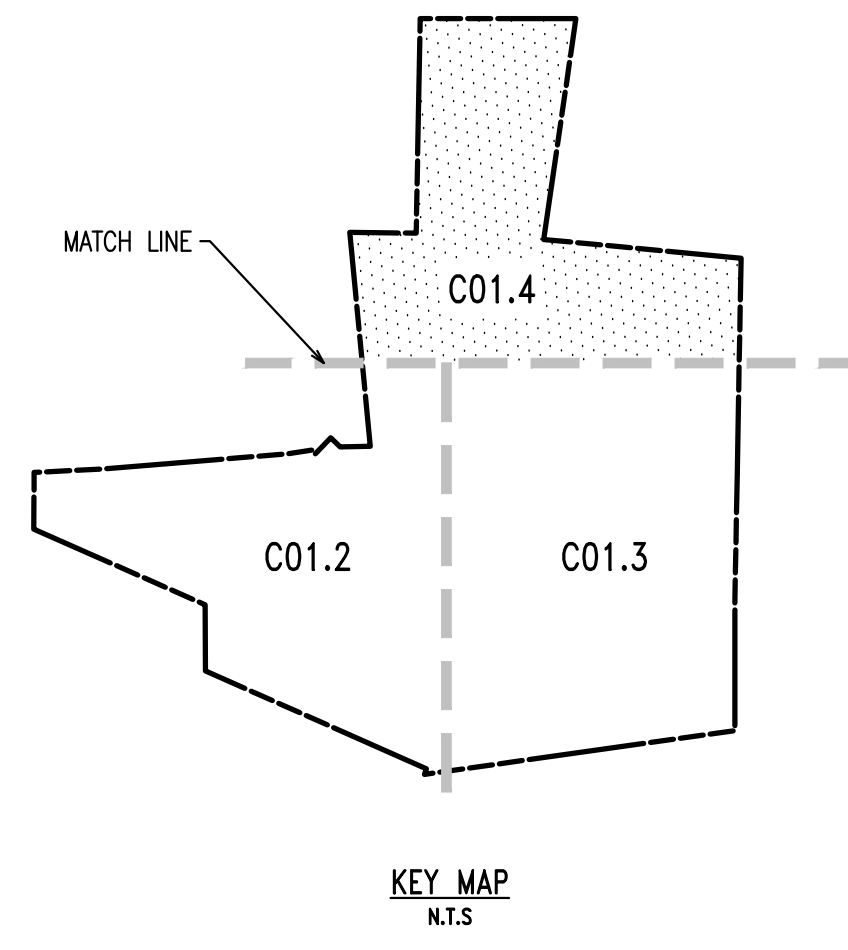
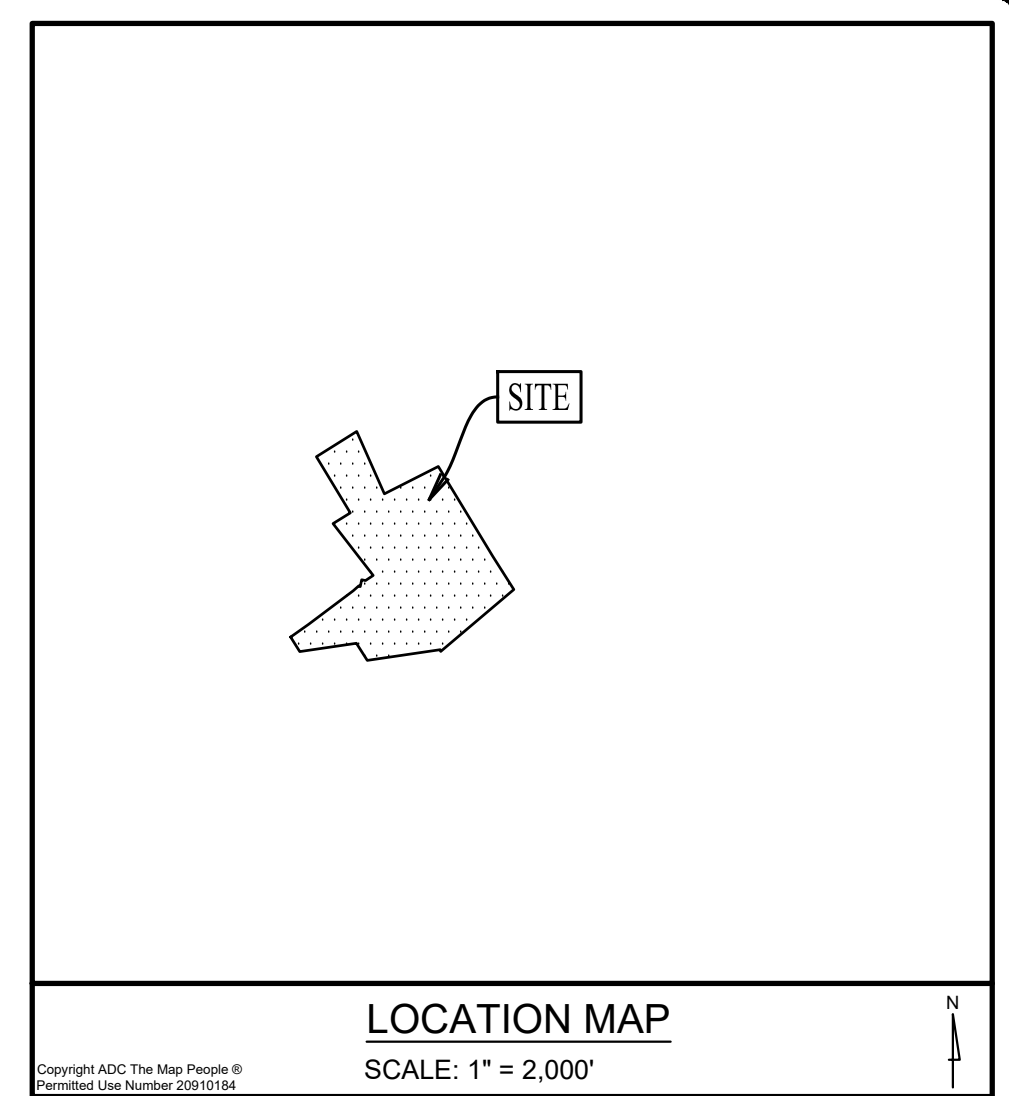




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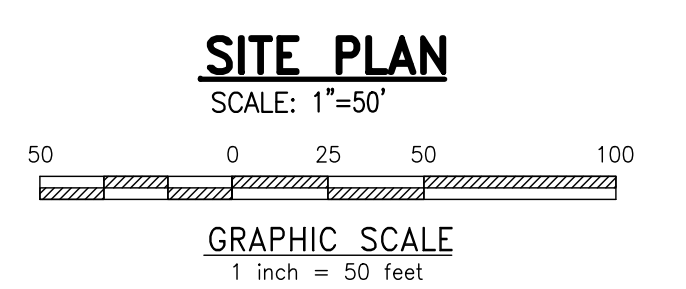
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LEGEND

[Symbol]	EX. PROPERTY LINE
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[Symbol]	PROP. LIGHT POLE
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[Symbol]	PROP. MAIL BOX
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[Symbol]	ZONE AE FLOODPLAIN
[Symbol]	15% - 25% SLOPES
[Symbol]	25%+ SLOPES
[Symbol]	WETLANDS



SITE PLAN
SCALE: 1"=50'
GRAPHIC SCALE
1 inch = 50 feet

MATCHLINE - SEE SHEET C01.2

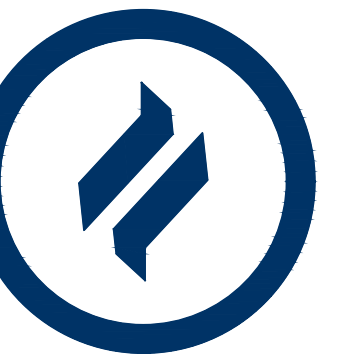
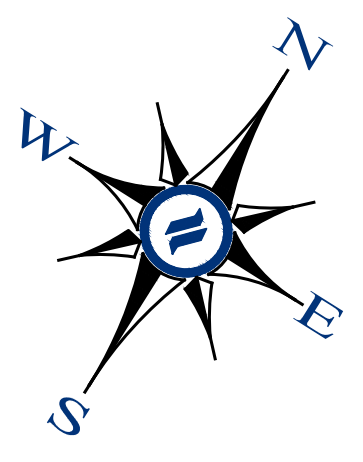
MATCHLINE - SEE SHEET C01.3

