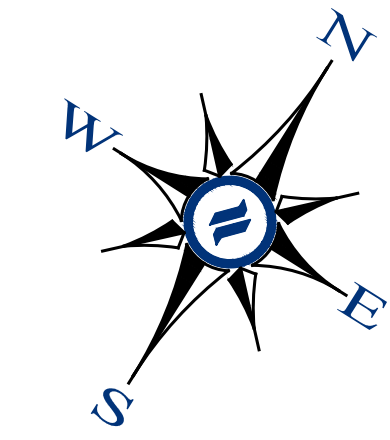
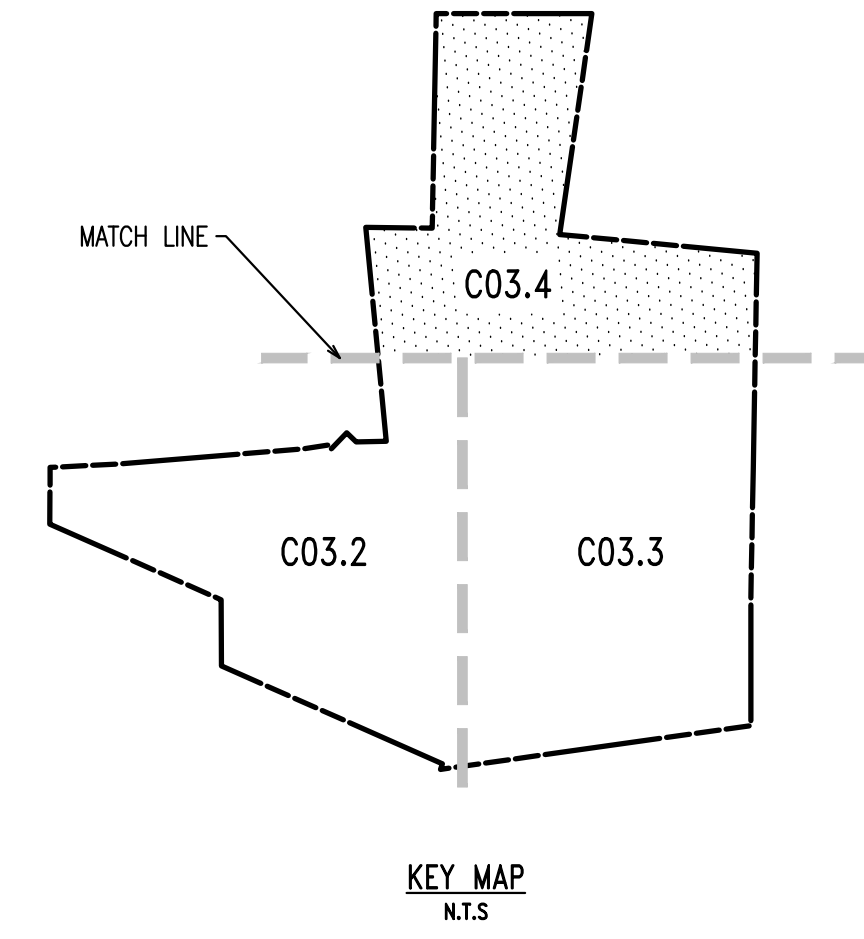


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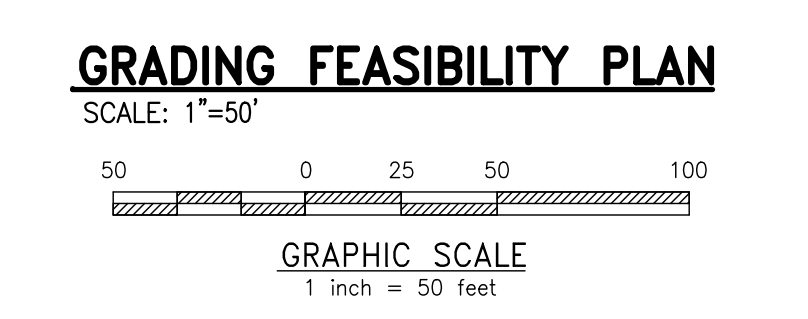
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---	PROP. IRON PIPE
---	EX. EASEMENT
---	PROP. EASEMENT
---	EX. RECORDING
---	PROP. RECORDING
---	EX. EXISTING CONTOUR
---	PROP. CONTOUR
---	EX. EXISTING SPOT ELEV.
---	PROP. SPOT ELEV.
---	EX. SOILS TYPE
---	PROP. SOILS TYPE
---	EX. CONC. CURB
---	PROP. CONC. CURB
---	EX. EDGE OF PAVING
---	PROP. EDGE OF PAVING
---	EX. LIGHT POLE
---	PROP. LIGHT POLE
---	EX. FENCE
---	PROP. FENCE
---	EX. MAIL BOX
---	PROP. MAIL BOX
---	EX. SIGN
---	PROP. SIGN
---	EX. EXIST. PARKING SPACES
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---	PROP. ELEC. LINE
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---	PROP. GUY ANCHOR
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---	EX. MANHOLE
---	PROP. MANHOLE
---	ZONE AE FLOODPLAIN
---	15% - 25% SLOPES
---	25%+ SLOPES
---	WETLANDS

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CONDITIONAL USE
GRADING FEASIBILITY PLAN
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

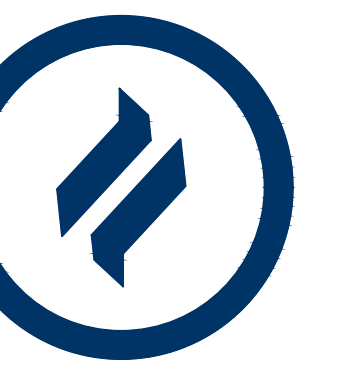
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DATE: 4/30/21
DRAWING NO.: C03.4
SHEET 13 OF 23



MATCHLINE - SEE SHEET C03.2

MATCHLINE - SEE SHEET C03.3

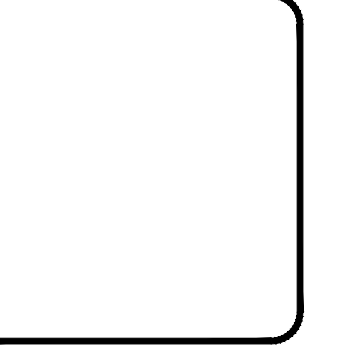
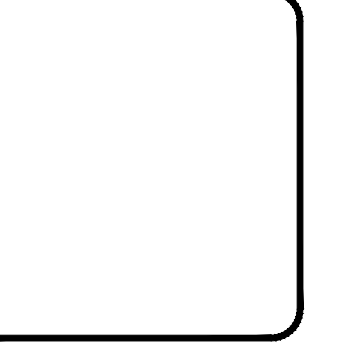
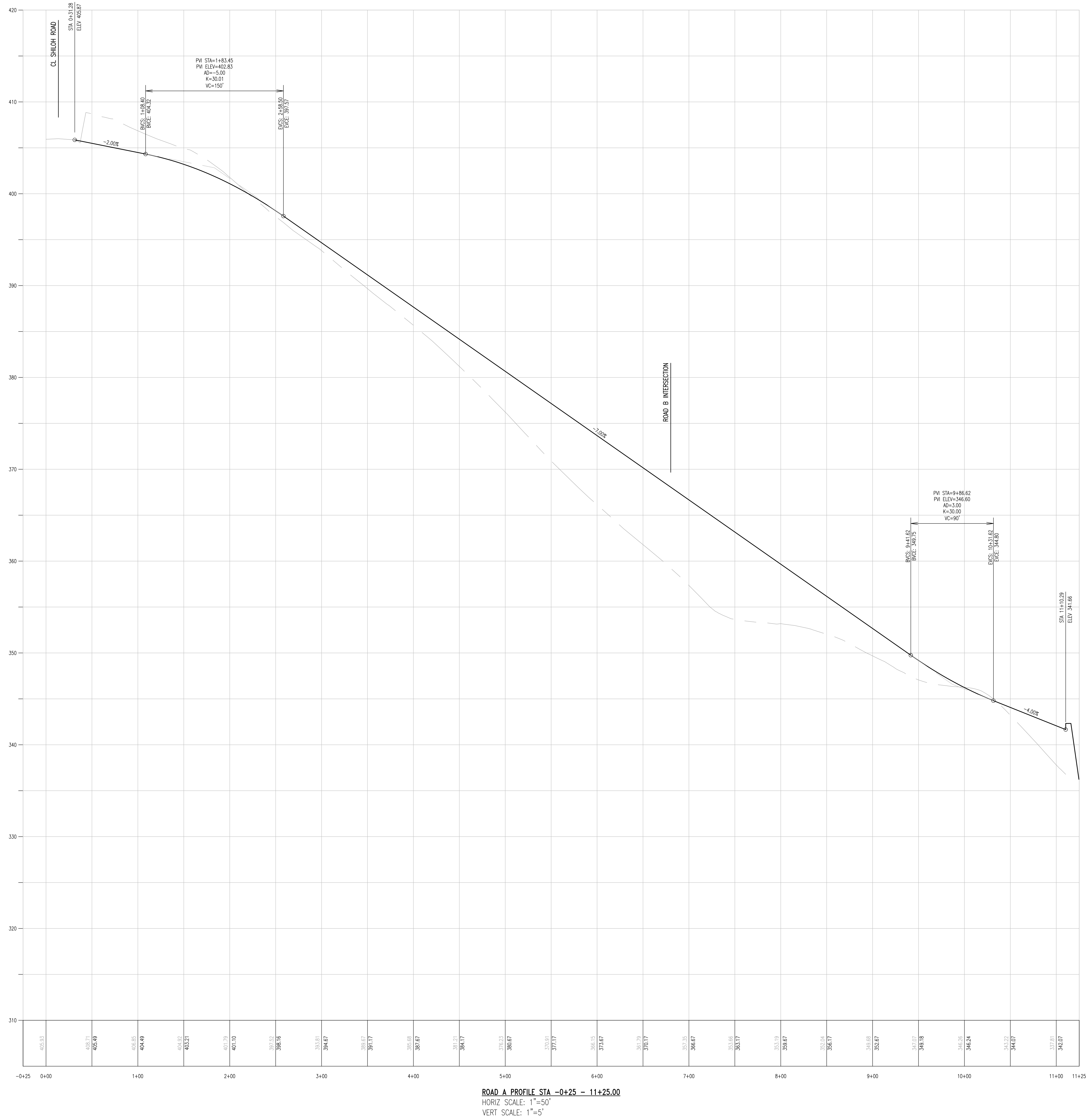
ZONE AE
A SPECIAL FLOOD HAZARD AREA
WITH BASE FLOOD ELEVATIONS



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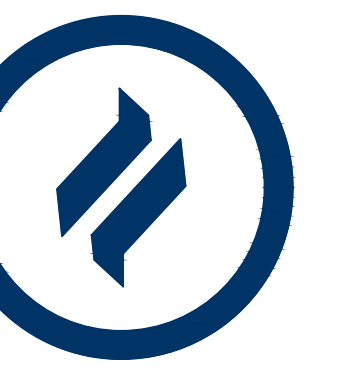


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**CONDITIONAL USE
PROFILES**

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 PROJECT: STOKES PROPERTY
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 WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

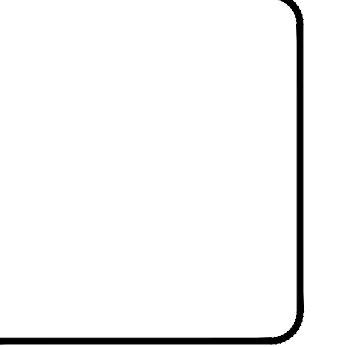
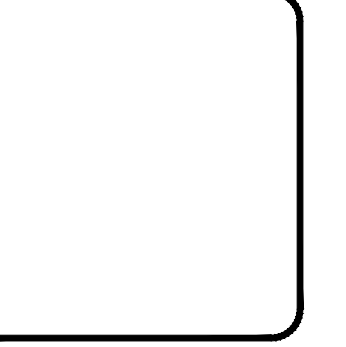
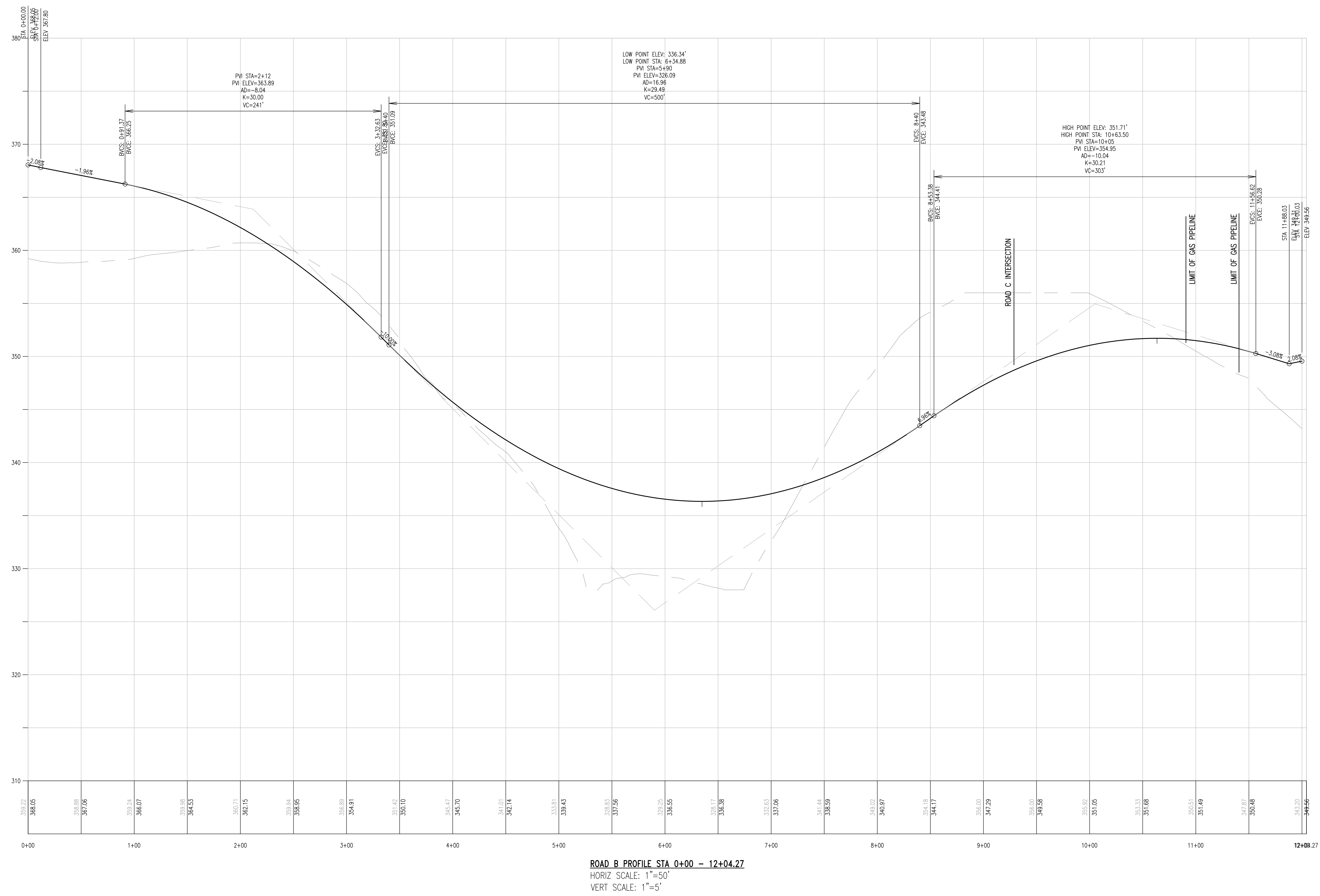
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DRAWING NO.:	C04.1
SHEET:	14 of 23



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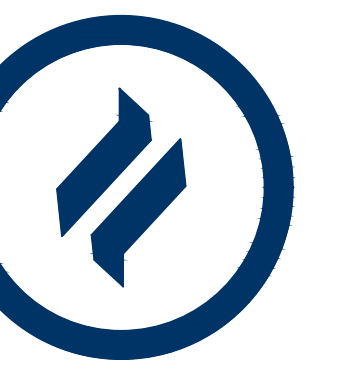


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**CONDITIONAL USE
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 PROJECT: STOKES PROPERTY
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 WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

