

RESIDENTIAL DEVELOPMENT

ART. VI - R1 RESIDENTIAL DISTRICT
SECT. 170-501.C. CONDITIONAL USES
(2) RESIDENTIAL DEVELOPMENT (FLEXIBLE DEVELOPMENT PROCEDURE - ARTICLE IX)

Table with 3 columns: AREA AND BULK REGULATIONS, REQUIRED, PROPOSED. Rows include Max. Net Residential Density, Min. Distance from Curbs, etc.

TRACT AREA CALCULATION table showing Tract Area (Gross), Ex. Legal R/W, Area Equal to 75% of Floodplain, etc.

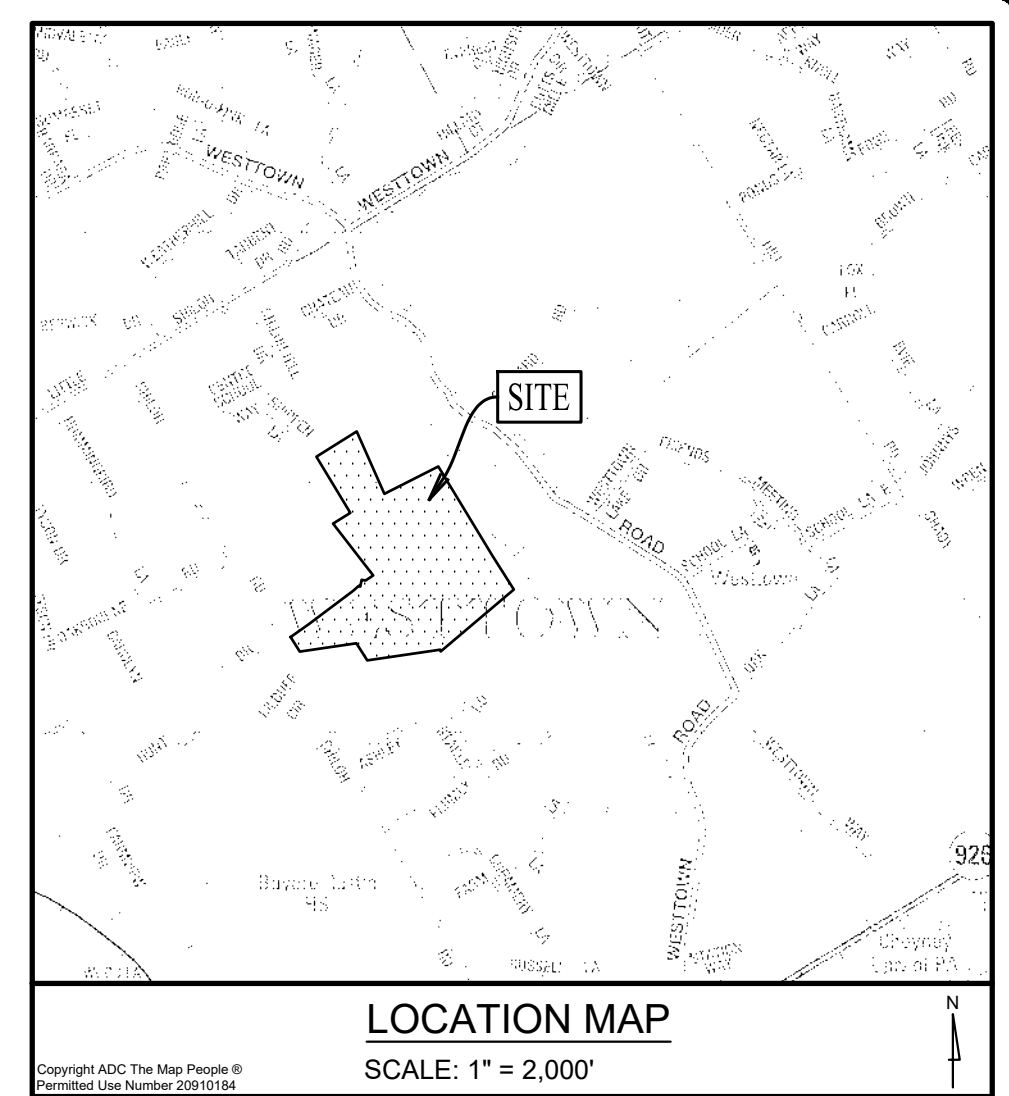
DENSITY CALCULATION table showing Base Density, Bonus Density, and Maximum Density.

RESIDENTIAL LOT AREA table showing Proposed Lots, Density, and Average Size.

DRAWING INDEX

Table with 3 columns: SHEET NUMBER, DRAWING NUMBER, SHEET TITLE. Lists sheets 01 through 31 including Overall Site Plan, Site Plans, Grading Feasibility Plans, etc.

EXHIBIT A-9



GENERAL NOTES

- 1. RECORD OWNER/MAILING ADDRESS: FOX CLEARING, LLC
2. SITE ADDRESS: 1013 SHILOH ROAD, WEST CHESTER, PA 19382
3. TAX PARCEL #: 67-2-23
4. SOURCE OF TITLE: RECORD BOOK 10533, PAGE 48

REFERENCE PLAN(S)

- 1. PLAN ENTITLED 'PLAN OF SUBDIVISION FOR MILTON R. STOKES', PREPARED BY HENRY S. CONEY, INC.
2. PLAN ENTITLED 'PLAN OF PROPERTY FOR HAWTHORNE', PREPARED BY INGRAM ENGINEERING SERVICES, INC.

LEGEND

- EX. PROPERTY LINE
PROP. PROPERTY LINE
EX. RIGHT-OF-WAY
PROP. RIGHT-OF-WAY

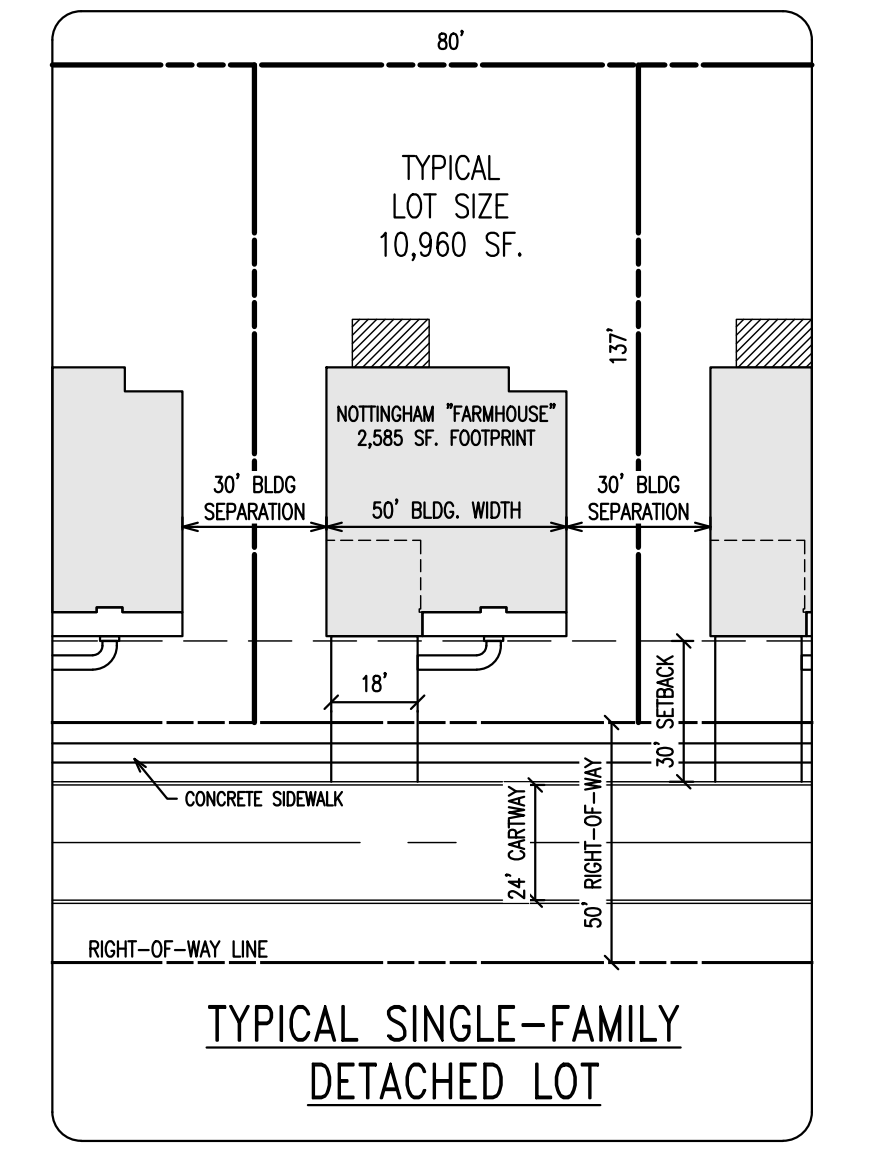
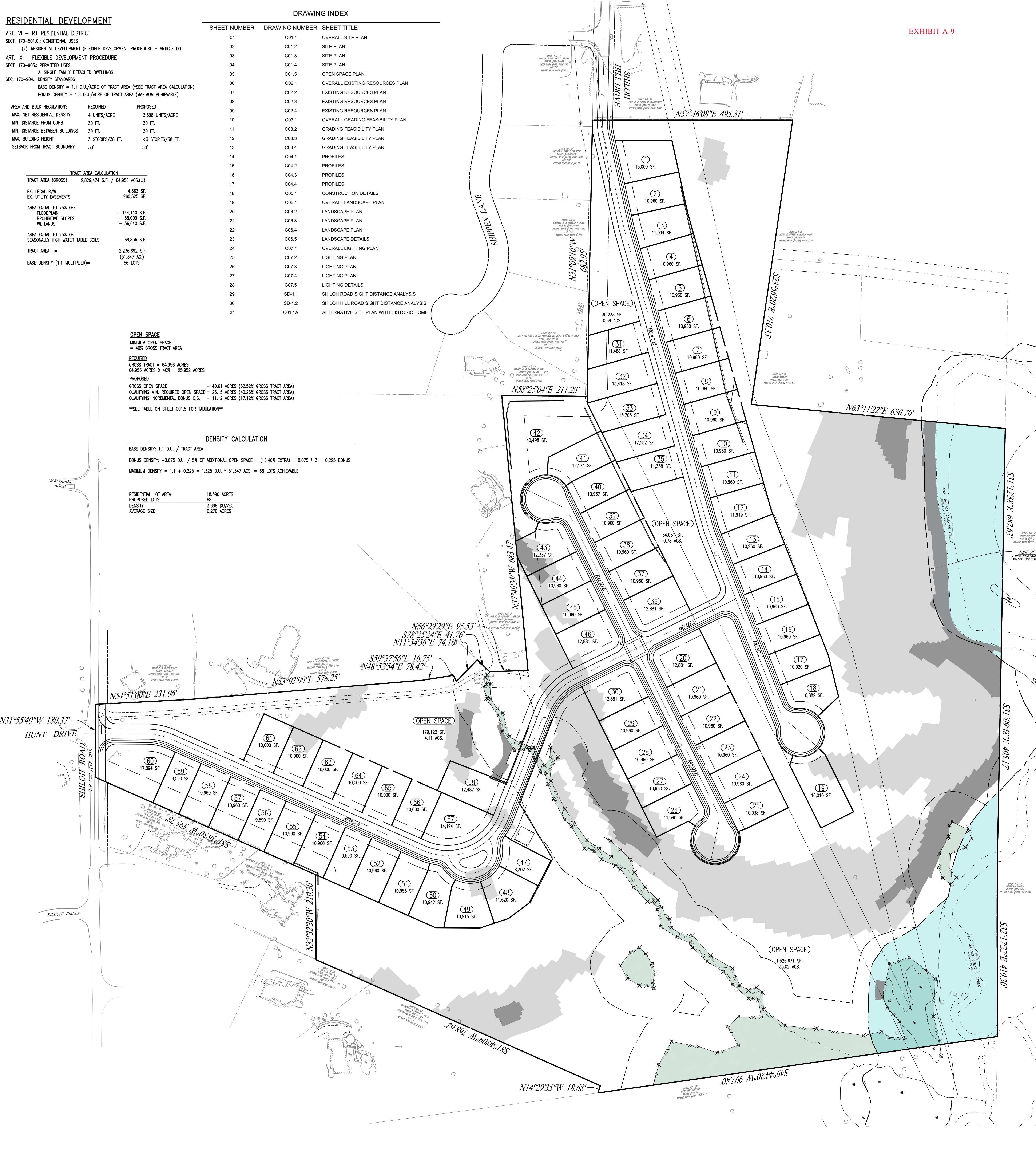


Table with 3 columns: REV, DATE, DESCRIPTION. Revision history table.

