

Westtown Township

Zoning Hearing Board Application



PO Box 79
Westtown, PA 19395



P: 610.692.1930
F: 610.692.9651
www.westtownpa.org

BY: _____

Township Use Only

Date Received: 6/14/2022 Project No.: 2022-11
 Parcel ID: 67-2M-20 Zoning Dist: R-1
 Date Paid: 6/14/2022 PC Date: 6/22/2022
 Hearing Date: _____ Property Posted: _____
 Dates Advertised: _____
 Reviewed by: mag + oz

Applicant & Owner Information

Applicant Lisa M. Fusco + Philip J. Fusco Phone 610-209-4391
 Property Address 1500 Carter Place City West Chester Zip 19382
 E-mail lisafusco@fuscosells.com

Property Owner Lisa M. Fusco + Philip J. Fusco Phone _____
(if different from Applicant)
 Mailing Address same City _____ Zip _____
(if different from Property Address)
 E-mail _____

Request

Please select all that apply and provide a brief description of the requested relief or approvals sought.
i.e. 6 ft encroachment into rear yard, or Special Exception for construction of ADU.

Section 2104: Appeals from the Zoning Officer _____

Section 2105: Challenge to the validity of the Zoning Ordinance or Map _____

Section 2106: Challenge to the Flexible Development Procedure _____

Section 2107: Variances Front yard setback

Section 2108: Special Exceptions Special exception for the creation of an Accessory Dwelling Unit.

Applicant shall deposit with the Township a fee deemed sufficient to pay the Hearing expenses. These costs may include compensation for the secretary and members of the Zoning Hearing Board, notice and advertising costs, and necessary administrative overhead connected with the Hearing. Funds deposited in excess of the actual cost of the requested hearing shall be returned to the applicant upon completion of the proceedings.

FEE SCHEDULE

Variance, ~~Special Exception~~ → \$850 ✓
Appeal from the Zoning Officer, Challenge to the Flex Development Procedure — \$850
Challenge to the Zoning Ordinance/Map — \$2,500

CERTIFICATION

Please review and certify the following information.

In the event that the costs of the hearing exceed the funds deposited, the Applicant shall pay to the Township funds equal to such excess costs within thirty (30) days of the Township's request. Failure to deposit the additional funds shall be just reasons for terminating the proceedings.

I agree to pay additional funds (if necessary) as requested by the Township.

The Zoning Officer and Zoning Hearing Board may request additional information and documentation to prepare for said hearing.

By checking this box, I certify that the information presented in this application and all attachments is true and correct.

Please ensure the following documents have been included in your application packet:

- Completed and signed application form
- Check in the amount of the applicable application fee
- Narrative responding to all applicable prompts
- Proof of property ownership (Copy of Deed or Agreement of Sale)
- Six (6) copies of plans or sketch of the proposed improvements

Plan drawings are preferred, but not required, to be prepared by a registered engineer, architect, or surveyor. Any measurements/setbacks should be accurate and clearly depicted on provided plot plans or elevations. If the applicant's plans are larger than 11" x 17", the applicant must submit one set of plans reduced to no larger than 11" x 17". Digital copies of plan sets shall be submitted if available.

Any additional photos or supporting documentation (optional)

Applications may be submitted in person, mailed, or electronically as a PDF. The application fee must be submitted before an application can be accepted for review.

Signature of APPLICANT 

Date 6/11/2022

Print Name Lisa M. Fusco

Signature of OWNER _____
(If different from applicant)

Date _____

Please provide a narrative of your request in an attachment that includes all required information and any other supporting documentation.

see a Hatched

1. *Property information*

Setbacks of existing primary or accessory structure(s)

Lot Size: 1.035 acre Front: _____ Side (R): _____ Side (L): _____ Rear: _____

Existing property use: Residential

Existing structure(s): Residential

2. Description of all proposed improvements, additions and/or change of use. The application shall include a reasonably exact, dimensional sketch showing the placement and use of the proposed buildings and details of parking, loading, lighting, utility systems, and sidewalks, including those within 250 feet of adjoining properties or structures. For physical changes to the lot or structures, indicate the size of all proposed improvements, setbacks to property lines, materials to be used and general construction to be carried out.

3. For **VARIANCES**, provide a response to each of the following hardship standards:

- A. That there are unique physical circumstances or conditions, including irregularity, narrowness, or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to the particular property and that the unnecessary hardship is due to such conditions, and not the circumstances or conditions generally created by the provisions of the Zoning Ordinance in the neighborhood or district in which the property is located.
- B. That because of such physical circumstances or conditions, there is no possibility that the property can be developed in strict conformity with the area and bulk regulations or design standards of the Zoning Ordinance, and that the authorization of a variance is therefore necessary to enable the reasonable use of the property, but shall not allow a change in use to one not permitted by right in that district.
- C. That such unnecessary hardship has not been created by the applicant.
- D. That the variance, if authorized, will not alter the essential character of the neighborhood or district in which the property is located, not substantially or permanently impair the appropriate use or development of adjacent property, and not be detrimental to the public welfare.
- E. That the variance, if authorized, will represent the minimum variance that will afford relief and will represent the least modification possible of the regulation in issue.

4. For **SPECIAL EXCEPTIONS**, provide a response to how the proposed use impacts each of the following:

- A. Relationship to the Comprehensive Plan. Consideration that the size, scope, extent, and character of the proposed use will be consistent with the purposes and objectives of the Westtown Township Comprehensive Plan, including protection and promotion of the public health, safety, and welfare.
- B. Suitability of the tract. Consideration of the suitability of the proposed tract including, as applicable, environmental conditions, highway access, and availability of sewer and water service, and of the extent to which the proposed use is susceptible to regulatory restriction through the imposition of appropriate conditions.
- C. Impact on existing neighborhood character. Consideration of the extent to which the proposed special exception will alter unduly the character of the existing neighborhood and adjacent tracts, and the effectiveness of proposed or potential mitigation measures; consideration of the character and type of development in the area surrounding the location of the proposed special exception, and a determination that the proposal, if approved, will constitute an appropriate use in the area.
- D. Impact on circulation. Consideration of the effects the proposed special exception may have on traffic patterns and volumes, access, and parking.
- E. Economic impact. Consideration of the character and type of development proposed in terms of generating revenue for the Township and imposing demands on municipal services.

The Fusco Family
1500 Carter Place
West Chester, PA 19382

Zoning Hearing Board Application

June 11, 2022

To Whom It May Concern:

Our family has lived in Westtown since July 14, 2003. All 4 of our girls were born and are being raised here. We have loved every minute of life here in Pennwood Park. We have incredible neighbors who have become our closest family. It is a real and true community here that is hard to find.

We are writing today to request approval for an addition to our home, so that my Mom can have a place of her own, here within our home. My Dad passed in July 2020. Shortly after he died, we moved my Mom ("Mom-Mom") into our home. She has been sharing a room with my 13-yr. old and 9-year-old. We had originally planned to make this request shortly after she moved in, but with covid related supply chain issues, outrageous construction related costs, we decided to wait it out as long as possible.

We are hopeful that with the real estate market cooling, and lumber prices dropping, we should be in a better position to begin this project in the next few months. At present, I plan to manage the project, as the quotes from general contractors have remained bloated. I have already interviewed multiple survey companies, and multiple contractors who are ready to complete the work upon approval from the township.

Our plans are attached, and are pretty simple- we'd like to build my Mom a space of her own, attached to our home so she can be a part of the family, but also have a space to get away from the chaos of 4 girls, and all that comes with that!

We plan to use the existing garage as the "footprint" for much of her new living space, and we will be adding a detached 3 car garage.

I hope that this information is clear, but should you have any additional questions, concerns, etc. please do not hesitate to reach out.

With regards to the request for Special Exception:

- A. **Relationship to the Comprehensive Plan** – our request to add space on our property, for my aging mother to live with us, is consistent with the purposes and objectives of the Westtown Township Comprehensive Plan.
- B. **Suitability of the Tract** – It is clear that our property is suitable for our proposed request, as many neighbors (2 directly across the street from our home –{604 Franklin Drive} and {1501 Carter Place} and several other homes throughout the neighborhood including but not limited to –{600 Chesterville Way}, {606 Chesterville Way}, {604 Londonderry Drive},_{1538 Pennsbury Drive} have all completed projects similar in size and scope.

- C. **Impact on Existing Neighborhood Character** - As stated above, this is a project that has already been undertaken by multiple owners within Pennwood Park; as a result it will continue to enhance the character of the neighborhood.
- D. **Impact on Circulation** – This request will have no impact whatsoever on traffic patterns, volumes, access or parking in our neighborhood.
- E. **Economic impact** – This request will have no impact on imposing demands on municipal services.

Thank you so much for your time and consideration!

We look forward to hearing from you soon!

With Sincerest Thanks,

A handwritten signature in blue ink, appearing to be 'Lisa', is written over the text 'With Sincerest Thanks,'. A long, sweeping blue line extends from the end of the signature across the page towards the right.

Lisa & Philip Fusco and Family

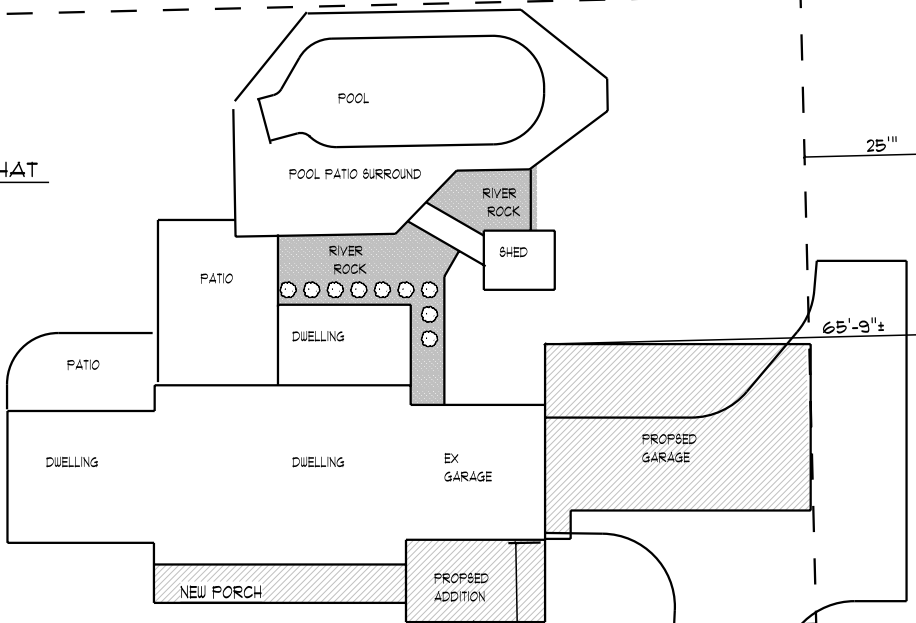
PLOT PLAN

Fisco
1" = 30'

NOT A LEGAL DOCUMENT
PURPOSE OF THIS DRAWING IS TO SHOW THAT
THE PROPOSED DWELLING
FOR ZONING, BUILDING PURPOSES

CARTER PLACE

LOT 34
1.035 ACRES
45,084 SQ FT



FRANKLIN DRIVE

248.17'

155.93'

216.08'

25'''

65'-9"±

190.62'

82'-9"±

11'-0"±

APPROVED
 Written Township Engineer
 [Signature]
 1.10.17
 By P.C. No. 300

APPROVED
 Westtown Township Planning Commission
 [Signature]
 1.10.17

APPROVED
 Westtown Township Board of Supervisors
 [Signature]
 1.10.17

REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION
 1.10.17

COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF CHESTER

IN WITNESS WHEREOF, I have hereunto set my hand and official seal this 10th day of October, 1917.