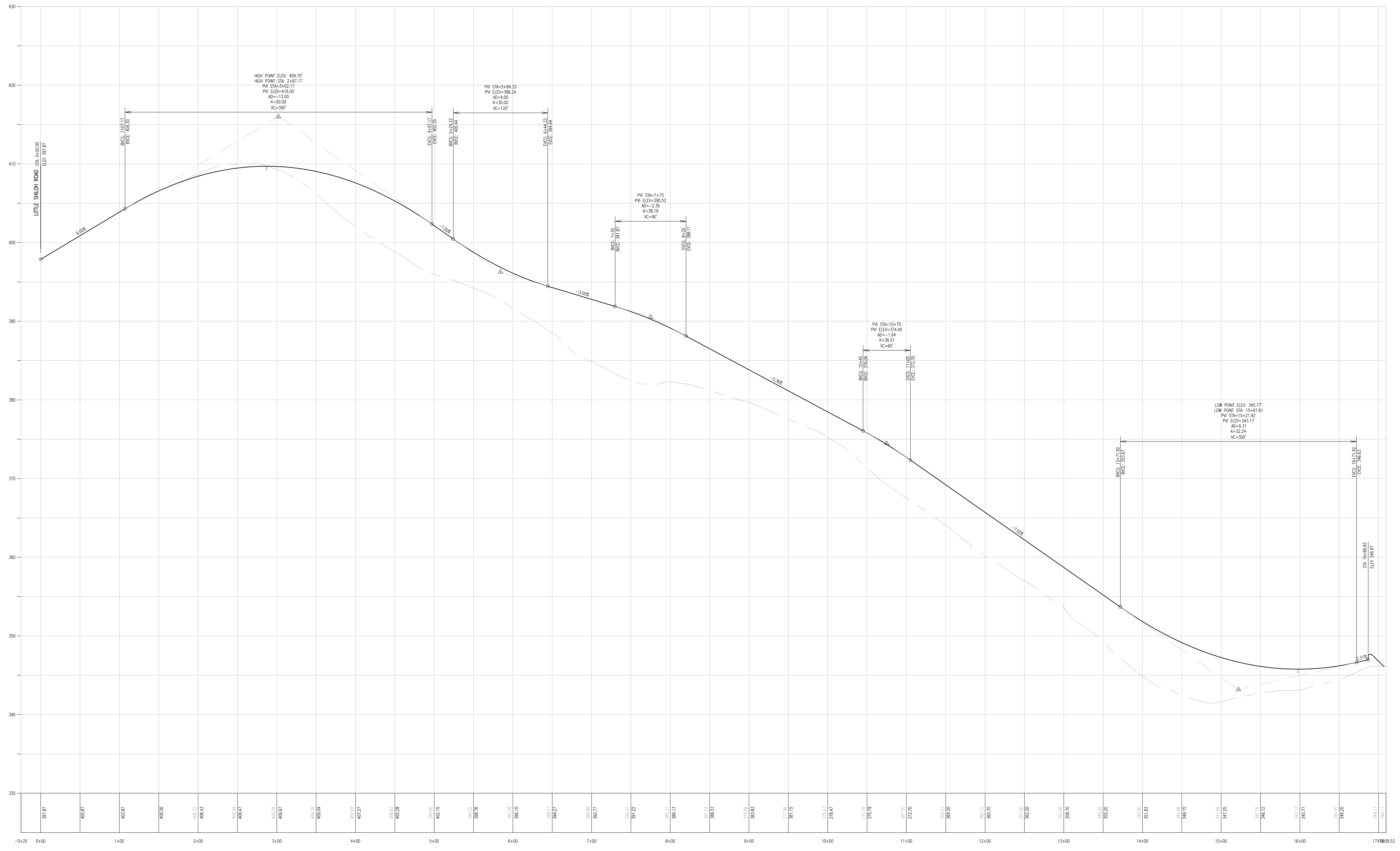
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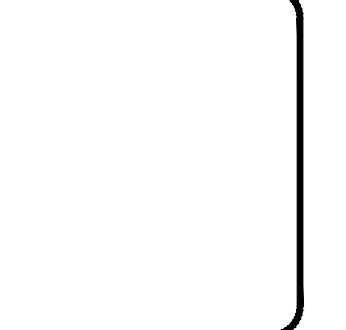
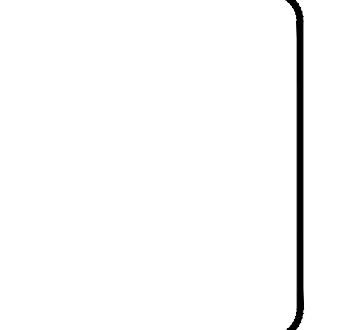
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ROAD C PROFILE STA -0+25 - 17+09.53
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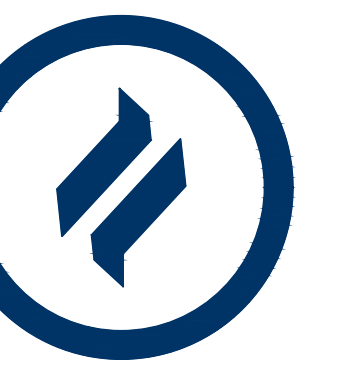


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CONDITIONAL USE
PROFILES

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WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

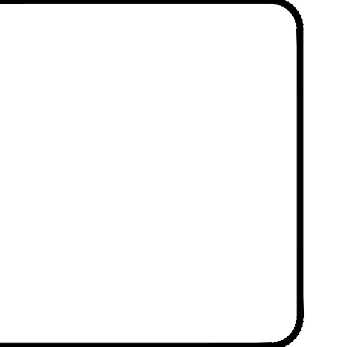
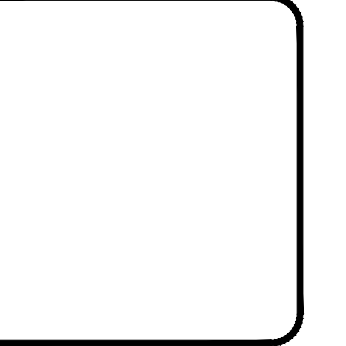
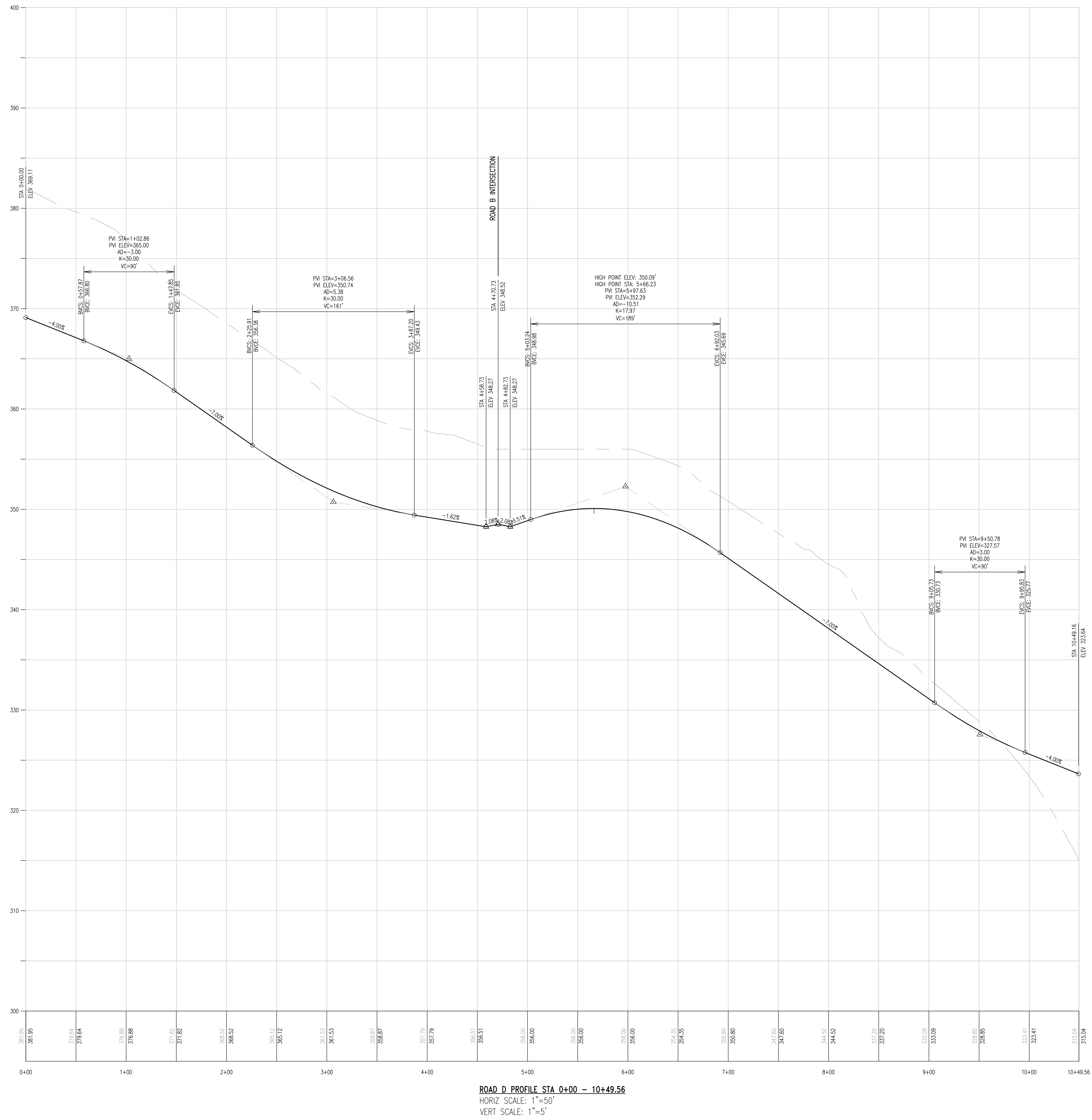
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PLOTTED:	4/30/21
DRAWING NO.:	C04.3
SHEET:	16 of 23



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CONDITIONAL USE
 PROFILES

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 PROJECT: STOKES PROPERTY
 LOCATION: 1013 SHILOH ROAD
 WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

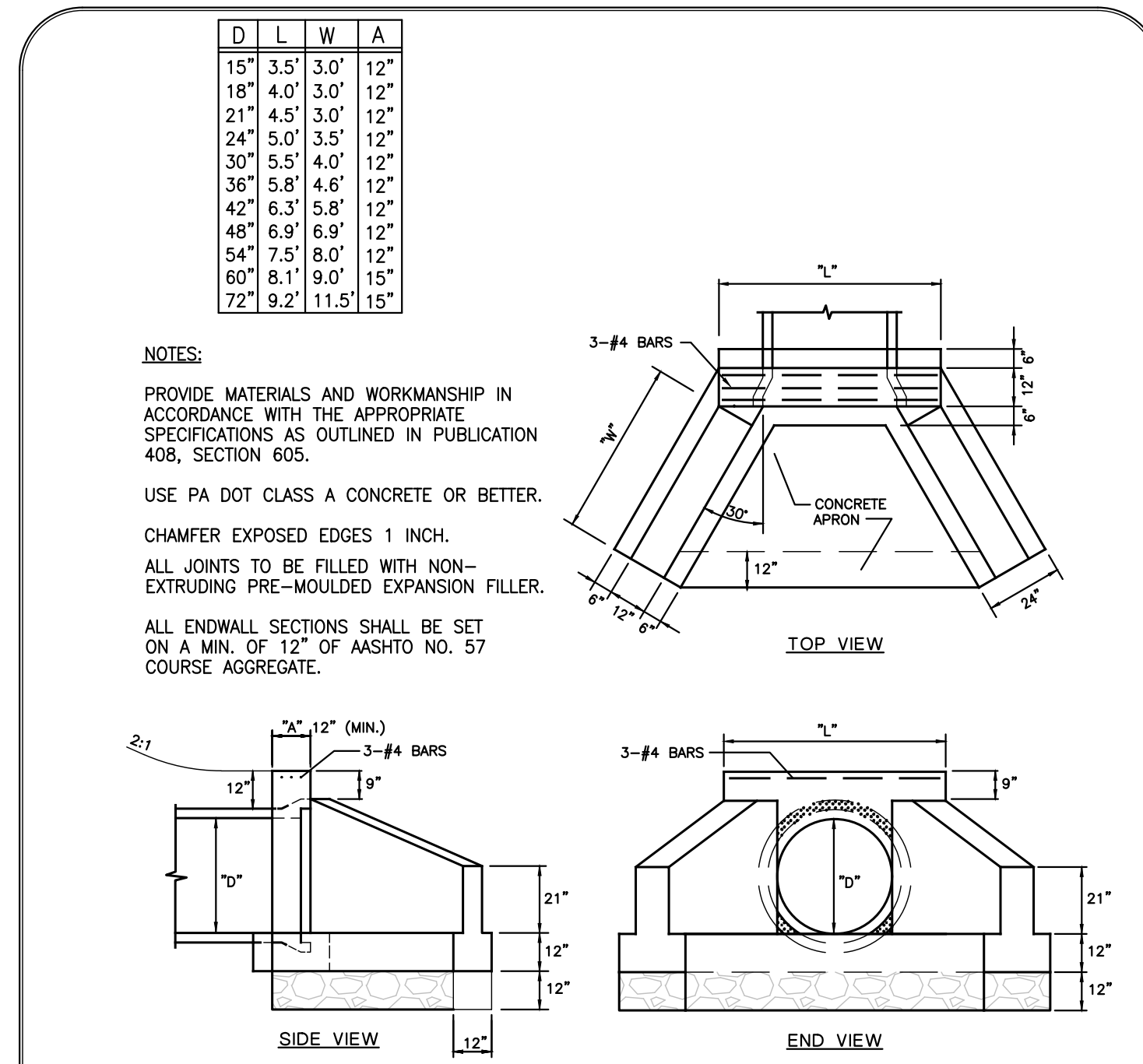
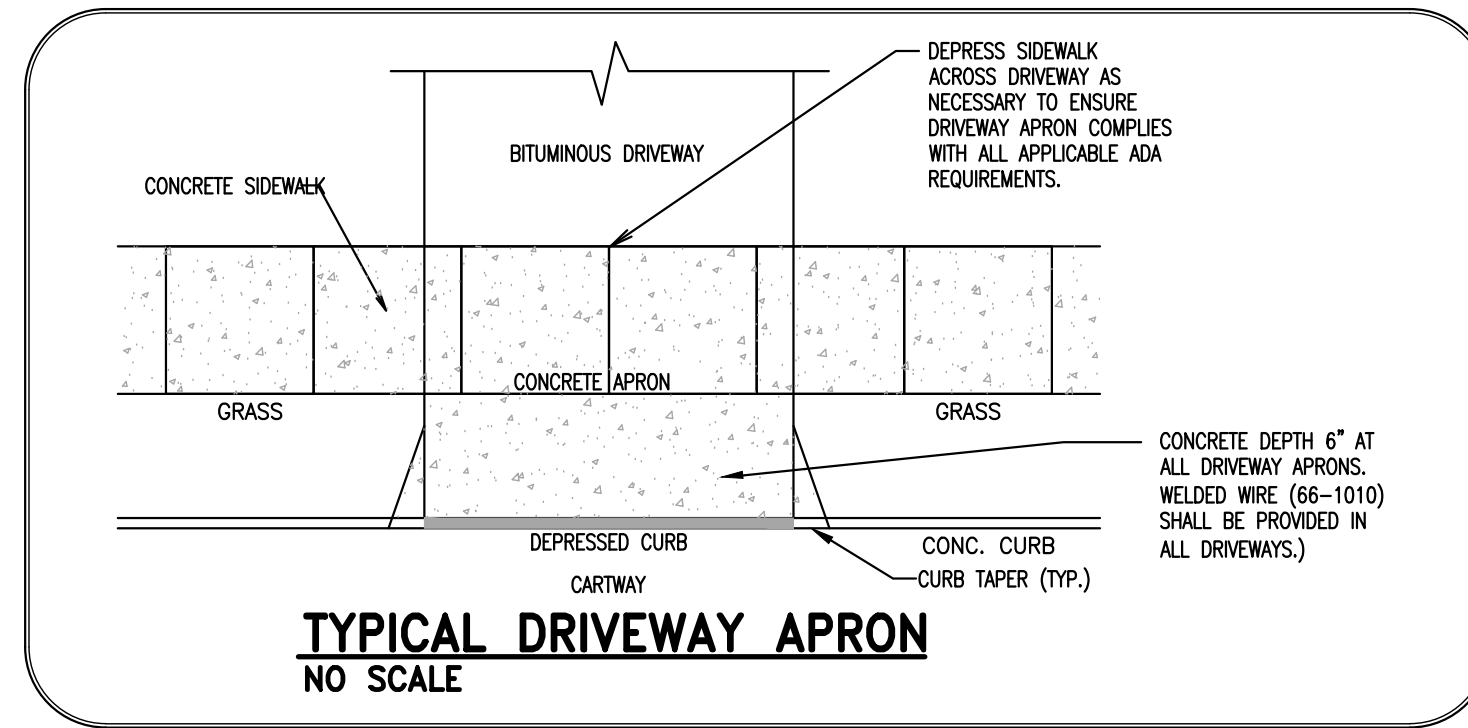
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SHEET:	17 of 23