NO.	DATE	DESCRIPTION
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**CONDITIONAL USE
SITE PLAN**

CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

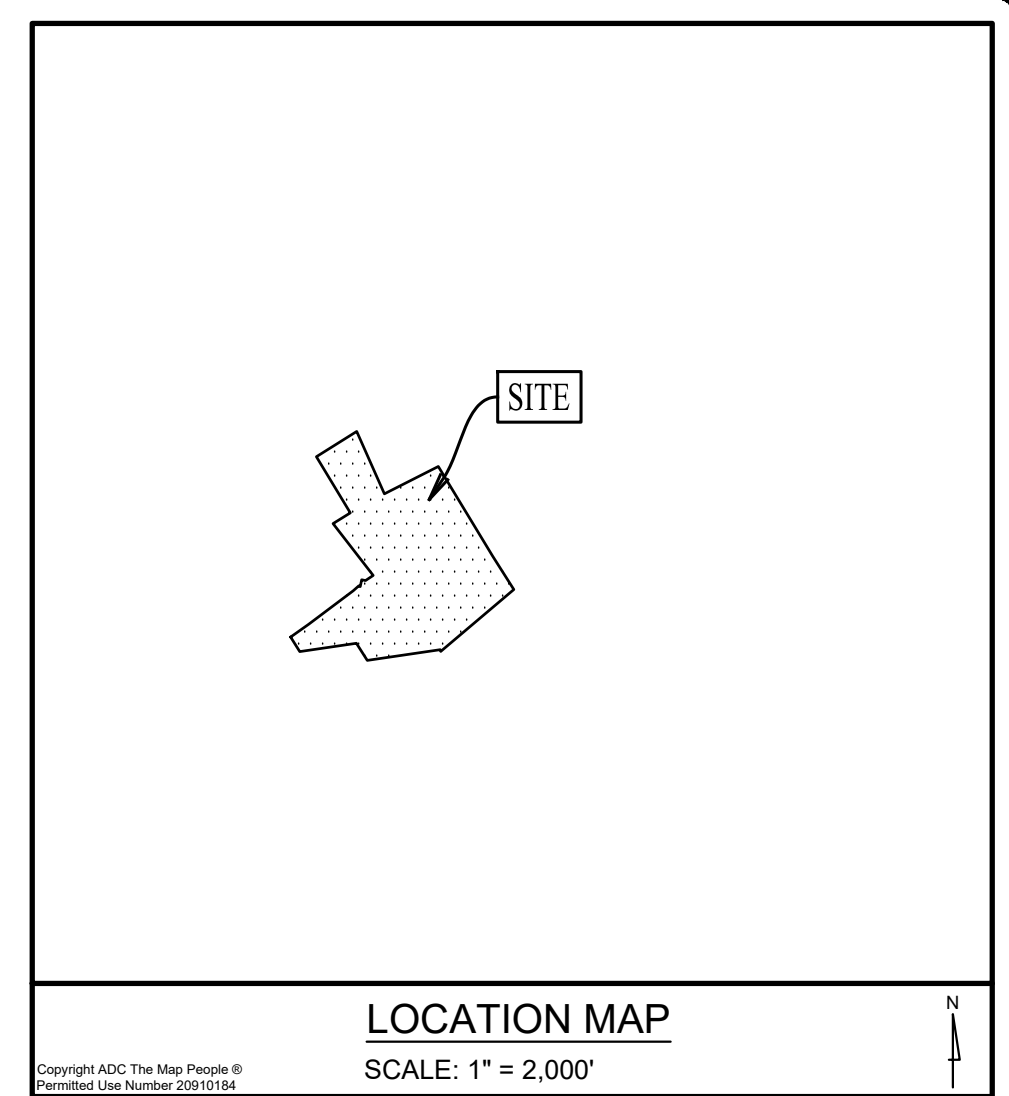
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SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: 10 SITE PLAN.dwg
PLOTTER: 4/30/21
DRAWING NO.: C01.4
SHEET 04 of 23



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OPEN SPACE
MINIMUM OPEN SPACE = 40% GROSS TRACT AREA

REQUIRED
GROSS TRACT = 64,956 ACRES
84,956 ACRES X 40% = 25,982 ACRES

PROPOSED
GROSS OPEN SPACE = 41,838 ACRES (64.1% GROSS TRACT AREA)
QUALIFYING OPEN SPACE = 39,314 ACRES (60.5% GROSS TRACT AREA)

OPEN SPACE TABULATION

PROVIDED OPEN SPACE	41,838 ACRES
SEGMENTS LESS THAN 75' IN WIDTH AND AREAS LESS THAN 0.5 ACRES	-2,806 ACRES
NET OPEN SPACE	39,314 ACRES

MAXIMUM 50% ALLOWED WITHIN OPEN SPACE

FLOODPLAIN IN OPEN SPACE	5,058 ACRES
WETLANDS IN OPEN SPACE	1,762 ACRES
VERY STEEP SLOPES IN OPEN SPACE	1,842 ACRES
TOTAL	8,762 ACRES (22.09%)

- COMMON OPEN SPACE
- NON-QUALIFYING OPEN SPACE (AREAS LESS THAN 75' IN WIDTH & AREAS NOT LESS THAN 0.5 ACRES OF CONTIGUOUS AREA)
- OPEN SPACE AREAS WITHIN FLOODPLAIN, WETLANDS, AND STEEP SLOPES GREATER THAN 25%

LEGEND

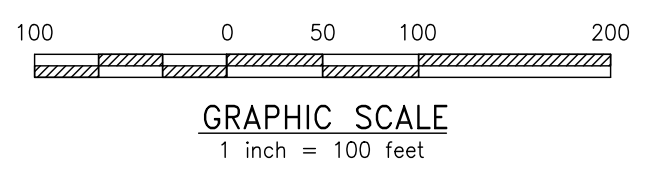
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- EX. EASEMENT
- PROP. EASEMENT
- EX. EXISTING CONTOUR
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEV.
- NEW SPOT ELEV.
- SOILS TYPE
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
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- EX. LIGHT POLE
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- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
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- EX. TELE. LINE
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- PROP. ELEC. LINE
- EX. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
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- EX. SAN. SEWER LATERAL
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- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE



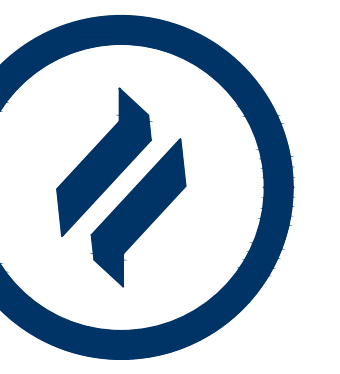
REV.	DATE	DESCRIPTION
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CONDITIONAL USE
OPEN SPACE PLAN
 CLIENT: KEYSTONE HOMES
 PROJECT: STOKES PROPERTY
 LOCATION: 1013 SHILOH ROAD
 WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

OPEN SPACE PLAN
SCALE: 1" = 100'



DATE:	4/30/21
SCALE:	1"=100'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
CAD FILE:	05 SITE PLAN.dwg
PLOTTED:	4/30/21
DRAWING NO.:	C01.5
SHEET:	05 of 23