1917

1917

1917

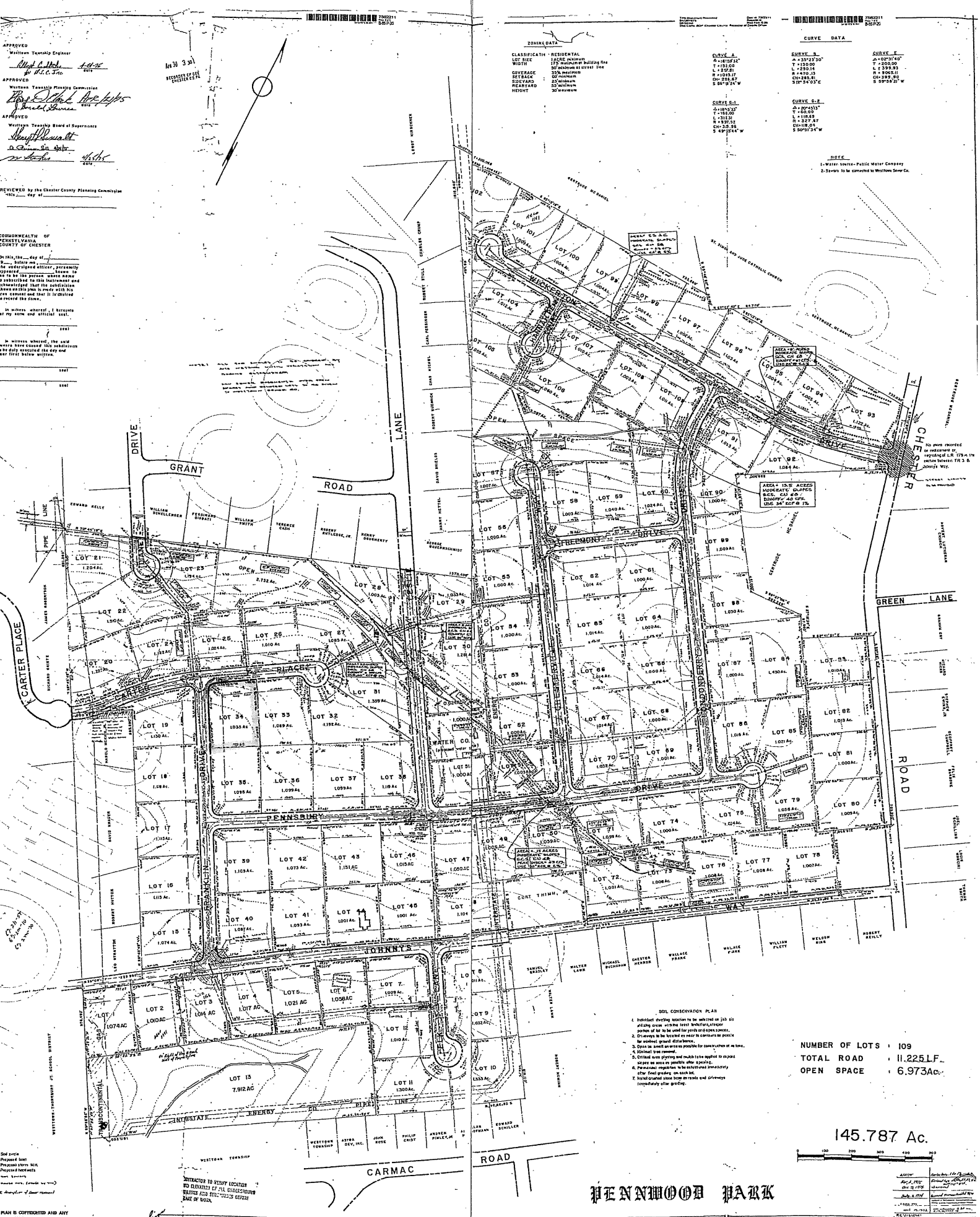
SOIL DATA

CLASSIFICATION: RESIDENTIAL
 LOT SIZE: 1.000 AC.
 WIDTH: 175' maximum including the 30' maximum utility line
 COVERAGE: 35% maximum
 SETBACK: 10' minimum
 REAR YARD: 25' minimum
 HEIGHT: 25' maximum

CURVE DATA

CURVE A	CURVE B	CURVE C
A = 110.00'	B = 237.50'	C = 100.00'
T = 103.00'	T = 200.00'	T = 200.00'
L = 131.00'	L = 110.00'	L = 110.00'
R = 1015.17'	R = 470.13'	R = 805.51'
Ch = 275.81'	Ch = 200.00'	Ch = 200.00'
S = 84° 02' 24"	S = 94° 02' 24"	S = 94° 02' 24"

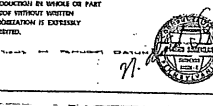
NOTE
 1. Water source - Public Water Company
 2. Sewer to be connected to Westtown Sewer Co.



- SOIL CONSERVATION PLAN**
1. Individual survey location to be selected on job site and the owner, or the least landowner, after notice of the use for protection and survey.
 2. Driveways to be located as near to corners as possible to avoid ground disturbance.
 3. Grass or small trees to be planted for conservation of soil.
 4. Critical tree removed.
 5. Critical tree planting and such to be applied to cases where no trees are possible after grading.
 6. Protection to be maintained immediately after final grading on each lot.
 7. Road graded area from on trees and driveways temporarily after grading.

NUMBER OF LOTS : 109
 TOTAL ROAD : 11,225 LF.
 OPEN SPACE : 6,973 AC.

145.787 Ac.



YERKES ASSOCIATES, INC.
 EXTON, PA.
 SITE PLANNERS
 LANDSCAPE ARCHITECTS

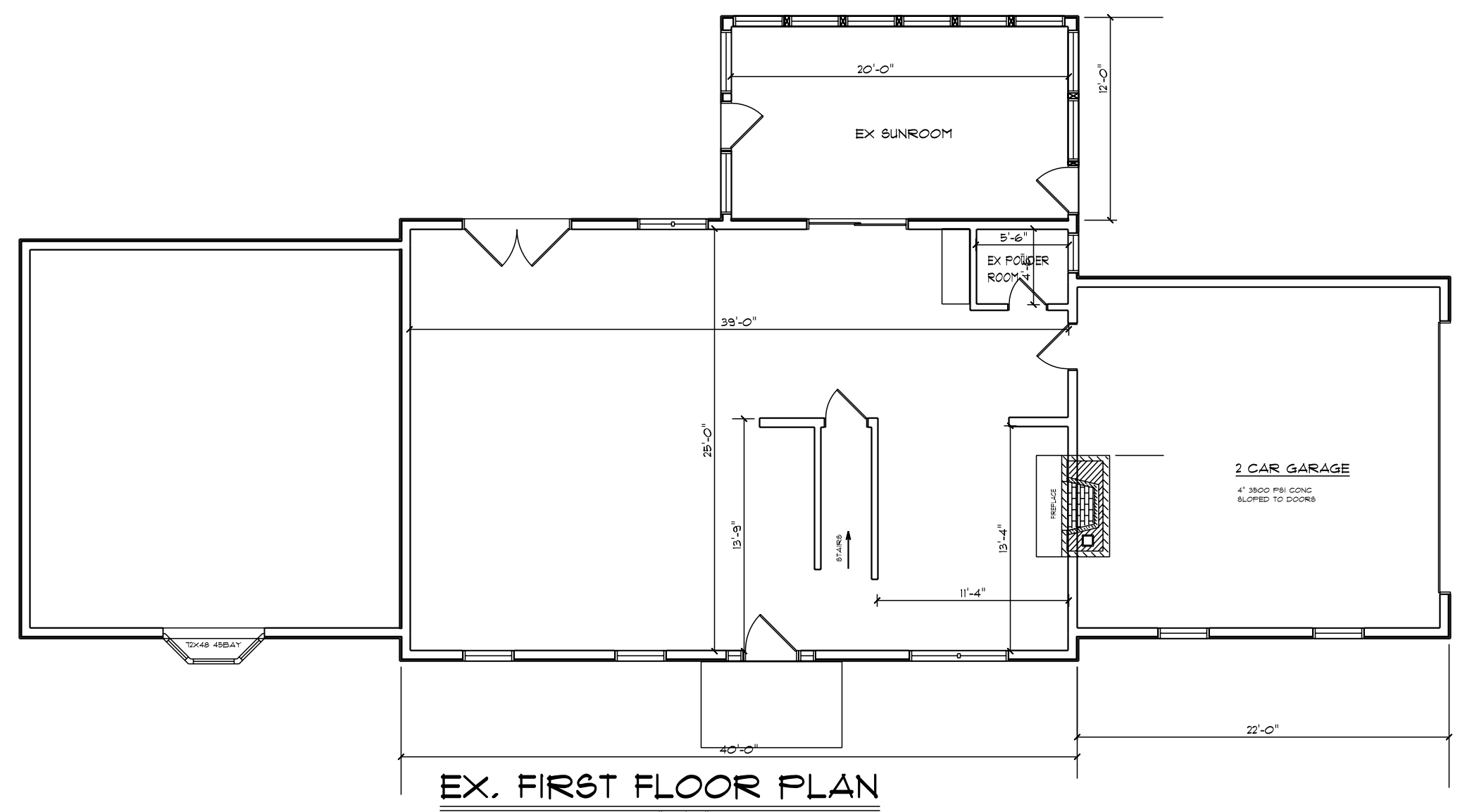
HOOPES AND LEARN
 CONSULTING ENGINEERS
 SURVEYORS

HENWOOD PARK

SUBDIVISION MAP
 MADE FOR

WESTTOWN TOWNSHIP
 CHESTER COUNTY
 PENNSYLVANIA

DATE: 14 DEC. 1917
 PLAN NO.
67-24
 SCALE: 1" = 100'



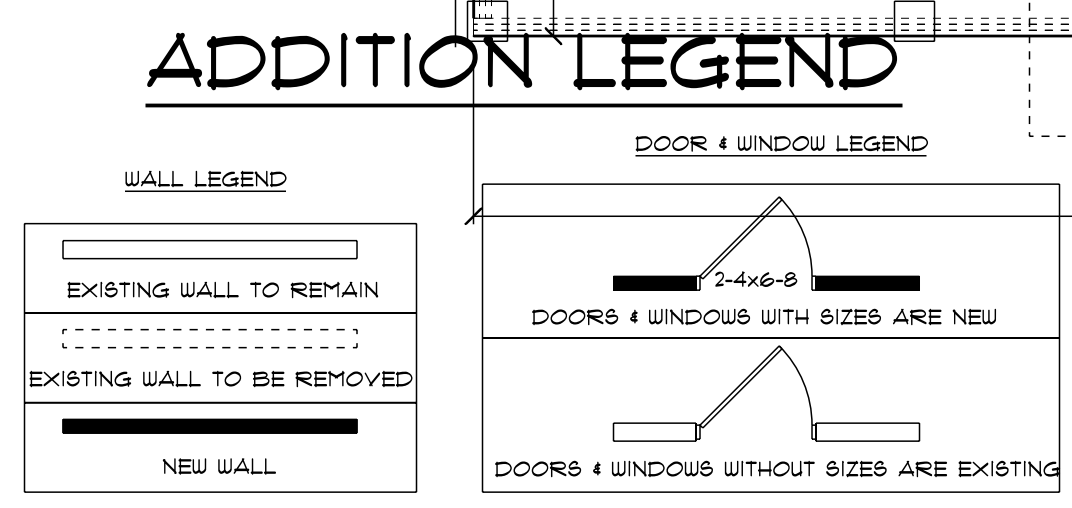
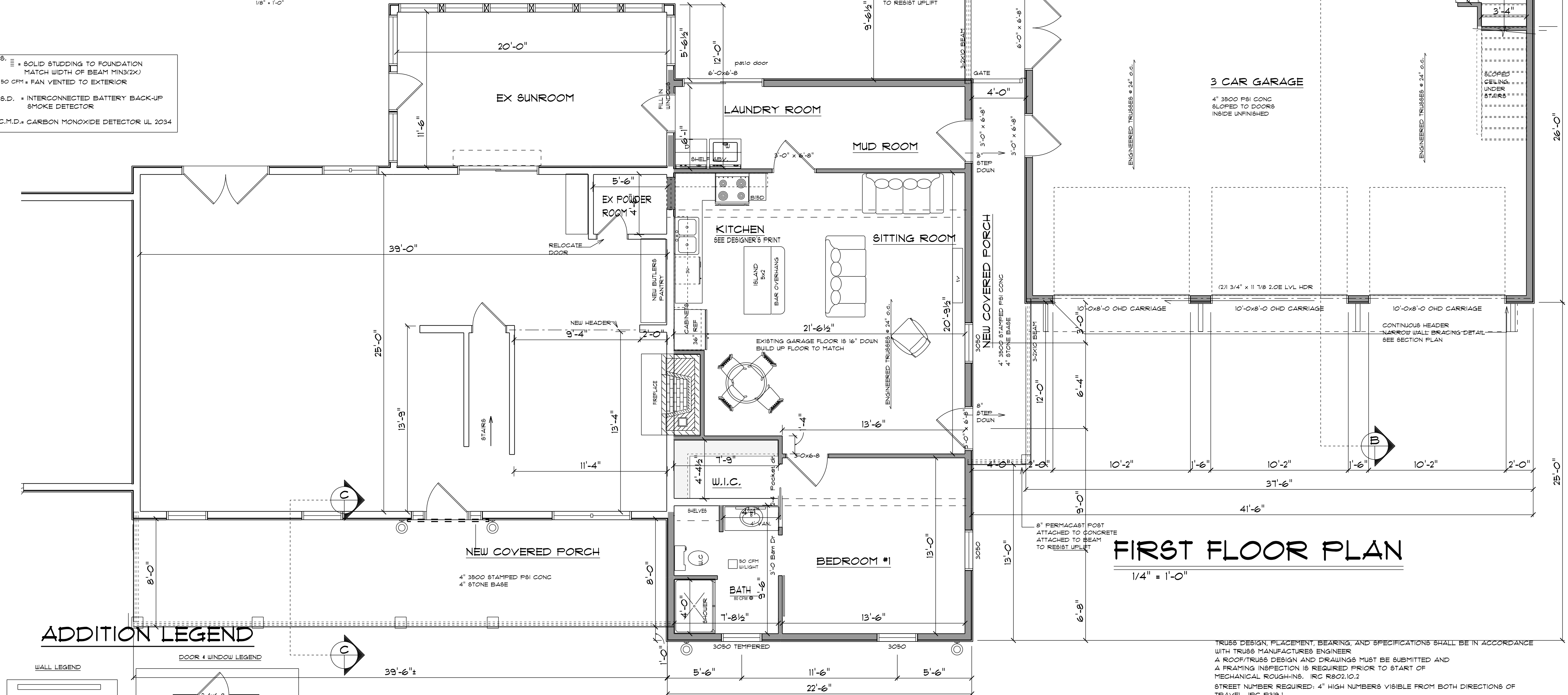
FRAMING NOTES:
 ALL FRAMING LUMBER 2x6 OR BETTER SEE CROSS SECTIONS
 FLOOR LOADS 40-10-10
 ROOF LOADS 30-10-10
 WIND LOAD 115 M.P.H.
 2x6 EXTERIOR WALLS (6") @ 16" O.C. DBL PLATED R-21 INS
 NOTCHED TOP PLATES SHALL BE REINFORCED WITH A GALVANIZED METAL TIE
 MIN. 1/2" DIA. BY 1 AND 1/2" INCH WIDE ATTACHED W/8-10D NAILS EACH SIDE
 2x6 LOAD BEARING WALLS (5.5") @ 16" O.C. DBL PLATED
 2x4 INTERIOR WALLS (3.5") @ 16" O.C. SINGLE T PLATE
 ALL LOAD BEARING HEADERS 2-2x10 UNLESS NOTED OTHERWISE
 ALL WINDOW AND DR. HEADER HTS @ 83" FROM SUB FLOOR UNLESS NOTED OTHERWISE
 WINDOW SILLS LOWER THEN 24" AND MORE THEN 12" ABOVE GRADE REQUIRE FALL PREVENTION
 DEVICE OR OPENING LIMITING DEVICE
 STAIRS TO MEET IRC REQUIREMENTS OF 36" WIDTH
 6'-8" MIN HEAD ROOM CLEARANCE MAX @ 1/4" RISER
 9" R.C. TREAD HANDRAIL HT 34"-38"
 WITH MAX BALLISTER SPACING OF NOT MORE THAN 4" SPACE
 SMOKE ALARMS EACH FLOOR AND IN EACH BEDROOM INTERCONNECTED AND BATTERY BACK-UP.
 ALL CONSTRUCTION MUST COMPLY WITH LOCAL CODES
 * VERIFY DIMENSIONS PRIOR TO STARTING
 ATTIC ACCESS MIN 22"x30" IN A READILY ACCESSIBLE LOCATION (TO BE LOCATED ON PLANS)