CONDITIONAL USE OVERALL SITE PLAN. CLIENT: FOX CLEARING, LLC. PROJECT: STOKES ESTATE. LOCATION: 1013 SHILOH ROAD, WESTTOWN TOWNSHIP, CHESTER COUNTY, PA.

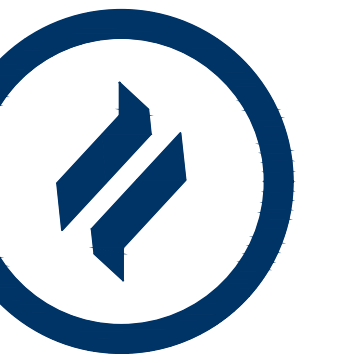
Table with 2 columns: DATE, SCALE, DRAWN BY, CHECKED BY, PROJECT NO., CAD FILE, PLOTTED, DRAWING NO., SHEET. Project metadata.

RECORD OWNER/APPLICANT: FOX CLEARING, LLC, 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601

OVERALL SITE PLAN

SCALE: 1" = 100'

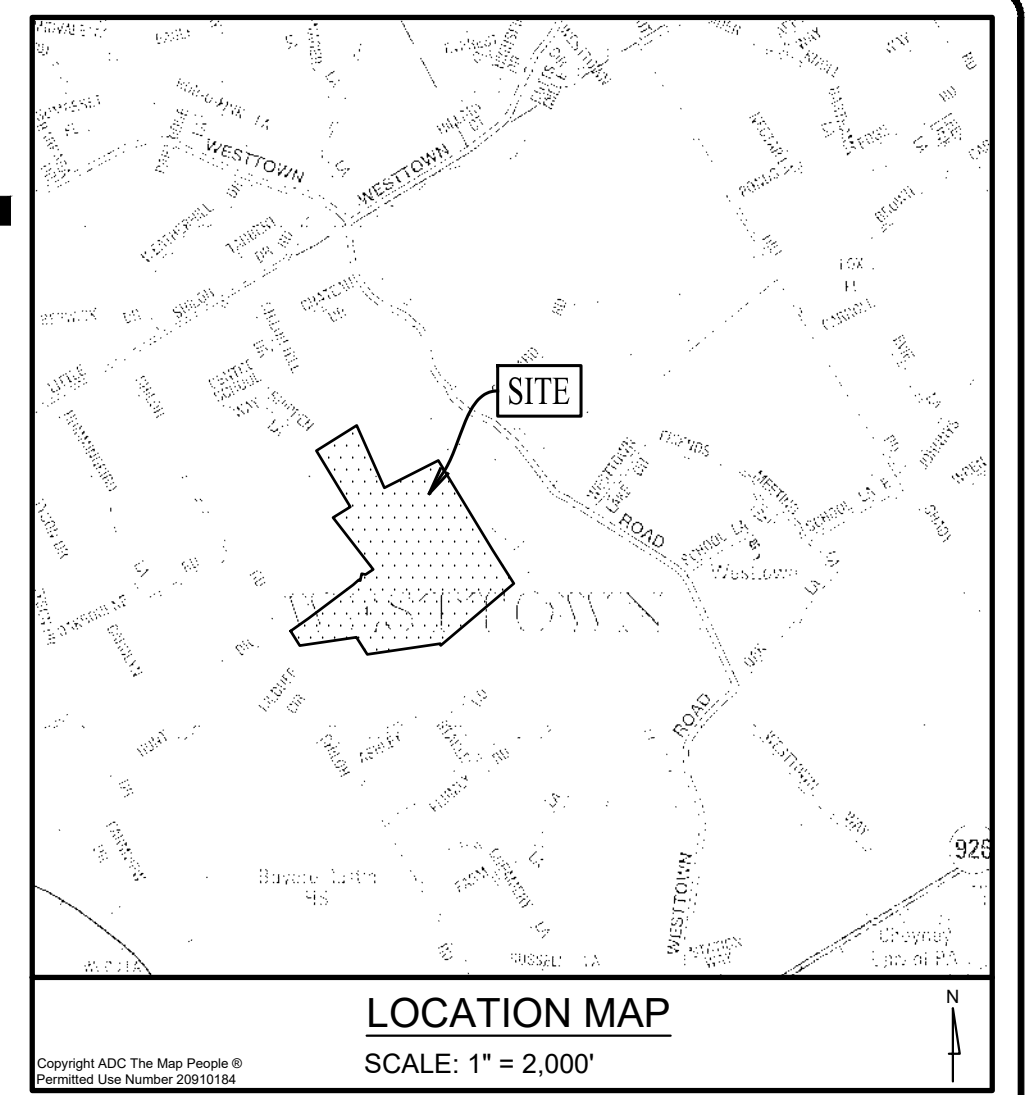
GRAPHIC SCALE 1 inch = 100 feet



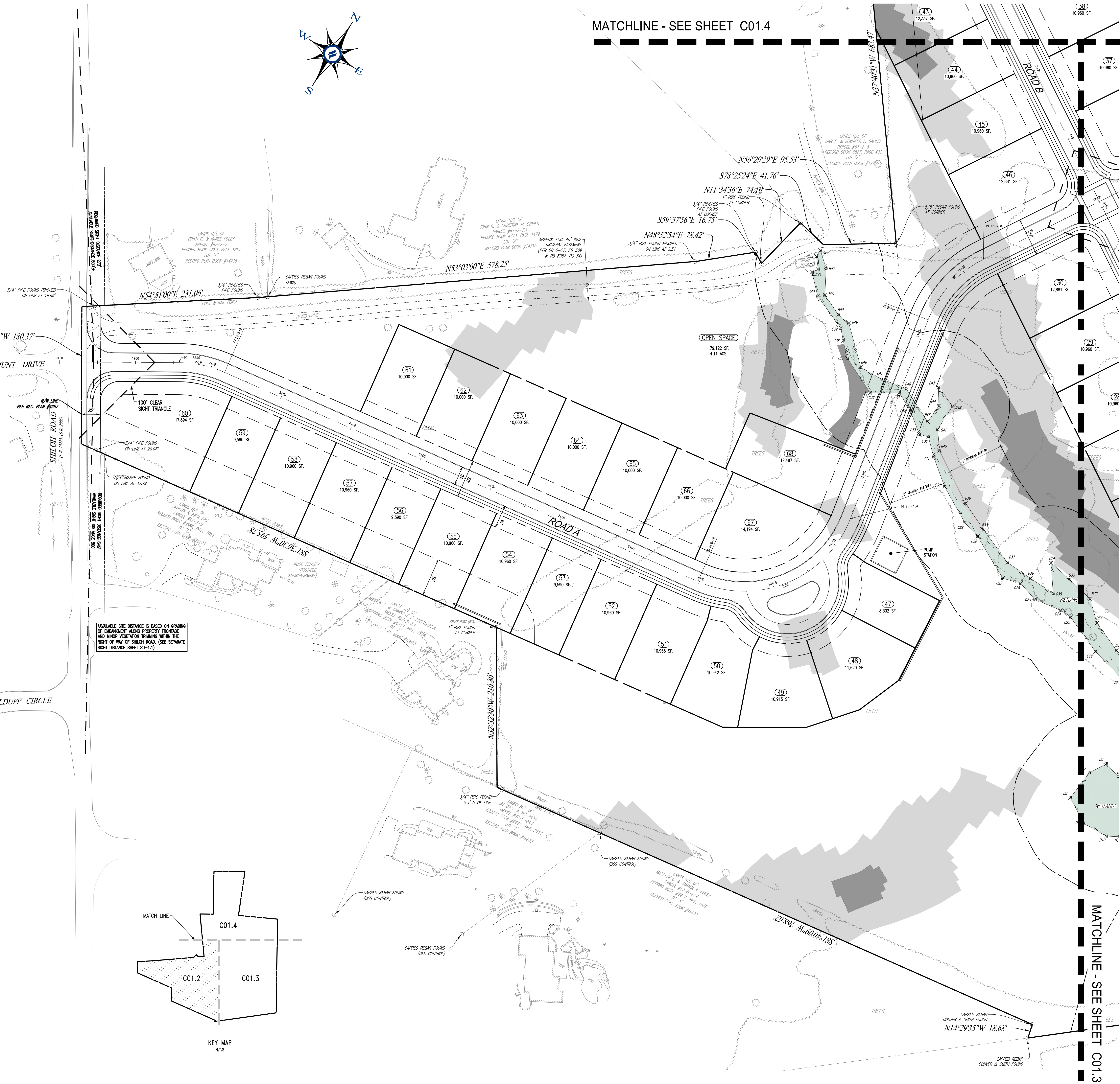
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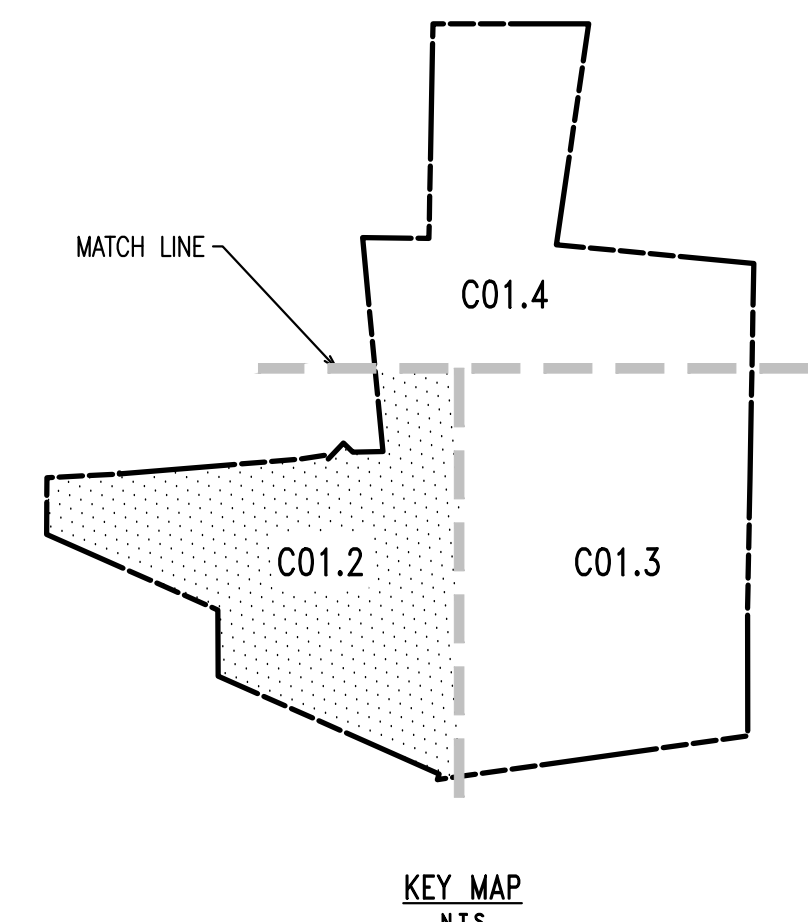


MATCHLINE - SEE SHEET C01.4



- LEGEND**
- EX. PROPERTY LINE
 - PROP. PROPERTY LINE
 - EX. RIGHT-OF-WAY
 - PROP. RIGHT-OF-WAY
 - EX. MONUMENT
 - PROP. MONUMENT
 - EX. IRON PIPE
 - PROP. IRON PIPE
 - EX. EASEMENT
 - PROP. EASEMENT
 - EX. WETLANDS
 - PROP. WETLANDS
 - 242 EXISTING CONTOUR
 - PROPOSED CONTOUR
 - X 123.00 EXISTING SPOT ELEV.
 - X 123.00 NEW SPOT ELEV.
 - GEB2 SOILS TYPE
 - SOILS LINE
 - EX. CONC. CURB
 - PROP. CONC. CURB
 - EX. EDGE OF PAVING
 - PROP. EDGE OF PAVING
 - EX. LIGHT POLE
 - PROP. LIGHT POLE
 - EX. FENCE
 - EX. MAIL BOX
 - EX. SIGN
 - PROP. SIGN
 - EX. PARKING SPACES
 - PROP. PARKING SPACES
 - EX. TELE. LINE
 - PROP. TELE. LINE
 - EX. ELEC. LINE
 - PROP. ELEC. LINE
 - EX. UTILITY POLE
 - PROP. UTILITY POLE
 - EX. GUY ANCHOR
 - EX. GAS LINE
 - PROP. GAS LINE
 - EX. GAS VALVE
 - PROP. GAS VALVE
 - EX. STORM SEWER LINE
 - PROP. STORM SEWER LINE
 - EX. STORM INLET
 - PROP. STORM INLET
 - EX. STORM INLET ID
 - PROP. STORM INLET ID
 - EX. SEEPAGE BED
 - PROP. SEEPAGE BED
 - EX. SANITARY SEWER LINE
 - PROP. SAN. SEWER LINE
 - EX. SAN. SEWER LATERAL
 - PROP. SAN. SEWER LATERAL
 - EX. SANITARY MH. ID
 - PROP. SANITARY MH. ID
 - EX. WATER LINE
 - PROP. WATER LINE
 - EX. WATER LATERAL
 - PROP. WATER LATERAL
 - EX. FIRE WATER LINE
 - PROP. FIRE WATER LINE
 - EX. WATER METER
 - PROP. WATER METER
 - EX. HYDRANT
 - PROP. HYDRANT
 - EX. MANHOLE
 - PROP. MANHOLE
 - ZONE AE FLOODPLAIN
 - 15% - 25% SLOPES
 - 25%+ SLOPES
 - WETLANDS