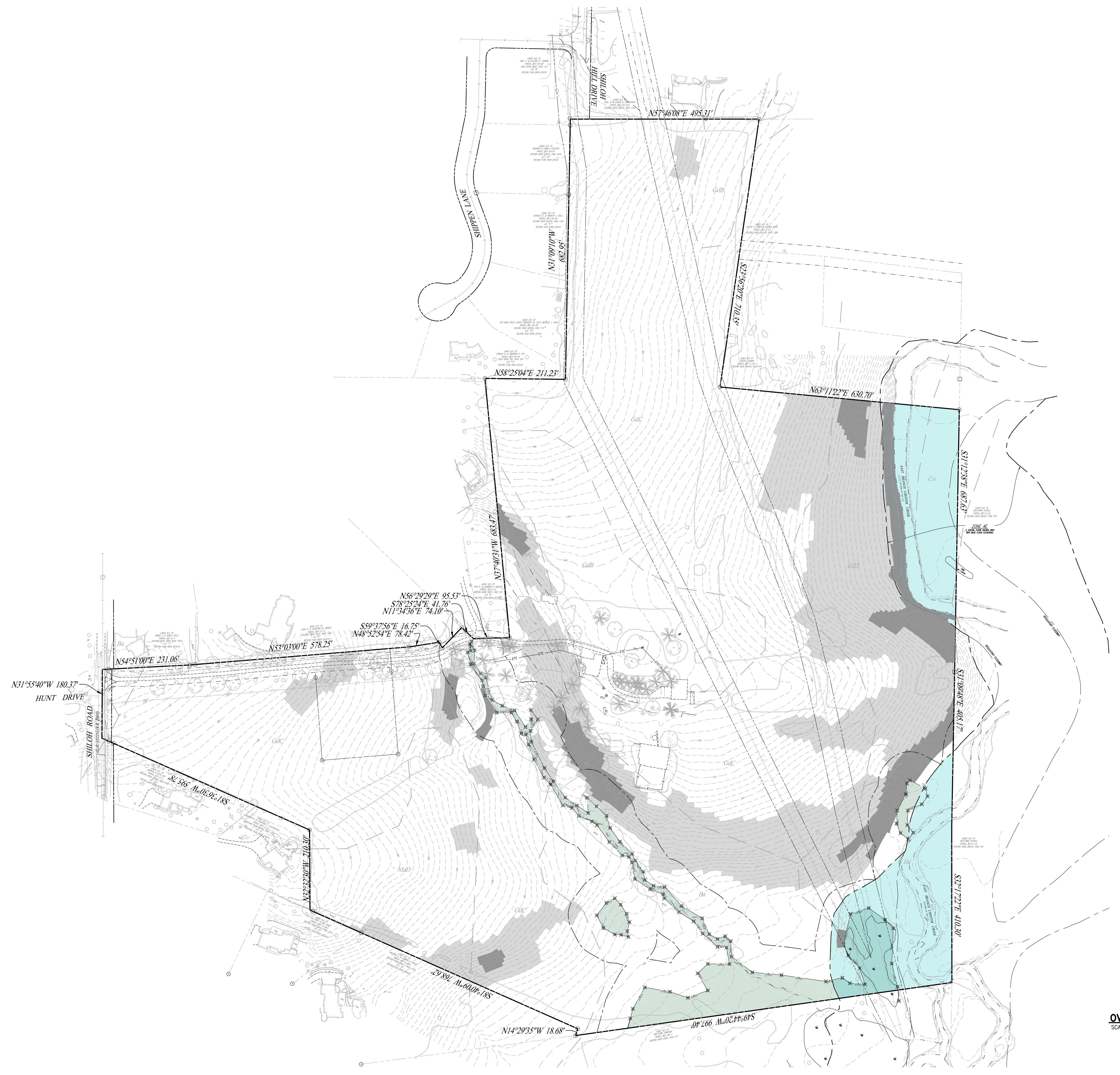
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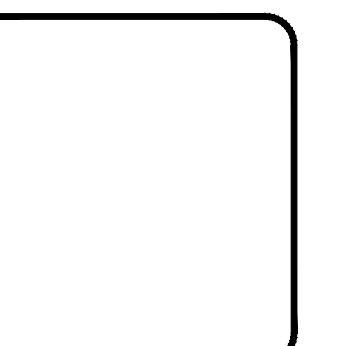
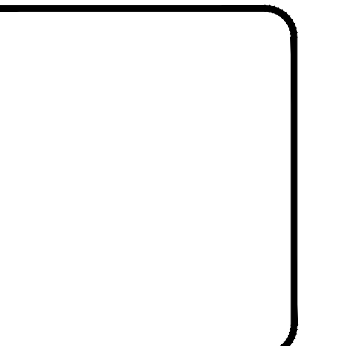
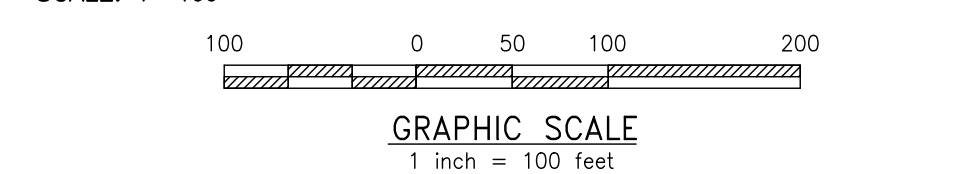
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LEGEND

- PROP. PROPERTY LINE
- - - EX. RIGHT-OF-WAY
- - - PROP. RIGHT-OF-WAY
- ▣ PROP. MONUMENT
- ▣ PROP. MONUMENT
- PROP. IRON PIPE
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- SOILS LINE
- EX. CONC. CURB
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- PROP. EDGE OF PAVING
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- EX. SIGN
- PROP. SIGN
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- PROP. SAN. SEWER LATERAL
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- PROP. SANITARY MH. ID
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- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS



OVERALL EXISTING RESOURCES PLAN



REV.	DATE	DESCRIPTION
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CONDITIONAL USE
OVERALL EXISTING RESOURCES PLAN
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
DATE PLOTTED: 4/30/21
DRAWING NO.: C02.1
SHEET 06 OF 23