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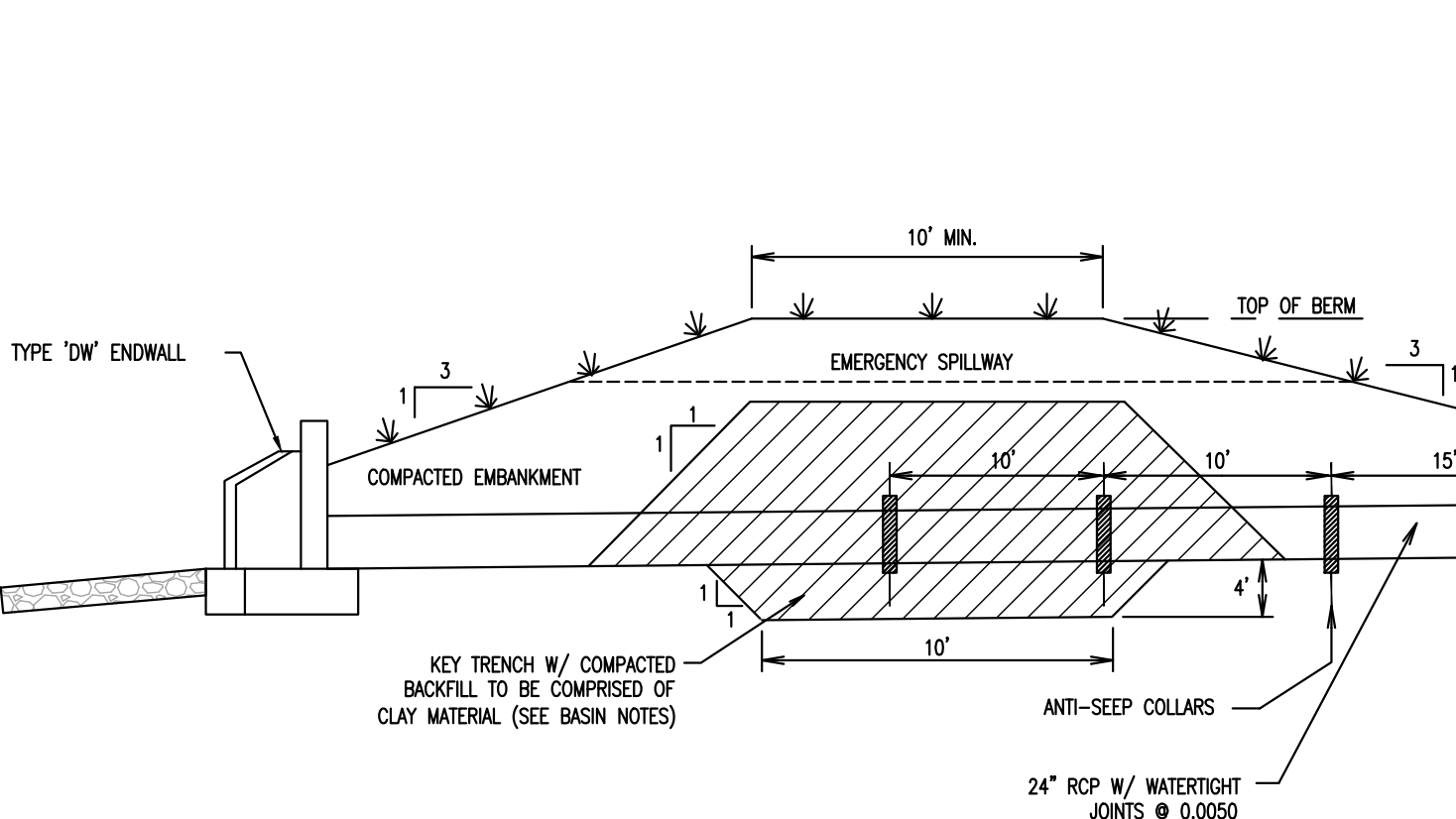
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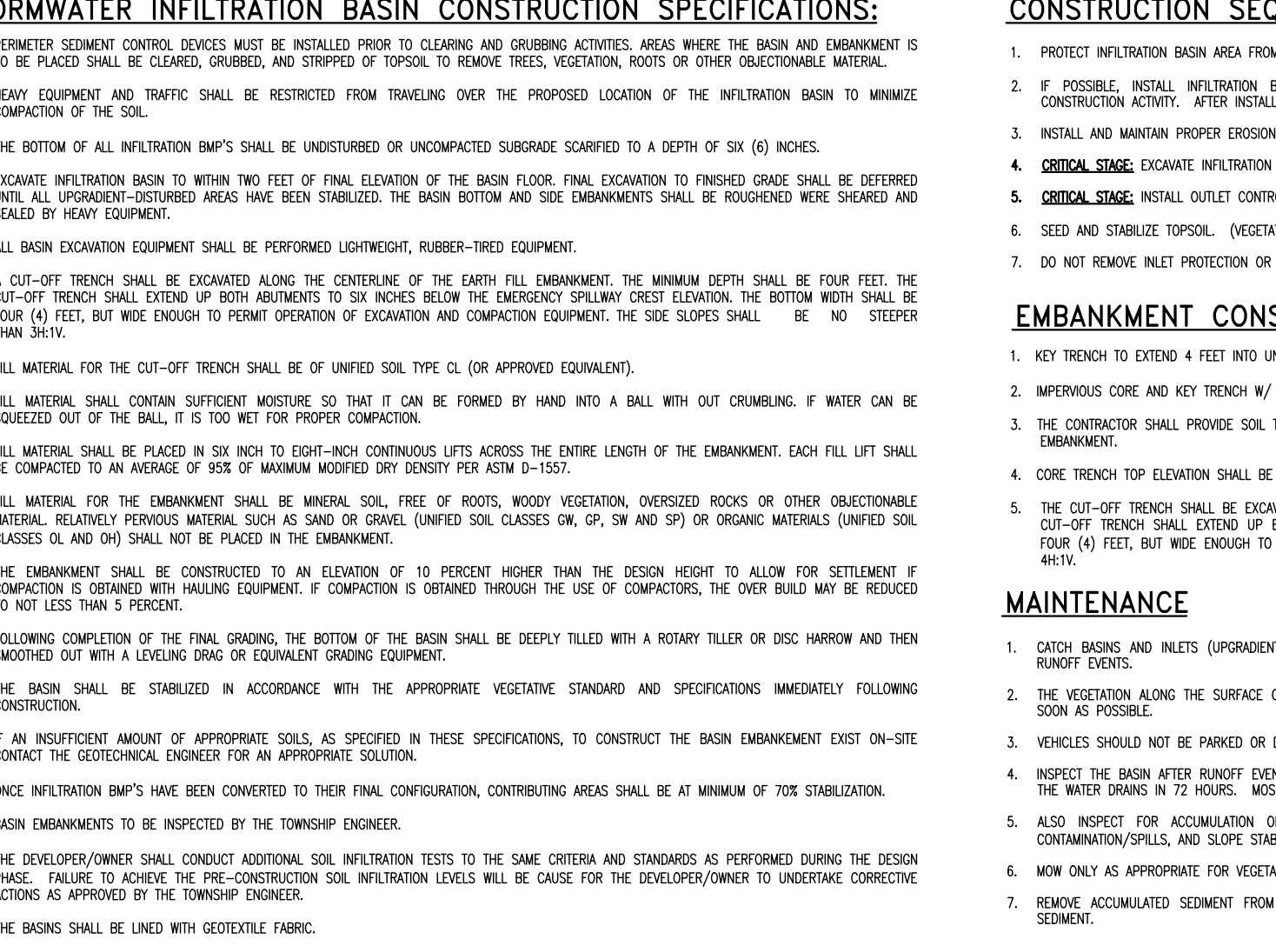