TYF ELECTRICAL NOTES:
 ALL ELECTRICAL SHALL BE ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE IRC CODE.
 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION REQUIRED AND COMPLY WITH SECTION E902.1
 ALL RECEPTABLES TO BE INSTALLED ARE TO BE TAMPER RESISTANT DEVICES IRC SECTION E402.14
 NOT LESS THAN 15 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
 IRC SECTION N10.4.1
 CLOTHES DRYERS EXHAUST VENTS CONCEALED IN CONSTRUCTION SHALL BE IDENTIFIED WITH A PERMANENT LABEL OR
 TAGS WITHIN 6" OF EXHAUST DUCT CONNECTION
 NM WIRE SHALL BE PROTECTED FROM PROTECTED FROM PHYSICAL DAMAGE. THERE
 SHALL BE NO WIRING ON THE BOTTOM CHORD OF THE TRUSS WITHIN 6" OF THE SCUTTLE
 HOLE. PROVIDE LIGHTING TO THE ATTIC SPACE AND STAIRS, SWITCHED AT BOTH ENDS OF THE STAIRS.
 PROVIDE RIGID METAL DRYER VENTS W/O SCREWS AND COMPLY WITH IRC M15.02
 ALL RANGE HOODS THAT VENT TO THE OUTSIDE IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE REQUIRE
 TO SUPPLY EQUAL MAKEUP AIR AND COMPLY WITH SECTION M15.03.4 IRC CODE

TYF MECHANICAL NOTES:
 ALL MECHANICAL SHALL BE ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE IRC CODE.
 ALL MECHANICAL EQUIPMENT SHALL BE SUBJECT TO FIELD INSPECTION AND APPROVAL.
 PROGRAMMABLE THERMOSTATS REQUIRED IN ALL DWELLINGS PER SECTION N10.3.1.1
 THE VENT OF APPLIANCES SHALL BE IN APPROVED MANNER.
 THE VENTING OF APPLIANCES SHALL BE RIGID METAL WITH OUT SCREWS.
 NO FOAM BOARDS SHALL BE USED IN THE AIR-RETURN SYSTEMS
 AND FLOOR RETURNS SHALL BE SOLIDLY BLOCKED.

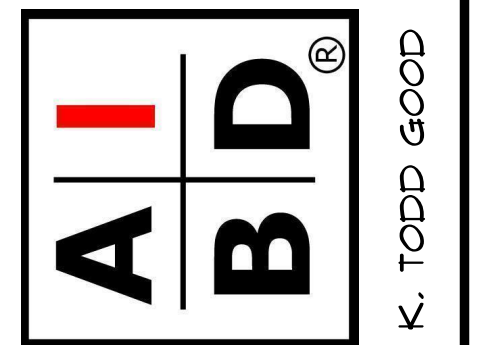
TYF PLUMBING NOTES:
 ALL PLUMBING SHALL BE IN ACCORDANCE WITH ALL SECTIONS OF THE IRC CODE.
 SHOWER VALVE SHALL BE PRESSURE BALANCED, ANTI-SCALD TYPE.
 AN EXPANSION TANK IS REQUIRED, WHERE BACKFLOW PREVENTORS ARE INSTALLED ON THE WATER SERVICE.
 ALL PLUMBING SHALL BE TESTED AND INSPECTED PRIOR TO COVERING.
 INSTALL A SUMP PUMP OR PERIMETER DRAIN DRAIN TO GRADE.
 PROVIDE WATER HAMMER ARRESTORS WHERE QUICK SHUT-OFF VALVES ARE INSTALLED.
 IRC P2203.5

- 8.5. SOLID STUDDING TO FOUNDATION
MATCH WIDTH OF BEAM MIN(2X)
- 50 CFM FAN VENTED TO EXTERIOR
- 8.5.D. INTERCONNECTED BATTERY BACK-UP
SMOKE DETECTOR
- C.M.D. CARBON MONOXIDE DETECTOR UL 2034



TRUSS DESIGN, PLACEMENT, BEARING, AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH TRUSS MANUFACTURER'S ENGINEER
 A ROOF/TRUSS DESIGN AND DRAWINGS MUST BE SUBMITTED AND
 A FRAMING INSPECTION IS REQUIRED PRIOR TO START OF
 MECHANICAL ROUGH-INS. IRC R802.10.2
 STREET NUMBER REQUIRED: 4" HIGH NUMBERS VISIBLE FROM BOTH DIRECTIONS OF
 TRAVEL. IRC R315.1
 EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANCE
 WALL ENVELOPE IRC R703.1 AND COMPLY WITH R703.4
 PROVIDE FLASHING AT ALL WOOD/CONCRETE CONNECTIONS, WEEPSCREEN, AND
 CLEARANCES TO GRADE AT MANUFACTURED STONE/STUCCO/BRICK SYSTEMS
 THE PLANS HAVE BEEN PROFESSIONALLY DESIGNED. NO CHANGES SHALL BE MADE WITHOUT
 PRIOR APPROVAL OF THE DESIGN PROFESSIONAL. ALL DESIGN CHANGES SHALL BE
 FORWARDED TO THIS OFFICE PRIOR TO THE CHANGES BEING MADE IN THE FIELD.

ALL CONSTRUCTION TO COMPLY WITH 2015 IRC CODE AS AMENDED



K. TODD GOOD

GOODY'S HOME DESIGN
 DRAFTING • 3D RENDERINGS • DESIGN
 P: 717-665-3145 F: 717-260-3868
 www.goodyshomedesign.com

BUILDER:

PHIL AND LISA FUSCO RESIDENCE

1500 CARTER PL
 WEST CHESTER, PA 19382

Chester Co.
 Westtown Township

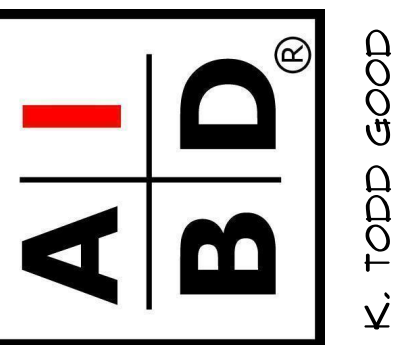
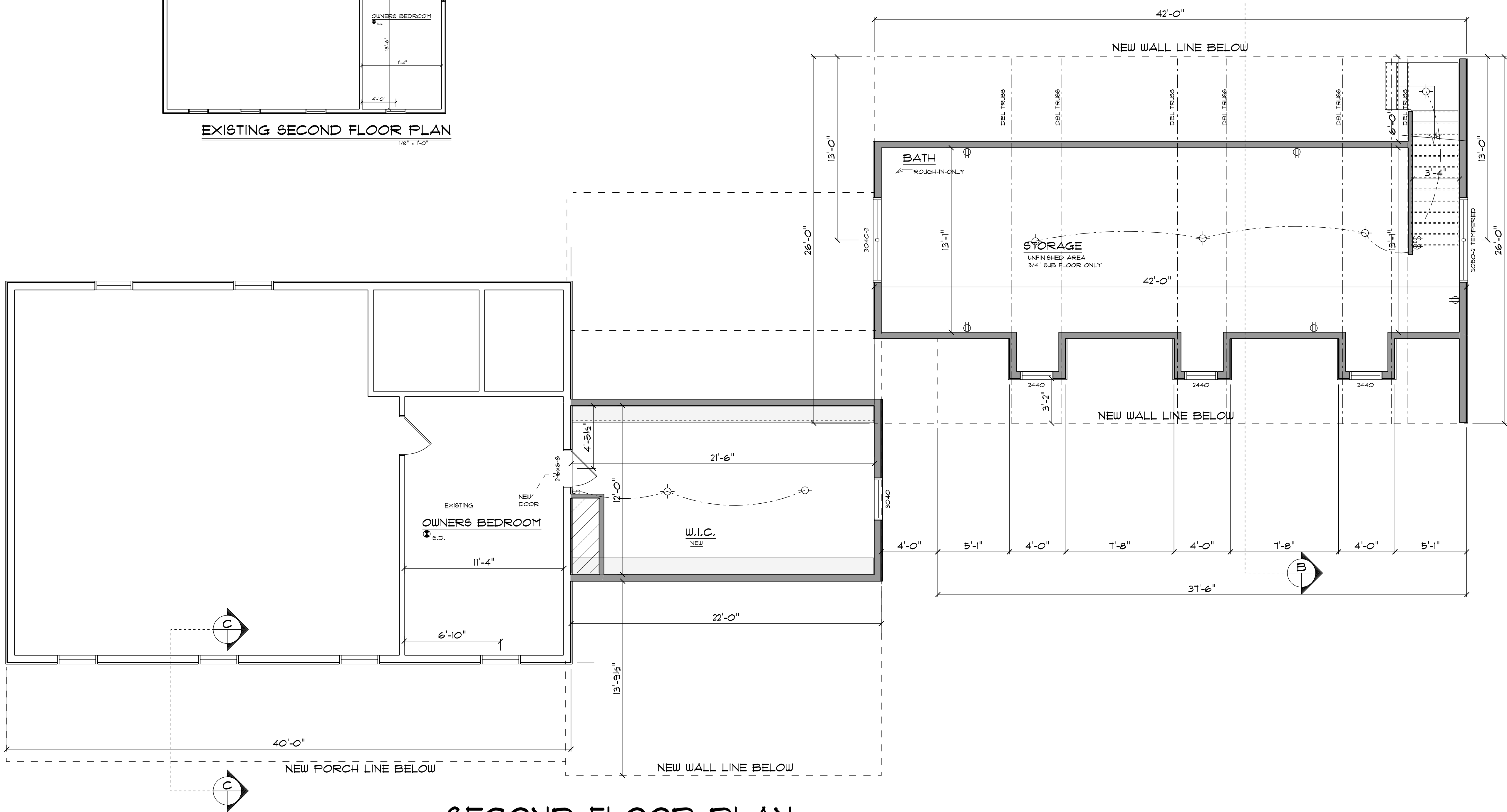
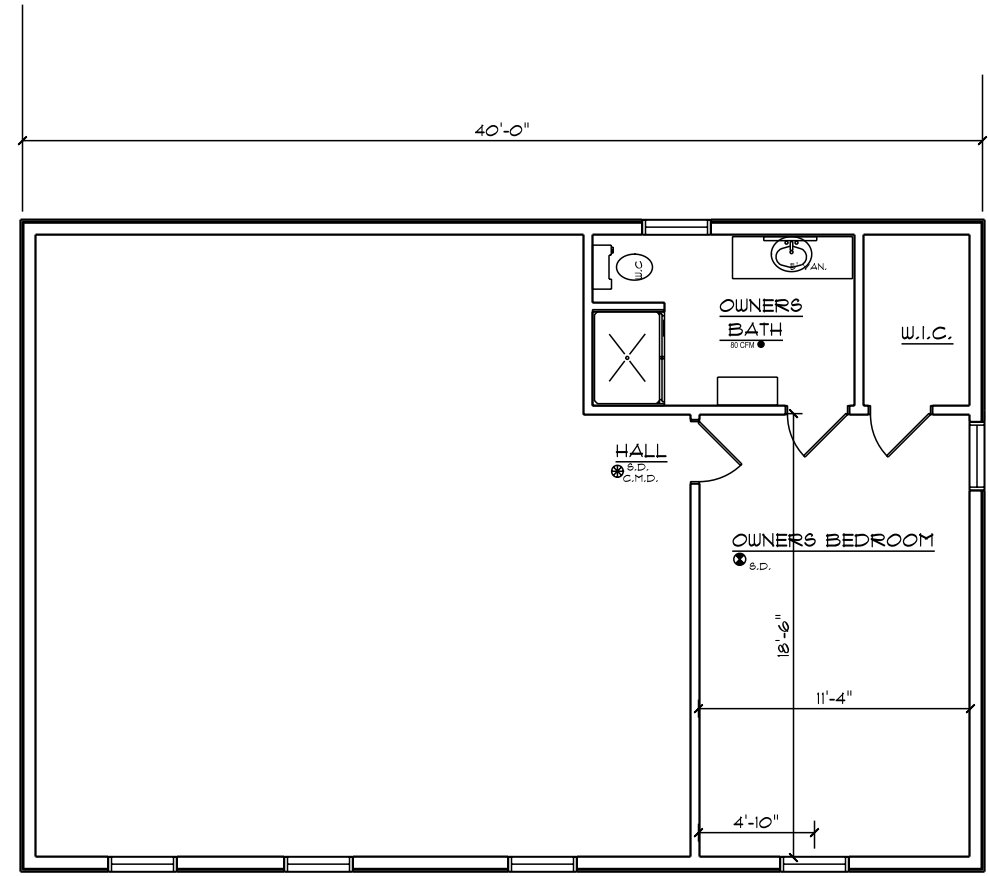
DATE: Wednesday, April 6, 2022

SCALE: 1/4" = 1'-0"

PAGE *

FIRST FLOOR PLAN

MODEL
 ADDITION
 IN-LAW SUITE
 AND GARAGE



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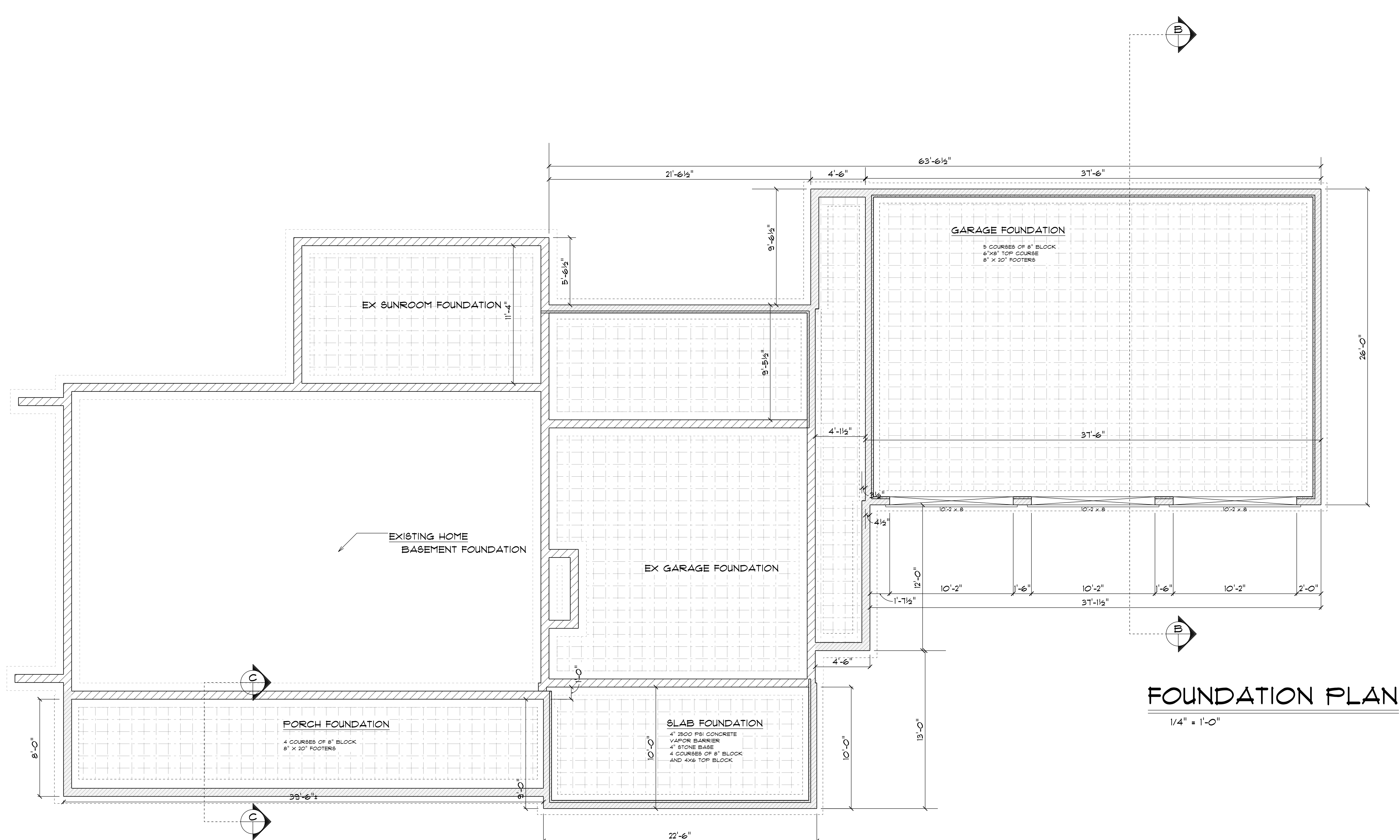
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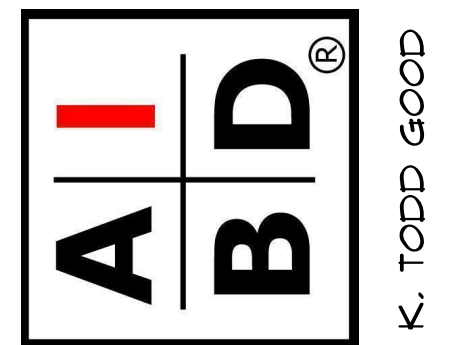
SECOND FLOOR PLAN

MODEL ADDITION
IN-LAW SUITE
AND GARAGE

THESE DRAWINGS HAVE BEEN PREPARED WITH GREAT CARE AND ACCURACY. HUMAN ERROR IS ALWAYS POSSIBLE. "GOODY'S HOME DESIGN ASSUMES NO RESPONSIBILITY FOR ANY OR ALL DAMAGES DUE TO DEFICIENCIES, OMISSIONS OR ERRORS IN THE DESIGN OR PRINTS. BUILDERS MUST VERIFY LOCAL BUILDING CODES AND TAKE RESPONSIBILITY FOR THE PROJECT. ANY CHANGES TO THIS PRINT, EVEN MINOR ONES, COULD LEAD TO MAJOR PROBLEMS ELSEWHERE. IT IS RECOMMENDED THAT YOU CONSULT A LOCAL STRUCTURAL ENGINEER AND CHECK WITH BUILDING OFFICIAL PRIOR TO COMMENCEMENT OF ANY PROJECT.



FOUNDATION PLAN
1/4" = 1'-0"



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PAGE

3

FOUNDATION
&
REBAR SCHEDULE

MODEL
ADDITION
IN-LAW SUITE
AND GARAGE

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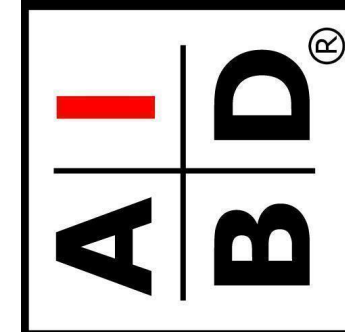
FRONT ELEVATION

1/4" = 1'-0"



BACK ELEVATION

1/4" = 1'-0"



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 Westtown Township

SCALE: 1/4" = 1'-0"

PAGE •

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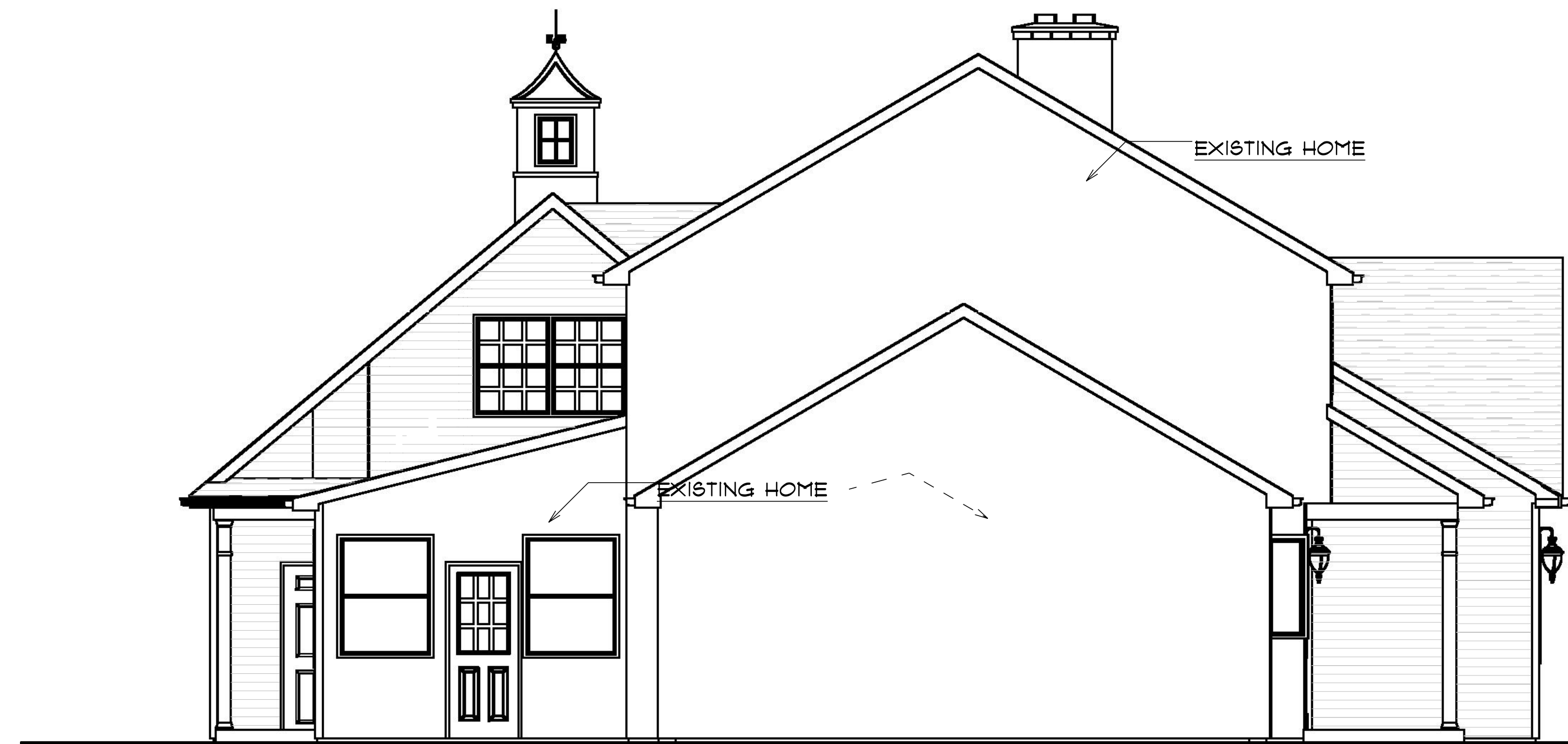
EXTERIOR ELEVATIONS