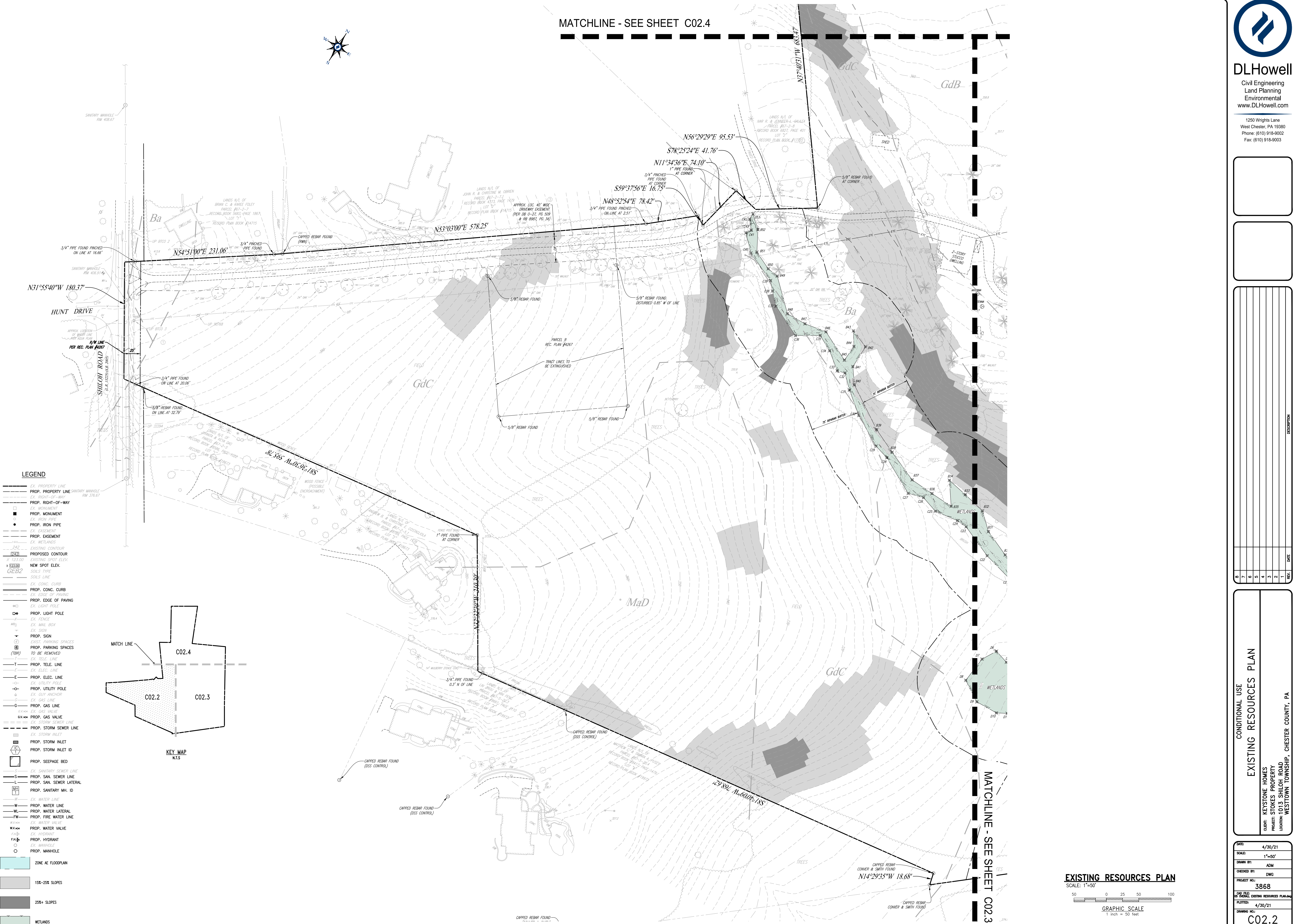


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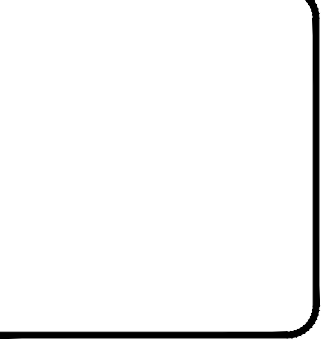
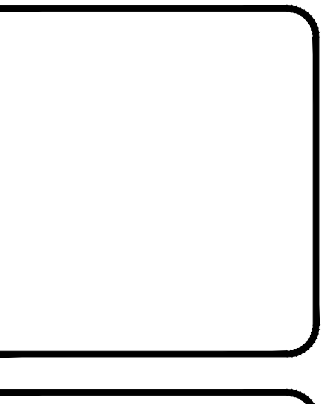
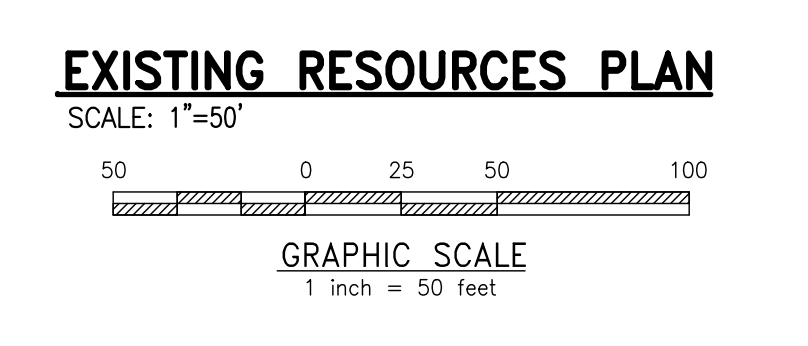
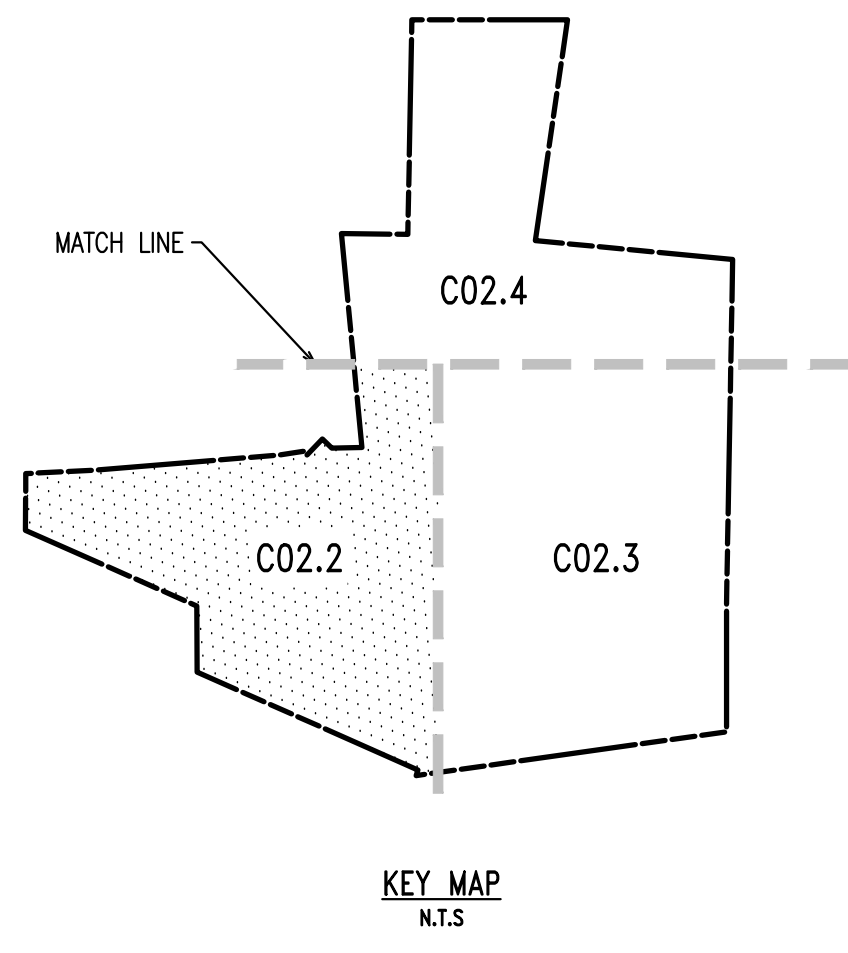
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MATCHLINE - SEE SHEET C02.4



- LEGEND**
- EX. PROPERTY LINE
 - PROP. PROPERTY LINE
 - EX. RIGHT-OF-WAY
 - PROP. RIGHT-OF-WAY
 - EX. EASEMENT
 - PROP. EASEMENT
 - EX. CONTOUR
 - PROP. CONTOUR
 - EX. SPOT ELEV.
 - PROP. SPOT ELEV.
 - EX. SOILS TYPE
 - PROP. SOILS TYPE
 - EX. CONC. CURB
 - PROP. CONC. CURB
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 - EX. HYDRANT
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 - PROP. MANHOLE
 - ZONE AE FLOODPLAIN
 - 15% - 25% SLOPES
 - 25%+ SLOPES
 - WETLANDS



NO.	DATE	DESCRIPTION
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CONDITIONAL USE
EXISTING RESOURCES PLAN
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

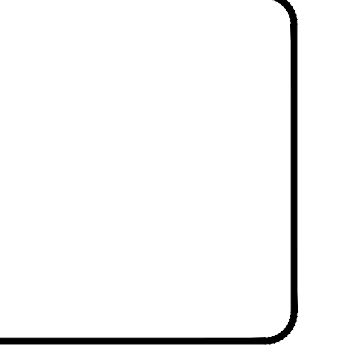
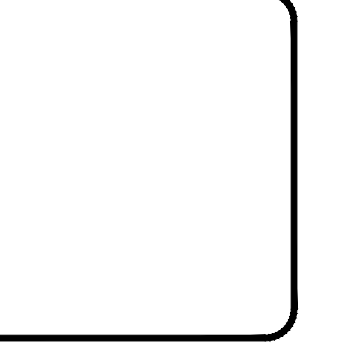
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CHECKED BY: DWG
PROJECT NO.: 3868
DATE OF ORIGINAL EXISTING RESOURCES PLAN: 4/30/21
DRAWING NO.: C02.2
SHEET 07 of 23