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TYPE D-W ENDWALL NO SCALE



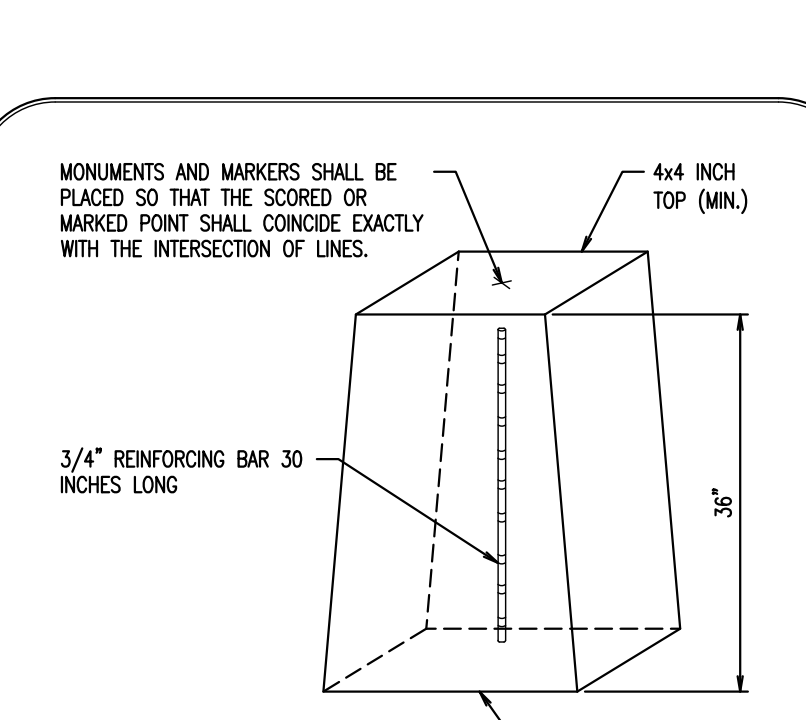
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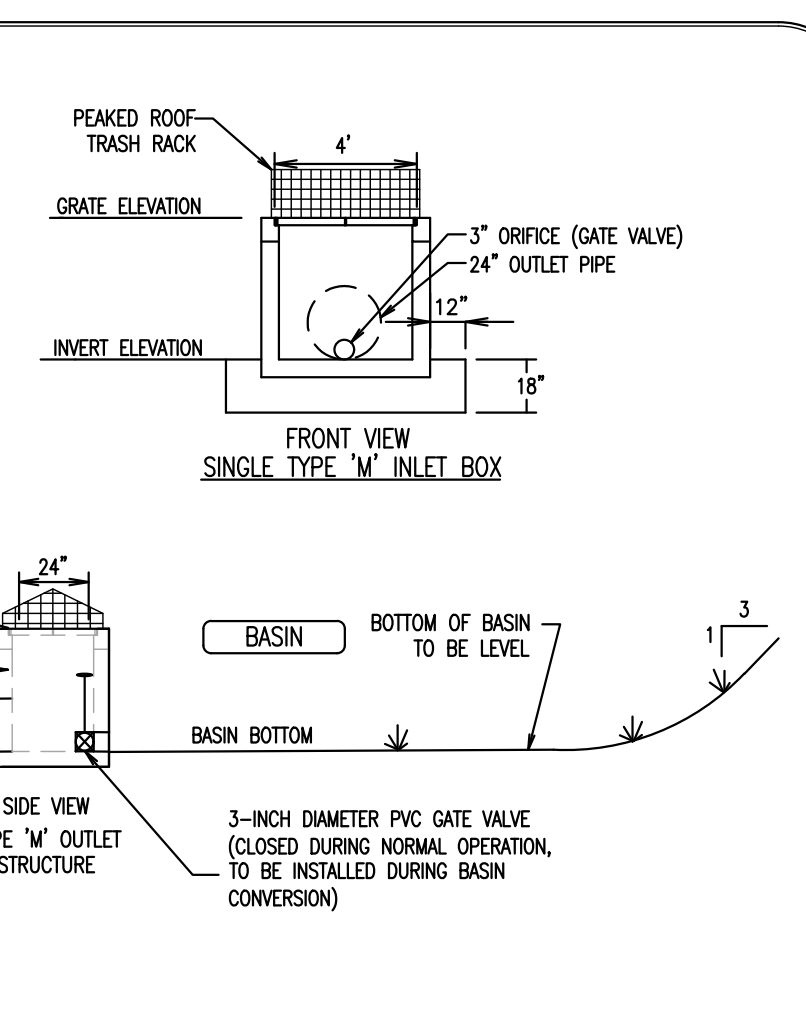
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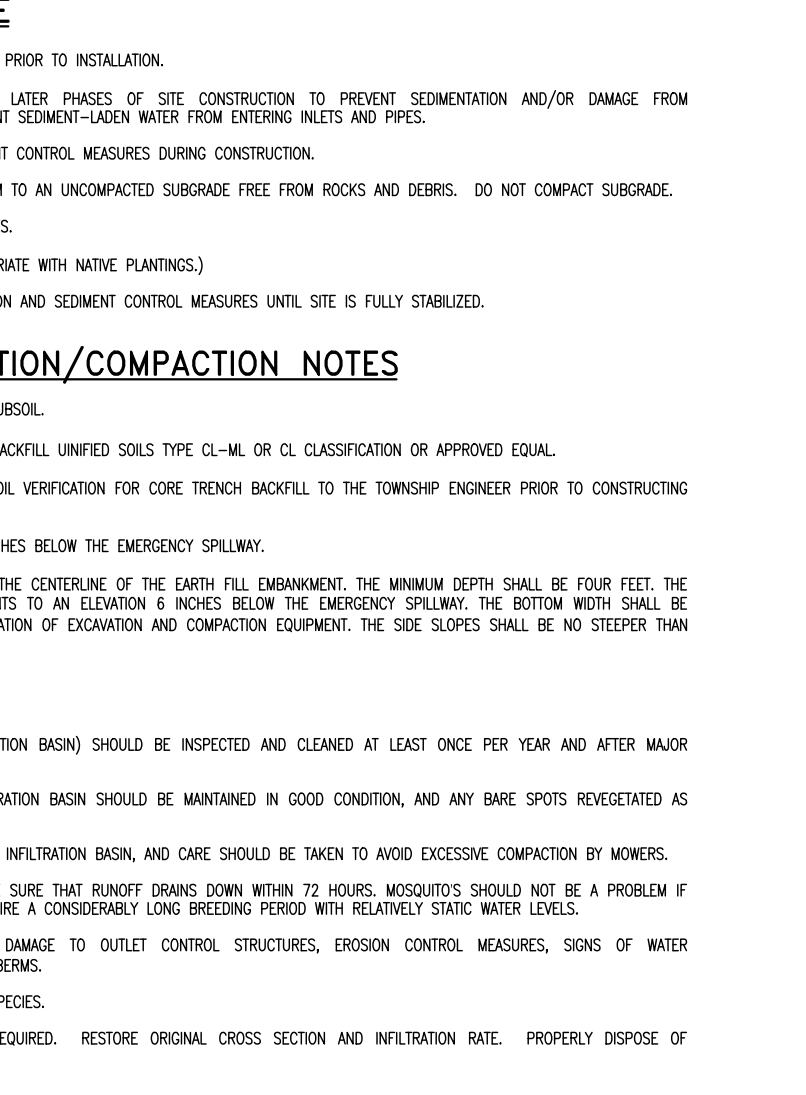
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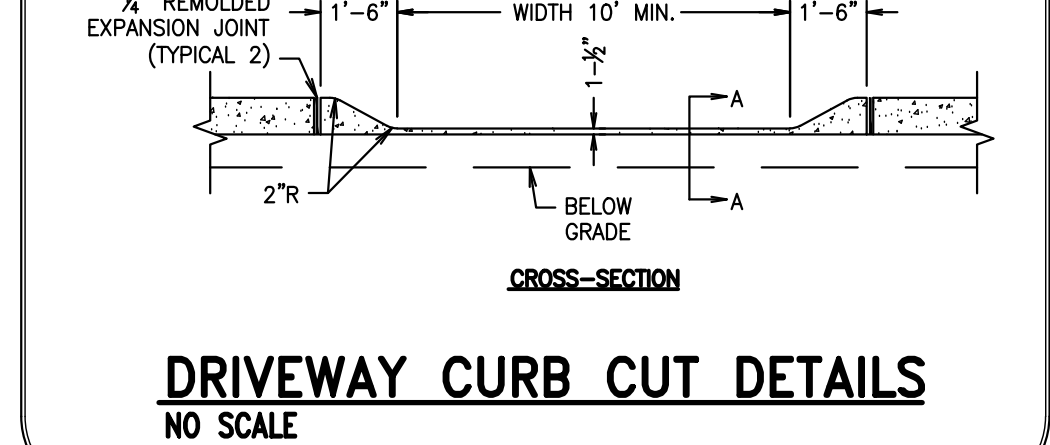
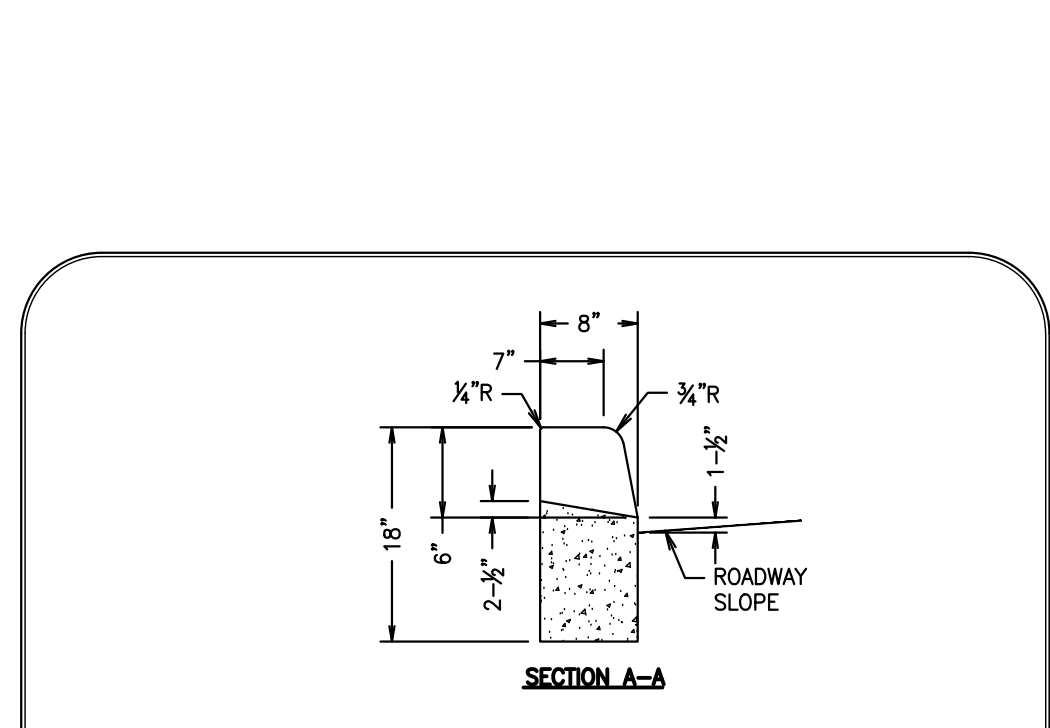
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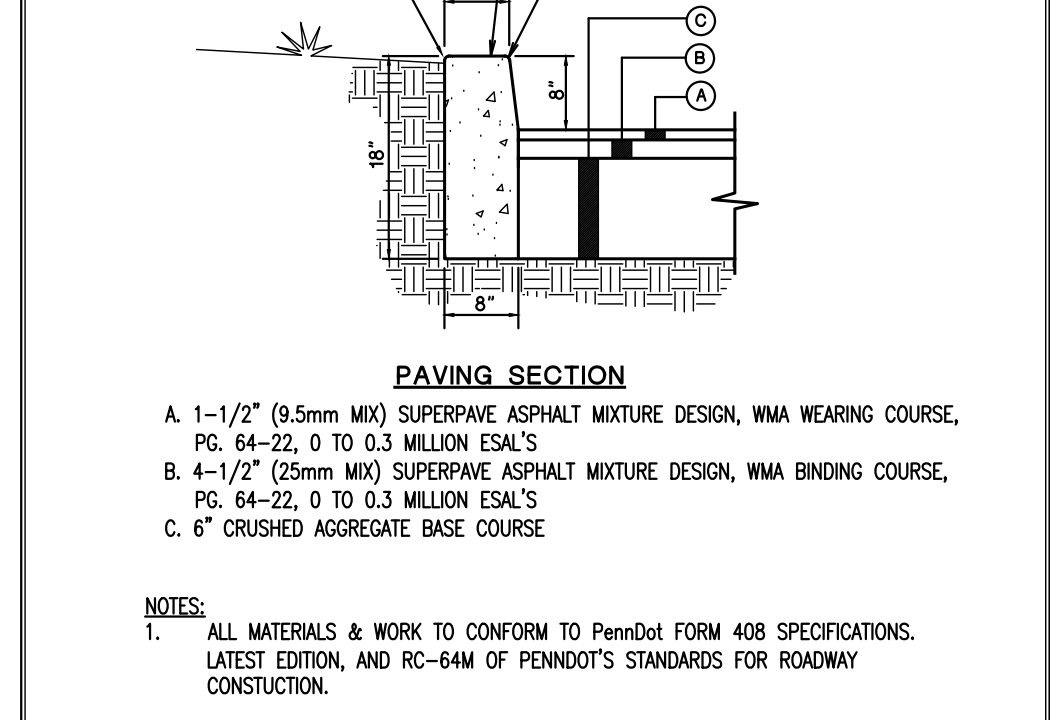
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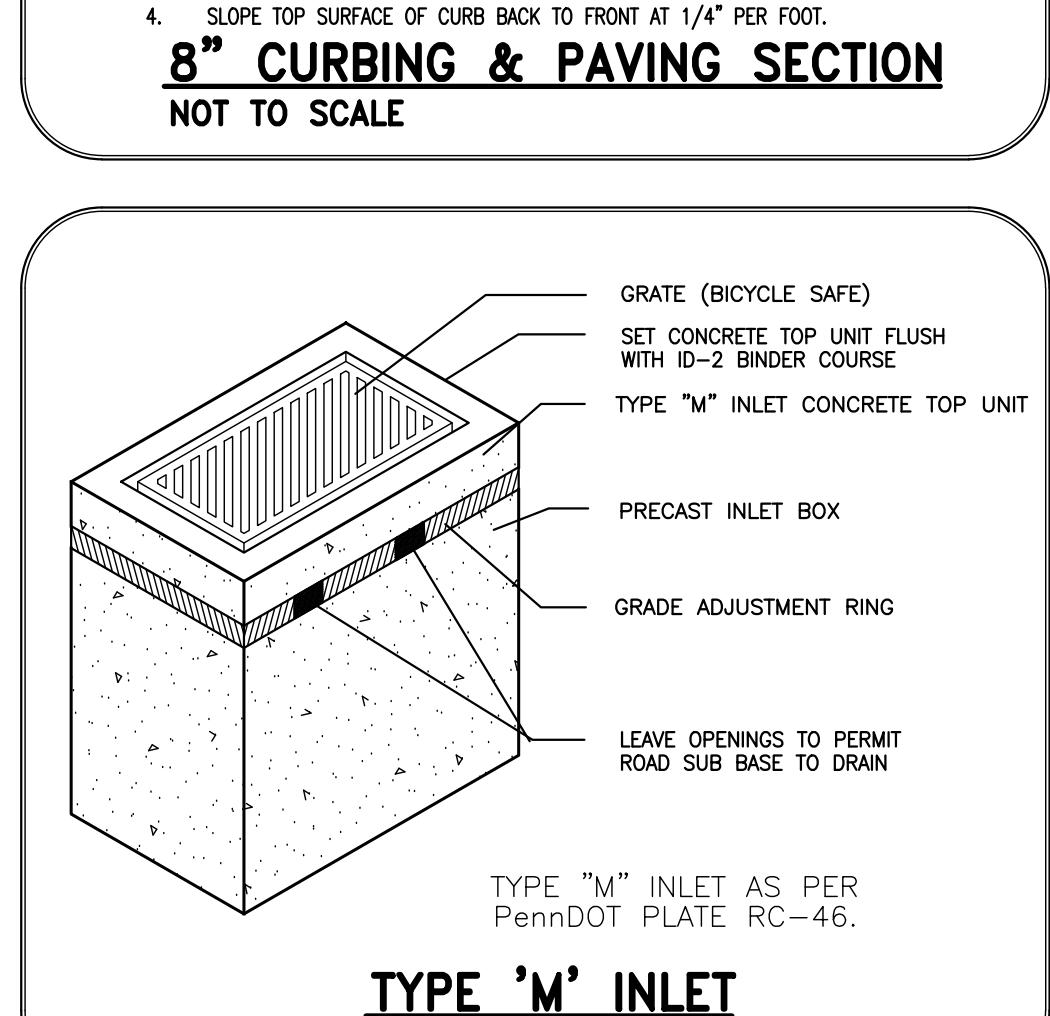
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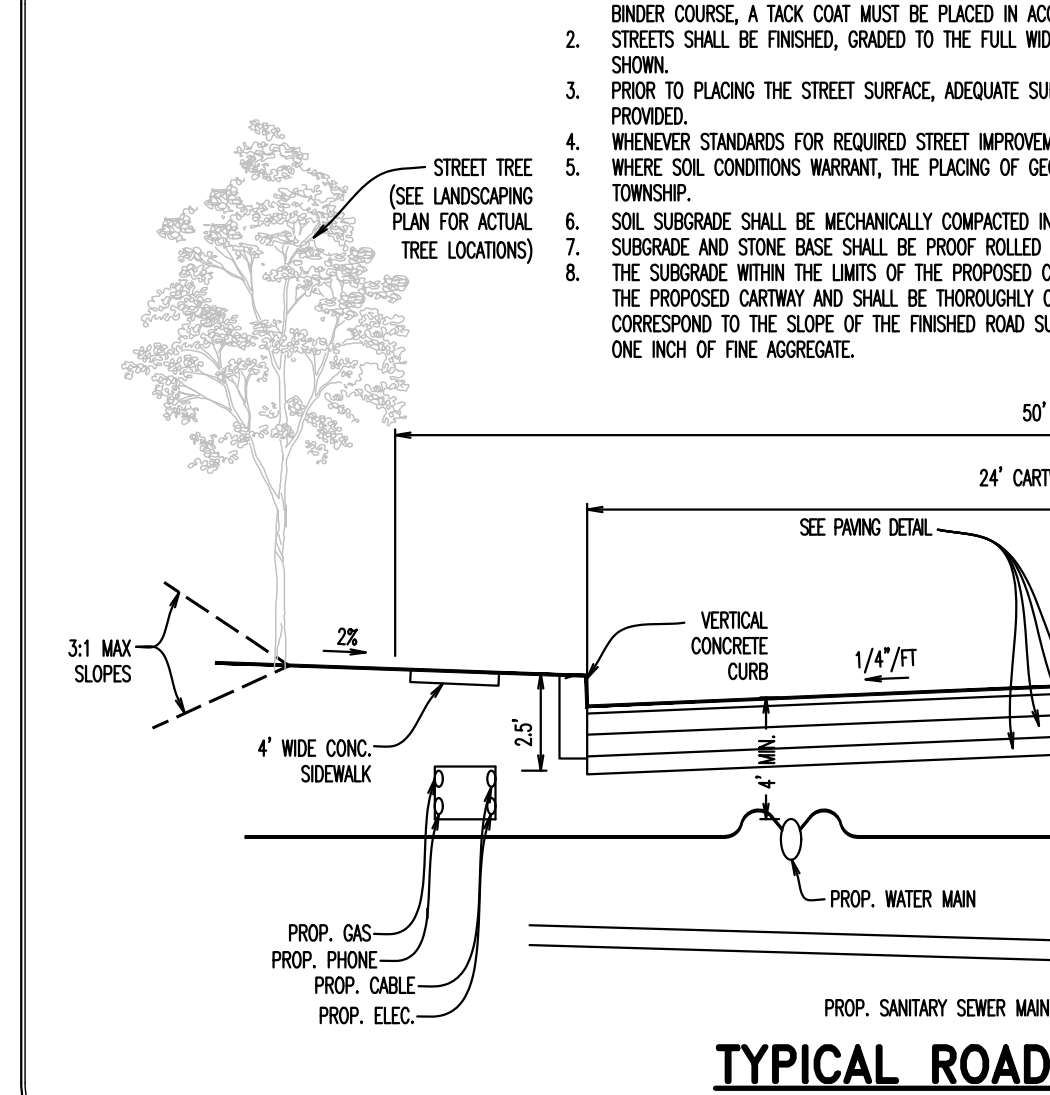
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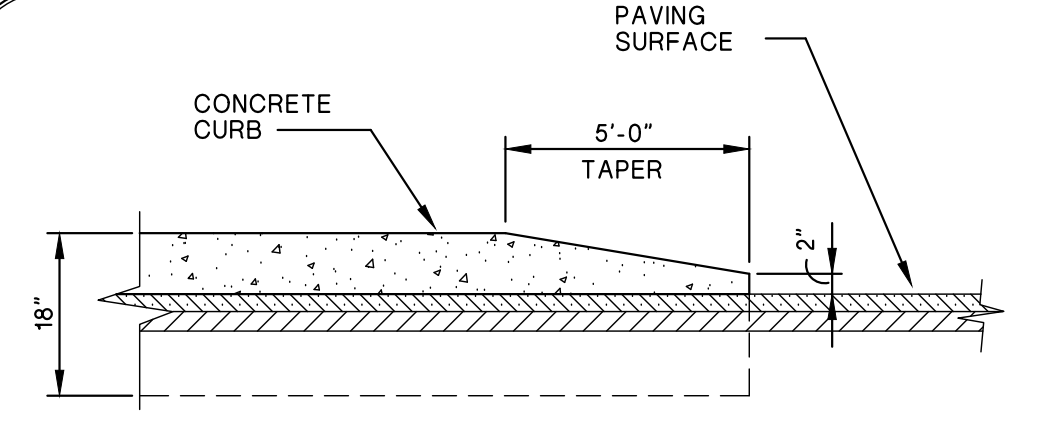
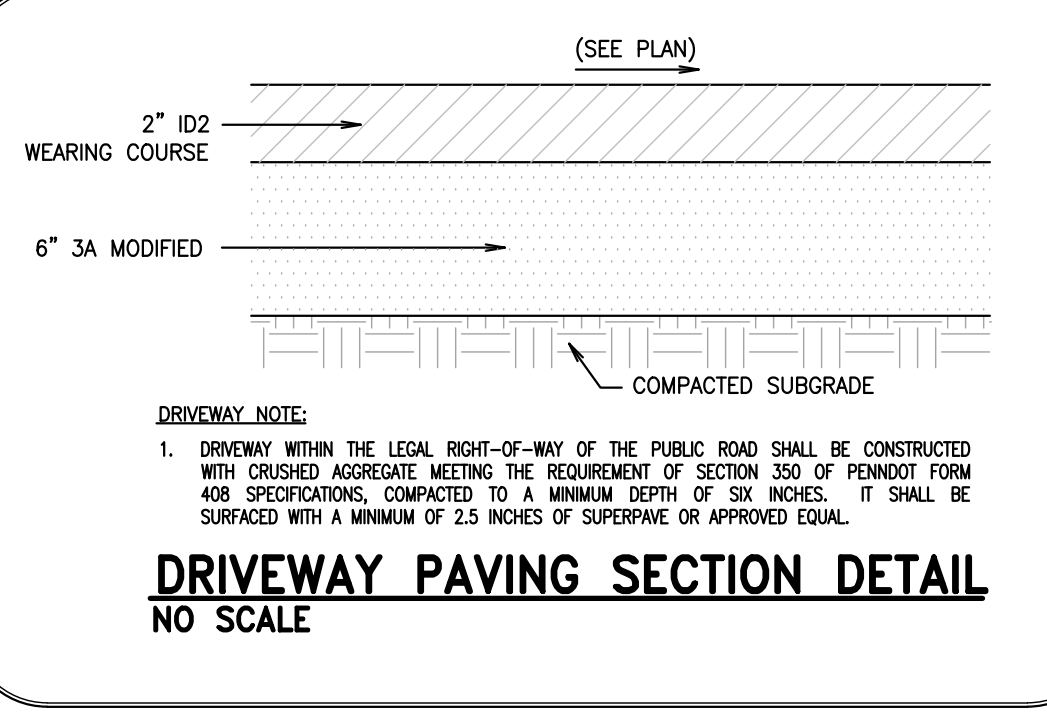
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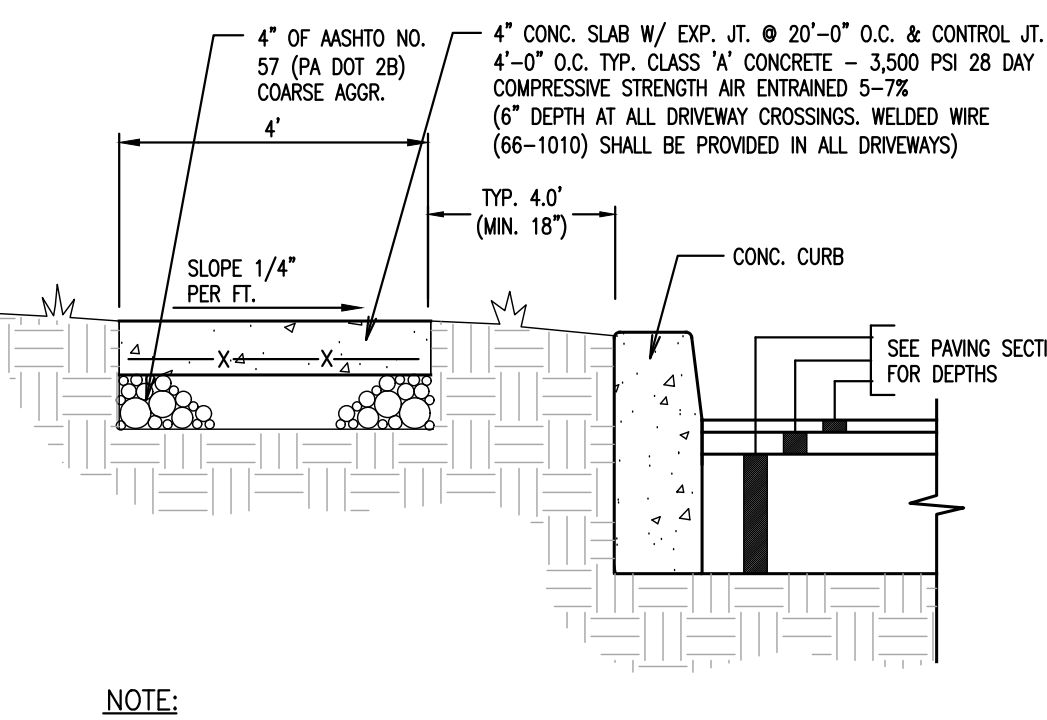
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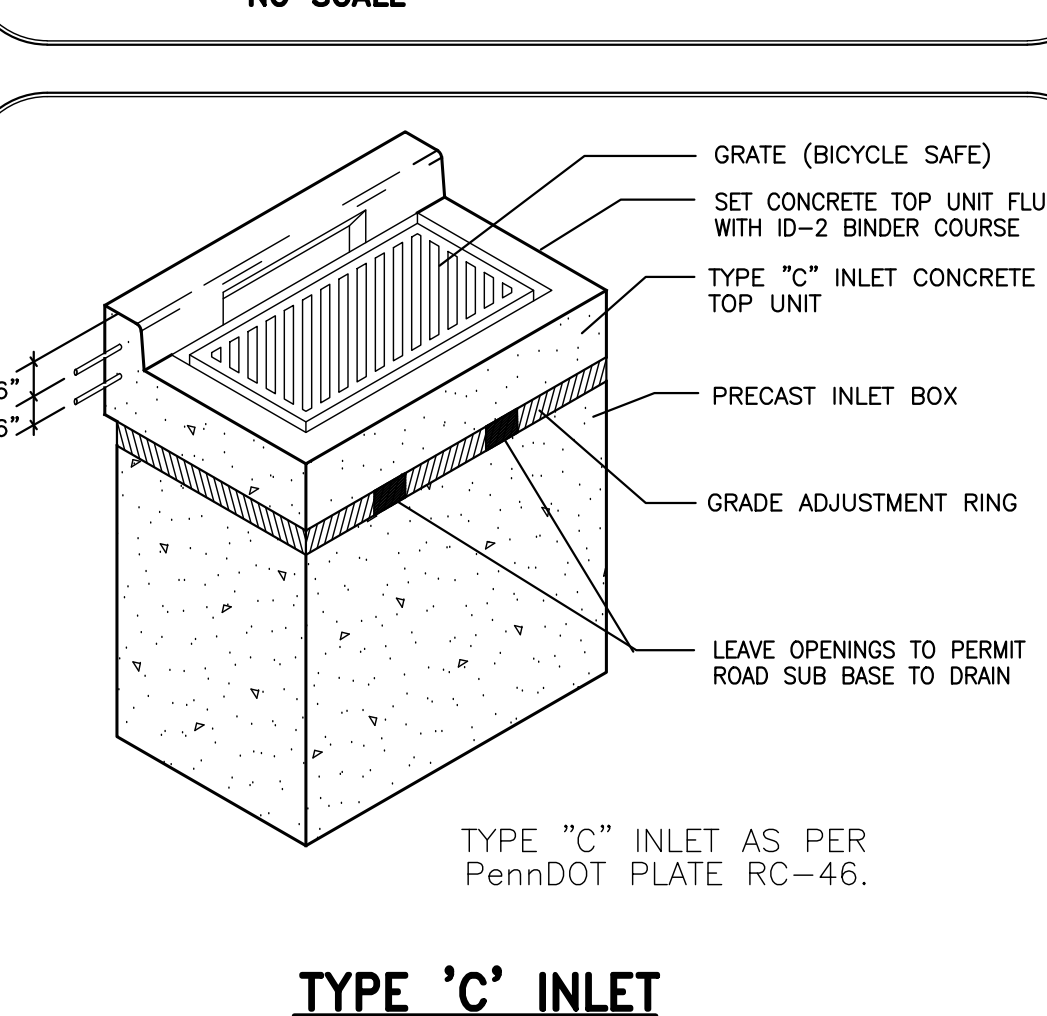
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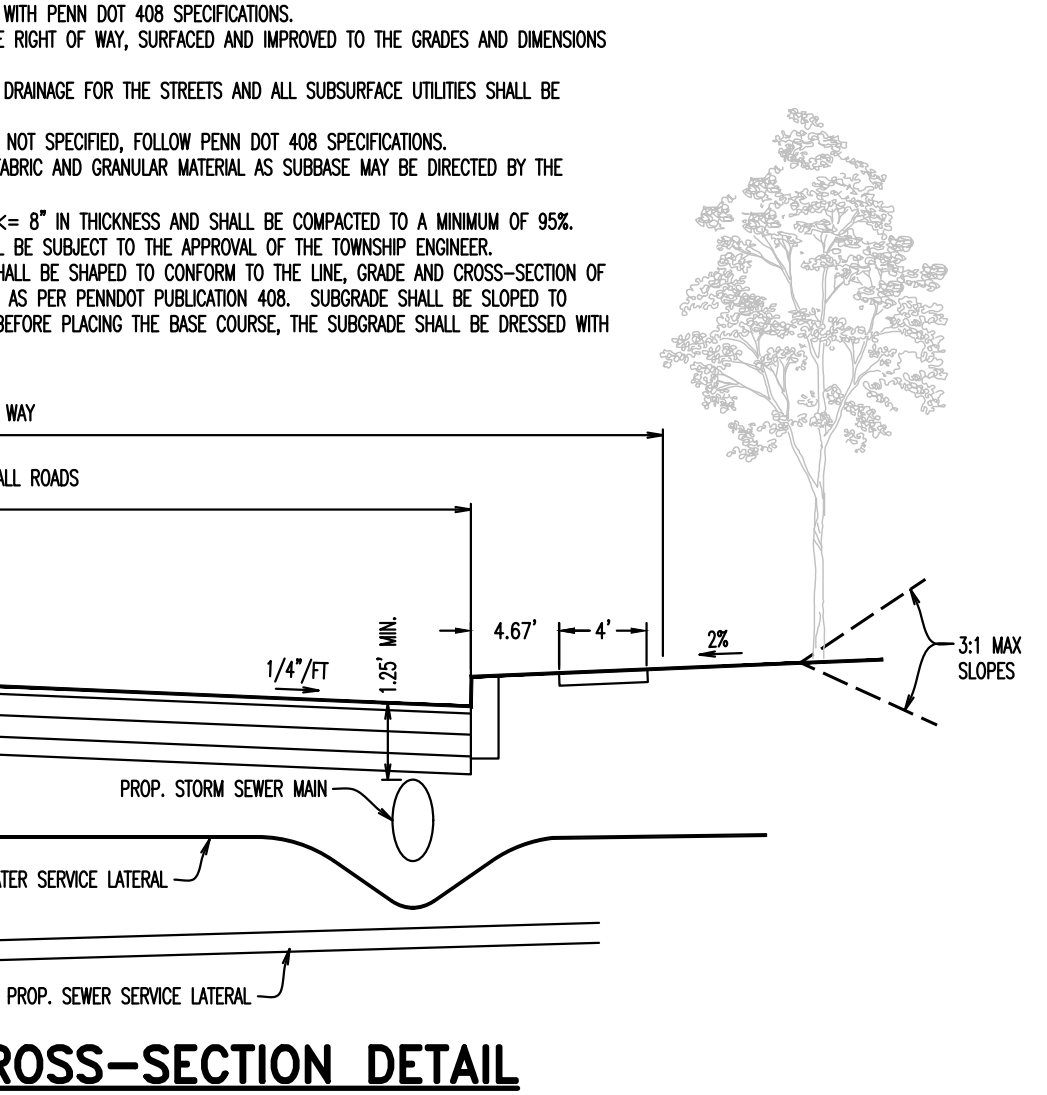
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PAVING SECTION NOT TO SCALE