MODEL ADDITION
 IN-LAW SUITE
 AND GARAGE



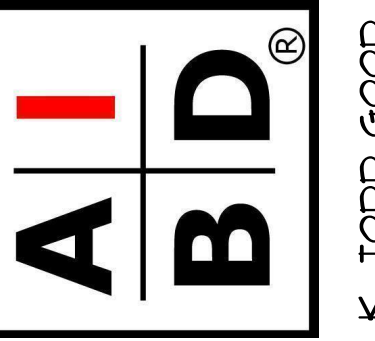
RIGHT SIDE ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"



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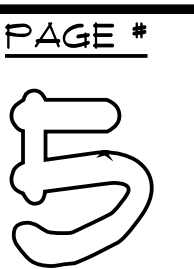
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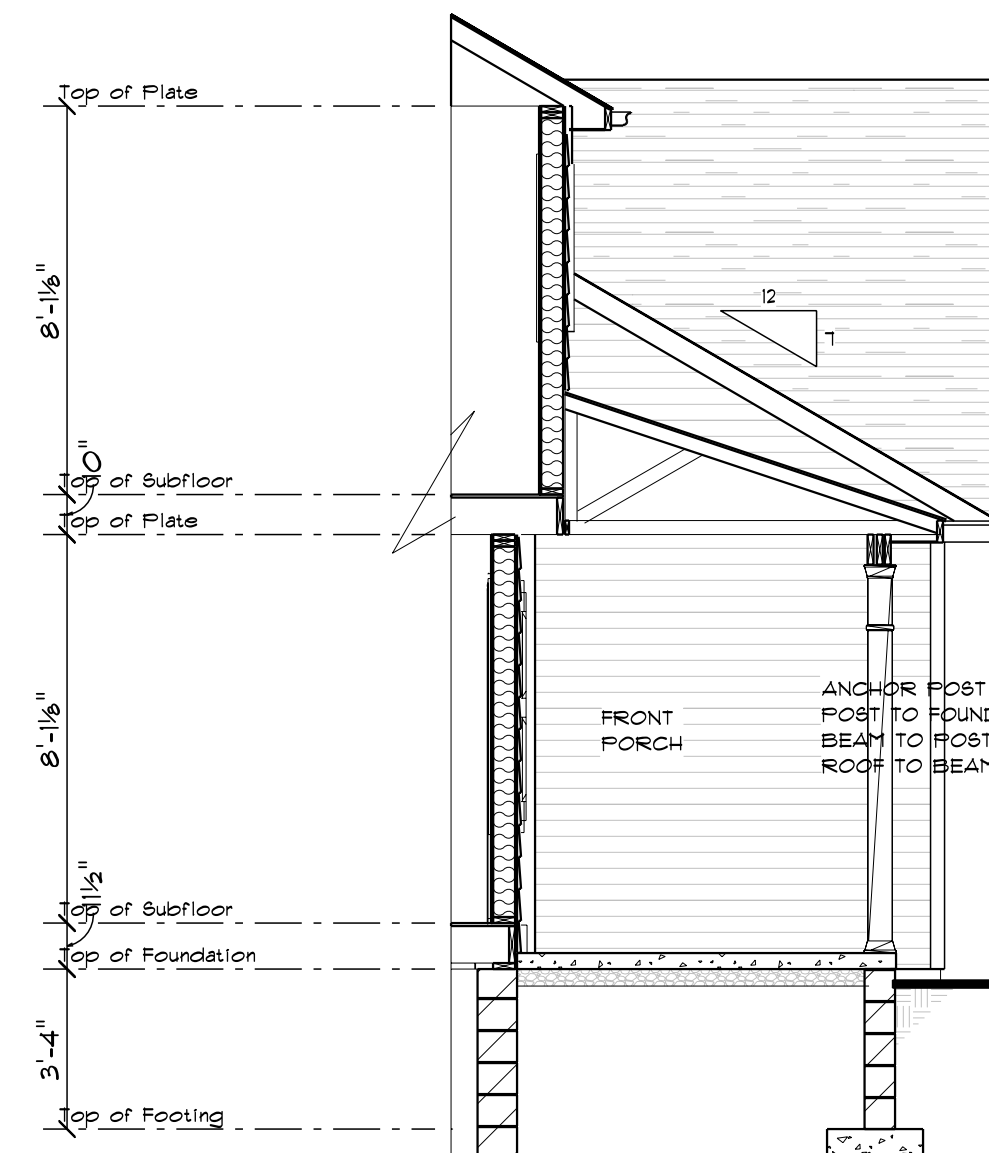
EXTERIOR ELEVATIONS

MODEL ADDITION IN-LAW SUITE AND GARAGE



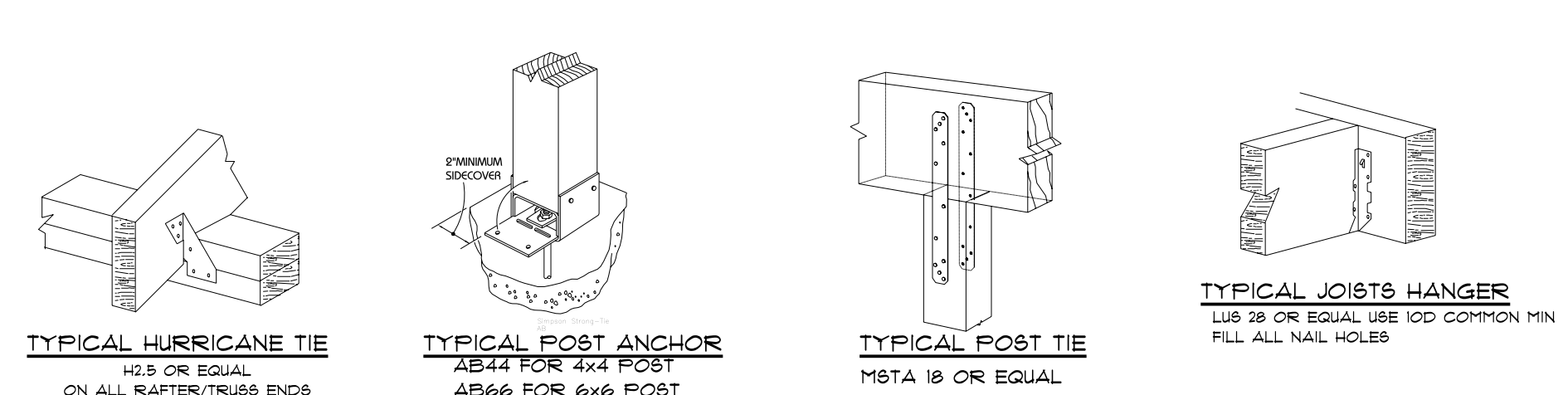
CROSS SECTION A

1/4" = 1'-0"



CROSS SECTION C

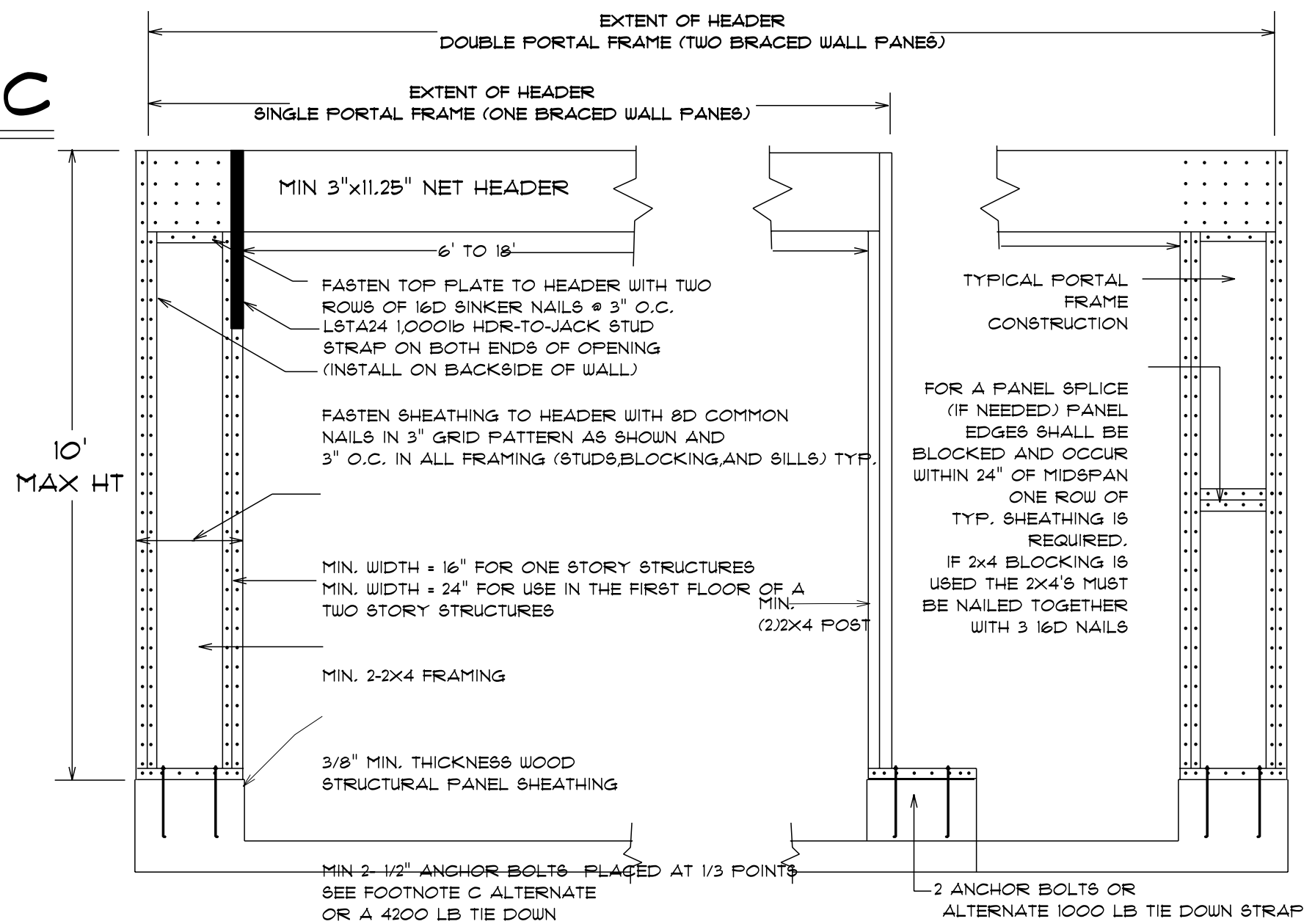
1/4" = 1'-0"



