

LEGEND

	PROPERTY BOUNDARY
	ADJOINING PROPERTY LINE
	RIPARIAN BUFFER
	EXISTING RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING 2' CONTOUR W/ ELEVATION
	EXISTING 10' CONTOUR W/ ELEVATION
	EXISTING SPOT ELEVATION
	EXISTING CONCRETE
	EXISTING TREETRINE
	EXISTING TREE SYMBOLS
	EXISTING UTILITY POLE
	EXISTING WATER VALVE
	EXISTING SIGN
	EXISTING FENCE LINE
	SOILS LINE AND DESCRIPTION
	EXISTING WATER COURSE
	WETLAND AREA
	EXISTING STONE/RIP RAP
	EXISTING STORM STRUCTURES & PIPE
	EXISTING SANITARY STRUCTURES & PIPE
	EXISTING ROAD CENTERLINE
	EXISTING CURB LINE
	EXISTING ROAD/PAVING
	EXISTING DRIVEWAY
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING TO BE REMOVED

- GENERAL NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING FEATURES OF THE PROPERTY AS WELL AS PROPOSED IMPROVEMENTS INCLUDING A VISUAL ARTS CENTER, PARKING, WALKWAYS, GRADING AND STORMWATER MANAGEMENT FACILITIES.
 - GROSS TRACT AREA = 3.34 ACRES. TRACT AREA = 3.096 ACRES. REFER TO TRACT AREA CALCULATION TABLE SHOWN ON THIS SHEET.
 - UPI: 67-3-131 | DB: 6527 | PG: 1905.
 - BOUNDARY INFORMATION SHOWN PER PHYSICAL FIELD SURVEY PERFORMED ON DECEMBER 19TH, 2022 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
 - THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 - TOPOGRAPHIC INFORMATION, EXISTING IMPROVEMENTS, PROPOSED IMPROVEMENTS AND ENVIRONMENTAL FEATURES INCLUDING WETLANDS SHOWN PER DIGITAL FILE PROVIDED BY APEX DESIGN AND ENGINEERING GROUP OF CONSHOHOCKEN, PA IN JANUARY 2023. CONTOUR INTERVAL = 2 FOOT.
 - ELEVATION BENCHMARK IS EXISTING SANITARY MANHOLE LOCATED WITHIN GREEN LANE (TR 432) LOCATED AT SOUTHEAST CORNER OF THE PROPERTY. BENCHMARK ELEVATION = 328.26.
 - WETLAND BOUNDARY WAS DETERMINED BY DEL VAL SOILS CONSULTANTS OF DOYLESTOWN, PA.
 - THE PROPERTY IS LOCATED WITHIN THE R-3 RESIDENCE-OFFICE ZONING DISTRICT.
 - THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42029C0215G, EFFECTIVE SEPTEMBER 29, 2017.
 - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
 - SITE GEOLOGY IS CHARACTERIZED AS fgs; FELSIC GNEISS.
 - THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
 - THE SITE IS LOCATED IN THE RIDLEY CREEK WATERSHED.
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

ZONING: R-3 RESIDENCE-OFFICE DISTRICT

RESIDENTIAL DEVELOPMENT OPTION 2 CONVENTIONAL DEVELOPMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	3 ACRES	3.096 ACRES*	3.096 ACRES*
MINIMUM LOT WIDTH @ STREET LINE	300 FEET	469.56 FEET	469.56 FEET
MINIMUM FRONT YARD SETBACK	25 FEET	10 FEET**	25.35 FEET
MINIMUM SIDE YARD SETBACK	10 FEET	10 FEET	263.59 FEET
MINIMUM REAR YARD SETBACK	35 FEET	10 FEET	245.92 FEET
MAXIMUM IMPERVIOUS COVERAGE	65%	0%	13.64% (18,393 S.F.)
MAXIMUM BUILDING COVERAGE	35%	0%	2.04% (2,750 S.F.)
MAXIMUM BUILDING HEIGHT	4 STORIES	N/A	42 FEET

* SECTION 170-802.G(2)(c): TRACT AREA SHALL BE THE NET AREA OF THE TRACT EXCLUDING EXISTING STREET RIGHTS-OF-WAY. TRACT AREA FOR A VAC SHALL NOT BE CALCULATED ACCORDING TO SECTION 170-1519. REFER TO TRACT AREA CALCULATION TABLE THIS SHEET.
 ** SECTION 170-802-G(3)(a): WHERE THE TRACT IS A CORNER LOT HAVING TWO OR MORE STREET FRONTS OR WHERE 10% OR MORE OF THE TRACT IS ENVIRONMENTALLY CONSTRAINED AND UNDEVELOPABLE, ONE OF THE TWO REQUIRED FRONT YARD SETBACKS MAY BE REDUCED TO 10 FEET.