TYPE 'M' INLET NO SCALE



TYPICAL ROAD CROSS-SECTION DETAIL NO SCALE

STORMWATER INFILTRATION BASIN CONSTRUCTION SPECIFICATIONS:

1. PRELIMINARY EMBANKMENT CONSTRUCTION SHALL BE COMPLETED PRIOR TO CLEANING AND GRADING ACTIVITIES. AREAS WHERE THE SOIL HAS SETTLED OR COMPACTED SHALL BE RE-LEVELLED TO THE ORIGINAL FINISH ELEVATION. THE SOIL SHALL BE RE-LEVELLED TO THE ORIGINAL FINISH ELEVATION. THE SOIL SHALL BE RE-LEVELLED TO THE ORIGINAL FINISH ELEVATION.
2. HEAVY EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER THE PROPOSED LOCATION OF THE INFILTRATION BASIN TO MINIMIZE COMPACTION OF THE SOIL.
3. THE BOTTOM OF ALL INFILTRATION BASINS SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE SCARPED TO A DEPTH OF SIX (6) INCHES.
4. EXISTING INFILTRATION BASINS TO WITHIN TWO FEET OF FINAL ELEVATION OF THE BASIN FLOOR. FINAL ELEVATION TO FINISHED GRADE SHALL BE DETERMINED FROM ALL LANDSCAPING-RELATED AREAS HAVE BEEN STABILIZED. THE BASIN BOTTOM AND SIDE EMBANKMENTS SHALL BE RECONSTRUCTED WITH DEGRADED AND SLOPED BY HEAVY EQUIPMENT.
5. ALL BASIN EXCAVATION EQUIPMENT SHALL BE PERFORMED UNDISTURBED, RUBBER-TIRED EQUIPMENT.
6. A CUT-OFF TRENCH SHALL BE LOCATED ALONG THE CENTERLINE OF THE EARTH FILL EMBANKMENT. THE MINIMUM DEPTH SHALL BE FOUR FEET. THE CUT-OFF TRENCH SHALL BE LOCATED UP WITHIN TWENTY (20) INCHES BELOW THE EMERGENCY SPILLWAY GREET ELEVATION. THE BOTTOM WIDTH SHALL BE FOUR (4) FEET. BUT WIDE ENOUGH TO PERMIT OPERATION OF EXCAVATION AND COMPACTOR EQUIPMENT. THE SIDE SLOPES SHALL BE NO STEEPER THAN 3:1.
7. FILL MATERIAL FOR THE CUT-OFF TRENCH SHALL BE OF UNIFIED SOIL TYPE CL (OR APPROVED EQUIVALENT).
8. FILL MATERIAL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 12 INCHES. EACH LAYER SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY PER ASTM D-1557.
9. FILL MATERIAL SHALL BE PLACED IN 6 INCH TO 8 INCH CONTINUOUS LAYS ACROSS THE ENTIRE LENGTH OF THE EMBANKMENT. EACH LIFT SHALL BE COMPACTED TO AN AVERAGE OF 95% OF MAXIMUM DRY DENSITY PER ASTM D-1557.
10. FILL MATERIAL FOR THE EMBANKMENT SHALL BE UNIFIED SOIL TYPE CL (OR APPROVED EQUIVALENT). UNIFIED SOIL TYPE CL (OR APPROVED EQUIVALENT) MATERIAL. RELATIVELY PERVIOUS MATERIAL SHALL BE USED TO GRAVEL UNDER THE EMERGENCY SPILLWAY GREET ELEVATION. THE BOTTOM WIDTH SHALL BE FOUR (4) FEET. BUT WIDE ENOUGH TO PERMIT OPERATION OF EXCAVATION AND COMPACTOR EQUIPMENT. THE SIDE SLOPES SHALL BE NO STEEPER THAN 3:1.
11. THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION OF 10 FEET ABOVE THE DESIGN HIGHWAY TO ALLOW FOR SETTLEMENT OF COMPACTION IS OBTAINED WITH HAULING EQUIPMENT. IF COMPACTION IS OBTAINED THROUGH THE USE OF COMPACTORS, THE OVER BUILD MAY BE REDUCED TO NOT LESS THAN 5 FEET.
12. FOLLOWING COMPLETION OF THE FINAL GRADING, THE BOTTOM OF THE BASIN SHALL BE KEPTLY FILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAG OR EQUIVALENT GRADING EQUIPMENT.
13. THE BASIN SHALL BE STABILIZED IN ACCORDANCE WITH THE APPROPRIATE VEGETATIVE STANDARDS AND SPECIFICATIONS IMMEDIATELY FOLLOWING COMPLETION.
14. IF AN INSUFFICIENT AMOUNT OF APPROPRIATE SOILS AS SPECIFIED IN THIS SPECIFICATION, TO CONTRACTOR TO CONTRACT THE BASIN EMBANKMENT EXIST ON-SITE. CONTACT THE TOWNSHIP ENGINEER FOR AN APPROVED SOLUTION.
15. ONCE INFILTRATION BASIN HAS BEEN CONSTRUCTED TO THEIR FINAL CONFIGURATION, CONTRACTING AREAS SHALL BE A MINIMUM OF 75% STABILIZATION.
16. BASIN EMBANKMENTS TO BE INSPECTED BY THE TOWNSHIP ENGINEER.
17. THE DEVELOPER/OWNER SHALL CONDUCT ADDITIONAL SOIL INFILTRATION TESTS TO THE SAME CRITERIA AND STANDARDS AS PERFORMED DURING THE DESIGN PHASE. FAILURE TO ACHIEVE THE PRE-CONSTRUCTION SOIL INFILTRATION LEVELS WILL BE CAUSE FOR THE DEVELOPER/OWNER TO UNDERGO CORRECTIVE ACTIONS AS APPROVED BY THE TOWNSHIP ENGINEER.
18. THE BASINS SHALL BE LINED WITH GEOTEXTILE FABRIC.

CONSTRUCTION SEQUENCE

1. PROTECT INFILTRATION BASIN AREA FROM COMPACTION PRIOR TO INSTALLATION.
2. IF POSSIBLE, INSTALL INFILTRATION BASIN DURING LATE AFTERNOON OR EARLY EVENING TO PREVENT SETTLEMENT AND/OR CHANGE FROM COMPACTION. AFTER INSTALLATION, PROTECT SEWAGE TRENCH WITH WALKING PLATES AND PAVES.
3. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
4. CRITICAL ZONE EXCAVATE INFILTRATION BASIN BOTTOM TO AN UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS. DO NOT COMPACT SUBGRADE.
5. CRITICAL ZONE INSTALL OUTLET CONTROL STRUCTURES.
6. SEED AND STABILIZE SOILS. (EVEN IF APPROVED WITH SEED MIXTURES).
7. DO NOT REMOVE BUILT PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

EMBANKMENT CONSTRUCTION/COMPACTION NOTES

1. KEY TRENCH TO EXTEND 4 FEET INTO UNDISTURBED SUBSOIL.
2. IMPROVED CORE AND KEY TRENCH W/ COMPACTED BACKFILL UNIFIED SOILS TYPE CL-ME OR CL CLASSIFICATION OR APPROVED EQUAL.
3. THE CONTRACTOR SHALL PROVIDE SOIL TESTING OR SOIL VERIFICATION FOR CORE TRENCH BACKFILL TO THE TOWNSHIP ENGINEER PRIOR TO CONSTRUCTING EMBANKMENT.
4. CORE TRENCH TOP ELEVATION SHALL BE SET AT 4 INCHES BELOW THE EMERGENCY SPILLWAY.
5. THE CUT-OFF TRENCH SHALL BE LOCATED ALONG THE CENTERLINE OF THE EARTH FILL EMBANKMENT. THE MINIMUM DEPTH SHALL BE FOUR FEET. THE CUT-OFF TRENCH SHALL BE LOCATED UP WITHIN TWENTY (20) INCHES BELOW THE EMERGENCY SPILLWAY. THE BOTTOM WIDTH SHALL BE FOUR (4) FEET. BUT WIDE ENOUGH TO PERMIT OPERATION OF EXCAVATION AND COMPACTOR EQUIPMENT. THE SIDE SLOPES SHALL BE NO STEEPER THAN 3:1.

MAINTENANCE

1. CHECK BODIES AND INLETS (EQUIPMENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST EVERY YEAR AND AFTER MAJOR RAINFALL EVENTS.
2. THE VEGETATION ALONG THE SURFACE OF THE INFILTRATION BASIN SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEALED AS SOON AS POSSIBLE.
3. VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
4. INSPECT THE BASIN AFTER RAINFALL EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 24 HOURS. MOWERS SHOULD NOT BE A PROBLEM IF THE MOWER DRIVES IN TO BODIES. MOWERS SHOULD REQUIRE A CONSIDERABLE LONG WHEELING TRENCH WITH RELATIVELY STICKY WHEELS.
5. ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER COMPACTION/SETTLES AND SOILS STABILITY IN THE BASIN.
6. MOW ONLY AS APPROPRIATE FOR WEEDS OR GRASS CONTROL.
7. REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE. PROPERLY DISPOSE OF SEDIMENT.