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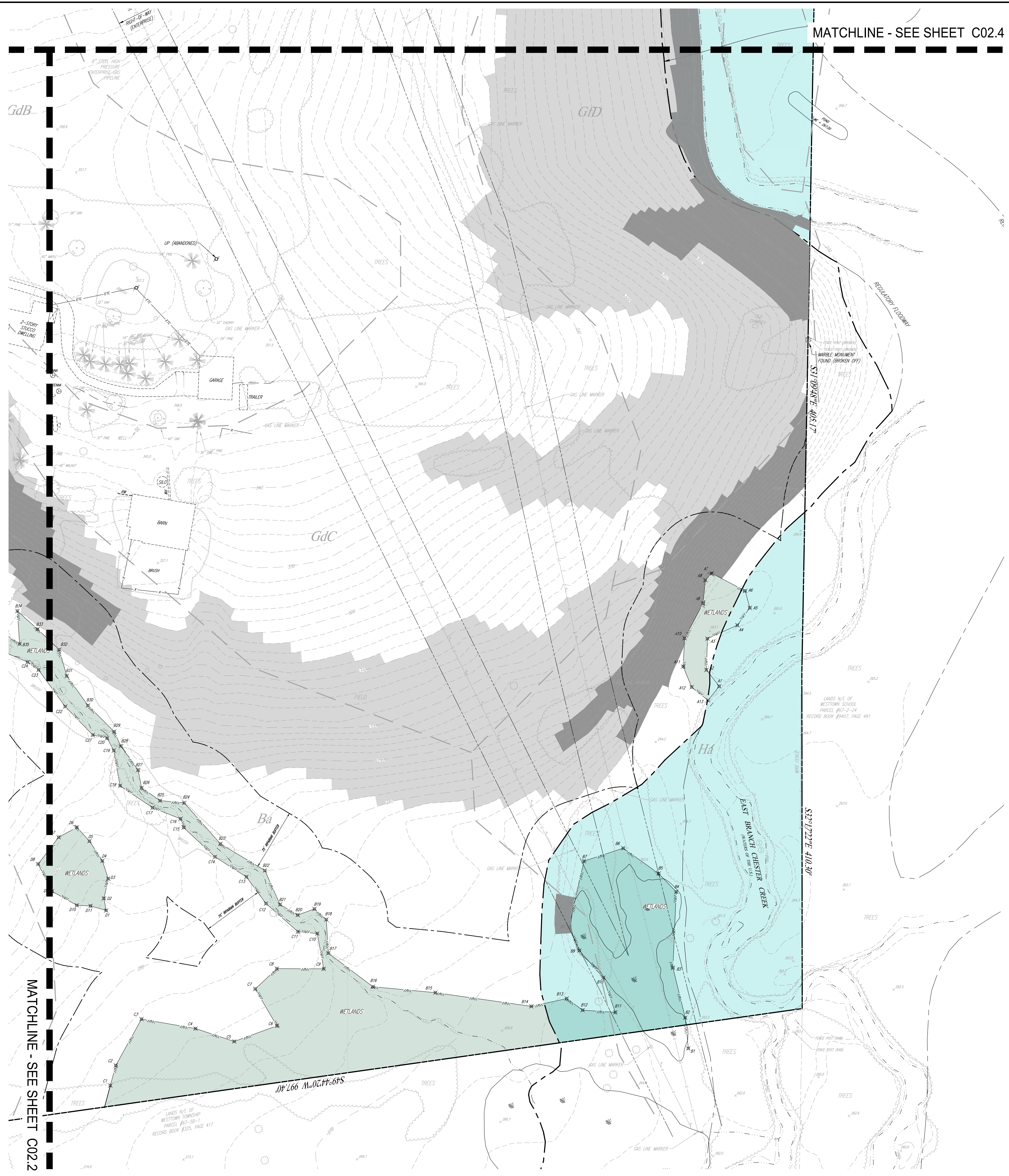
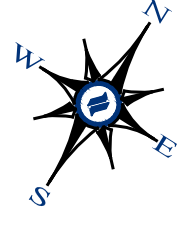
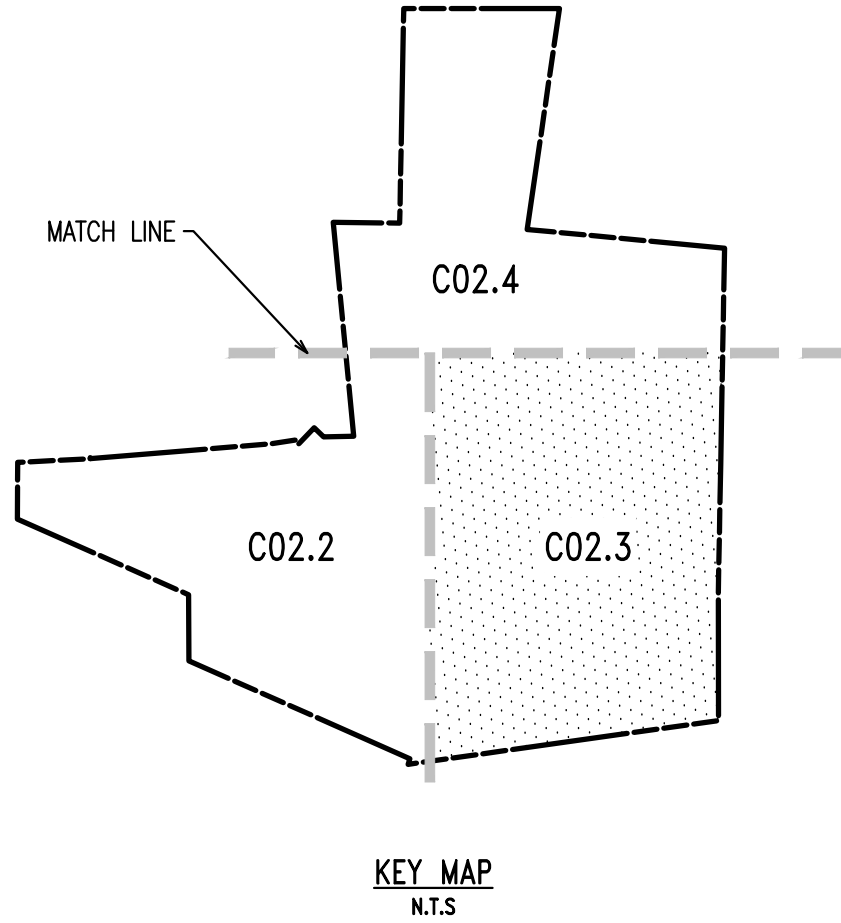
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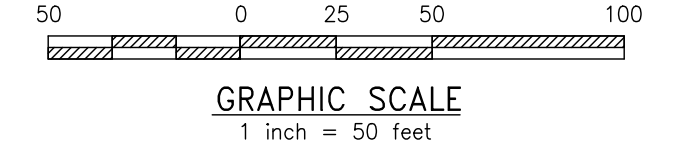
CONDITIONAL USE
EXISTING RESOURCES PLAN
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

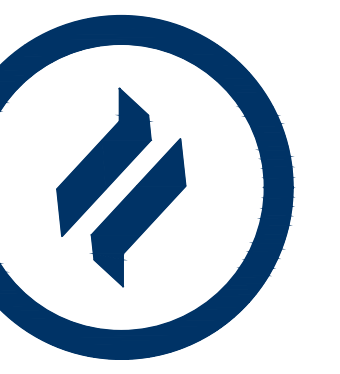
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DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
DATE PLOTTED: 4/30/21
DRAWING NO.: C02.3
SHEET 08 of 23



EXISTING RESOURCES PLAN

SCALE: 1"=50'