AVAILABLE SITE DISTANCE IS BASED ON GRADING OF EMBANKMENT ALONG PROPERTY FRONTAGE AND BANK VEGETATION TRIMMING WITHIN THE RIGHT OF WAY OF SHILOH ROAD. (SEE SEPARATE SIGHT DISTANCE SHEET SD-11)



SITE PLAN
SCALE: 1"=50'
GRAPHIC SCALE
1 inch = 50 feet

REV.	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
2		
3		
4		
5		
6		
7		
8		

**CONDITIONAL USE
SITE PLAN**

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

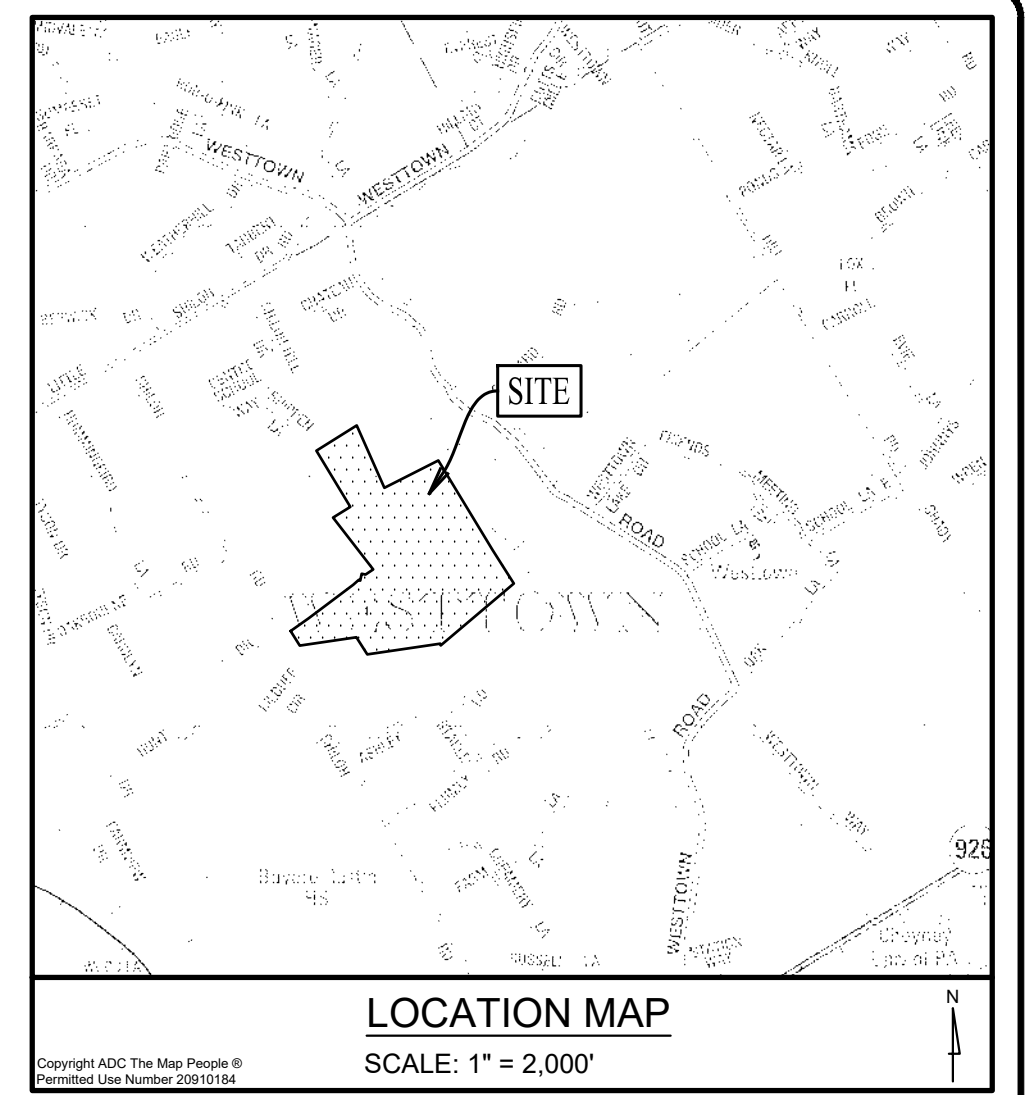
DATE: 4/30/21
SCALE: 1"=50'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: IN SITE PLAN.dwg
PLOTTER: 08/31/21
DRAWING NO.: C01.2
SHEET 02 of 31



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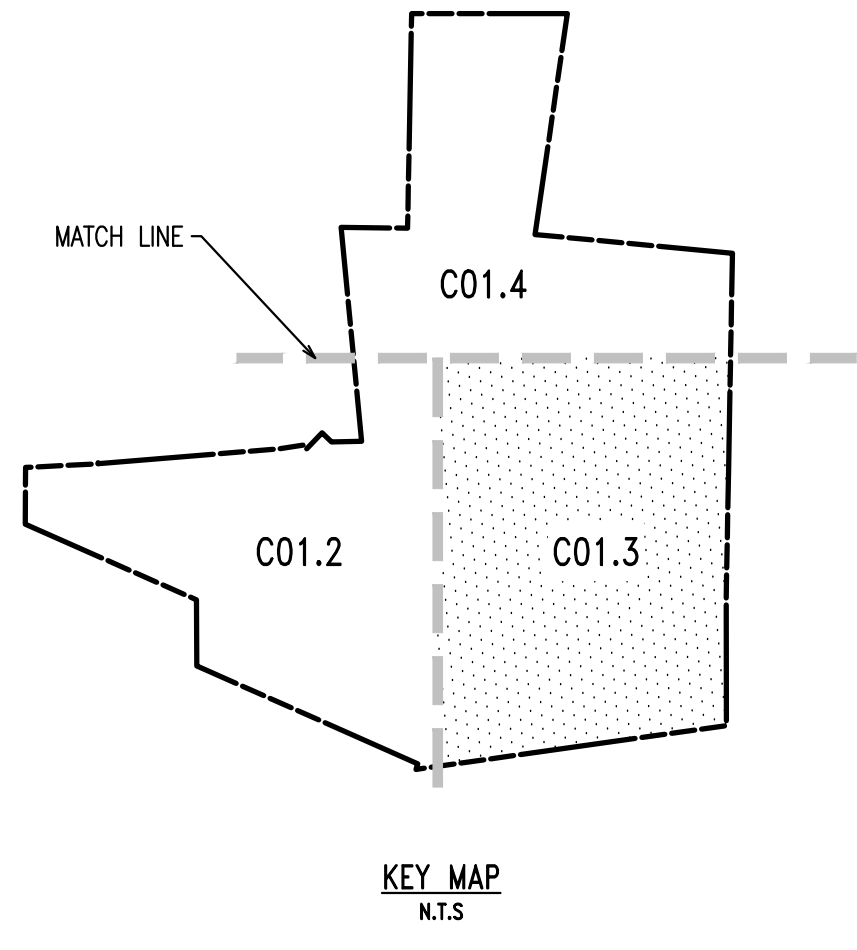
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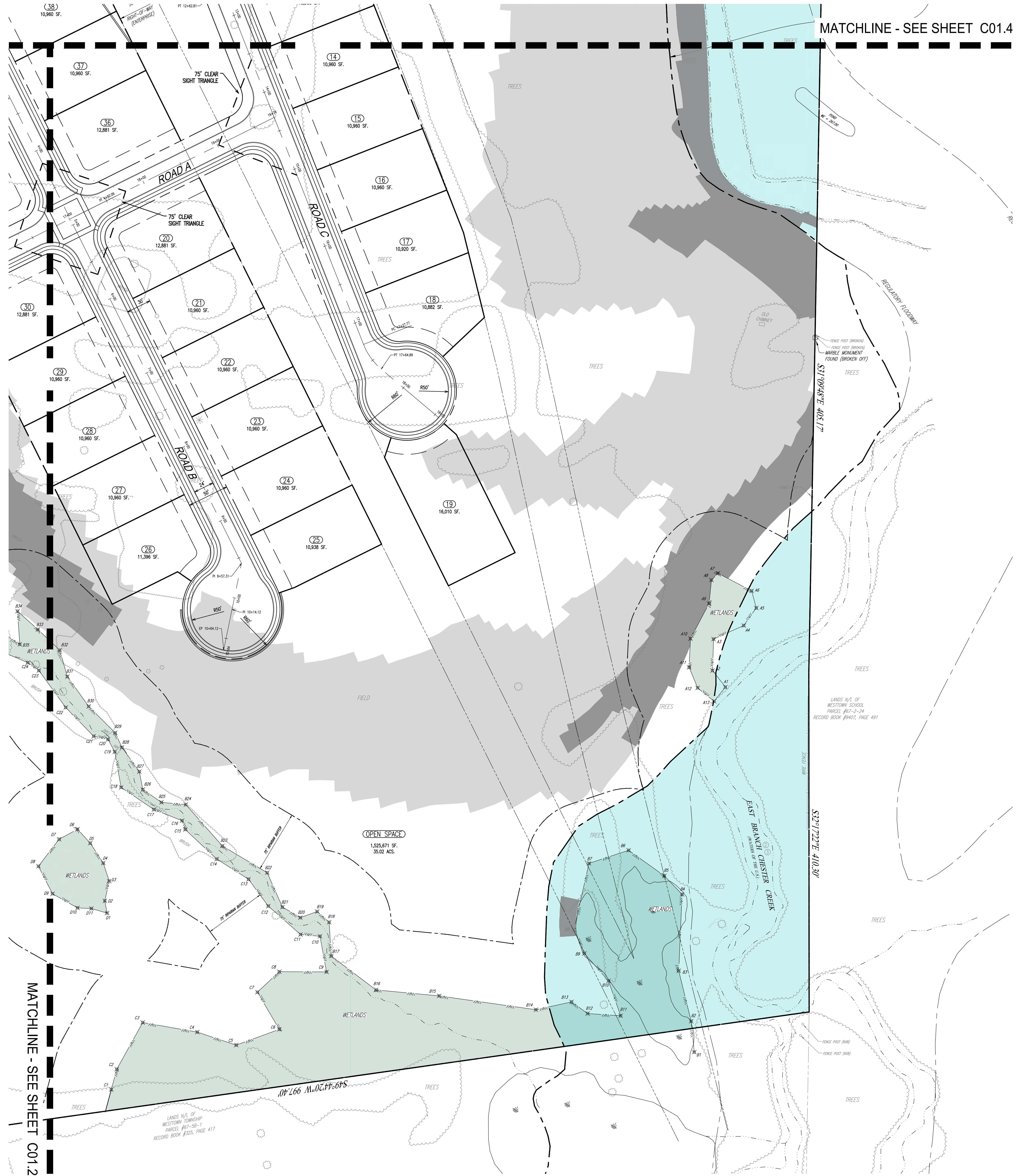
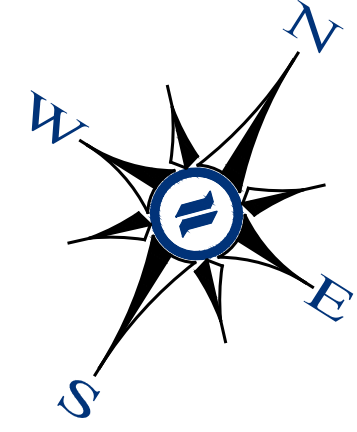


LOCATION MAP

SCALE: 1" = 2,000'



KEY MAP
N.T.S.