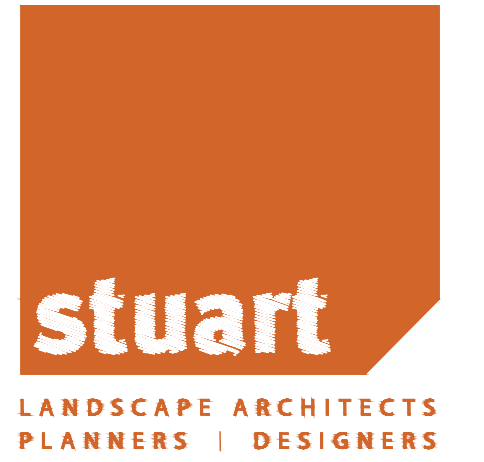
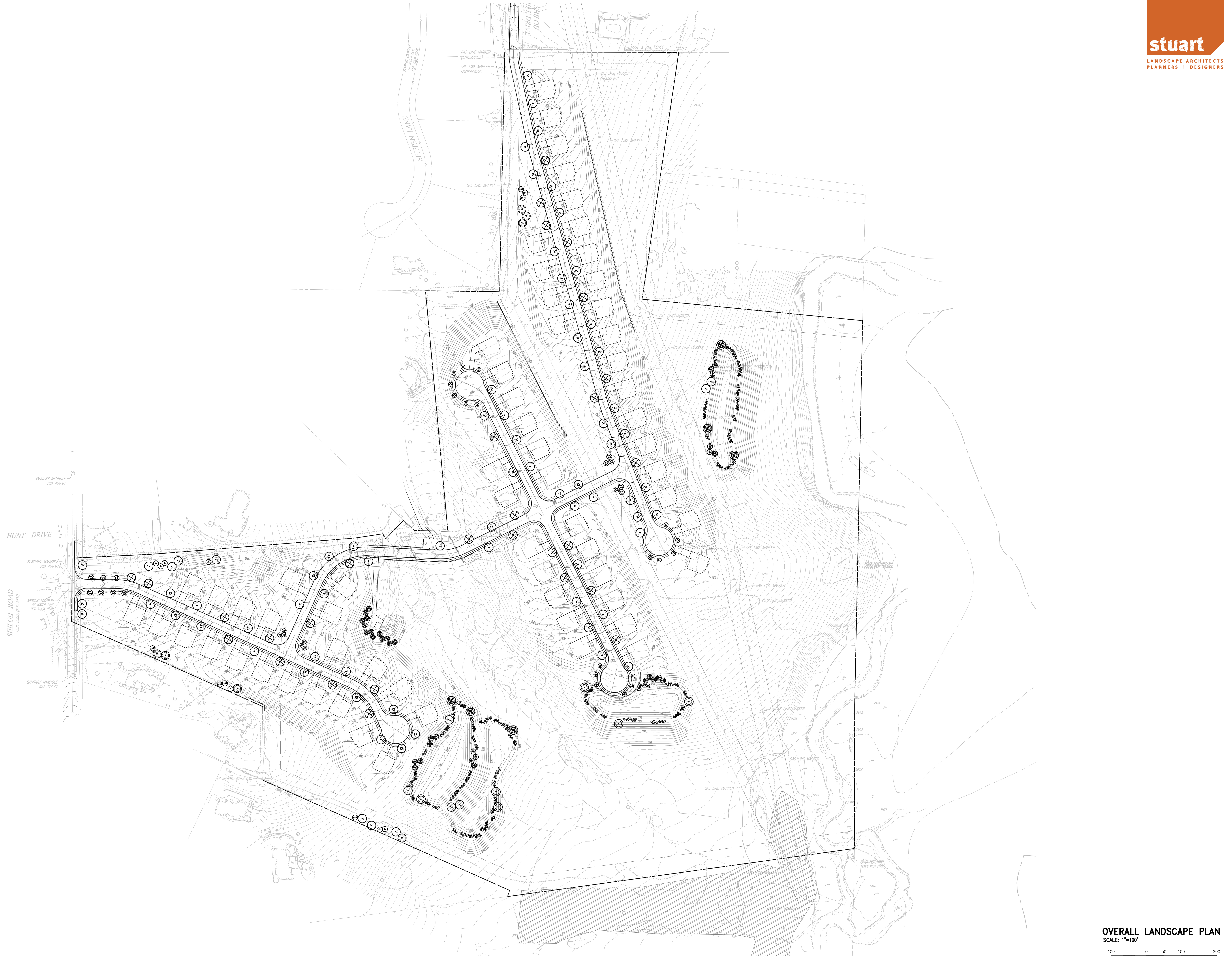
CONDITIONAL USE

CONSTRUCTION DETAILS

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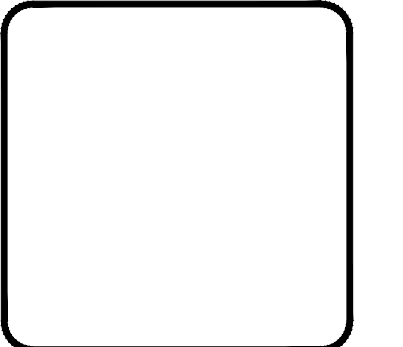
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PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: AS SHOWN
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: 14 CONSTRUCTION DETAILS.dwg
DATE: 4/30/21
DRAWING NO.: C05.1
SHEET 18 OF 23



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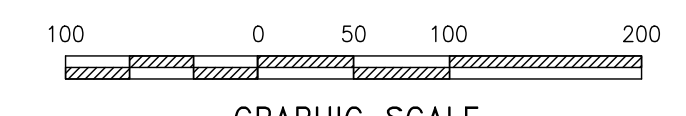
1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003



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CONDITIONAL USE
OVERALL LANDSCAPE PLAN
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA.

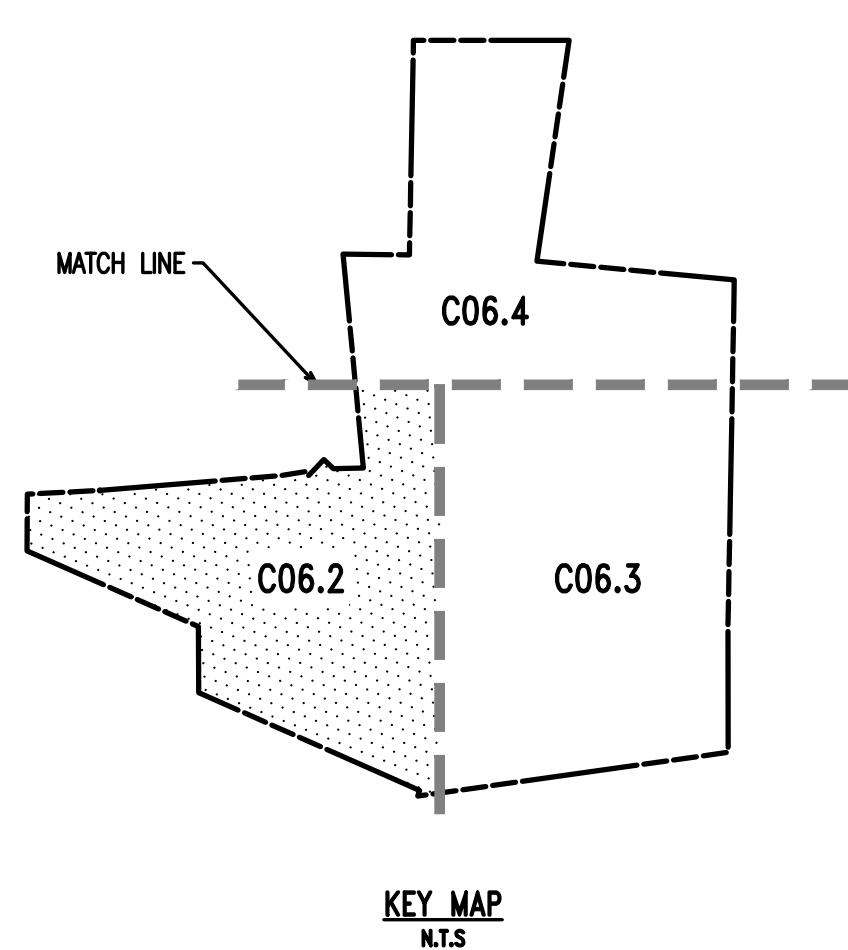
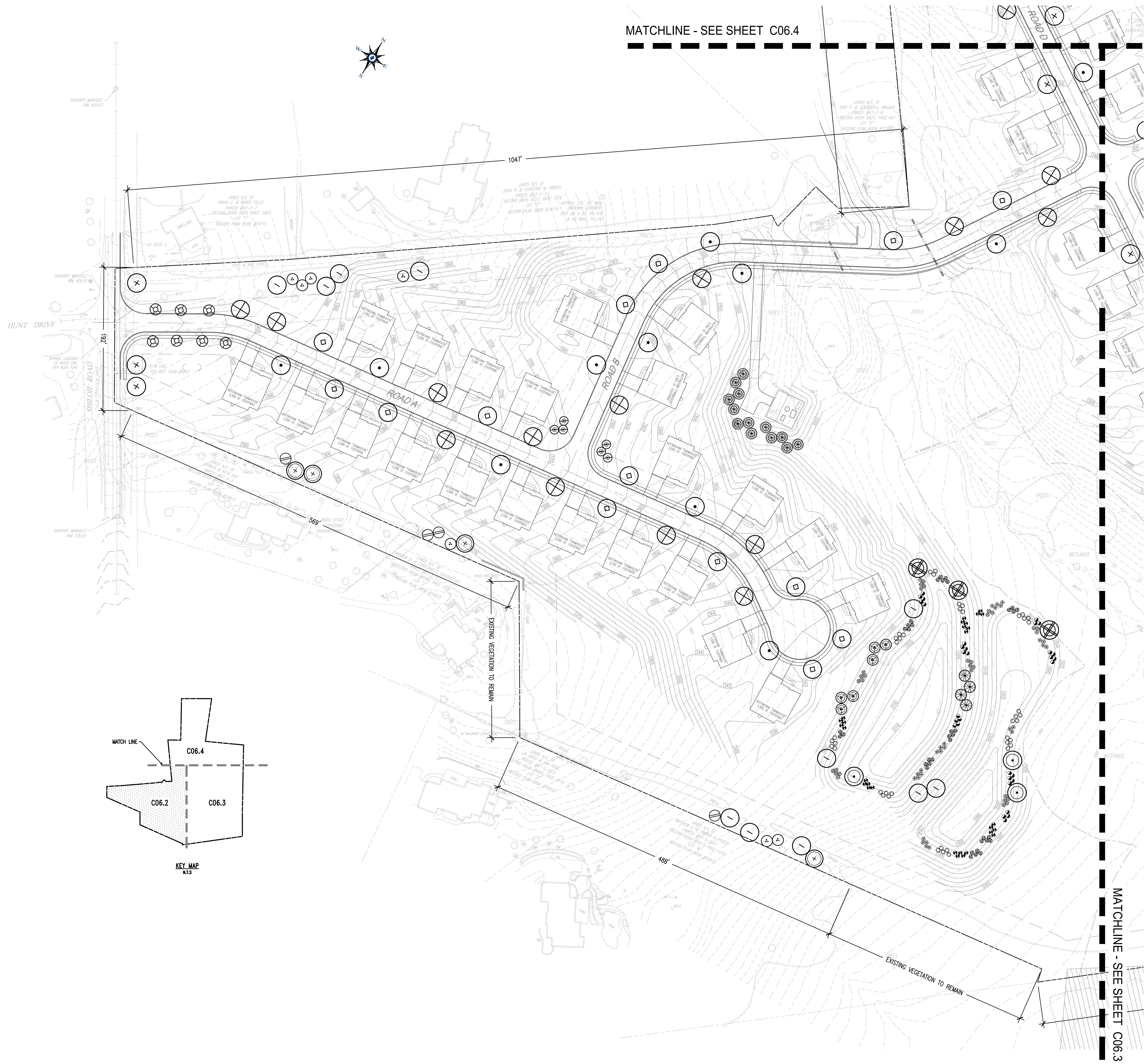
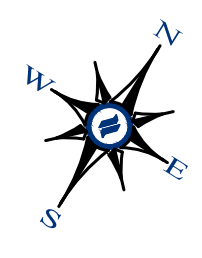
OVERALL LANDSCAPE PLAN
SCALE: 1"=100'



GRAPHIC SCALE
1 inch = 100 feet

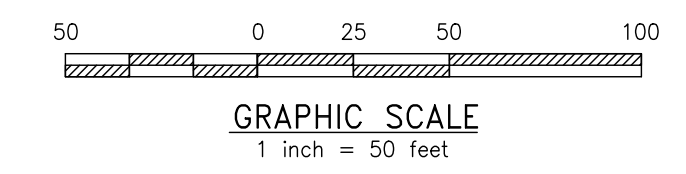
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SCALE:	1"=100'
DRAWN BY:	KTD
CHECKED BY:	PJS
PROJECT NO.:	3868
CAD FILE:	3868_P01A - 08 Lndsc.dwg
PLOTTED:	04/16/2021
DRAWING NO.:	C06.1
SHEET:	19 of 23

MATCHLINE - SEE SHEET C06.4



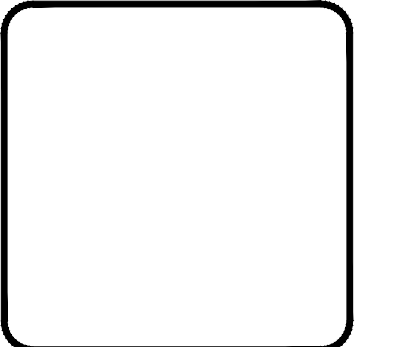
MATCHLINE - SEE SHEET C06.3

LANDSCAPE PLAN
SCALE: 1"=50'



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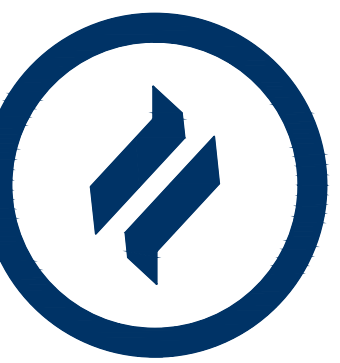
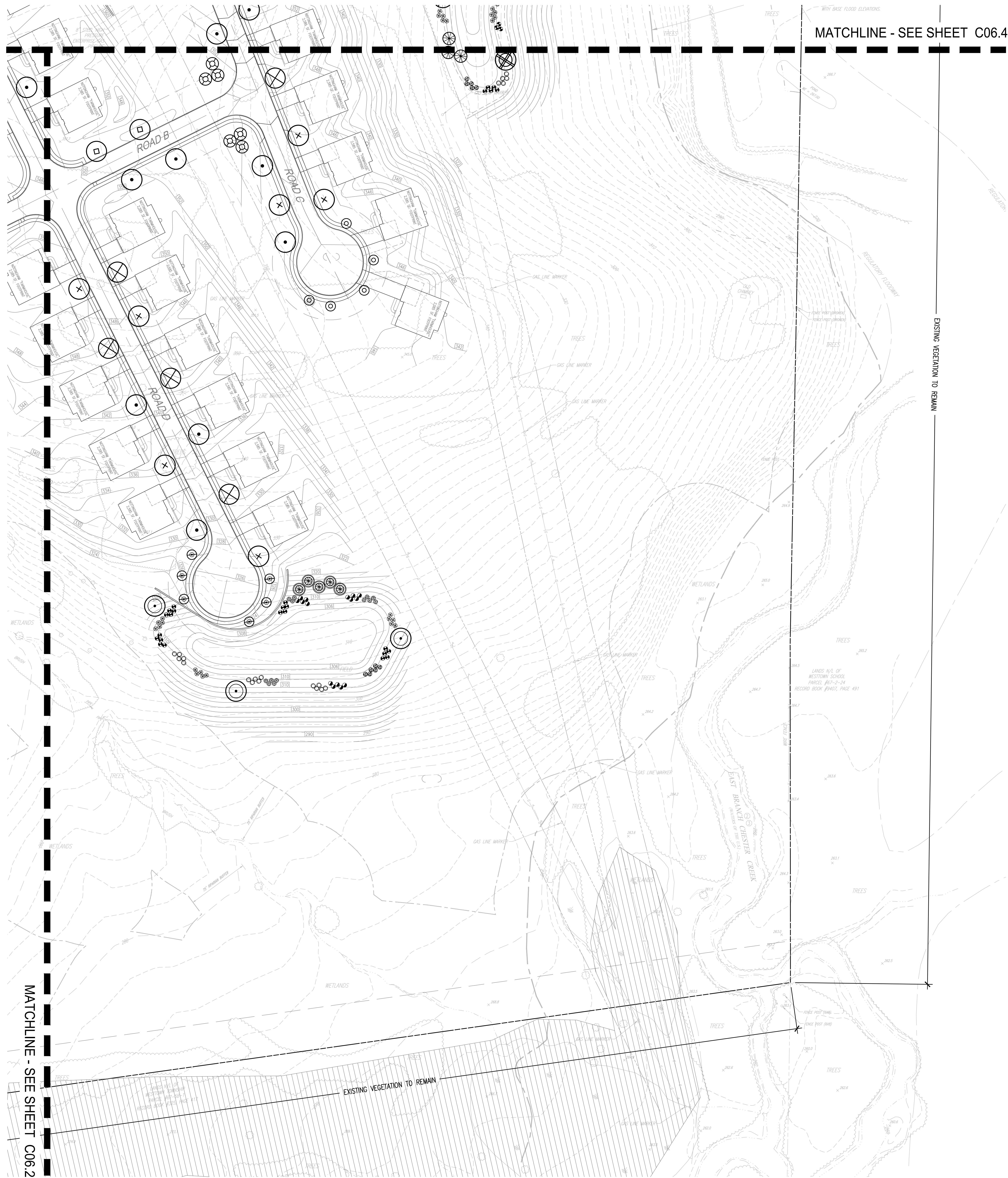
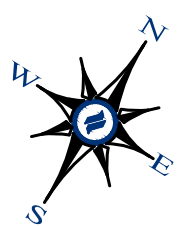
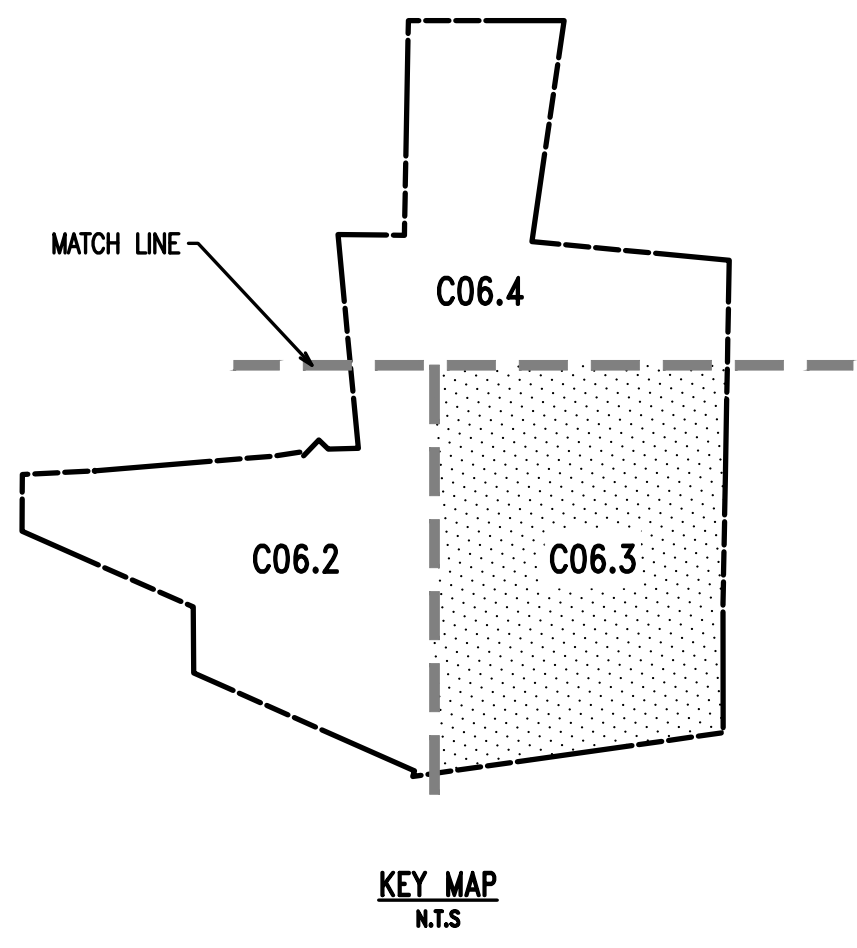