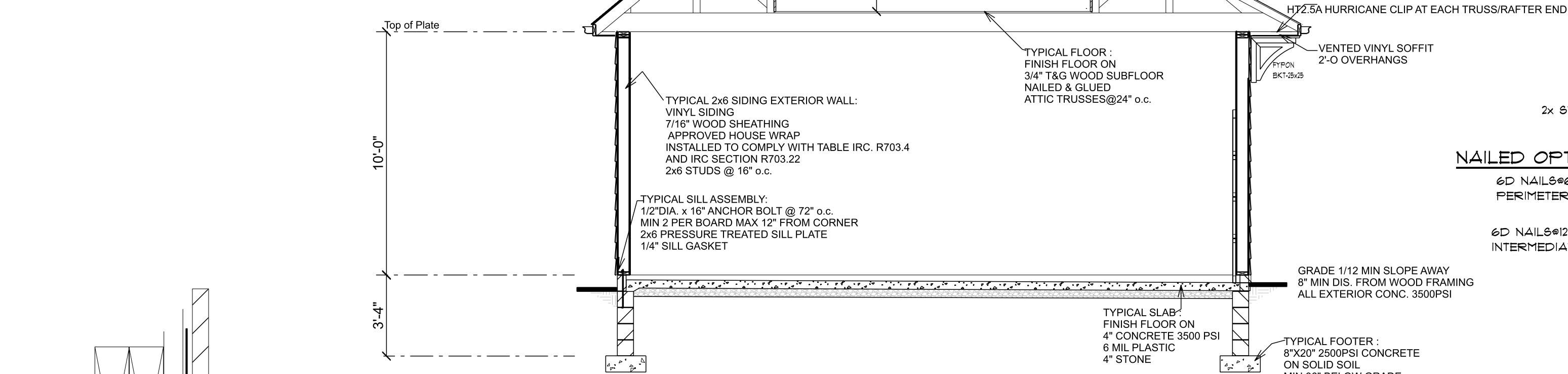
TYPICAL CONNECTION DETAILS

THESE ARE TYPICAL ATTACHMENT HANGERS LARGER MAY BE SUBSTITUTED OR REQUIRED BY ENGINEER OF RECORD TO BE VERIFY

**FIGURE R602.10.6.2
ALTERNATE BRACED WALL PANEL ADJACENT TO A DOOR
OR WINDOW OPENING**

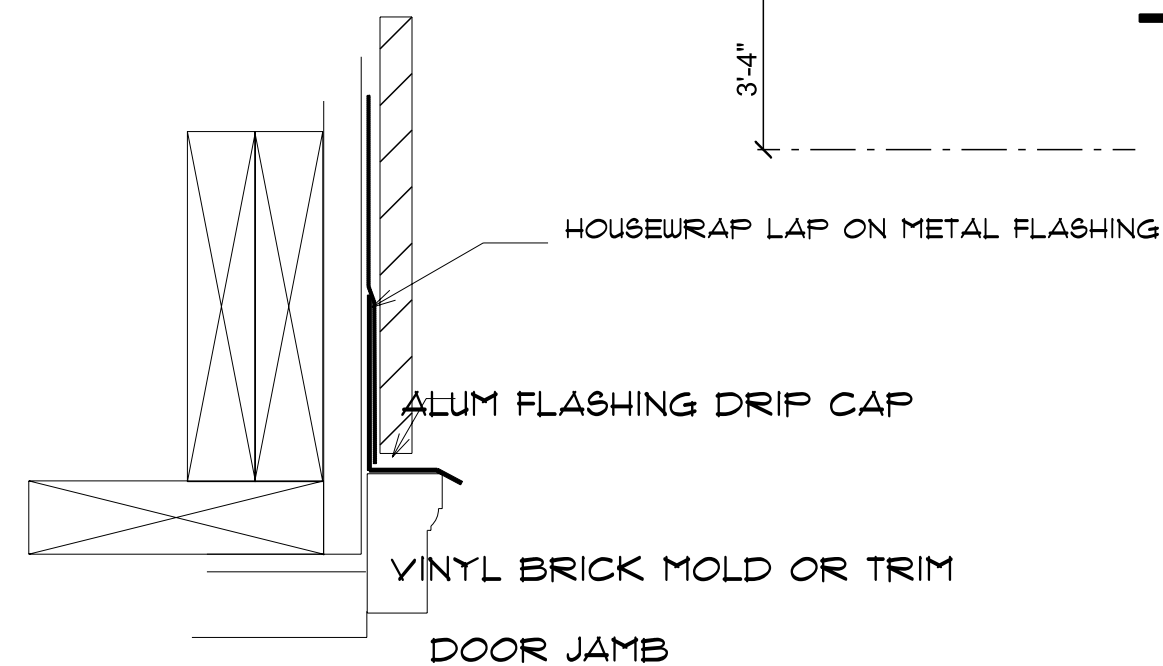


NARROW WALL BRACING DETAIL

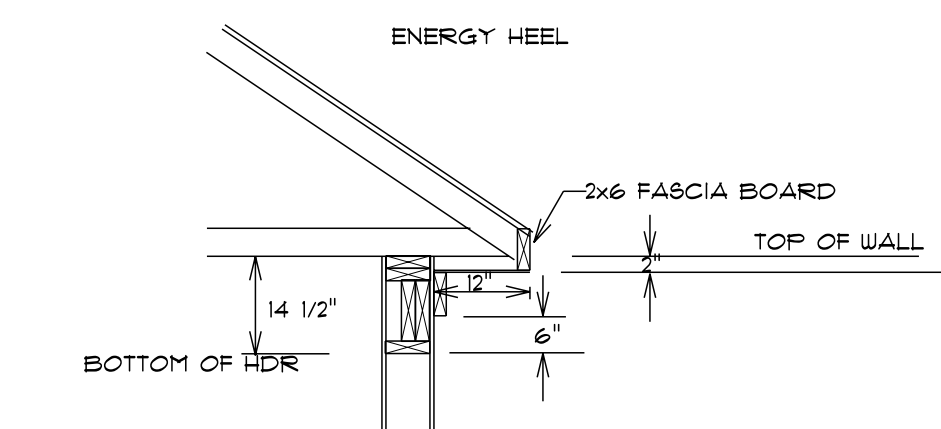


CROSS SECTION B

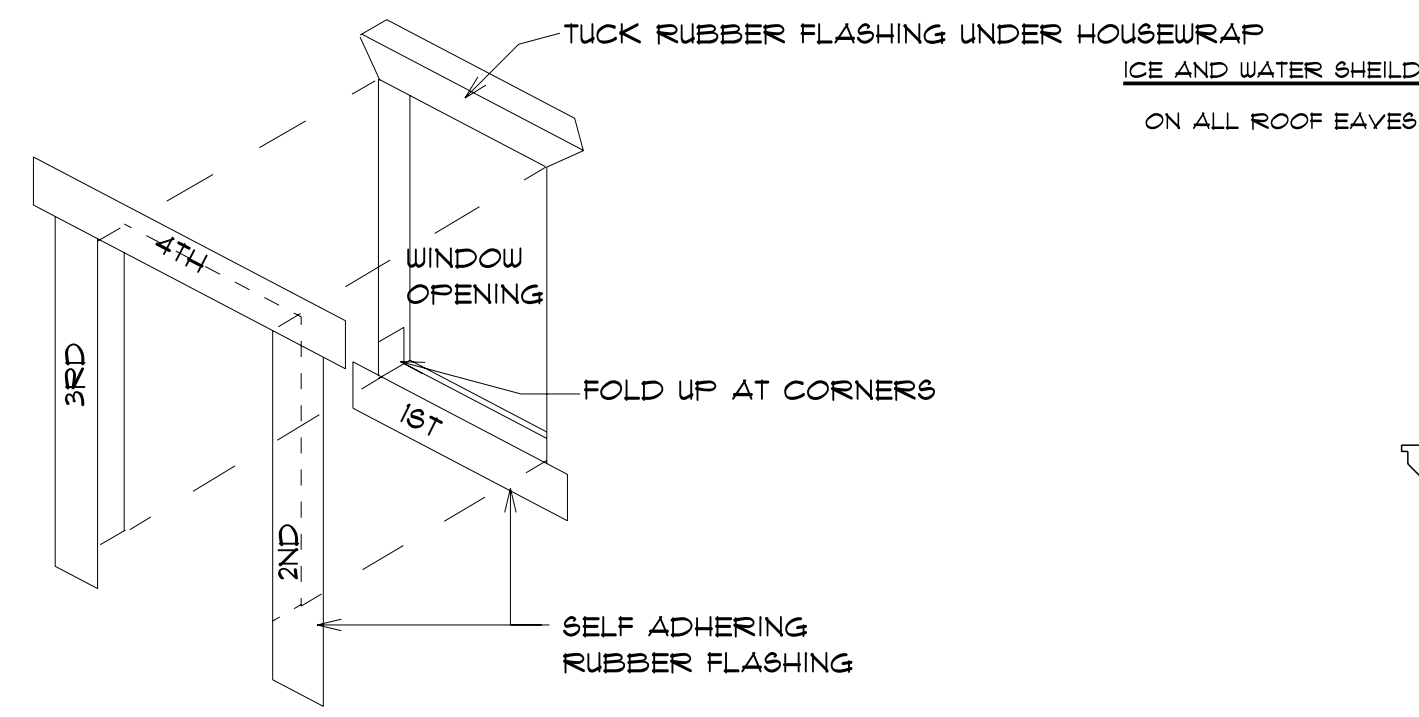
1/4" = 1'-0"