MATCHLINE - SEE SHEET C01.4

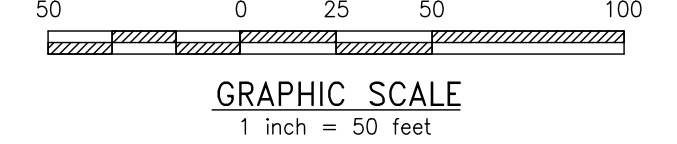
MATCHLINE - SEE SHEET C01.2

LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
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- PROP. EASEMENT
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- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES
- (FOR) EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM ALLEY
- PROP. STORM ALLEY
- PROP. STORM INLET
- PROP. STORM INLET ID
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
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SITE PLAN

SCALE: 1" = 50'



GRAPHIC SCALE
1 inch = 50 feet

CONDITIONAL USE
SITE PLAN

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1" = 50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
CAD FILE:	01 SITE PLAN.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C01.3
SHEET:	03 of 31

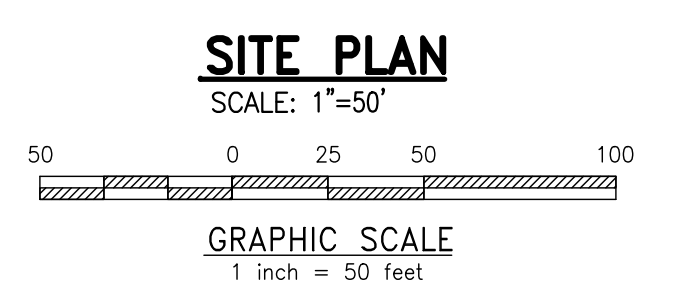
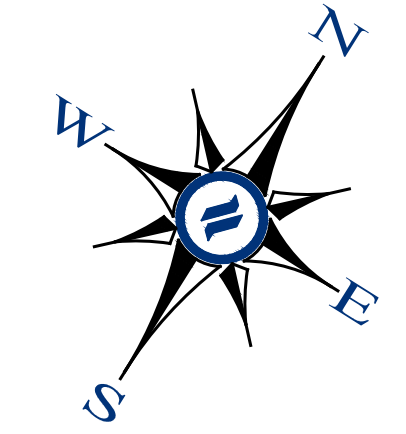
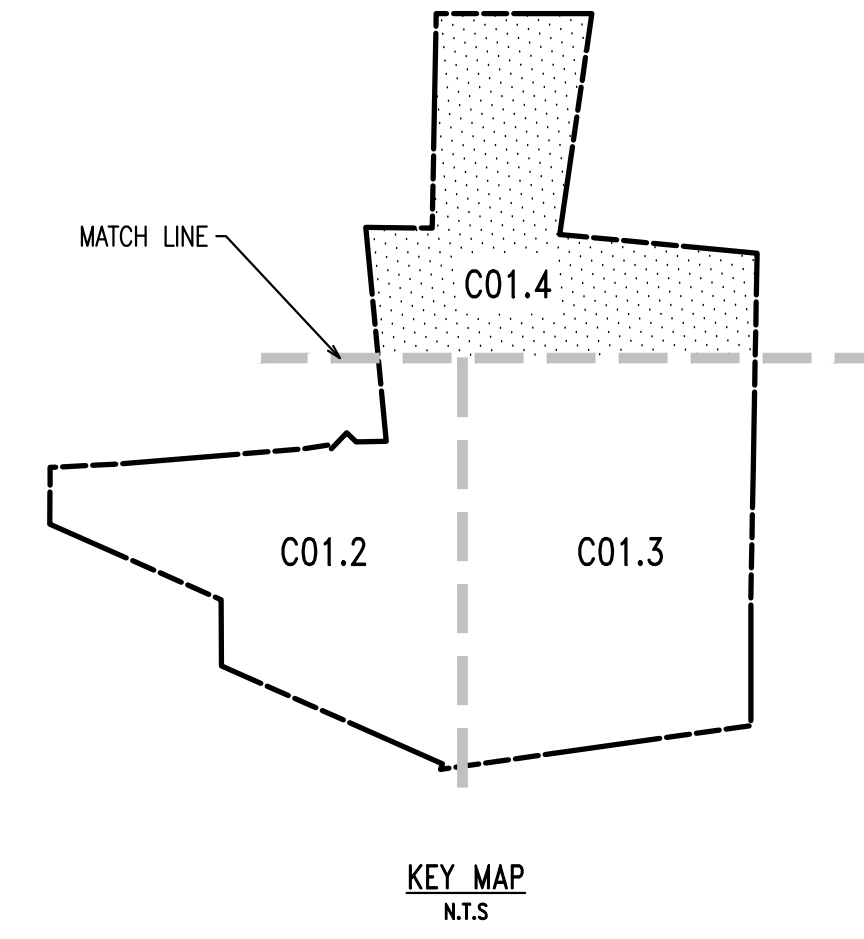
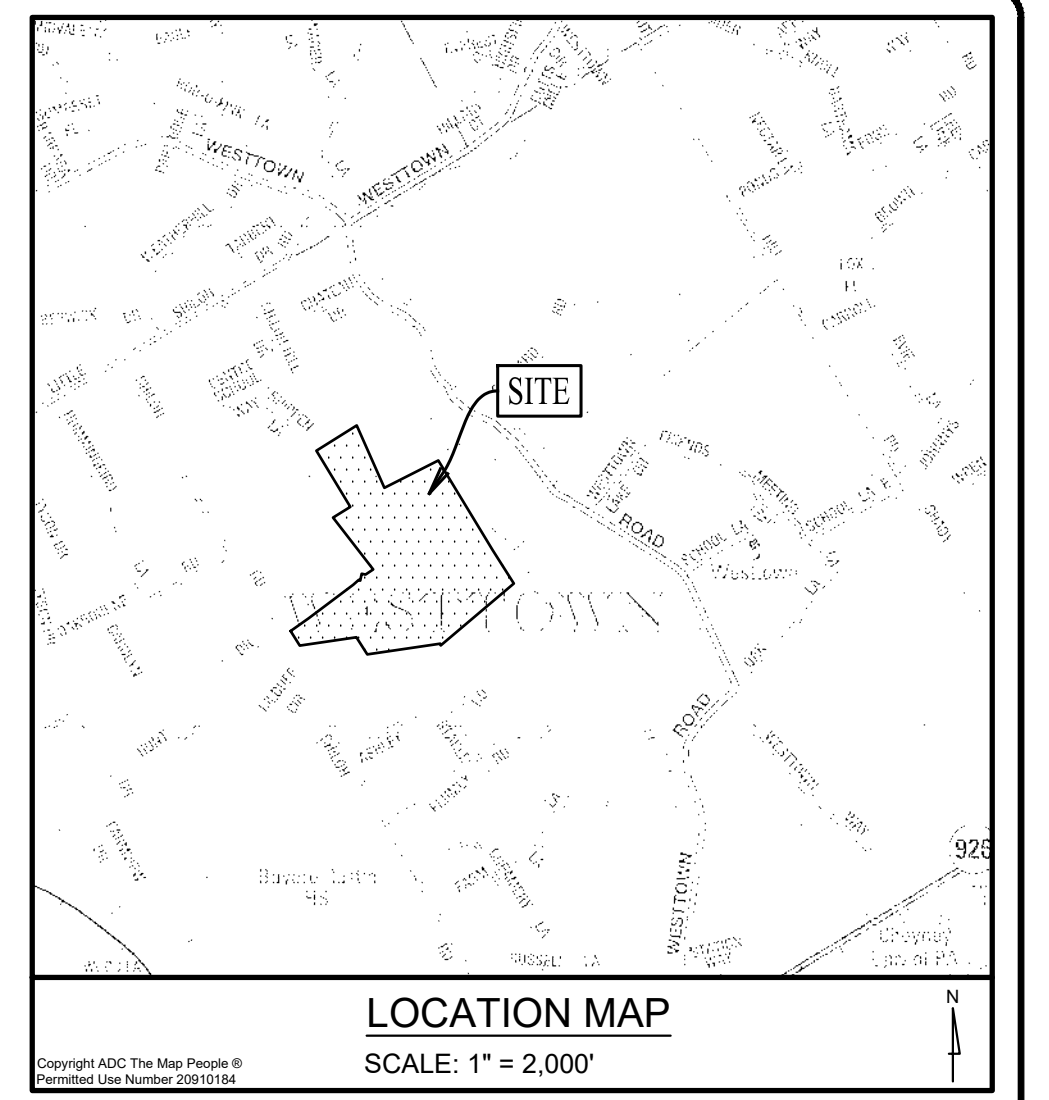
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MATCHLINE - SEE SHEET C01.2

MATCHLINE - SEE SHEET C01.3

CONDITIONAL USE
SITE PLAN

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
CAD FILE:	01 SITE PLAN.dwg
PLOTTED:	08/31/21
DRAWING NO.:	C01.4
SHEET:	04 of 31



MANAGEMENT AND MAINTENANCE OF OPEN SPACE AREAS

THE HOMEOWNERS ASSOCIATION WILL OWN ALL OPEN SPACE AREAS, INCLUDING THOSE LISTED BELOW. THE HOMEOWNERS ASSOCIATION, OR A PROFESSIONAL MANAGEMENT COMPANY SELECTED BY THE HOMEOWNERS ASSOCIATION, WILL BE RESPONSIBLE FOR THE MANAGEMENT AND MAINTENANCE OF THE OPEN SPACE AREAS IN ACCORDANCE WITH PROVISIONS SET FORTH IN THE DECLARATION OF COVENANTS, RESTRICTIONS, EASEMENTS, CHARGES AND LENS FOR THE STOKES RESIDENTIAL TRACT - A PLANNED COMMUNITY. FUNDING FOR THE MAINTENANCE OF THE OPEN SPACE WILL BE PROVIDED BY A CAPITAL CONTRIBUTION MADE BY EACH UNIT PURCHASER AT THE TIME OF SETTLEMENT WITH THE DEVELOPER, AS WELL AS BY AN ONGOING ANNUAL ASSESSMENT. THE OPEN SPACE FUNDING WILL PROVIDE FOR APPROPRIATE AND PROFESSIONAL MAINTENANCE OF ALL ASPECTS OF THE OPEN SPACE. THE TOWNSHIP WILL BE PROVIDED WITH THE RIGHT, IN THE HOMEOWNERS ASSOCIATION DECLARATION, TO UNDERTAKE THE MAINTENANCE OF THE OPEN SPACE IN THE EVENT THAT THE HOMEOWNERS ASSOCIATION FAILS TO PERFORM SUCH MAINTENANCE IN ACCORDANCE WITH THE FINAL OPEN SPACE MANAGEMENT PLAN. THE TOWNSHIP WILL HAVE THE ABILITY TO CHARGE THE HOMEOWNERS ASSOCIATION FOR ANY COSTS INCURRED IN MAINTAINING THE OPEN SPACE, AND RECORD LENS FOR ANY UNPAID COST INCURRED BY THE TOWNSHIP.

THE LEVEL OF MAINTENANCE REQUIRED WITHIN THE COMMON OPEN SPACE IS RELATED TO THE TYPE OF USE. PASSIVE RECREATION AND NATURAL RESOURCE AREAS SUCH AS WOODED AREAS, WETLANDS, AND STREAM CORRIDORS WILL BE MAINTAINED AS CLOSE TO THEIR EXISTING CONDITIONS AS POSSIBLE WITH LIMITED MANAGEMENT.

THE OPEN SPACE AREAS SHALL BE MAINTAINED AS FOLLOWS:

WOODED AREAS

THE WOODED AREAS WILL BE LEFT IN THEIR NATURAL STATE AND MAINTAINED TO A LIMITED DEGREE TO PRESERVE THEIR HEALTH AND STABILITY. THIS SHALL BE ACCOMPLISHED BY THE REMOVAL OF EMBAZING INVASIVE VINES ALONG THE WOODLAND EDGES AND IN FOREST GAPS. LIVE AND DEAD TREES SHALL NOT BE CUT DOWN OR REMOVED UNLESS THEY POSE A THREAT TO HUMAN SAFETY. DEAD TREES SHALL BE LEFT STANDING AND LYING ON THE FOREST FLOOR FOR WILDLIFE HABITAT. THE REMOVAL OF NATIVE NON-INVASIVE TREES, SHRUBS, SEEDLINGS AND GROUNDCOVER IS NOT PERMITTED IN THE WOODED COMMON OPEN SPACE AREAS. THE COMMUNITY ASSOCIATION SHALL MONITOR THE WOODED AREAS.