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
CaB	CALIFON LOAM	3% - 8%	LOW (ABOUT 4.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 TO 36 INCHES	72 TO 99 INCHES	2c	D
GdB	GLADSTONE GRAVELLY LOAM	3% - 8%	MODERATE (ABOUT 8.4 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 80 INCHES	2c	B
GdC	GLADSTONE GRAVELLY LOAM	8% - 15%	MODERATE (ABOUT 6.1 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	65 TO 67 INCHES	3c	B
UB	URBAN LAND	0% - 8%	N/A	N/A	N/A	N/A	8u	N/A

TRACT AREA CALCULATION

GROSS LOT AREA	167,436 S.F.	3,844 A.C.
AREA WITHIN EXISTING STREET RIGHTS-OF-WAY	32,587 S.F.	0.748 A.C.
TRACT AREA	134,849 S.F.	3.096 A.C.

OWNER OF RECORD:
 1632 ASSOCIATES, LLC
 ATTN: JACK E. D. LARKIN, GENERAL COUNSEL
 3400 WEST CHESTER PIKE
 NEWTOWN SQUARE, PA 19073

COPYRIGHT
 Inland Design, LLC expressly reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of Inland Design, LLC. They are to be used only in respect to this project and are neither to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of Inland Design, LLC. Any reuse without written permission, verification, consent or adaptation by Inland Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to Inland Design, LLC. The third party shall further indemnify and hold harmless Inland Design, LLC from all claims, damages, losses, and expenses arising therefrom or resulting therefrom.

UPI: 67-3-131 | D.B. 6527 | PG. 1905

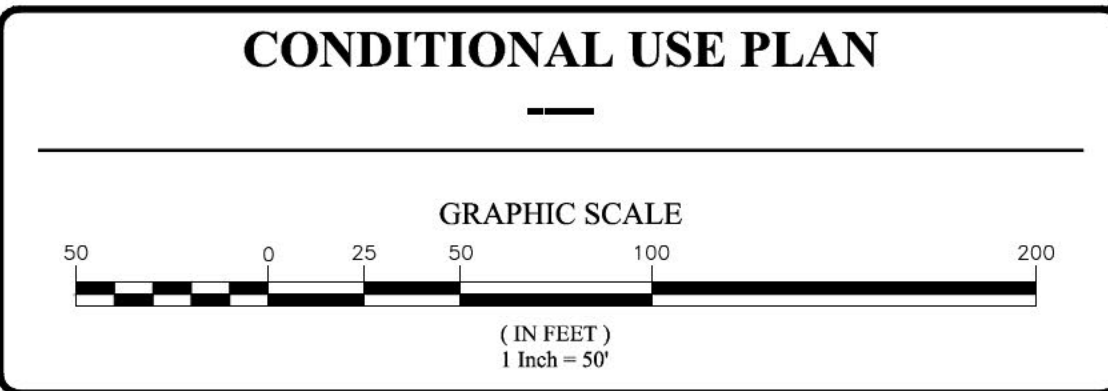
Pennsylvania One Call System
 PA. act 172 of 1986 requires three working days notice
 Serial Number: 20230112129

PENNSYLVANIA ACT 187 REQUIREMENTS:
 Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
 Civil Engineers, Surveyors & Land Development Consultants
 16 Hagerty Blvd. West Chester, PA 19382
 Phone: (484) 947-2928 Fax: (484) 947-2946
 www.InlandDesign.net info@InlandDesign.net

COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 CHARLES A. DOBSON
 NO. PC-048758