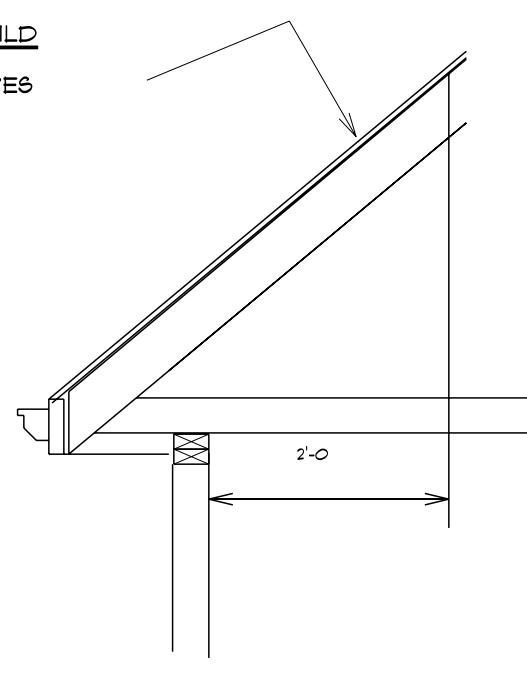
TYP. DOOR HEAD FLASHING
NOT TO SCALE



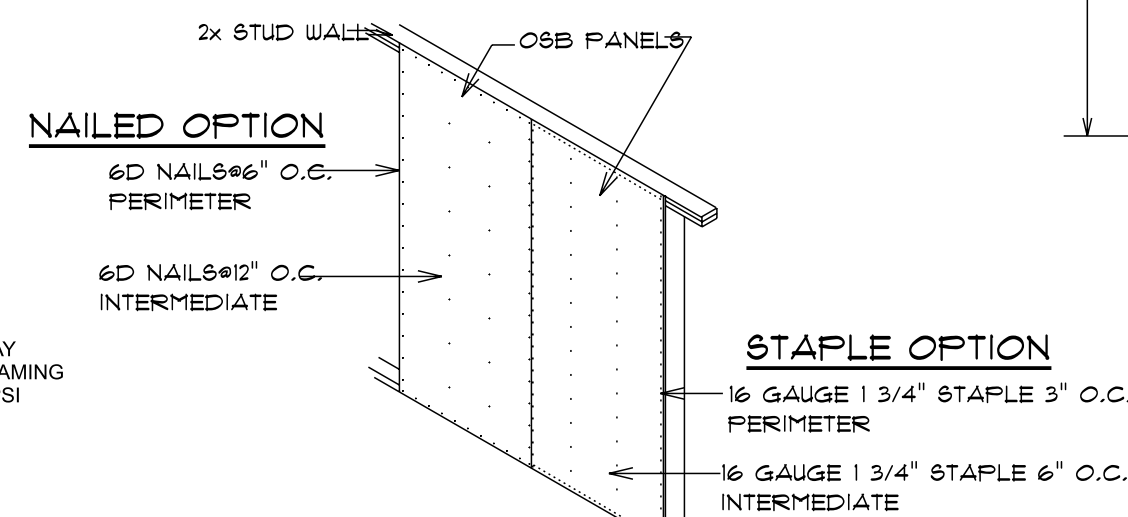
FREEZE BOARD/HDR DETAIL
ENERGY HEEL



WINDOW/ DOOR FLASHING
NOT TO SCALE



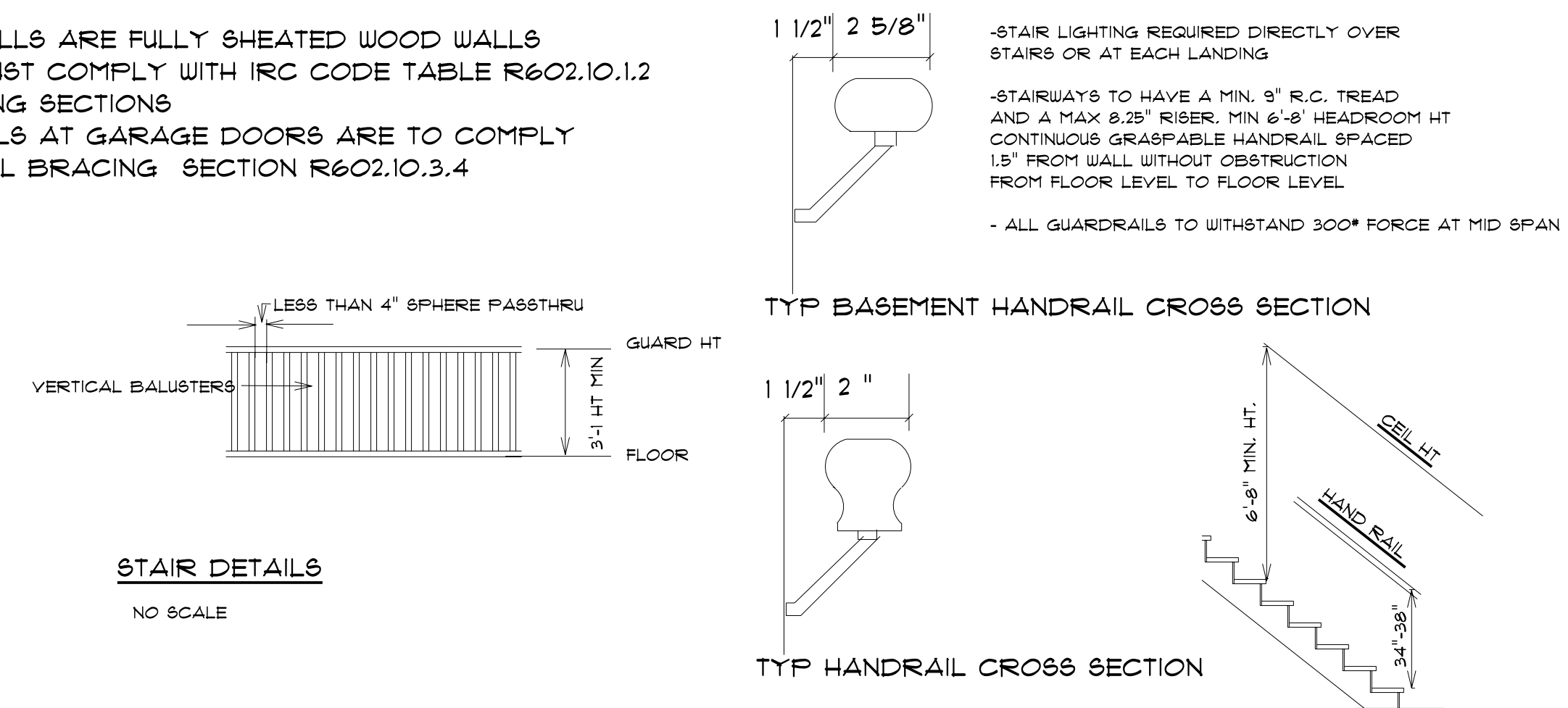
ICE WATER SHIELD DETAILS



**BRACING METHOD WSP PER IRC 602.10.2
STUDS @ 24" OR 16" O.C.**

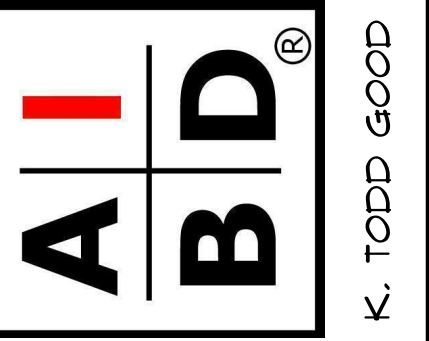
WALL BRACING

ALL EXTERIOR WALLS ARE FULLY SHEATED WOOD WALLS
WALL BRACING MUST COMPLY WITH IRC CODE TABLE R602.10.1.2
AND WALL BRACING SECTIONS
ALL NARROW WALLS AT GARAGE DOORS ARE TO COMPLY
WITH NARROW WALL BRACING SECTION R602.10.3.4



STAIR DETAILS
NO SCALE

STAIR DETAILS



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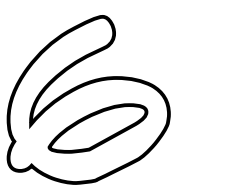
PHIL AND LISA FUSCO RESIDENCE

1500 CARTER PL
WEST CHESTER, PA 19382

Chester Co.
Westtown Township

SCALE: 1/4" = 1'-0"

PAGE #

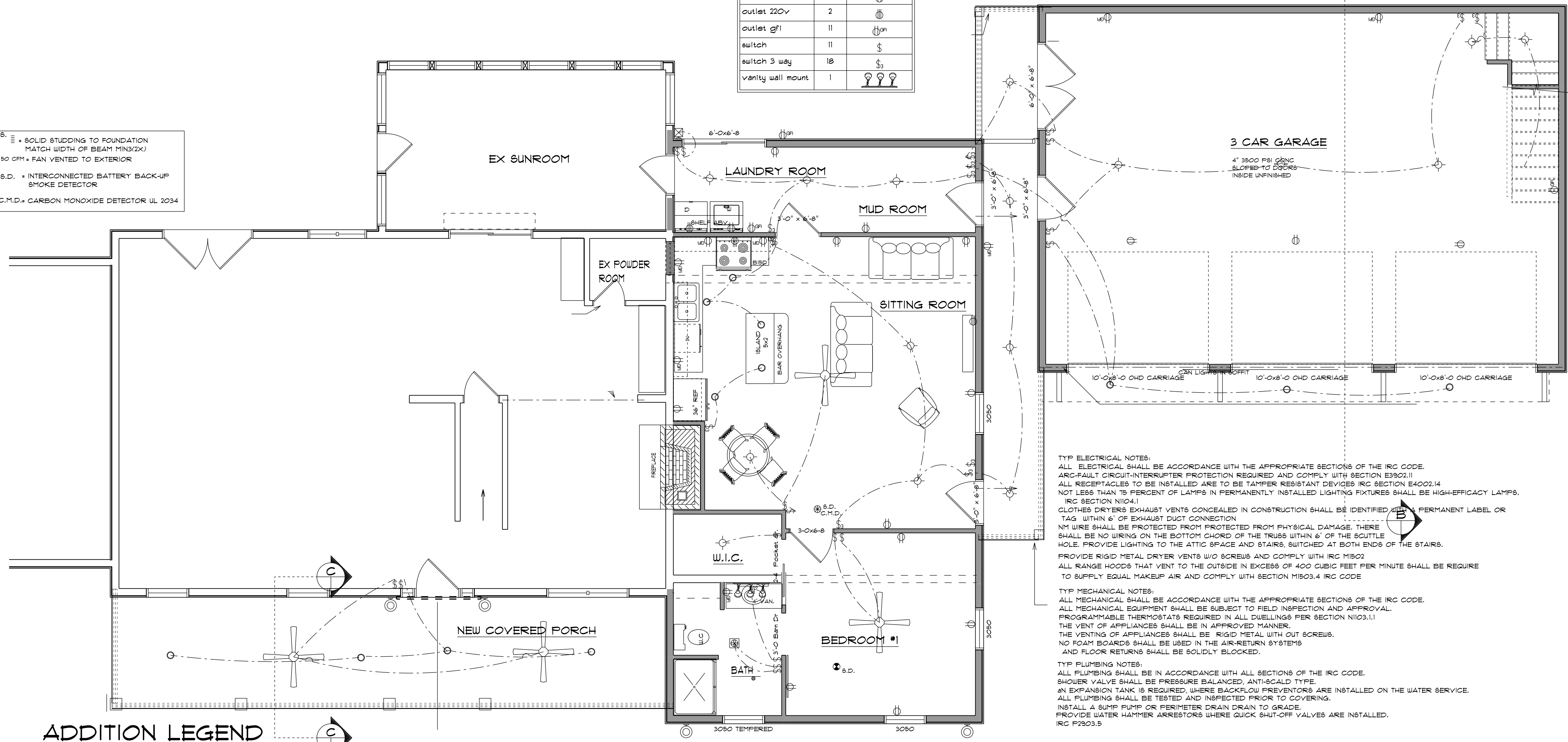


SECTION AND DETAILS

MODEL ADDITION
IN-LAW SUITE
AND GARAGE

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling fan	4	
can light 6inch	12	
exterior light 02	1	
s.d.	1	
s.d._CMD	1	
Fan	1	
light	16	
outlet 220v	16	
outlet gfci	2	
switch	11	
switch 3 way	18	
vanity wall mount	1	

- SOLID STUDDING TO FOUNDATION MATCH WIDTH OF BEAM MIN(2X)
- 50 CFM FAN VENTED TO EXTERIOR
- S.D. INTERCONNECTED BATTERY BACK-UP SMOKE DETECTOR
- C.M.D. CARBON MONOXIDE DETECTOR UL 2034

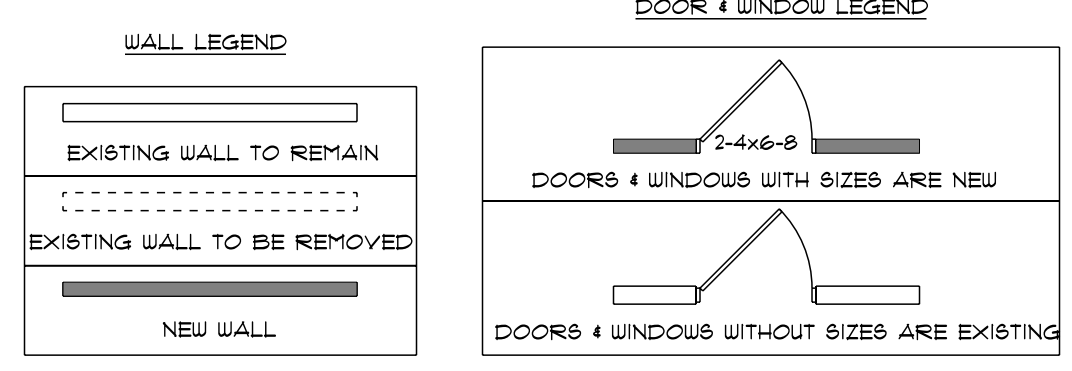


TYP ELECTRICAL NOTES:
 ALL ELECTRICAL SHALL BE ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE IRC CODE.
 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION REQUIRED AND COMPLY WITH SECTION E3902.11
 ALL RECEPTACLES TO BE INSTALLED ARE TO BE TAMPER RESISTANT DEVICES IRC SECTION E4002.14
 NOT LESS THAN 75 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
 IRC SECTION N104.1
 CLOTHES DRYERS EXHAUST VENTS CONCEALED IN CONSTRUCTION SHALL BE IDENTIFIED WITH A PERMANENT LABEL OR TAG WITHIN 6' OF EXHAUST DUCT CONNECTION
 NM WIRE SHALL BE PROTECTED FROM PHYSICAL DAMAGE, THERE SHALL BE NO WIRING ON THE BOTTOM CHORD OF THE TRUSS WITHIN 6' OF THE SCUTTLE HOLE. PROVIDE LIGHTING TO THE ATTIC SPACE AND STAIRS, SWITCHED AT BOTH ENDS OF THE STAIRS.
 PROVIDE RIGID METAL DRYER VENTS W/O SCREWS AND COMPLY WITH IRC M1502
 ALL RANGE HOODS THAT VENT TO THE OUTSIDE IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE REQUIRE TO SUPPLY EQUAL MAKEUP AIR AND COMPLY WITH SECTION M1503.4 IRC CODE

TYP MECHANICAL NOTES:
 ALL MECHANICAL SHALL BE ACCORDANCE WITH THE APPROPRIATE SECTIONS OF THE IRC CODE.
 ALL MECHANICAL EQUIPMENT SHALL BE SUBJECT TO FIELD INSPECTION AND APPROVAL.
 PROGRAMMABLE THERMOSTATS REQUIRED IN ALL DWELLINGS PER SECTION N103.11
 THE VENT OF APPLIANCES SHALL BE IN APPROVED MANNER.
 THE VENTING OF APPLIANCES SHALL BE RIGID METAL WITH OUT SCREWS.
 NO FOAM BOARDS SHALL BE USED IN THE AIR-RETURN SYSTEMS
 AND FLOOR RETURNS SHALL BE SOLIDLY BLOCKED.