MEADOWS

ALL OF THE EXISTING AGRICULTURAL FIELDS WILL BE PLANTED WITH NATIVE GRASSES AND CONVERTED TO MEADOWS IF NOT ALREADY CONVERTED AT THE TIME OF CONSTRUCTION. STORMWATER MANAGEMENT AREAS SHALL BE SEEDED AND LANDSCAPED WITH INDIGENOUS SPECIES AND MAINTAINED AS NATURALIZED AREAS. NEWLY SEEDED MEADOW AREAS SHALL BE MOWED TO A HEIGHT OF SIX INCHES WHENEVER PLANTS REACH TWELVE INCHES IN HEIGHT FOR THE FIRST YEAR. THEREAFTER, AND FOR ESTABLISHED MEADOW AREAS MOW TO A HEIGHT OF 12 TO 18 INCHES ONCE ANNUALLY PRIOR TO APRIL 15.

RIPARIAN CORRIDOR

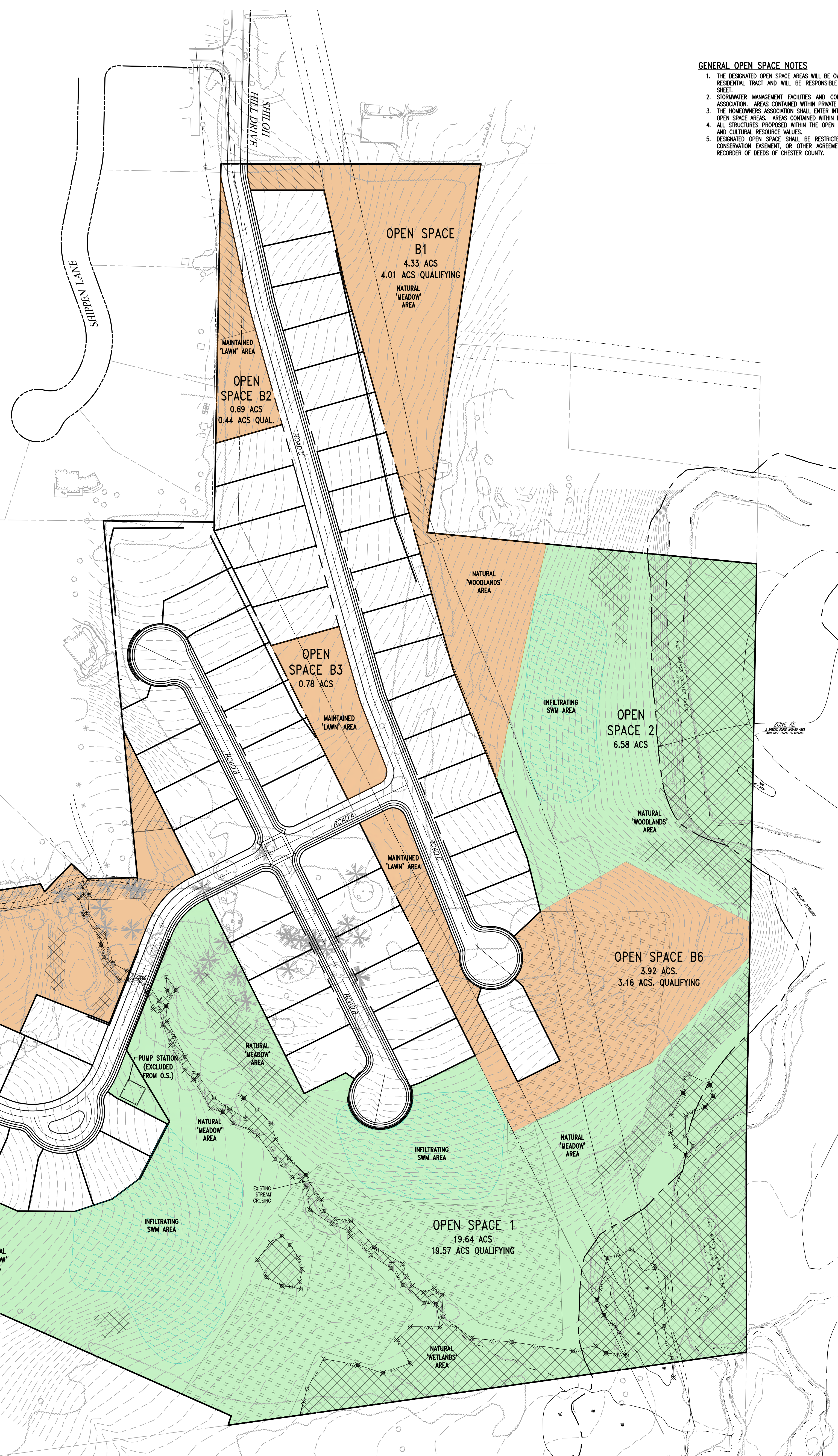
LIMITING DISTURBANCE ADJACENT TO WETLANDS AND STREAMS WILL PROVIDE THE BEST PROTECTION FOR THESE AREAS. THE VEGETATION WITHIN THE WETLAND AND RIPARIAN CORRIDOR AREAS SHALL NOT BE DISTURBED. THE VEGETATION WILL PROVIDE AN EFFECTIVE BUFFER AND NATURALLY CONTROL EROSION AND SEDIMENTATION, ABSORB CHEMICALS AND EXCESS NUTRIENTS, AND PROMOTE INFILTRATION OF STORMWATER RUNOFF. ENCOURAGE WOODLAND GROWTH WITHIN THE CENTRAL RIPARIAN CORRIDOR, PARTICULARLY ADJACENT TO STREAM BANKS, TO PROMOTE SHADE OF THE WATER SURFACE. MONITOR AND CONTROL INVASIVE WEEDS TO PREVENT COMPETITION WITH NATIVE SPECIES. INSPECT ANNUALLY FOR COLONIZATION OF INVASIVE PLANTS. REMOVE INVASIVE PLANTS WITHOUT DISTURBING DESIRABLE SPECIES. LIMIT THE USE OF BROADLY APPLIED HERBICIDE SPRAYS IN FAVOR OF HAND REMOVAL AND LOCALIZED APPLICATION OF HERBICIDE SPRAYS (WHEN AIR IS STILL). INSPECT RIPARIAN CORRIDOR AT A MINIMUM ONCE A YEAR AND AFTER SEVERE STORMS FOR EVIDENCE OF EROSION, SEDIMENT, DEPOSIT, OR CONCENTRATED FLOW CHANNELS. REPAIRS SHOULD BE MADE AS SOON AS POSSIBLE TO HALT EROSION AND STABILIZE ANY ERODED AREAS. STORMWATER SUBJECT TO EROSION USING A NATIVE MEADOW SEED MIX IN MEADOW AREAS OR IN WOODED AREAS USING NATIVE SHRUBS AND/OR TREES CAPABLE OF QUICKLY GENERATING A DENSE FIBROUS ROOT SYSTEM, SUCH AS SHRUBBY DOGWOODS (SILKY DOGWOOD, GRAY DOGWOOD, AND RED OSEER DOG WOOD), VIRGINIA SWEETSPICE, ALBERS, WILLOWS, STAGHORNES, AND RIVER BIRCH. PERIODICALLY MONITOR STREAMBED FLOORS, PARTICULARLY AFTER SEVERE STORM EVENTS. NATURAL DEBRIS SHALL NOT BE REMOVED FROM THE STREAM BED, UNLESS IT IS SIGNIFICANTLY IMPEDING THE FLOW OF WATER IN THE STREAM AND CAUSING EXCESSIVE FLOODING. SHOULD DEBRIS REMOVAL BE NECESSARY, DEBRIS SHOULD BE LEFT AT A POINT JUST ABOVE THE STREAM BANK TO ENHANCE WILDLIFE HABITAT AND ENSURE NUTRIENT RECYCLING. REMOVAL OF DEBRIS SHOULD BE LIMITED TO THAT REQUIRED TO RETURN STREAM FLOW TO ITS NATURAL STATE. IF POSSIBLE, LIMIT ACTIVITIES WITHIN NATURALIZED AREAS, INCLUDING THE RIPARIAN CORRIDOR, BETWEEN APRIL 15 AND AUGUST 15. DISTURBANCE WITHIN THE PERIOD CAN BE DETRIMENTAL TO A VARIETY OF WILDLIFE.

COMMON OPEN SPACE

THE COMMON OPEN SPACE AREAS SHALL SERVE AS AREAS FOR PASSIVE AND INFORMAL ACTIVE RECREATION. THESE AREAS ARE LOCATED THROUGHOUT THE COMMUNITY AND WILL GENERALLY BE KEPT AS MEADOW AND/OR LAWN AREAS. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE AREAS TO ENSURE THAT THESE AREAS PROVIDE A USABLE TRANSITION BETWEEN THE PROPOSED COMMUNITY AND THE NATURAL RESOURCE PROTECTION AREAS.

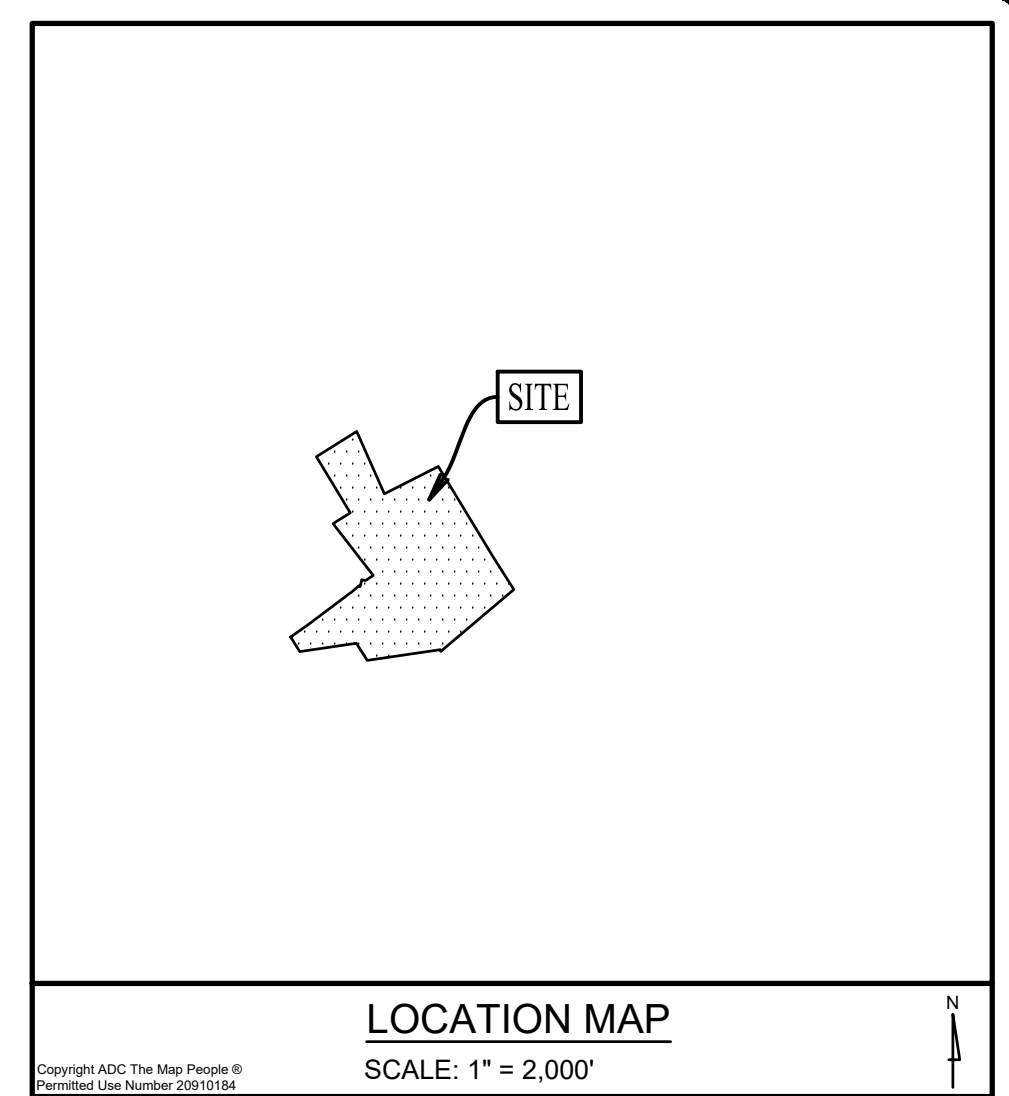
STORMWATER MANAGEMENT BASIN AREAS

THE INFILTRATION BASIN AREAS SHALL BE MAINTAINED AS DIRECTED BY THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN.