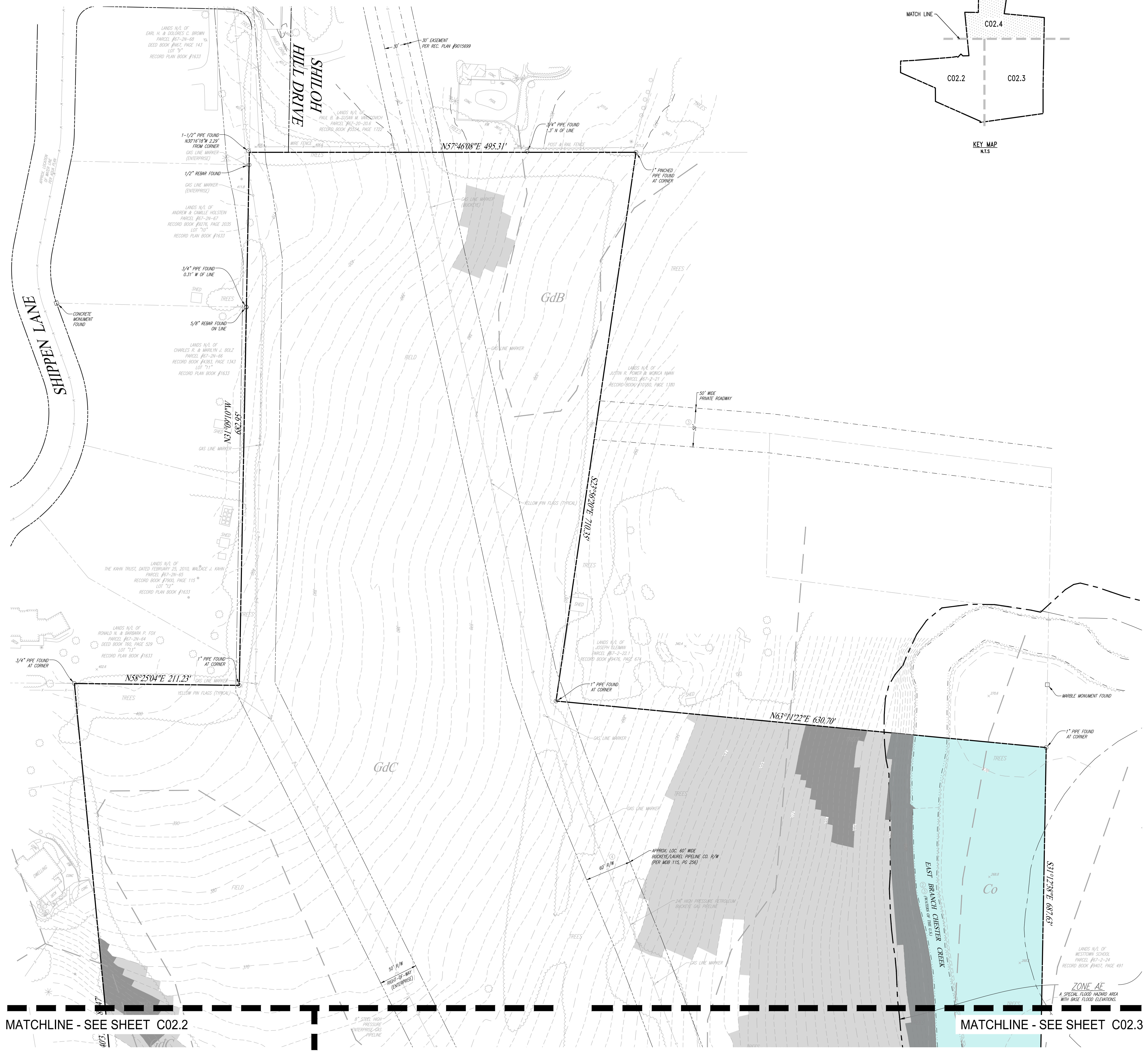
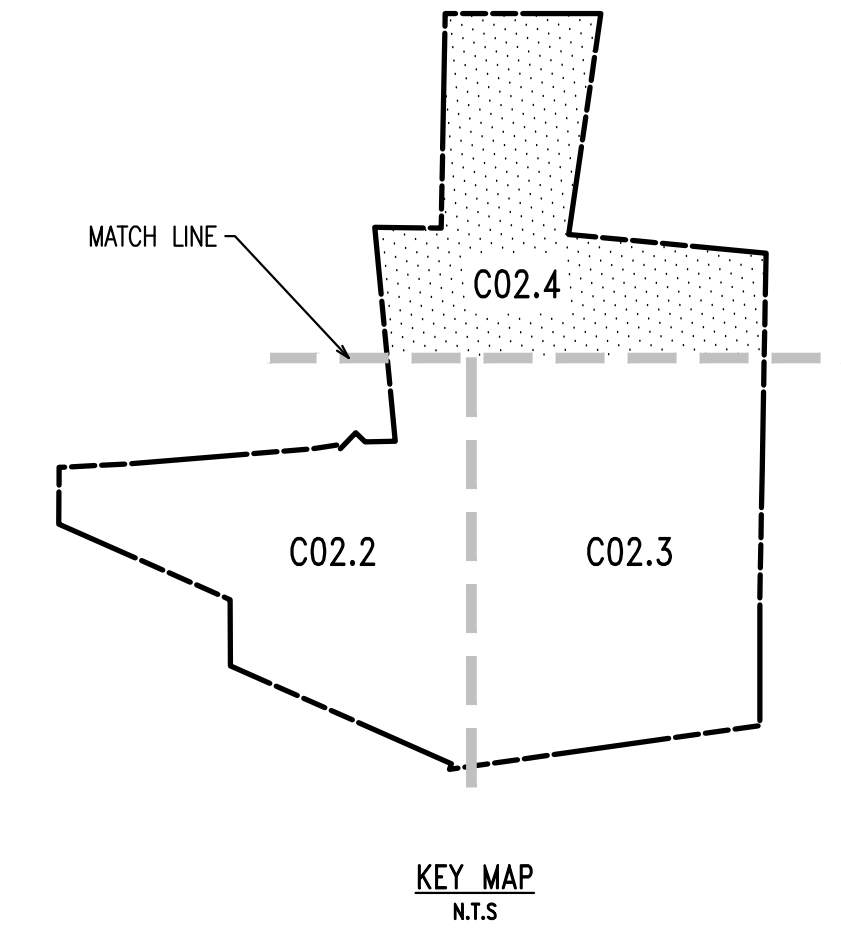




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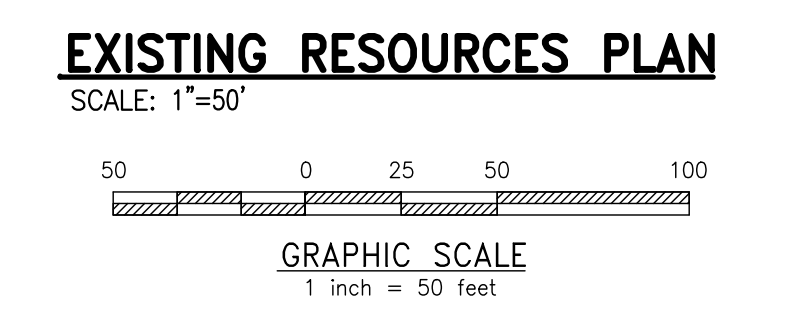


LEGEND

- EX. PROPERTY LINE
PROP. PROPERTY LINE
EX. RIGHT-OF-WAY
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PROP. MANHOLE
ZONE AE FLOODPLAIN
15% - 25% SLOPES
25%+ SLOPES
WETLANDS

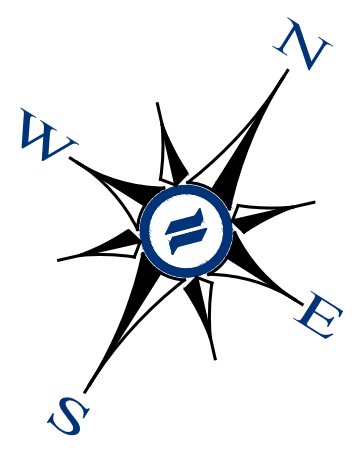
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CONDITIONAL USE
EXISTING RESOURCES PLAN
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA
DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
DATE: 4/30/21
SHEET 09 of 23