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CONDITIONAL USE
LANDSCAPE PLAN

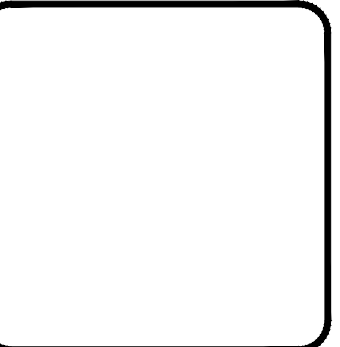
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA.

DATE:	04/16/2021
SCALE:	1"=50'
DRAWN BY:	KTD
CHECKED BY:	PJS
PROJECT NO.:	3868
CAD FILE:	3868 Pt-1A - 08 Lndsc.dwg
PLOTTED:	04/16/2021
DRAWING NO.:	C06.2
SHEET:	20 of 23



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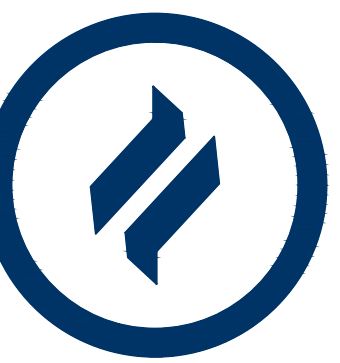
CONDITIONAL USE
LANDSCAPE PLAN

CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA.

LANDSCAPE PLAN
SCALE: 1"=50'

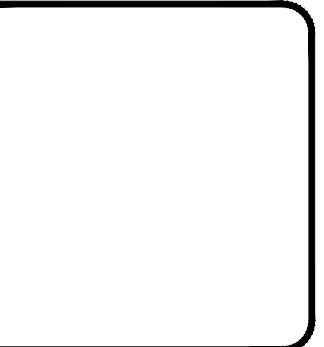
GRAPHIC SCALE
1 inch = 50 feet

DRAWN: KTD
CHECKED BY: PJS
PROJECT NO: 3868
DATE: 04/16/2021
DRAWING NO: C06.3
SHEET 21 of 23



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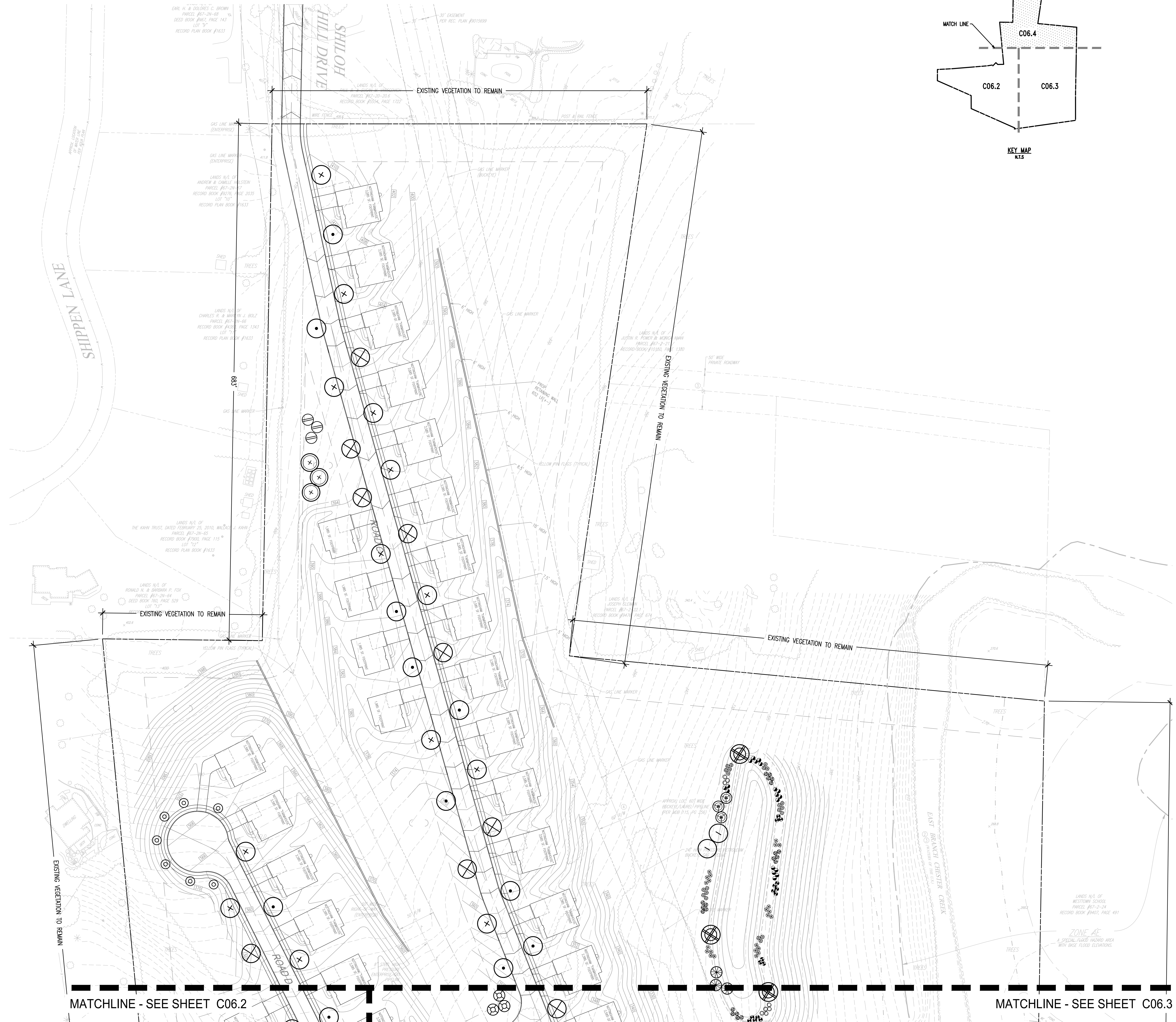
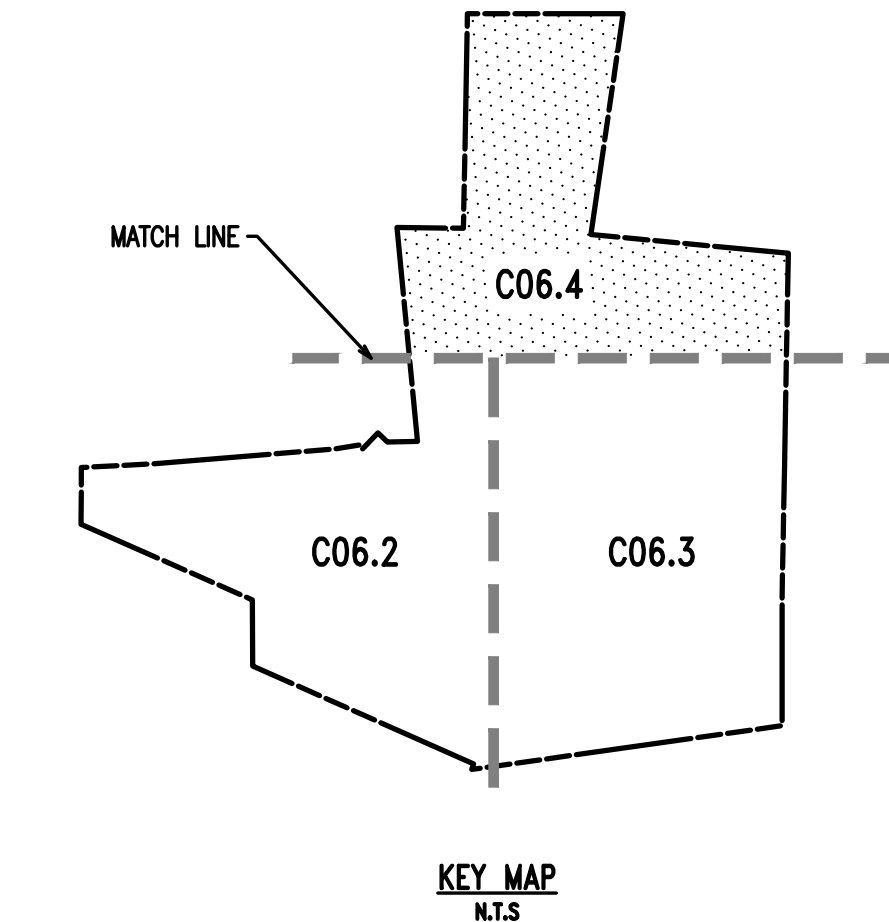


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CONDITIONAL USE
LANDSCAPE PLAN

CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA.

DATE:	04/16/2021
SCALE:	1"=50'
DRAWN BY:	KTD
CHECKED BY:	PJS
PROJECT NO.:	3868
CAD FILE:	PA-1A - 88 Lds.dwg
PLOTTED:	04/16/2021
DRAWING NO.:	C06.4
SHEET:	22 of 23



LANDSCAPE PLAN
SCALE: 1"=50'
GRAPHIC SCALE
1 inch = 50 feet

MATCHLINE - SEE SHEET C06.2

MATCHLINE - SEE SHEET C06.3

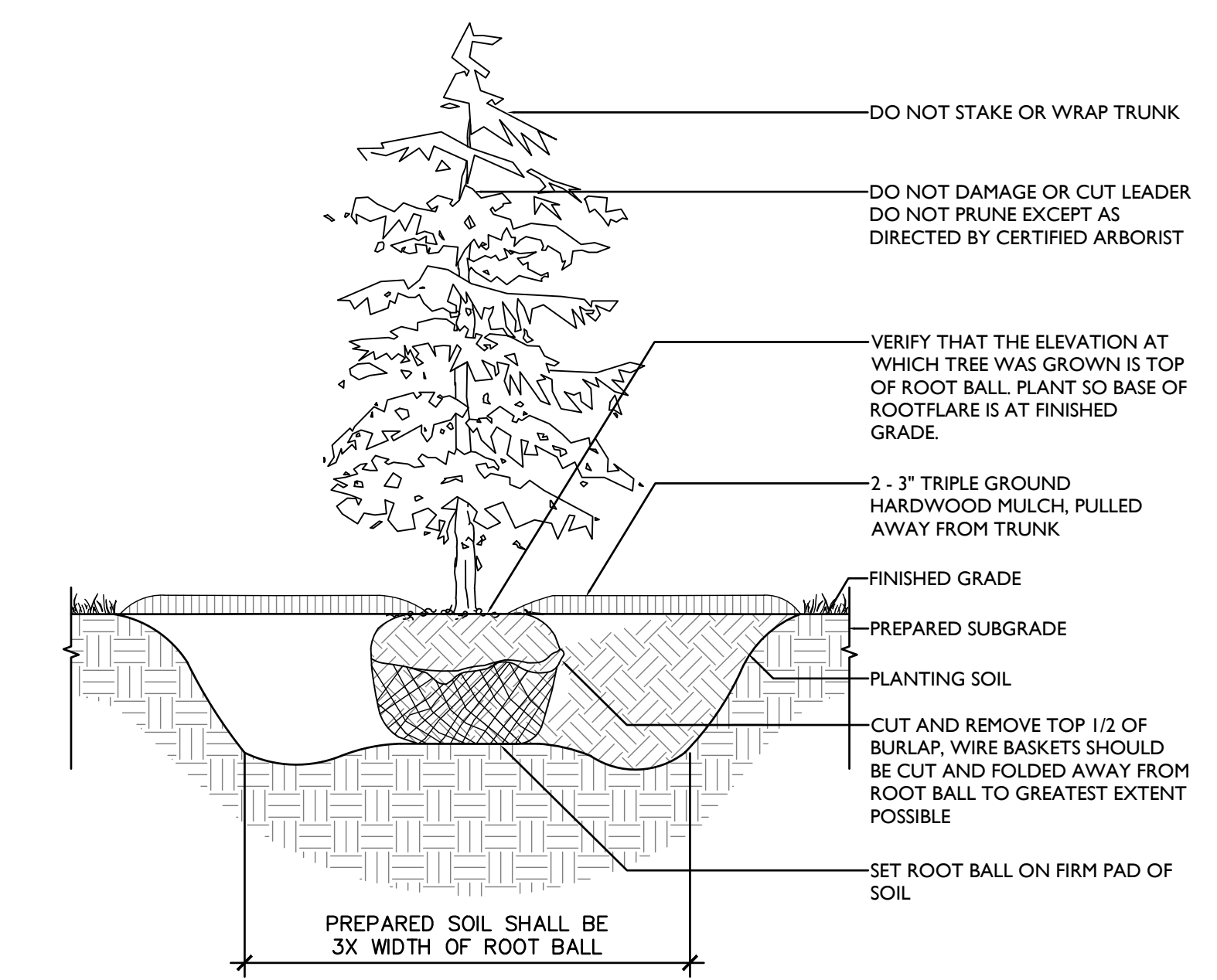
WESTTOWN TOWNSHIP LANDSCAPE REQUIREMENTS