GENERAL OPEN SPACE NOTES

1. THE DESIGNATED OPEN SPACE AREAS WILL BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION (HOA) WITHIN THE RESIDENTIAL TRACT AND WILL BE RESPONSIBLE FOR THE OPEN SPACE MANAGEMENT AND MAINTENANCE LISTED ON THIS SHEET.
2. STORMWATER MANAGEMENT FACILITIES AND COMMON OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. AREAS CONTAINED WITHIN PRIVATE LOTS WILL BE MAINTAINED BY THE LOT OWNER.
3. THE HOMEOWNERS ASSOCIATION SHALL ENTER INTO AN ANNUAL CONTRACT FOR LAWN MAINTENANCE AND LANDSCAPING OF ALL OPEN SPACE AREAS. AREAS CONTAINED WITHIN PRIVATE LOTS WILL BE MAINTAINED BY THE LOT OWNER.
4. ALL STRUCTURES PROPOSED WITHIN THE OPEN SPACE AREAS SHALL BE SITED TO HAVE MINIMAL IMPACT ON THE NATURAL AND CULTURAL RESOURCE VALUES.
5. DESIGNATED OPEN SPACE SHALL BE RESTRICTED FROM FURTHER SUBDIVISION OR DEVELOPMENT BY DEED RESTRICTION, CONSERVATION EASEMENT, OR OTHER AGREEMENT IN A FORM ACCEPTABLE TO THE TOWNSHIP AND RECORDED IN THE RECORDER OF DEEDS OF CHESTER COUNTY.



OPEN SPACE

MINIMUM OPEN SPACE = 40% GROSS TRACT AREA

REQUIRED
GROSS TRACT = 84,956 ACRES
64,956 ACRES X .40% = 25,982 ACRES

PROPOSED
GROSS OPEN SPACE = 40.61 ACRES (62.52% GROSS TRACT AREA)
QUALIFYING MIN. REQUIRED OPEN SPACE = 28.15 ACRES (40.28% GROSS TRACT AREA)
QUALIFYING INCREMENTAL BONUS O.S. = 11.12 ACRES (17.12% GROSS TRACT AREA)

****SEE TABLE BELOW FOR TABULATION****

- REQUIRED MINIMUM COMMON OPEN SPACE (40% OF THE GROSS TRACT AREA)
- INCREMENTAL BONUS OPEN SPACE AREA
- NON-QUALIFYING OPEN SPACE (AREAS LESS THAN 75' IN WIDTH & AREAS NOT LESS THAN 0.5 ACRES OF CONTIGUOUS AREA, PUMP STATION DRIVE AND STRUCTURE)
- OPEN SPACE AREAS WITHIN FLOODPLAIN, WETLANDS, AND STEEP SLOPES GREATER THAN 25%
- AREAS USED FOR SUBSURFACE INFILTRATION WITH OPEN STORAGE ACCESSORY TO INFILTRATION FACILITIES

	Min. Required Common Open Space Area (40%)		TOTAL
Gross Area (Acres)	19.64	6.58	26.22
- Areas less than 75' in width	0	0	0
- Areas less than 1/2 acre	0	0	0
- Non-infiltrating SWM Facilities	0	0	0
- Pump Station and other miscellaneous impervious	0.07	0	0.07
Qualifying Base Open Space	19.57	6.58	26.15
			40.26%

	Bonus Open Space Area		TOTAL
Floodplain	2.78	2.28	5.06
Area of 25%+ Slopes	1.25	0.57	1.82
Wetland/Waterbodies	1.74	0	1.74
Area of Floodplain, wetland, slopes > 25% in Min. Required Common Open Space (Max. 50% allowed)	5.77	2.85	8.62
			32.96%

	B1	B2	B3	B4*	B5	B6	TOTAL
Gross Area (Acres)	4.33	0.69	0.78	4.31	0.56	3.92	14.39
- Areas less than 75' in width	0.32	0.25	0	1.30	0	0.69	2.36
- Areas less than 1/2 acre	0	0	0	0	0	0	0
- Floodplain	0	0	0	0	0	0	0
- Area of 25%+ Slopes (including proposed)	0	0	0	0.46	0.12	0.27	0.85
- Wetland/Waterbodies	0	0	0	0.06	0	0	0.06
- Impervious Surfaces	0	0	0	0	0	0	0
- Stormwater Facilities	0	0	0	0	0	0	0
Qualifying Bonus Open Space	4.01	0.44	0.78	2.29	0.44	3.16	11.12
							17.12%

*B4 excludes 40' wide access easement

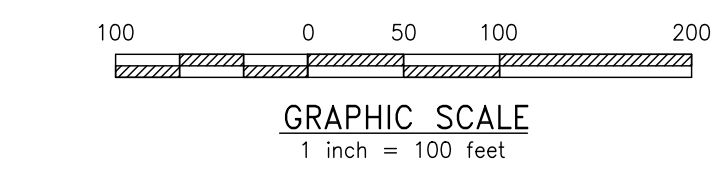
AREA AVAILABLE FOR ACTIVE RECREATION
NET TRACT AREA = 2,236,692 S.F.
AREA REQUIRED (10% NET TRACT AREA) X 10%
223,669 SF -OR- 5.13 ACRES

AREA SUITABLE FOR ACTIVE RECREATION - 5.86 ACRES

- LEGEND**
- EX. PROPERTY LINE
 - PROP. PROPERTY LINE
 - EX. RIGHT-OF-WAY
 - PROP. RIGHT-OF-WAY
 - EX. MONUMENT
 - PROP. MONUMENT
 - EX. IRON PIPE
 - PROP. IRON PIPE
 - EX. EASEMENT
 - PROP. EASEMENT
 - EX. EXISTING CONTOUR
 - PROP. PROPOSED CONTOUR
 - EX. EXISTING SPOT ELEV.
 - PROP. NEW SPOT ELEV.
 - EX. EXISTING SOILS TYPE
 - PROP. SOILS TYPE
 - EX. CONC. CURB
 - PROP. CONC. CURB
 - EX. EDGE OF PAVING
 - PROP. EDGE OF PAVING
 - EX. LIGHT POLE
 - PROP. LIGHT POLE
 - EX. FENCE
 - PROP. FENCE
 - EX. MAIL BOX
 - PROP. MAIL BOX
 - EX. SIGN
 - PROP. SIGN
 - EX. EXIST. PARKING SPACES
 - PROP. EXIST. PARKING SPACES
 - EX. TELE. LINE
 - PROP. TELE. LINE
 - EX. ELEC. LINE
 - PROP. ELEC. LINE
 - EX. PROP. UTILITY POLE
 - PROP. PROP. UTILITY POLE
 - EX. GUY ANCHOR
 - PROP. GUY ANCHOR
 - EX. PROP. GAS LINE
 - PROP. PROP. GAS LINE
 - EX. GAS VALVE
 - PROP. GAS VALVE
 - EX. STORM SEWER LINE
 - PROP. STORM SEWER LINE
 - EX. STORM INLET
 - PROP. STORM INLET
 - EX. STORM INLET ID
 - PROP. STORM INLET ID
 - EX. SEEPAGE BED
 - PROP. SEEPAGE BED
 - EX. SANITARY SEWER LINE
 - PROP. SAN. SEWER LINE
 - EX. SAN. SEWER LATERAL
 - PROP. SAN. SEWER LATERAL
 - EX. SANITARY MH. ID
 - PROP. SANITARY MH. ID
 - EX. WATER LINE
 - PROP. WATER LINE
 - EX. WATER LATERAL
 - PROP. WATER LATERAL
 - EX. FIRE WATER LINE
 - PROP. FIRE WATER LINE
 - EX. PROP. WATER VALVE
 - PROP. PROP. WATER VALVE
 - EX. HYDRANT
 - PROP. HYDRANT
 - EX. PROP. MANHOLE
 - PROP. PROP. MANHOLE

OPEN SPACE PLAN

SCALE: 1" = 100'



NO.	DATE	REVISION	DESCRIPTION
1	08/31/21		REVISED PER TOWNSHIP CONSULTANTS COMMENTS
2			
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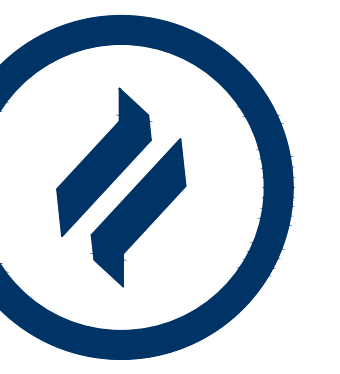
**CONDITIONAL USE
OPEN SPACE PLAN**

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: 01 SITE PLAN.dwg
PLOTTER: 08/31/21
DRAWING NO.: C01.5
SHEET 05 of 31



BEDROCK GEOLOGY				
MAP SYMBOL	NAME	AGE	LITH1	LITH2
fgb	Felsic and intermediate gneiss	Precambrian	Felsic gneiss	Intermediate gneiss



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LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. BOUNDARY
- 242 EXISTING CONTOUR
- 125.00 PROPOSED CONTOUR
- × EXISTING SPOT ELEV.
- × 125.00 NEW SPOT ELEV.
- × GEB2 SOILS TYPE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. CONC. DRIVE
- PROP. CONC. DRIVE
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- PROP. FENCE
- EX. MAIL BOX
- PROP. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- PROP. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM ALLEY
- PROP. STORM ALLEY
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS



OVERALL EXISTING RESOURCES PLAN

SCALE: 1"=100'

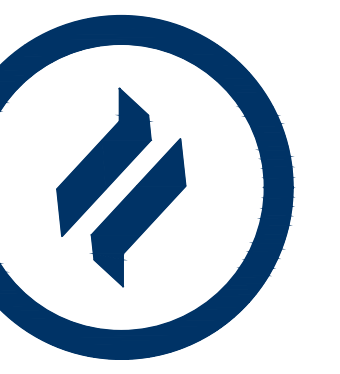
GRAPHIC SCALE
1 inch = 100 feet

REV.	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
2		
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CONDITIONAL USE
OVERALL EXISTING RESOURCES PLAN

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO: 3868
DATE OF EXISTING RESOURCES PLAN: 08/31/21
DRAWING NO: C02.1
SHEET 06 OF 31