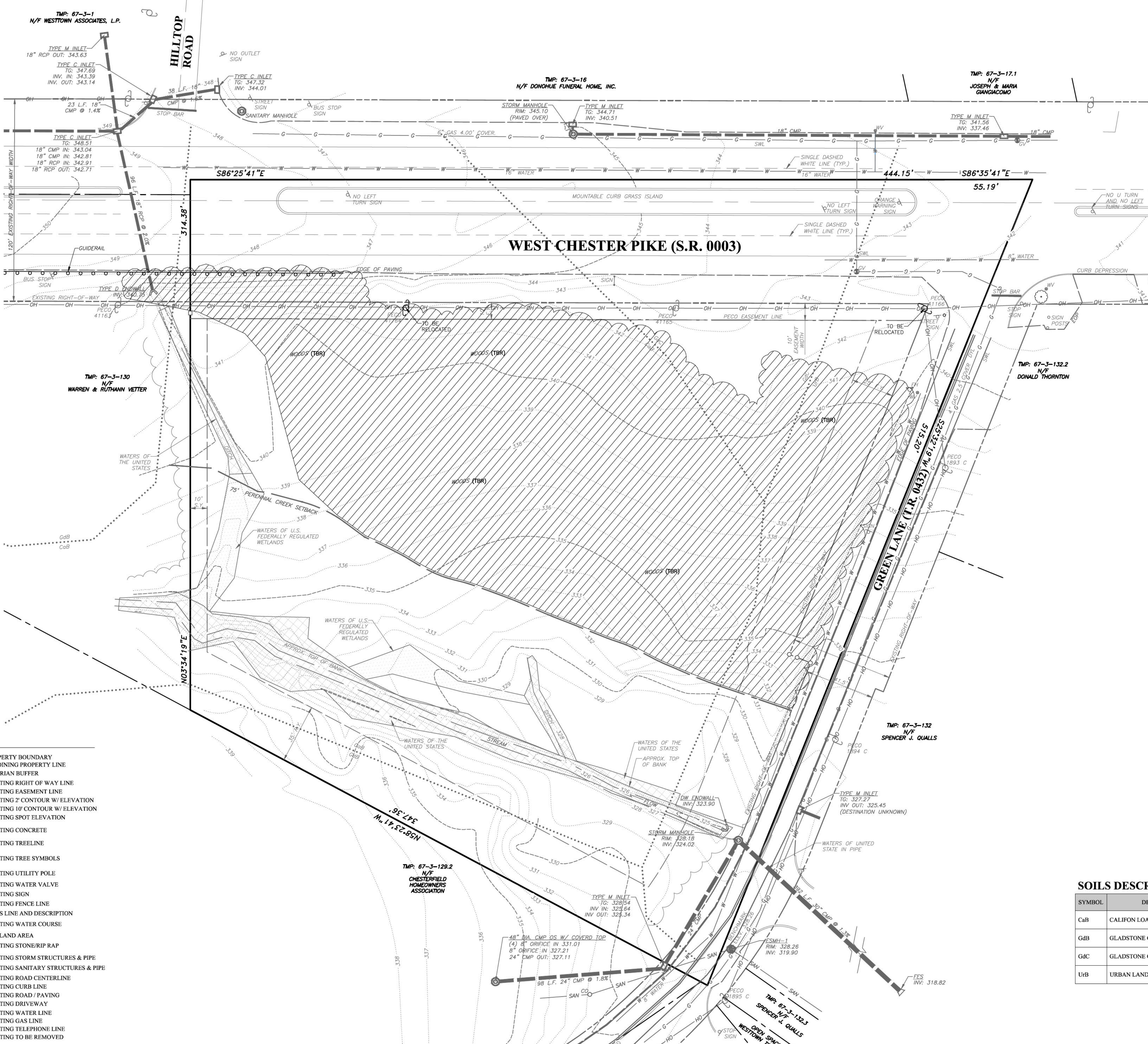
No.	Date:	Description:



Date: 01/16/2023
 Scale: 1" = 50'
 Drawn by: PCD
 Checked by: CAD
 Project No. 12078

EXISTING CONDITIONS & DEMOLITION PLAN
 1" = 50' SCALE FOR
1632 ASSOCIATES, LLC
1632 WEST CHESTER PIKE
WEST CHESTER, PA 19382
 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