TYP PLUMBING NOTES:
 ALL PLUMBING SHALL BE IN ACCORDANCE WITH ALL SECTIONS OF THE IRC CODE.
 SHOWER VALVE SHALL BE PRESSURE BALANCED, ANTI-SCALD TYPE.
 AN EXPANSION TANK IS REQUIRED, WHERE BACKFLOW PREVENTORS ARE INSTALLED ON THE WATER SERVICE.
 ALL PLUMBING SHALL BE TESTED AND INSPECTED PRIOR TO COVERING.
 INSTALL A SUMP PUMP OR PERIMETER DRAIN DRAIN TO GRADE.
 PROVIDE WATER HAMMER ARRESTORS WHERE QUICK SHUT-OFF VALVES ARE INSTALLED.
 IRC P2803.5

ADDITION LEGEND



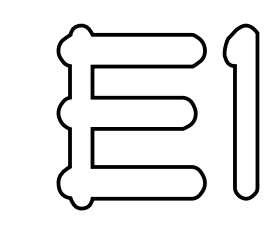
BUILDER:

PHIL AND LISA FUSCO RESIDENCE

1500 CARTER PL
WEST CHESTER, PA 19382

Chester Co.
Westtown Township
DATE: Wednesday, April 6, 2022
SCALE: 1/4" = 1'-0"

PAGE #



ELECTRICAL
FIRST FLOOR PLAN

MODEL
ADDITION
IN-LAW SUITE
AND GARAGE

ALL CONSTRUCTION TO COMPLY WITH 2015 IRC CODE AS AMENDED

THESE DRAWINGS HAVE BEEN PREPARED WITH GREAT CARE AND ACCURACY. HUMAN ERROR IS ALWAYS POSSIBLE. "GOODY'S HOME DESIGN ASSUMES NO RESPONSIBILITY FOR ANY OR ALL DAMAGES DUE TO DEFICIENCIES, OMISSIONS OR ERRORS IN THE DESIGN OR PRINTS. BUILDERS MUST VERIFY LOCAL BUILDING CODES AND TAKE RESPONSIBILITY FOR THE PROJECT. ANY CHANGES TO THIS PRINT, EVEN MINOR ONES, COULD LEAD TO MAJOR PROBLEMS ELSEWHERE. IT IS RECOMMENDED THAT YOU CONSULT A LOCAL STRUCTURAL ENGINEER AND CHECK WITH BUILDING OFFICIAL PRIOR TO COMMENCEMENT OF ANY PROJECT.

BUILDER:

PHIL AND LISA FUSCO RESIDENCE

1500 CARTER PL
WEST CHESTER, PA 19382

DATE: Wednesday, April 6, 2022

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SCALE: 1/4" = 1'-0"

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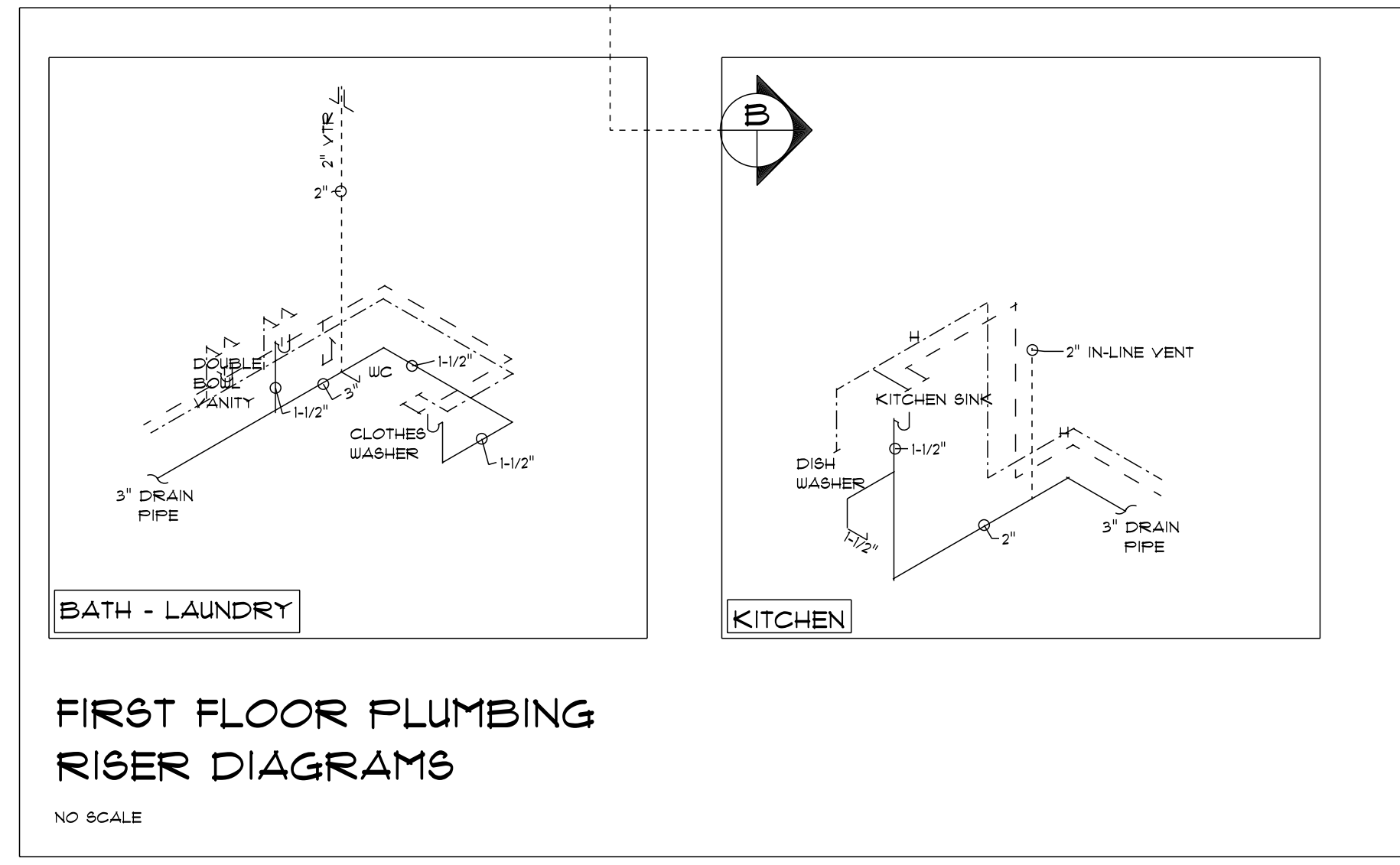
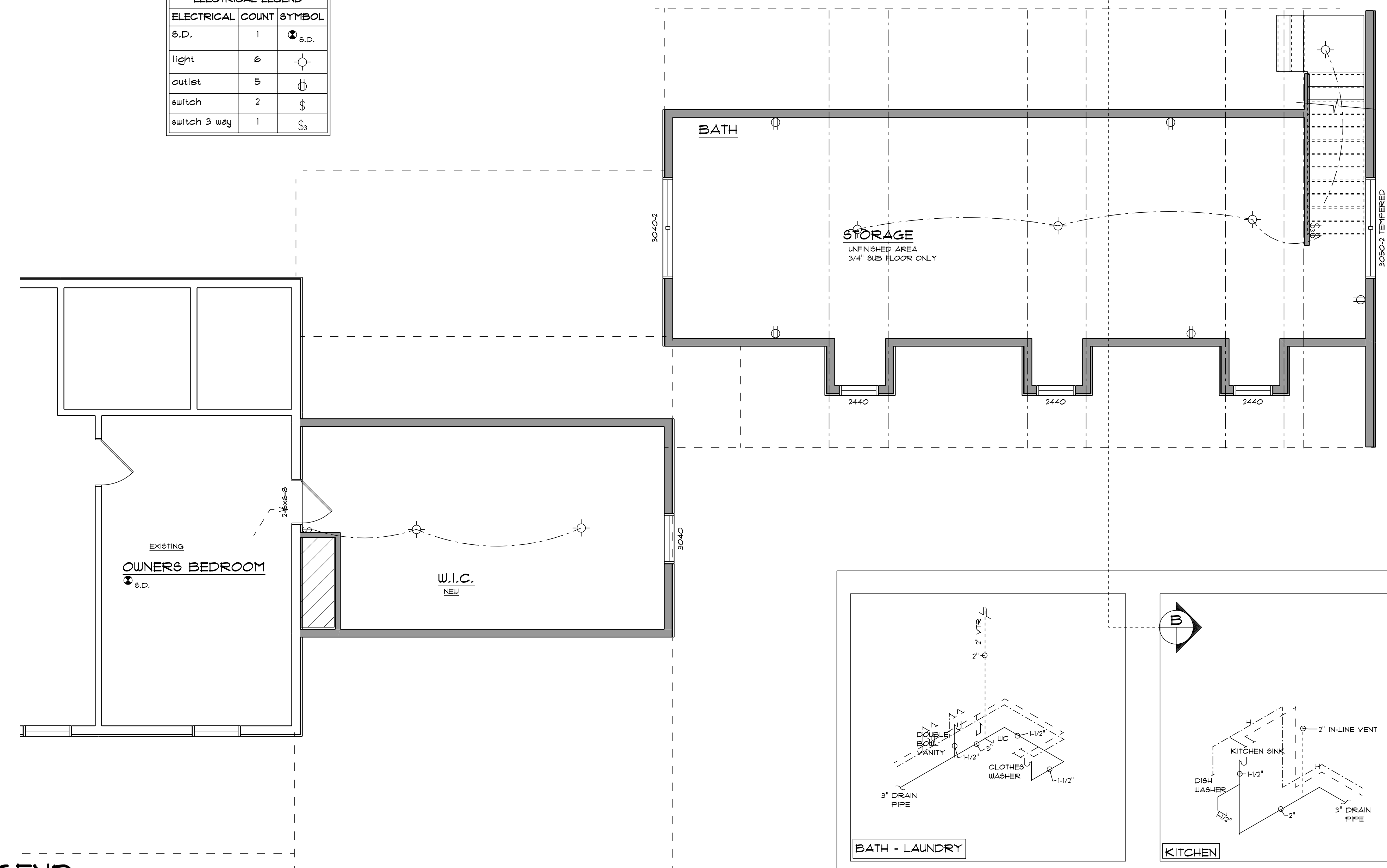
E2

ELECTRICAL 2ND FLOOR
-PLUMBING PLAN-

MODEL
ADDITION
IN-LAW SUITE
AND GARAGE

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
S.D.	1	⊕ S.D.
light	6	⊙
outlet	5	⊕
switch	2	⊕
switch 3 way	1	⊕

- S.S. ■■■ ■ SOLID STUDDING TO FOUNDATION
MATCH WIDTH OF BEAM MIN(3/2X)
- ⊕ 50 CFM FAN VENTED TO EXTERIOR
- ⊕ S.D. INTERCONNECTED BATTERY BACK-UP
SMOKE DETECTOR
- ⊕ C.M.D. CARBON MONOXIDE DETECTOR UL 2034



PLUMBING LEGEND:	
-----	VENT PIPE
-----	WASTE PIPE
-----	1/2" COLD WATER LINE
-----	1/2" HOT WATER LINE
---	WATER MAIN IN OR WASTE PIPE OUT

**FIRST FLOOR PLUMBING
RISER DIAGRAMS**

NO SCALE

TYP PLUMBING NOTES:
ALL PLUMBING SHALL BE IN ACCORDANCE WITH ALL SECTIONS OF THE IRC CODE.
SHOWER VALVE SHALL BE PRESSURE BALANCED, ANTI-SCALD TYPE.
AN EXPANSION TANK IS REQUIRED, WHERE BACKFLOW PREVENTORS ARE INSTALLED ON THE WATER SERVICE.
ALL PLUMBING SHALL BE TESTED AND INSPECTED PRIOR TO COVERING.
INSTALL A BUMP PUMP OR PERIMETER DRAIN DRAIN TO GRADE.
PROVIDE WATER HAMMER ARRESTORS WHERE QUICK SHUT-OFF VALVES ARE INSTALLED.
IRC P2803.5

ALL CONSTRUCTION TO COMPLY WITH 2015 IRC CODE AS AMENDED

ADDITION LEGEND

WALL LEGEND		DOOR & WINDOW LEGEND	
---	EXISTING WALL TO REMAIN	---	DOORS & WINDOWS WITH SIZES ARE NEW
---	EXISTING WALL TO BE REMOVED	---	DOORS & WINDOWS WITHOUT SIZES ARE EXISTING
---	NEW WALL		