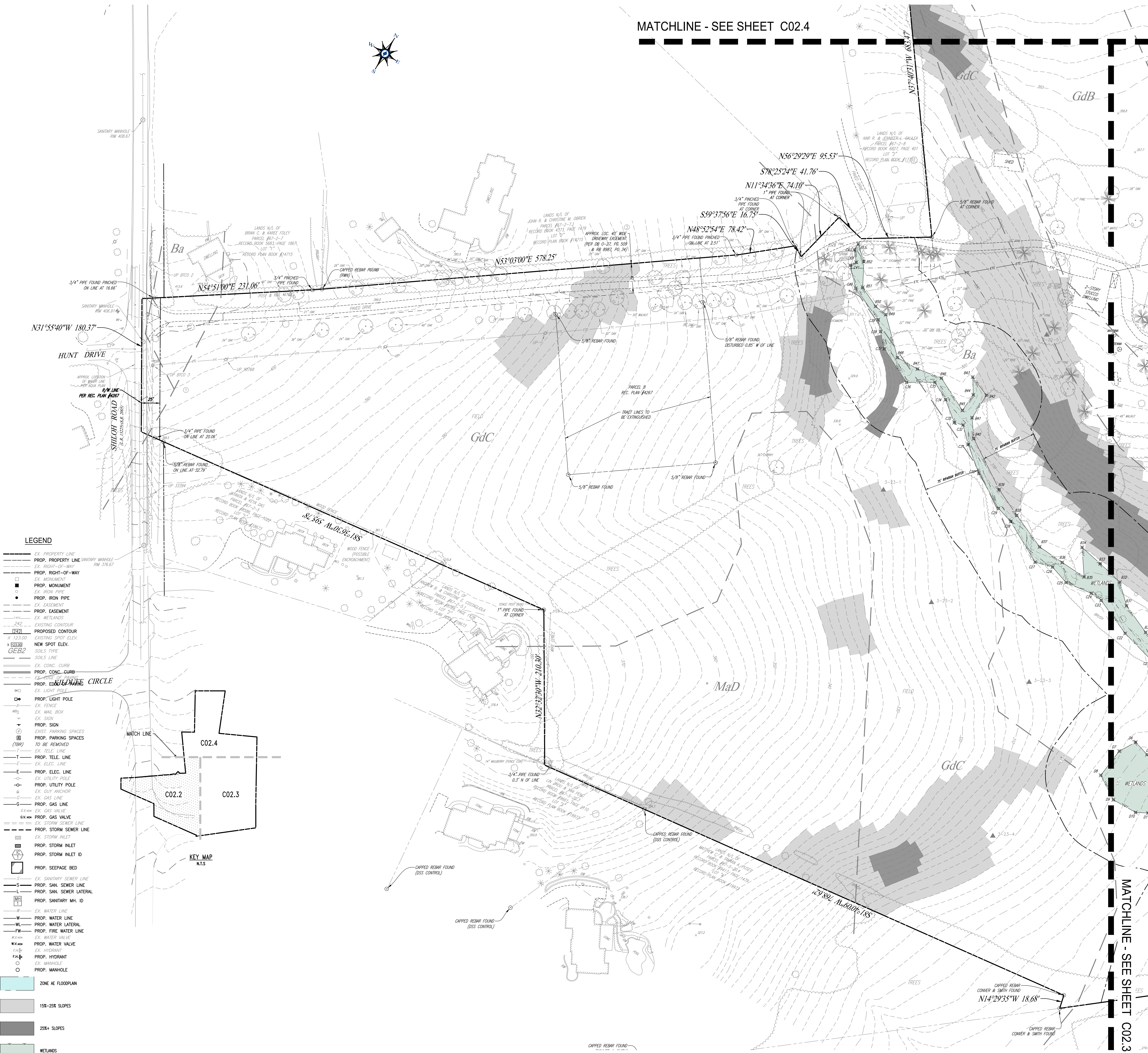


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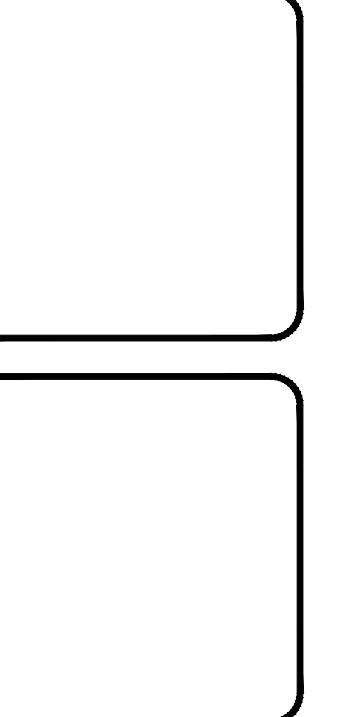
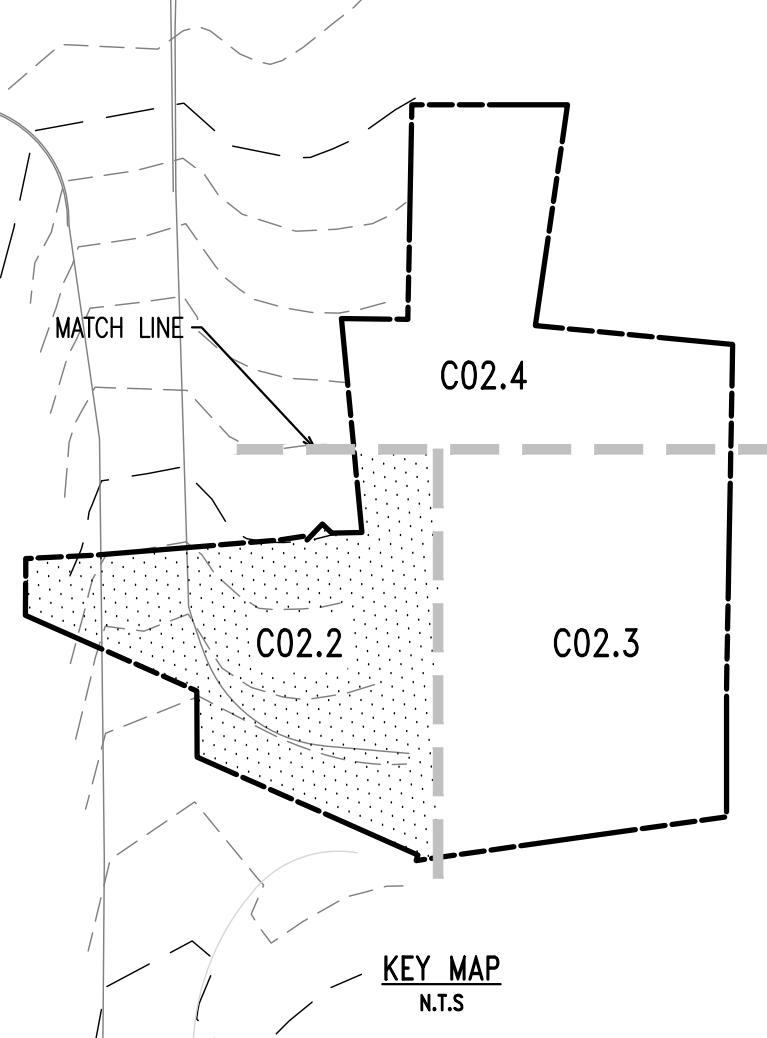
1250 Wrights Lane
West Chester, PA 19380
Phone: (610) 918-9002
Fax: (610) 918-9003

MATCHLINE - SEE SHEET C02.4



LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLANDS
- PROP. WETLANDS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEV.
- NEW SPOT ELEV.
- SOILS TYPE
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS

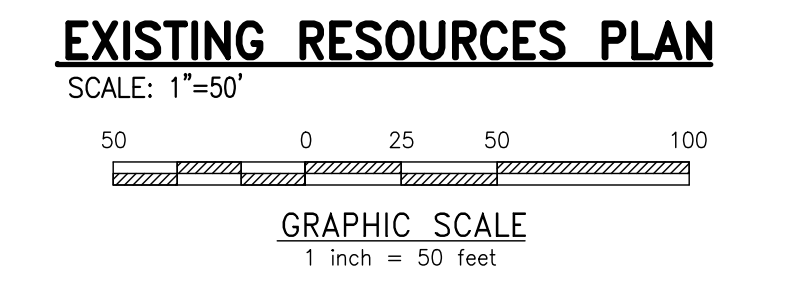


REV.	DATE	DESCRIPTION
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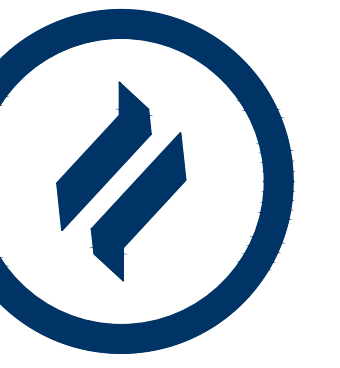
CONDITIONAL USE
EXISTING RESOURCES PLAN

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
DATE FILED:	08/31/21
DATE OF CHARGE:	EXISTING RESOURCES PLAN
PLOTTED:	08/31/21
DRAWING NO.:	C02.2
SHEET:	07 of 31



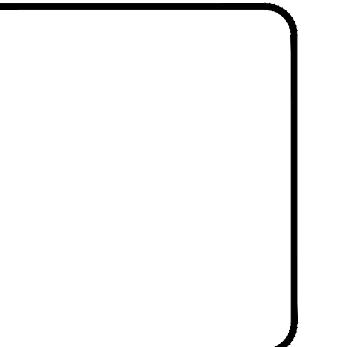
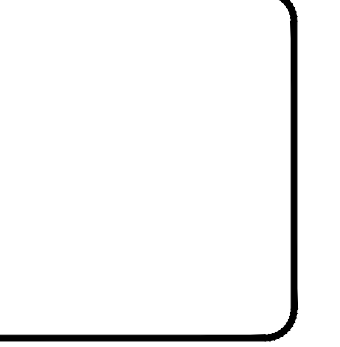
MATCHLINE - SEE SHEET C02.3



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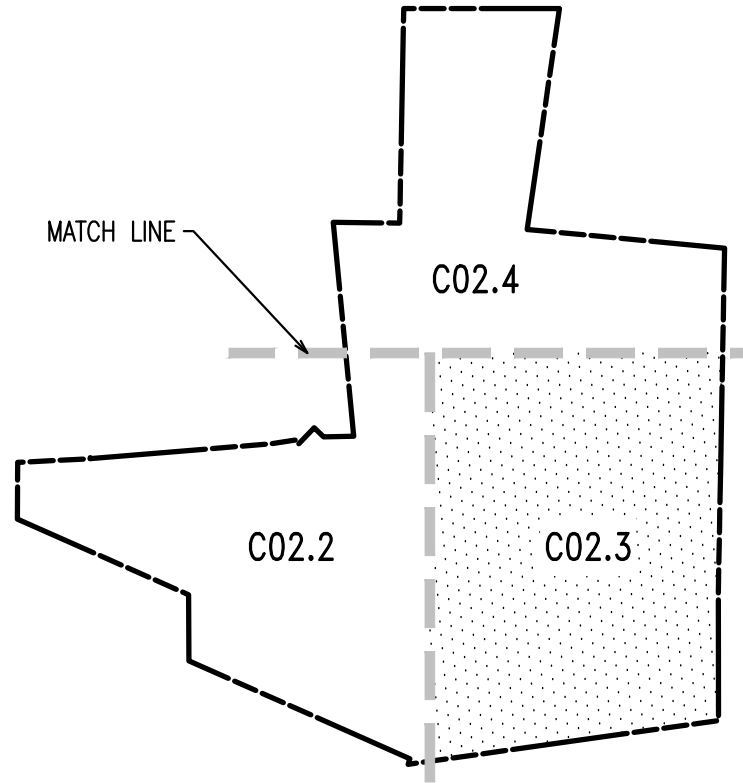
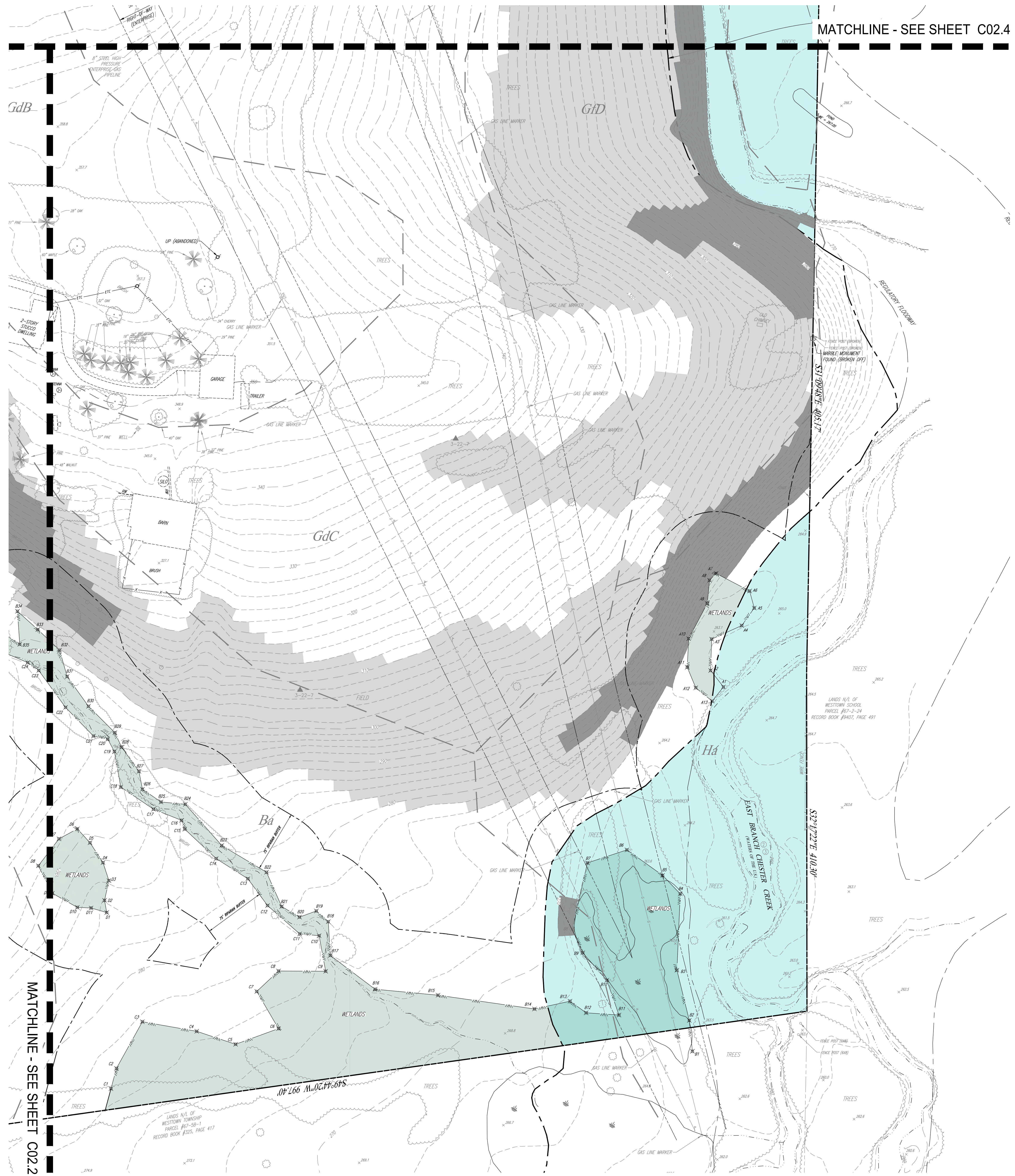