S H E E T
1
OF 4



- GENERAL NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING FEATURES OF THE PROPERTY AS WELL AS PROPOSED IMPROVEMENTS INCLUDING A VISUAL ARTS CENTER, PARKING, WALKWAYS, GRADING AND STORMWATER MANAGEMENT FACILITIES.
 - GROSS TRACT AREA = 3.34 ACRES. TRACT AREA = 3.096 ACRES. REFER TO TRACT AREA CALCULATION TABLE SHOWN ON THIS SHEET.
 - UPI: 67-3-131 | DB: 6527 | PG: 1905
 - BOUNDARY INFORMATION SHOWN PER PHYSICAL FIELD SURVEY PERFORMED ON DECEMBER 19TH, 2022 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
 - THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 - TOPOGRAPHIC INFORMATION, EXISTING IMPROVEMENTS, PROPOSED IMPROVEMENTS AND ENVIRONMENTAL FEATURES INCLUDING WETLANDS SHOWN PER DIGITAL FILE PROVIDED BY APEX DESIGN AND ENGINEERING GROUP OF CONSHOHOCKEN, PA IN JANUARY 2023. CONTOUR INTERVAL = 2 FOOT.
 - ELEVATION BENCHMARK IS EXISTING SANITARY MANHOLE LOCATED WITHIN GREEN LANE (TR 432) LOCATED AT SOUTHEAST CORNER OF THE PROPERTY. BENCHMARK ELEVATION = 328.26
 - WETLAND BOUNDARY WAS DETERMINED BY DEL VAL SOILS CONSULTANTS OF DOYLESTOWN, PA.
 - THE PROPERTY IS LOCATED WITHIN THE R-3 RESIDENCE-OFFICE ZONING DISTRICT.
 - THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42029C0215G, EFFECTIVE SEPTEMBER 29, 2017.
 - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
 - SITE GEOLOGY IS CHARACTERIZED AS fgs; FELSIC GNEISS.
 - THE PROPERTY IS SERVED BY PUBLIC SEWER AND PUBLIC WATER.
 - THE SITE IS LOCATED IN THE RIDLEY CREEK WATERSHED.
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

- LEGEND**
- PROPERTY BOUNDARY
 - ADJOINING PROPERTY LINE
 - RIPARIAN BUFFER
 - EXISTING RIGHT OF WAY LINE
 - EXISTING EASEMENT LINE
 - EXISTING 2' CONTOUR W/ ELEVATION
 - EXISTING 10' CONTOUR W/ ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING CONCRETE
 - EXISTING TREELINE
 - EXISTING TREE SYMBOLS
 - EXISTING UTILITY POLE
 - EXISTING WATER VALVE
 - EXISTING SIGN
 - EXISTING FENCE LINE
 - SOILS LINE AND DESCRIPTION
 - EXISTING WATER COURSE
 - WETLAND AREA
 - EXISTING STONE/RIP RAP
 - EXISTING STORM STRUCTURES & PIPE
 - EXISTING SANITARY STRUCTURES & PIPE
 - EXISTING ROAD CENTERLINE
 - EXISTING CURB LINE
 - EXISTING ROAD/PAVING
 - EXISTING DRIVEWAY
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING TELEPHONE LINE
 - EXISTING TO BE REMOVED (TBR)

ZONING: R-3 RESIDENCE-OFFICE DISTRICT

RESIDENTIAL DEVELOPMENT OPTION 2 CONVENTIONAL DEVELOPMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	3 ACRES	3.096 ACRES*	3.096 ACRES*
MINIMUM LOT WIDTH @ STREET LINE	300 FEET	469.56 FEET	469.56 FEET
MINIMUM FRONT YARD SETBACK	25 FEET	10 FEET**	25.35 FEET
MINIMUM SIDE YARD SETBACK	10 FEET	10 FEET	263.59 FEET
MINIMUM REAR YARD SETBACK	35 FEET	10 FEET	245.92 FEET
MAXIMUM IMPERVIOUS COVERAGE	65%	0%	13.64% (18,393 S.F.)
MAXIMUM BUILDING COVERAGE	35%	0%	2.04% (2,750 S.F.)
MAXIMUM BUILDING HEIGHT	4 STORIES	N/A	42 FEET