MATCHLINE - SEE SHEET C02.2

MATCHLINE - SEE SHEET C02.3



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GRADING & UTILITY GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, ALL UTILITY SERVICES IN THE AREA SHALL BE LOCATED AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES. ANY DAMAGE TO EXISTING FACILITIES SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES IF NECESSARY.
- LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM FIELD SURVEY AND EXISTING RECORDS. COMPLETENESS AND ACCURACY OF EXISTING UTILITY INFORMATION IS NOT GUARANTEED. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL ACCURATELY FIELD MEASURE LOCATION AND ELEVATION OF EXISTING UTILITIES AT POINTS OF CONNECTION AND POTENTIAL CONFLICT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY DEVIATION FROM INFORMATION SHOWN ON THESE PLANS. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT, INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONSTRUCTION SHALL BE LOCATED, AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES IN ACCORDANCE WITH PENNSYLVANIA ACT 187. ANY DAMAGE TO EXISTING FACILITIES RESULTING FROM THE NEGLIGENCE OF THE CONTRACTOR SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL PERSONS, VEHICLES AND BUILDINGS WITHIN THE CONSTRUCTION AREAS FROM INJURY AND DAMAGE DURING THE COURSE OF WORK.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFIC BUILDING PERMIT PLAN FOR EACH INDIVIDUAL LOT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 4.0% MIN. SLOPE ON ASPHALT AND 2.0% MIN. ON GRASS, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- ALL SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL STATUTES AND REGULATIONS.
- ALL TRENCHING, SHORING AND EXCAVATING OPERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- SCALED DIMENSIONS FROM THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION WITHOUT CONFIRMATION FROM D.L. HOWELL & ASSOC., INC.
- SUBBASE MATERIAL FOR WALKS AND ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. IF ANY UNSUITABLE SOIL IS ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL REMOVE IT AND REPLACE TO THE RECOMMENDATIONS OUTLINED IN A GEOTECHNICAL EVALUATION PREPARED SPECIFICALLY FOR THIS SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
- IF CONDITIONS ON THE GROUND DIFFER FROM THOSE SHOWN ON THE PLAN, THE CONTRACTOR SHALL NOTIFY IMMEDIATELY IN WRITING THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TRAFFIC CONTROL, SHEETING, SHORING AND BARRICAODING OF OPEN EXCAVATIONS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER CONTRACT.
- CONTRACTOR SHALL REVIEW VARIOUS PHASES OF WORK WITH THE OWNER TO DETERMINE WHETHER ANY PHASE WILL CONFLICT WITH THE OWNER'S DAILY OPERATIONS. WHERE CONFLICT IS APPARENT THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE WORK TO BE PERFORMED SO AS TO BE THE LEAST DISRUPTIVE.
- ANY PAVING DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REMOVED TO SUBGRADE AND REPLACED WITH THE PAVING SECTION AT THE CONTRACTOR'S EXPENSE, AND SHALL MATCH THE EXISTING PAVING SECTION.
- THE PAVED AREAS WITHIN THE RIGHT-OF-WAY, THAT ARE DISTURBED DURING LATERAL INSTALLATION, SHALL BE MILLED AND OVERLAD WITH WEARING COURSE.
- IN ANY AREA SUBJECT TO VEHICULAR ACTIVITY DURING CONSTRUCTION, A MINIMUM OF 18 INCHES OF COVER SHALL BE MAINTAINED FOR ALL UNDERGROUND UTILITIES (STORMWATER, SANITARY SEWER, WATER, ELECTRIC, GAS, ETC.)
- ALL FILL SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT UNDESIRABLE SETTLEMENTS. THE FILL SHALL BE SPREAD IN A SERIES OF LAYERS, NOT EXCEEDING EIGHT INCHES IN THICKNESS, AND BE COMPACTED BY A SHEEPSFOOT ROLLER OR OTHER APPROVED METHOD AFTER EACH LAYER IS SPREAD. THE TOWNSHIP ENGINEER MAY REQUIRE COMPACTION TESTS AND REPORTS.
- ALL STORM SEWER SHALL BE INSTALLED IN ACCORDANCE WITH WESTTOWN TOWNSHIP STANDARDS AND PENNDOT PUBLICATION 408 SPECIFICATIONS.
- ALL OTHER UTILITY LINES, INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, STREETLIGHT SUPPLY, CABLE TELEVISION, AND TELEPHONE, SHALL BE PLACED UNDERGROUND. INSTALLATION OF UTILITIES SHALL BE IN STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OR PUBLIC UTILITY CONCERNED. UNDERGROUND UTILITIES SHALL BE PUT IN PLACE, CONNECTED, AND APPROVED BEFORE THE STREETS ARE CONSTRUCTED WHERE SUCH UTILITIES LIE UNDER THE PROPOSED CARRYWAY AND BEFORE ANY PERSON IS PERMITTED TO OCCUPY ANY BUILDING SERVED BY SUCH FACILITIES.
- THE STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED ASSUMING 4,500 SF OF IMPERVIOUS COVER FOR EACH LOT. IF FUTURE IMPERVIOUS IS ADDED, IT MUST BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM, OR OTHER PROVISIONS MUST BE ADDED.
- A MINIMUM 18" VERTICAL CLEARANCE SHOULD BE PROVIDED WHERE ANY AND ALL PLACES WHERE THE SEWER LATERALS AND WATER MAIN CROSS. A MINIMUM 18" VERTICAL CLEARANCE SHOULD ALSO BE PROVIDED WHERE THE SEWER LATERALS AND WATER SERVICE PIPING CROSS ALL STORM SEWERS.
- WHEREVER POSSIBLE, WATER SERVICE PIPING SHOULD CROSS ABOVE SANITARY OR STORM SEWER PIPING WITH THE MINIMUM 18" VERTICAL CLEARANCE. A CONCRETE ENCASUREMENT MUST BE UTILIZED WHEREVER THE 18" VERTICAL CLEARANCE CANNOT BE PROVIDED.
- A 10' MINIMUM HORIZONTAL SEPARATION DISTANCE AND A 18" MINIMUM VERTICAL SEPARATION DISTANCE SHALL BE PROVIDED BETWEEN THE GRAVITY SANITARY SEWERS AND WATER MAINS. A CONCRETE ENCASUREMENT MUST BE UTILIZED WHEREVER THE 18" VERTICAL CLEARANCE CANNOT BE PROVIDED.
- THE GRADE OF THE DRIVEWAY WITHIN 20 FEET OF THE PAVEMENT EDGE OR THE CURBLINE OF THE PUBLIC ROAD, TOWNSHIP OR STATE, SHALL NOT EXCEED 4%.
- THE SUBGRADE WITHIN THE LIMITS OF THE PROPOSED CARRYWAY SHALL BE SHAPED TO CONFORM TO THE LINE, GRADE AND CROSS-SECTION OF THE PROPOSED CARRYWAY AND SHALL BE THOROUGHLY COMPACTED AS PER PENNDOT PUBLICATION 408. SUBGRADE SHALL BE SLOPED TO CORRESPOND TO THE SLOPE OF THE FINISHED ROAD SURFACE. BEFORE PLACING THE BASE COURSE, THE SUBGRADE SHALL BE DRESSED WITH ONE INCH OF FINE AGGREGATE.

LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. EXISTING CONTOUR
- PROP. CONTOUR
- EX. EXISTING SPOT ELEV.
- PROP. NEW SPOT ELEV.
- EX. SOILS LINE
- PROP. CONC. CURB
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- PROP. FENCE
- EX. MAIL BOX
- PROP. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EX. EXIST. PARKING SPACES
- PROP. PARKING SPACES
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. PROP. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- PROP. GUY ANCHOR
- EX. PROP. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. PROP. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS

FORCE MAIN TO EXTEND SOUTHWARD ON SHILOH ROAD APPROX. 2,000 LF. TO A PROPOSED MANHOLE AT THE INTERSECTION WITH PLUMCKY ROAD, THEN VIA A NEW GRAVITY LINE +1,000 LF. TO THE EXISTING MANHOLE AT FARM LANE (TOWARD RUSTIN HIGH SCHOOL ENTRANCE). THIS WILL BE DETAILED DURING LAND DEVELOPMENT.



OVERALL GRADING FEASIBILITY PLAN

SCALE: 1"=100'
GRAPHIC SCALE
1 inch = 100 feet

NO.	DESCRIPTION	DATE
8		
7		
6		
5		
4		
3		
2		
1		

CONDITIONAL USE
OVERALL GRADING FEASIBILITY PLAN
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
DATE OF FEASIBILITY STUDY: 4/30/21
DRAWING NO.: C03.1
SHEET 10 OF 23



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Phone: (610) 918-9002
Fax: (610) 918-9003

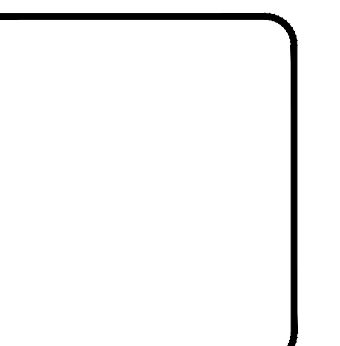
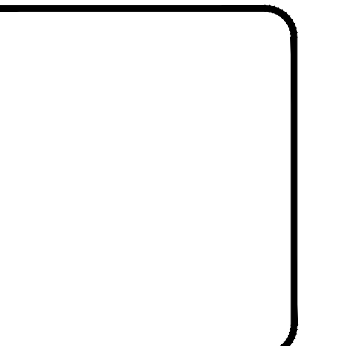
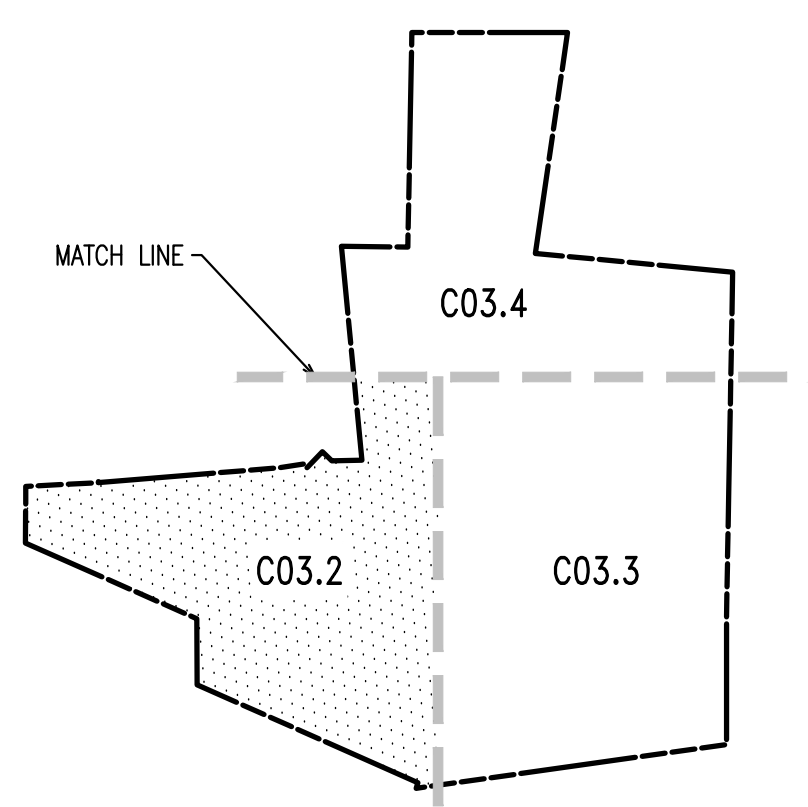
MATCHLINE - SEE SHEET C03.4