DISTRICT: R-1 RESIDENTIAL DISTRICT

SALDO:	REQUIRED	PROPOSED
\$149-924. EXISTING TREES:		
D.12. COMPENSATORY PLANTING.		
B. NON-SPECIMEN TREES: (1) ONE INCH OF NEW TREE CALIPER SHALL BE PROVIDED FOR EVERY (4) FOUR INCHES OF TREE DIAMETER REMOVED.		
# INCHES REMOVED / 4 INCHES = # REPLACEMENT INCHES # REPLACEMENT INCHES / 3 1/2 INCHES = # TREES REQUIRED		TO BE DETERMINED DURING LAND DEVELOPMENT PHASE
SPECIMEN TREES: (1) ONE INCH OF NEW TREE DIAMETER FOR EVERY (1) ONE INCH OF TREE DIAMETER TO BE REMOVED.		
# INCHES REMOVED / 4 INCHES = # REPLACEMENT INCHES # REPLACEMENT INCHES / 3 1/2 INCHES = # TREES REQUIRED		TO BE DETERMINED DURING LAND DEVELOPMENT PHASE
COMPENSATORY TREES SHALL BE 3 1/2 INCHES IN CALIPER. EVERGREEN TREES MAY BE SUBSTITUTED AS A RATIO OF (2) TWO EVERGREENS TO (1) ONE DECIDUOUS TREE.		
\$149-925. LANDSCAPING REQUIREMENTS AND STANDARDS:		
G. MINIMUM PLANT QUANTITIES.		
1. LOT OR PERIMETER YARD:		
PER 100 LINEAR FEET, STREET FRONTAGES SHALL HAVE 1.5 CANOPY TREES AND 0.5 ORNAMENTAL FLOWERING TREES.		
SHILOH RD = 192 LF 192 / 100 = 1.9 1.9 X 1.5 = 2.85 1.9 X 0.5 = 0.95	3 CANOPY TREES 1 ORNAMENTAL TREES	3 TREES 1 TREES
RD A = 1070 LF 1070 / 100 = 10.7 10.7 X 1.5 = 16.05 10.7 X 0.5 = 5.4	16 CANOPY TREES 6 ORNAMENTAL TREES	24 TREES 6 TREES
RD B = 1200 LF 1200 / 100 = 12 12 X 1.5 = 18 12 X 0.5 = 6	18 CANOPY TREES 6 ORNAMENTAL TREES	18 TREES 6 TREES
RD C = 1710 LF 1710 / 100 = 17.1 17.1 X 1.5 = 25.7 17.1 X 0.5 = 8.6	26 CANOPY TREES 9 ORNAMENTAL TREES	32 TREES 11 TREES
RD D = 945 LF 945 / 100 = 9.5 9.5 X 1.5 = 14.3 9.5 X 0.5 = 4.8	14 CANOPY TREES 5 ORNAMENTAL TREES	18 TREES 13 TREES
PER 100 LINEAR FEET, ALL OTHER PROPERTY LINES SHALL HAVE 0.5 CANOPY TREES AND 0.5 ORNAMENTAL FLOWERING TREES.		
OTHER PROPERTY LINES = 2,787 LF 2787 / 100 = 27.9 27.9 X 1.5 = 41.9 27.9 X 0.5 = 13.9	14 CANOPY TREES 14 ORNAMENTAL TREES	14 TREES 14 TREES
2. STORMWATER RETENTION/DETENTION BASINS:		
A. DECIDUOUS OR EVERGREEN TREES AT THE RATE OF ONE TREE PER 2,000 SQ FT OF BASIN AREA		
B. SHRUBS, HEDGES, OR YEW'S AT THE RATE OF ONE PLANT PER 200 SQ FT OF BASIN AREA.		
77,650 TOTAL SQ FT OF BASIN AREA 77,650 / 2,000 = 38.8 77,650 / 200 = 388.3	39 TREES 388 SHRUBS	39 TREES 388 SHRUBS

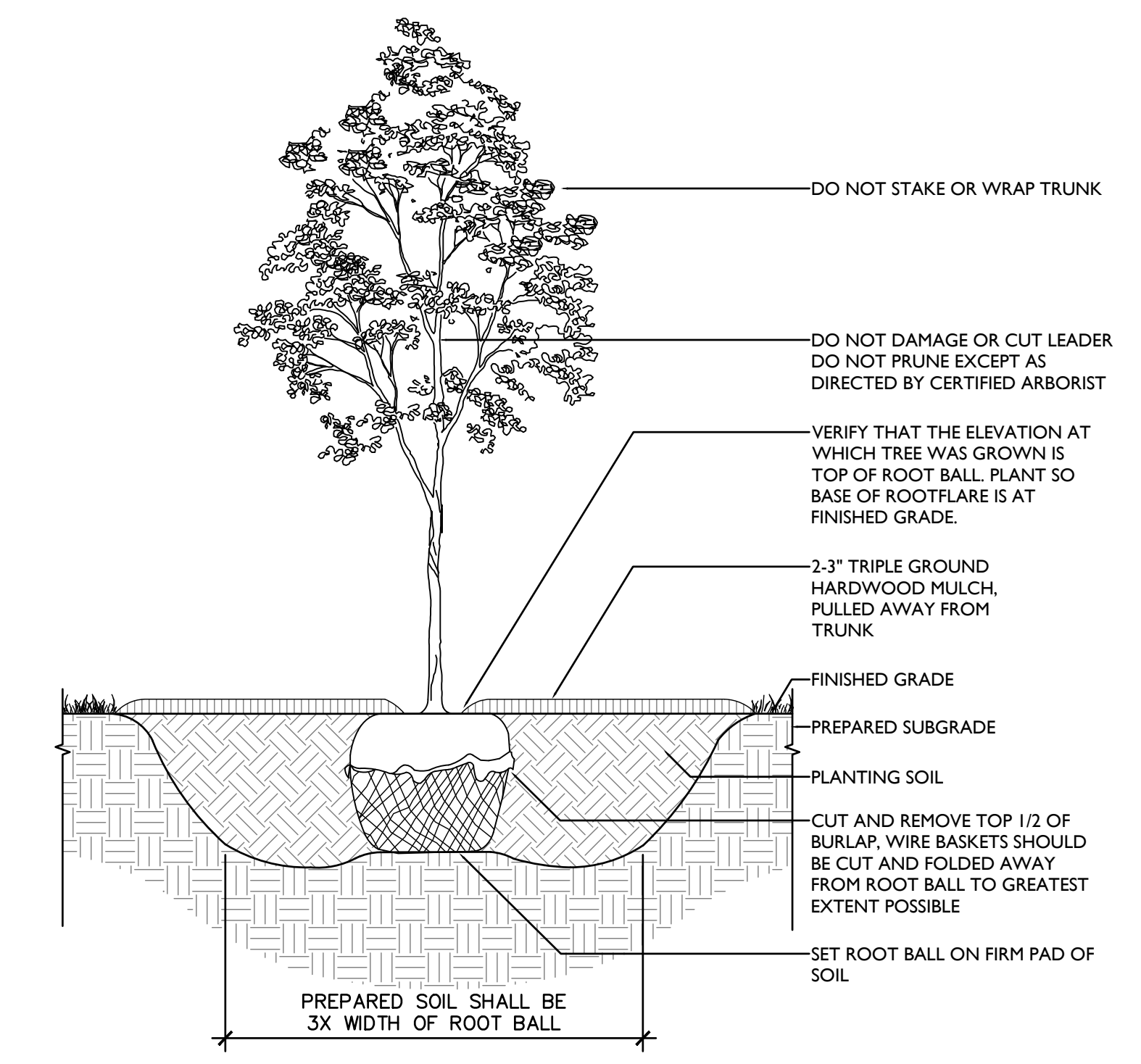
Quantity	Symbol	Scientific Name	Common Name	Size
Street Frontage				
28	☉	<i>Gleditsia tricanthos inermis</i> 'Skyline'	'Skyline' Thornless Honeylocust	3-3.5" cal. min., B&B
16	☉	<i>Quercus imbricaria</i>	Shingle Oak	3-3.5" cal. min., B&B
27	⊕	<i>Celtis occidentalis</i>	Hackberry	3-3.5" cal. min., B&B
24	☉	<i>Platanus x acerfolia</i> 'Exclamation'	'Exclamation' London Planetree	3-3.5" cal. min., B&B
13	☉	<i>Malus 'Prairiefire'</i>	'Prairiefire' Crabapple	8-10' ht., B&B
12	☉	<i>Cornus florida rubra</i> 'Cherokee Brave'	'Cherokee Brave' Dogwood	8-10' ht., B&B
12	☉	<i>Cercis canadensis</i>	Eastern Redbud	8-10' ht., B&B
Property Lines				
7	☉	<i>Carya tomentosa</i>	Mockernut Hickory	3-3.5" cal. min., B&B
7	☉	<i>Acer rubrum</i>	Red Maple	3-3.5" cal. min., B&B
7	☉	<i>Crataegus viridis</i> 'Winter King'	'Winter King' Hawthorn	8-10' ht., B&B
7	☉	<i>Aesculus pavia</i>	Red Buckeye	8-10' ht., B&B
Basins				
6	⊕	<i>Liquidambar styraciflua</i>	American Sweetgum	3-3.5" cal. min., B&B
6	☉	<i>Betula nigra</i>	River Birch	3-3.5" cal. min., B&B
6	☉	<i>Acer rubrum</i>	Red Maple	3-3.5" cal. min., B&B
7	⊕	<i>Picea abies</i>	Norway Spruce	7-8' ht. min., B&B
9	⊕	<i>Picea glauca</i>	White Spruce	7-8' ht. min., B&B
5	⊕	<i>Thuja plicata</i> 'Green Giant'	'Green Giant' Arborvitae	7-8' ht. min., B&B
65	⊕	<i>Ilex glabra</i>	Inkberry Holly	24-30" ht., 30-36" spacing
65	⊕	<i>Hamamelis virginiana</i> 'Little Suzie'	'Little Suzie' Dwarf Witch Hazel	24-30" ht., 30-36" spacing
65	⊕	<i>Cornus sericea</i>	Red Osier Dogwood	24-30" ht., 30-36" spacing
63	⊕	<i>Lindera benzoin</i>	Spicebush	24-30" ht., 30-36" spacing
65	⊕	<i>Sambucus canadensis</i>	Elderberry	24-30" ht., 30-36" spacing
65	⊕	<i>Clethra alnifolia</i> 'Hummingbird'	'Hummingbird' Summersweet	24-30" ht., 30-36" spacing
Additional Landscaping				
13	⊕	<i>Thuja plicata</i> 'Green Giant'	'Green Giant' Arborvitae	7-8' ht. min., B&B

- GENERAL PLANTING NOTES:
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PLANT ACCORDING TO ANSI A300 PART 6.
 - SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
 - LIFT AND SET THE TREE BY ROOTBALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
 - SET THE TOP OF THE ROOTBALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
 - AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/2 OF THE ROOTBALL.
 - PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH THE ANSI A300 SPECIFICATIONS. IF ADDITIONAL PRUNING IS NECESSARY, IT SHALL BE DONE BY A CERTIFIED ARBORIST.
 - REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.
 - DO NOT REMOVE TREE IDENTIFICATION TAGS UNTIL THE LANDSCAPE ARCHITECT HAS CONFIRMED CORRECT SPECIES MATCHES THE PROJECT PLANTING SCHEDULE.



- NOTES:
- TO AVOID SETTLING, DO NOT DIG THE HOLE DEEPER THAN THE ROOT BALL DEPTH.
 - SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS.

2 EVERGREEN TREE PLANTING DETAIL ON GRADE
SCALE: 1/2" = 1'-0"



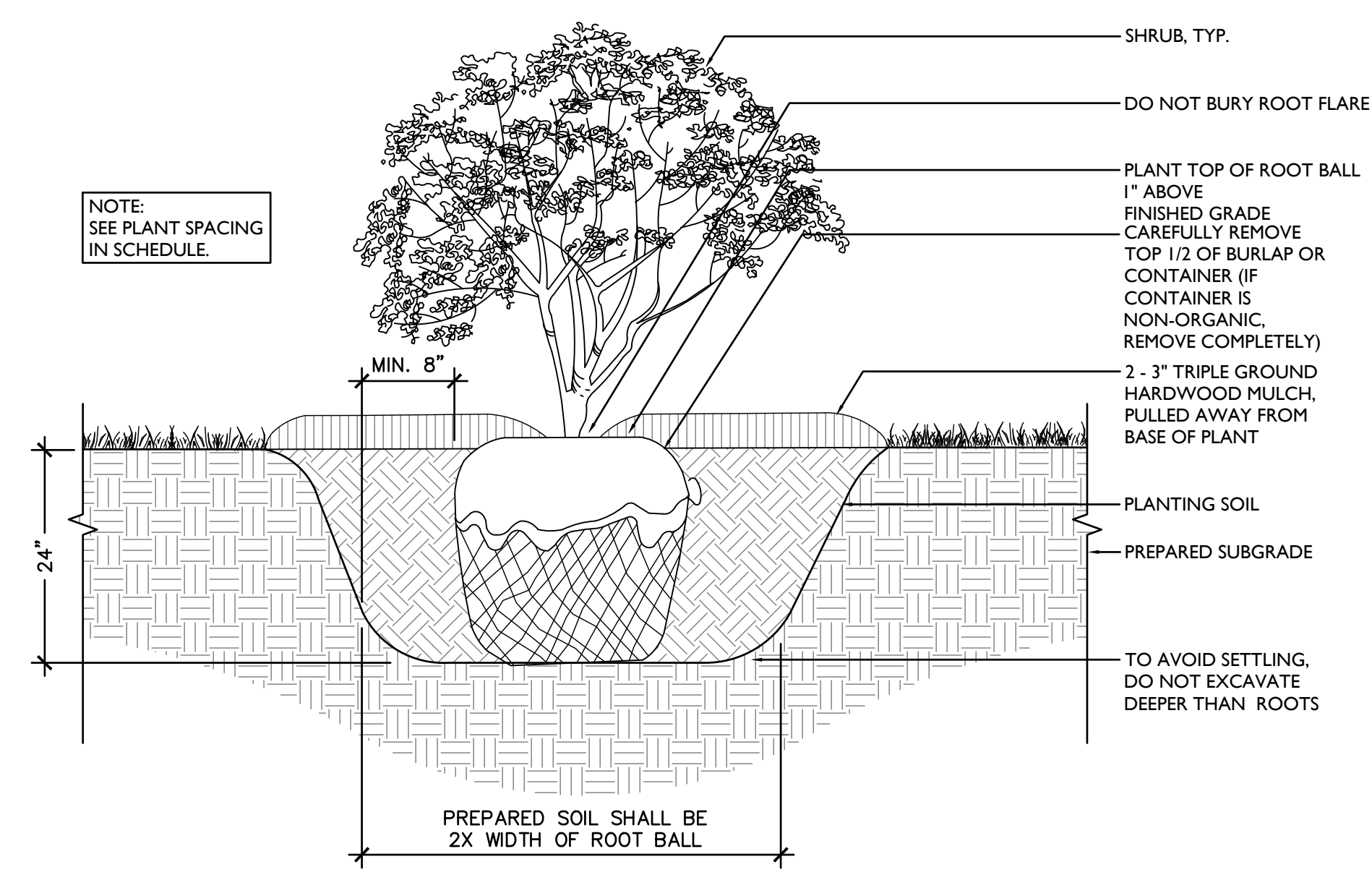
- NOTES:
- TO AVOID SETTLING, DO NOT DIG THE HOLE DEEPER THAN THE ROOT BALL DEPTH.
 - SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS.

1 DECIDUOUS TREE PLANTING DETAIL ON GRADE
SCALE: 1/2" = 1'-0"

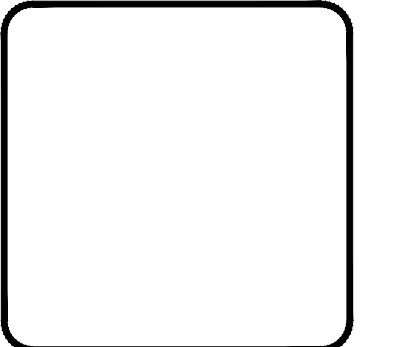
GENERAL NOTES:

- Contractor shall be responsible for contacting PA ONE CALL and locating all underground utilities before any digging or plant removal occurs.
- Contractor shall be responsible for removing existing trees and plant material within the area of proposed improvements.
- Contractor shall be responsible for disposing of all debris off-site; clean-up of all paved areas (roadways, sidewalks, etc.); and restoration of all disturbed lawn areas.
- Contractor shall be required to repair any damage to underground utilities damaged.
- Contractor shall install silt fence in any areas where soil may runoff into parking areas or into existing inlets.
- All plant material shall be of specimen quality.
- All plant material shall conform with the most current version of the "American Standard for Nursery Stock".
- Contractor shall provide Landscape Architect with nursery source of all plant material. Landscape Architect shall perform a site visit to inspect nursery source prior to delivery of any plant material.
- All trees and shrubs delivered to the site shall be inspected and approved by the Landscape Architect prior to planting. All trees and shrubs shall have waterproof tag bearing legible designation of botanical and common name.

- All plant substitutions must be approved by the Westtown Township Landscape Architect.
- Any plant material exhibiting signs of disease, insects, eggs, larvae and defects such as knots, sun-scald, injuries, abrasions or disfigurement shall be rejected.
- All plant material shall be laid out in field by Landscape Architect. (Note: No shrubs shall be planted until all tree planting is completed.)
- All proposed shrubs shall be planted in continuous mulched beds, consisting of 3" of Oak bark mulch.
- All trees shall be provided with a 3" deep saucer, consisting of shredded Oak bark mulch.
- All plant material shall be thoroughly watered during installation and throughout the guarantee period.
- All plant material shall be watered by Contractor at least three (3) times in absence of natural rainfall or until the end of the guarantee period.
- Following completion of all planting installation work, the Contractor shall be required to restore all disturbed lawn areas.
- Following the completion, the existing vegetation will be inspected for health and quality, and if not deemed in good condition, replaced with the equivalent compensatory plantings.
- All plant material shall be guaranteed for (2) two years.



3 SHRUB DETAIL ON GRADE
SCALE: 1" = 1'-0"



NO.	DESCRIPTION	DATE	REV.
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CONDITIONAL USE
LANDSCAPE DETAILS
CLIENT: KEYSTONE HOMES
PROJECT: STOKES PROPERTY
LOCATION: 1013 SHILOH ROAD
WESTTOWN TWP., CHESTER COUNTY, PA.

DATE:	04/16/2021
SCALE:	1"=50'
DRAWN BY:	KTD
CHECKED BY:	PJS
PROJECT NO.:	3868
DATE PLOTTED:	04/16/2021
DRAWING NO.:	C06.5
SHEET:	23 of 23