REV.	DATE	REVISIONS PER TOWNSHIP CONSULTANTS' COMMENTS	DESCRIPTION
8			
7			
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4			
3			
2			
1	08/31/21		

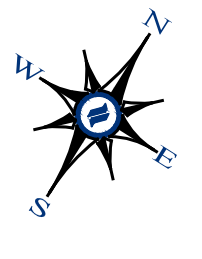
CONDITIONAL USE
EXISTING RESOURCES PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE:	4/30/21
SCALE:	1"=50'
DRAWN BY:	ADM
CHECKED BY:	DWG
PROJECT NO.:	3868
DATE FILED:	08/31/21
DATE PLOTTED:	08/31/21
DRAWING NO.:	C02.3
SHEET:	08 of 31

MATCHLINE - SEE SHEET C02.4



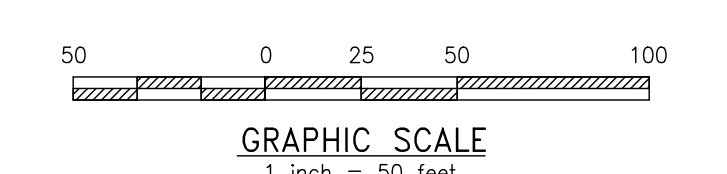
KEY MAP
N.T.S.



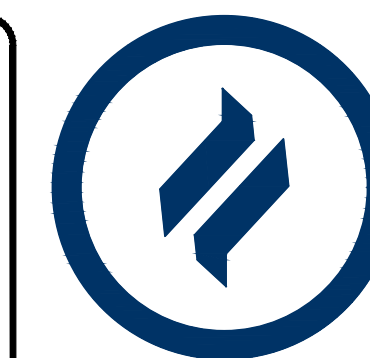
LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- EX. WETLANDS
- 242 EXISTING CONTOUR
- 125.00 PROPOSED CONTOUR
- 125.00 EXISTING SPOT ELEV.
- 125.00 NEW SPOT ELEV.
- GEB2 SOILS TYPE
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. SIDE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EXIST. PARKING SPACES
- PROP. PARKING SPACES
- (FOR) TO BE REMOVED
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS

EXISTING RESOURCES PLAN
SCALE: 1"=50'



MATCHLINE - SEE SHEET C02.2



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GRADING & UTILITY GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, ALL UTILITY SERVICES IN THE AREA SHALL BE LOCATED AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES. ANY DAMAGE TO EXISTING FACILITIES SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES IF NECESSARY.
- LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM FIELD SURVEY AND EXISTING RECORDS. COMPLETENESS AND ACCURACY OF EXISTING UTILITY INFORMATION IS NOT GUARANTEED. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL ACCURATELY FIELD MEASURE LOCATION AND ELEVATION OF EXISTING UTILITIES AT POINTS OF CONNECTION AND POTENTIAL CONFLICT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY DEVIATION FROM INFORMATION SHOWN ON THESE PLANS. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROCEED UP GRADIENT, INTERFACED POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONSTRUCTION SHALL BE LOCATED, AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES IN ACCORDANCE WITH PENNSYLVANIA ACT 187. ANY DAMAGE TO EXISTING FACILITIES RESULTING FROM THE NEGLIGENCE OF THE CONTRACTOR SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL PERSONS, VEHICLES AND BUILDINGS WITHIN THE CONSTRUCTION AREAS FROM INJURY AND DAMAGE DURING THE COURSE OF WORK.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFIC BUILDING PERMIT PLAN FOR EACH INDIVIDUAL LOT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 4.0% MIN. SLOPE ON ASPHALT AND 2.0% MIN. ON GRASS, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- ALL SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL STATUTES AND REGULATIONS.
- ALL TRENCHING, SHORING AND EXCAVATING OPERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- SCALED DIMENSIONS FROM THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION WITHOUT CONFIRMATION FROM D.L. HOWELL & ASSOC., INC.
- SUBBASE MATERIAL FOR WALKS AND ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. IF ANY UNSUITABLE SOIL IS ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL REMOVE IT AND REPLACE TO THE RECOMMENDATIONS OUTLINED IN A GEOTECHNICAL EVALUATION PREPARED SPECIFICALLY FOR THIS SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF THE BEGINNING DATE OF CONSTRUCTION AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
- IF CONDITIONS ON THE GROUND DIFFER FROM THOSE SHOWN ON THE PLAN, THE CONTRACTOR SHALL NOTIFY IMMEDIATELY IN WRITING THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TRAFFIC CONTROL, SHEETING, SHORING AND BARRICADES OF OPEN EXCAVATIONS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER CONTRACT.
- CONTRACTOR SHALL REVIEW VARIOUS PHASES OF WORK WITH THE OWNER TO DETERMINE WHETHER ANY PHASE WILL CONFLICT WITH THE OWNER'S DAILY OPERATIONS. WHERE CONFLICT IS APPARENT THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE WORK TO BE PERFORMED SO AS TO BE THE LEAST DISRUPTIVE.
- ANY PAVING DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REMOVED TO SUBGRADE AND REPLACED WITH THE PAVING SECTION AT THE CONTRACTOR'S EXPENSE, AND SHALL MATCH THE EXISTING PAVING SECTION.
- THE PAVED AREAS WITHIN THE RIGHT-OF-WAY, THAT ARE DISTURBED DURING LATERAL INSTALLATION, SHALL BE MILLED AND OVERLAD WITH WEARING COURSE.
- IN ANY AREA SUBJECT TO VEHICULAR ACTIVITY DURING CONSTRUCTION, A MINIMUM OF 18 INCHES OF COVER SHALL BE MAINTAINED FOR ALL UNDERGROUND UTILITIES (STORMWATER, SANITARY SEWER, WATER, ELECTRIC, GAS, ETC.)
- ALL FILL SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT UNDESIRABLE SETTLEMENTS. THE FILL SHALL BE SPREAD IN A SERIES OF LAYERS, NOT EXCEEDING EIGHT INCHES IN THICKNESS, AND BE COMPACTED BY A SHEEPSFOOT ROLLER OR OTHER APPROVED METHOD AFTER EACH LAYER IS SPREAD. THE TOWNSHIP ENGINEER MAY REQUIRE COMPACTION TESTS AND REPORTS.
- ALL STORM SEWER SHALL BE INSTALLED IN ACCORDANCE WITH WESTTOWNSHIP STANDARDS AND PENNDOT PUBLICATION 408 SPECIFICATIONS.
- ALL OTHER UTILITY LINES, INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, STREETLIGHT SUPPLY, CABLE TELEVISION, AND TELEPHONE, SHALL BE PLACED UNDERGROUND. INSTALLATION OF UTILITIES SHALL BE IN STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OR PUBLIC UTILITY CONCERNED. UNDERGROUND UTILITIES SHALL BE PUT IN PLACE, CONNECTED, AND APPROVED BEFORE THE STREETS ARE CONSTRUCTED WHERE SUCH UTILITIES LIE UNDER THE PROPOSED CARRYWAY AND BEFORE ANY PERSON IS PERMITTED TO OCCUPY ANY BUILDING SERVED BY SUCH FACILITIES.
- THE STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED ASSUMING 4,500 SF OF IMPERVIOUS COVER FOR EACH LOT. IF FUTURE IMPERVIOUS IS ADDED, IT MUST BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM, OR OTHER PROVISIONS MUST BE ADDED.
- A MINIMUM 18" VERTICAL CLEARANCE SHOULD BE PROVIDED WHERE ANY AND ALL PLACES WHERE THE SEWER LATERALS AND WATER MAIN CROSS. A MINIMUM 18" VERTICAL CLEARANCE SHOULD ALSO BE PROVIDED WHERE THE SEWER LATERALS AND WATER SERVICE PIPING CROSS ALL STORM SEWERS.
- WHEREVER POSSIBLE, WATER SERVICE PIPING SHOULD CROSS ABOVE SANITARY OR STORM SEWER PIPING WITH THE MINIMUM 18" VERTICAL CLEARANCE. A CONCRETE ENCASUREMENT MUST BE UTILIZED WHEREVER THE 18" VERTICAL CLEARANCE CANNOT BE PROVIDED.
- A 10" MINIMUM HORIZONTAL SEPARATION DISTANCE AND A 18" MINIMUM VERTICAL SEPARATION DISTANCE SHALL BE PROVIDED BETWEEN THE GRAVITY SANITARY SEWERS AND WATER MAINS. A CONCRETE ENCASUREMENT MUST BE UTILIZED WHEREVER THE 18" VERTICAL CLEARANCE CANNOT BE PROVIDED.
- THE GRADE OF THE DRIVEWAY WITHIN 20 FEET OF THE PAVEMENT EDGE OR THE CURBLINE OF THE PUBLIC ROAD, TOWNSHIP OR STATE, SHALL NOT EXCEED 4%.
- THE SUBGRADE WITHIN THE LIMITS OF THE PROPOSED CARRYWAY SHALL BE SHAPED TO CONFORM TO THE LINE, GRADE AND CROSS-SECTION OF THE PROPOSED CARRYWAY AND SHALL BE THOROUGHLY COMPACTED AS PER PENNDOT PUBLICATION 408. SUBGRADE SHALL BE SLOPED TO CORRESPOND TO THE SLOPE OF THE FINISHED ROAD SURFACE. BEFORE PLACING THE BASE COURSE, THE SUBGRADE MUST BE DRESSED WITH ONE INCH OF FINE AGGREGATE.

LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. IRON PIPE
- PROP. IRON PIPE
- EX. EASEMENT
- PROP. EASEMENT
- 242 EXISTING CONTOUR
- 125.00 PROPOSED CONTOUR
- × 123.00 EXISTING SPOT ELEV.
- × 123.00 NEW SPOT ELEV.
- × GEB2 SOILS TYPE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. LIGHT POLE
- PROP. LIGHT POLE
- EX. FENCE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EX. PARKING SPACES
- PROP. PARKING SPACES
- EX. TELE. LINE
- PROP. TELE. LINE
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. UTILITY POLE
- PROP. UTILITY POLE
- EX. GUY ANCHOR
- EX. GAS LINE
- PROP. GAS LINE
- EX. GAS VALVE
- PROP. GAS VALVE
- EX. STORM SEWER LINE
- PROP. STORM SEWER LINE
- EX. STORM INLET
- PROP. STORM INLET
- EX. STORM INLET ID
- PROP. STORM INLET ID
- EX. SEEPAGE BED
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. SANITARY MH. ID
- PROP. SANITARY MH. ID
- EX. WATER LINE
- PROP. WATER LINE
- EX. WATER LATERAL
- PROP. WATER LATERAL
- EX. FIRE WATER LINE
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- EX. HYDRANT
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE



FORCE MAIN TO EXTEND SOUTHBOUND ON SHILOH ROAD APPROX. 2,000 LF. TO A PROPOSED MANHOLE AT THE INTERSECTION WITH FLEMING ROAD, THEN VIA A NEW GRADITY LINE +1.000 LF. TO THE EXISTING MANHOLE AT FARM LANE (TOWARD RUSTIN HIGH SCHOOL ENTRANCE). THIS WILL BE DETAILED DURING LAND DEVELOPMENT.

- ZONE AE FLOODPLAIN
- 15% - 25% SLOPES
- 25%+ SLOPES
- WETLANDS

OVERALL GRADING FEASIBILITY PLAN

SCALE: 1"=100'
GRAPHIC SCALE
1 inch = 100 feet

REV.	DATE	DESCRIPTION
1	08/31/21	REVISED PER TOWNSHIP CONSULTANTS' COMMENTS
2		
3		
4		
5		
6		
7		
8		

CONDITIONAL USE
OVERALL GRADING FEASIBILITY PLAN
CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
WESTTOWNSHIP, CHESTER COUNTY, PA

DATE: 4/30/21
SCALE: 1"=100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
DATE OF PLOTTING: 08/31/21
DRAWING NO.: C03.1
SHEET 10 OF 31