LEGEND

- PROP. PROPERTY LINE
- EX. PROPERTY LINE
- PROP. RIGHT-OF-WAY
- EX. RIGHT-OF-WAY
- PROP. MONUMENT
- EX. MONUMENT
- PROP. IRON PIPE
- EX. IRON PIPE
- PROP. EASEMENT
- EX. EASEMENT
- 242 EXISTING CONTOUR
- 125.00 PROPOSED CONTOUR
- NEW SPOT ELEV.
- SOILS TYPE
- EX. CONC. CURB
- PROP. CONC. CURB
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES TO BE REMOVED
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS

FORCE MAIN TO EXTEND SOUTHWARD ON SHILOH ROAD APPROX. 2,000 LF. TO A PROPOSED MANHOLE AT THE INTERSECTION WITH PLUNKLY ROAD. THEN IN A NEW GRADY LINE +/-1,000 LF. TO THE EXISTING MANHOLE AT FARM LINE (BAYARD RUSTIN HIGH SCHOOL ENTRANCE). THIS WILL BE DETAILED DURING LAND DEVELOPMENT.

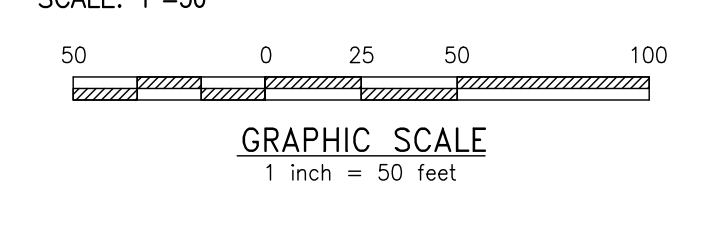


NO.	DATE	DESCRIPTION
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5		
4		
3		
2		
1		

CONDITIONAL USE
GRADING FEASIBILITY PLAN
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
DATE FILED:	4/30/21
DATE PLOTTED:	4/30/21
DRAWING NO.:	C03.2
SHEET:	11 of 23

GRADING FEASIBILITY PLAN



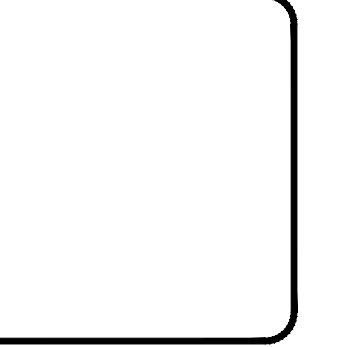
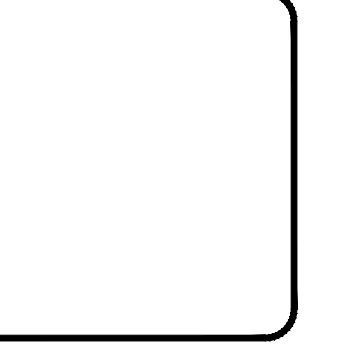
MATCHLINE - SEE SHEET C03.3



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REV.	DATE	DESCRIPTION
8		
7		
6		
5		
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2		
1		

CONDITIONAL USE
GRADING FEASIBILITY PLAN

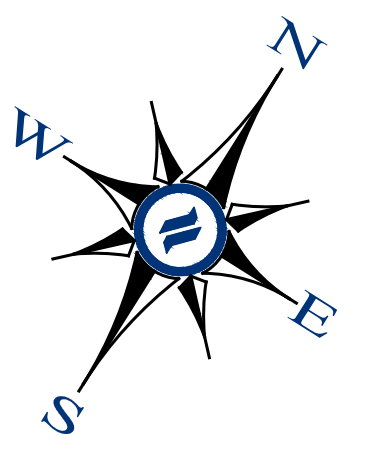
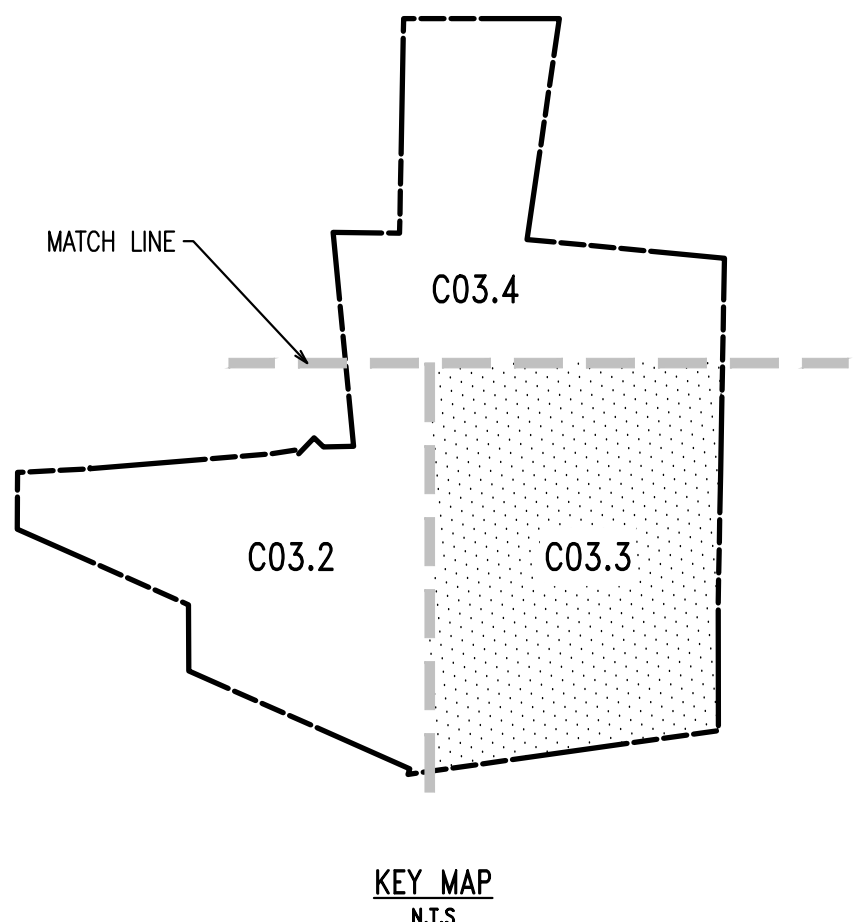
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
DATE PLOTTED: 4/30/21
DRAWING NO.: C03.3
SHEET 12 of 23

MATCHLINE - SEE SHEET C03.4



MATCHLINE - SEE SHEET C03.2



LEGEND

- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. 242 EXISTING CONTOUR
- 242 PROPOSED CONTOUR
- EX. 125.00 NEW SPOT ELEV.
- 125.00 NEW SPOT ELEV.
- EX. GEB2 SOILS LINE
- PROP. CONC. CURB
- EX. CONC. CURB
- PROP. CONC. CURB
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EX. PARKING SPACES
- PROP. PARKING SPACES
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
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- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
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- PROP. FIRE WATER LINE
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GRADING FEASIBILITY PLAN