* SECTION 170-802.G(2)(g): TRACT AREA SHALL BE THE NET AREA OF THE TRACT EXCLUDING EXISTING STREET RIGHTS-OF-WAY. TRACT AREA FOR A VAC SHALL NOT BE CALCULATED ACCORDING TO SECTION 170-1519. REFER TO TRACT AREA CALCULATION TABLE THIS SHEET.
 ** SECTION 170-802.G(3)(a): WHERE THE TRACT IS A CORNER LOT HAVING TWO OR MORE STREET FRONTS OR WHERE 10% OR MORE OF THE TRACT IS ENVIRONMENTALLY CONSTRAINED AND UNDEVELOPABLE, ONE OF THE TWO REQUIRED FRONT YARD SETBACKS MAY BE REDUCED TO 10 FEET.

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
CaB	CALIFON LOAM	3% - 8%	LOW (ABOUT 4.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 TO 36 INCHES	72 TO 99 INCHES	2e	D
GdB	GLADSTONE GRAVELLY LOAM	3% - 8%	MODERATE (ABOUT 8.4 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 80 INCHES	2e	B
GdC	GLADSTONE GRAVELLY LOAM	8% - 15%	MODERATE (ABOUT 6.1 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	65 TO 67 INCHES	3e	B
UB	URBAN LAND	0% - 8%	N/A	N/A	N/A	N/A	8u	N/A

TRACT AREA CALCULATION

	167,436 S.F.	3,844 A.C.
GROSS LOT AREA	167,436 S.F.	3,844 A.C.
AREA WITHIN EXISTING STREET RIGHTS-OF-WAY	32,587 S.F.	0.748 A.C.
TRACT AREA	134,849 S.F.	3.096 A.C.

OWNER OF RECORD:
 1632 ASSOCIATES, LLC
 ATTY: JACK E. D. LARKIN, GENERAL COUNSEL
 3400 WEST CHESTER PIKE
 NEWTOWN SQUARE, PA 19073

COPYRIGHT
 Inland Design, LLC expressly reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of Inland Design, LLC. They are to be used only in respect to this project and are neither to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of Inland Design, LLC. Any reuse without written permission, verification, consent or adaptation by Inland Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to Inland Design, LLC. The third party shall further indemnify and hold harmless Inland Design, LLC from all claims, damages, losses, and expenses arising therefrom or resulting therefrom.



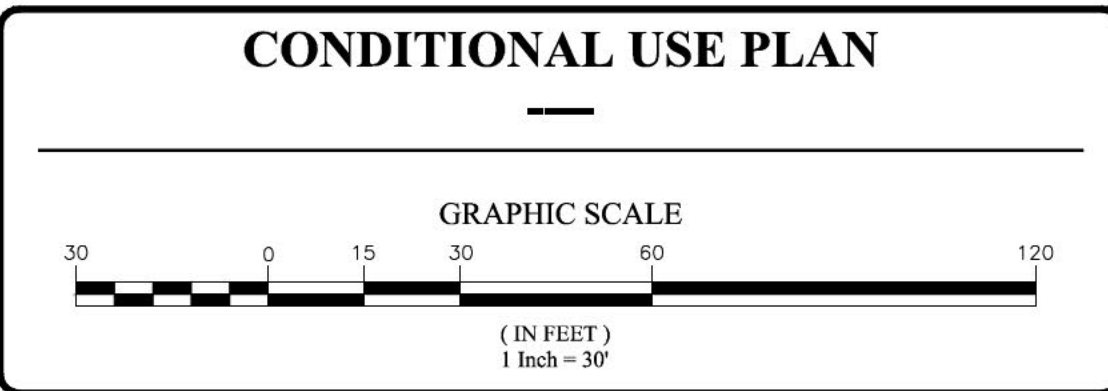
Pennsylvania One Call System
 PA. act 172 of 1986 requires three working days notice
 Serial Numbers:
20230112129

PENNSYLVANIA ACT 187 REQUIREMENTS:
 Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
 Civil Engineers, Surveyors & Land Development Consultants
 16 Hagerty Blvd. West Chester, PA 19382
 Phone: (484) 947-2928 Fax: (484) 947-2946
 www.InlandDesign.net Info@InlandDesign.net



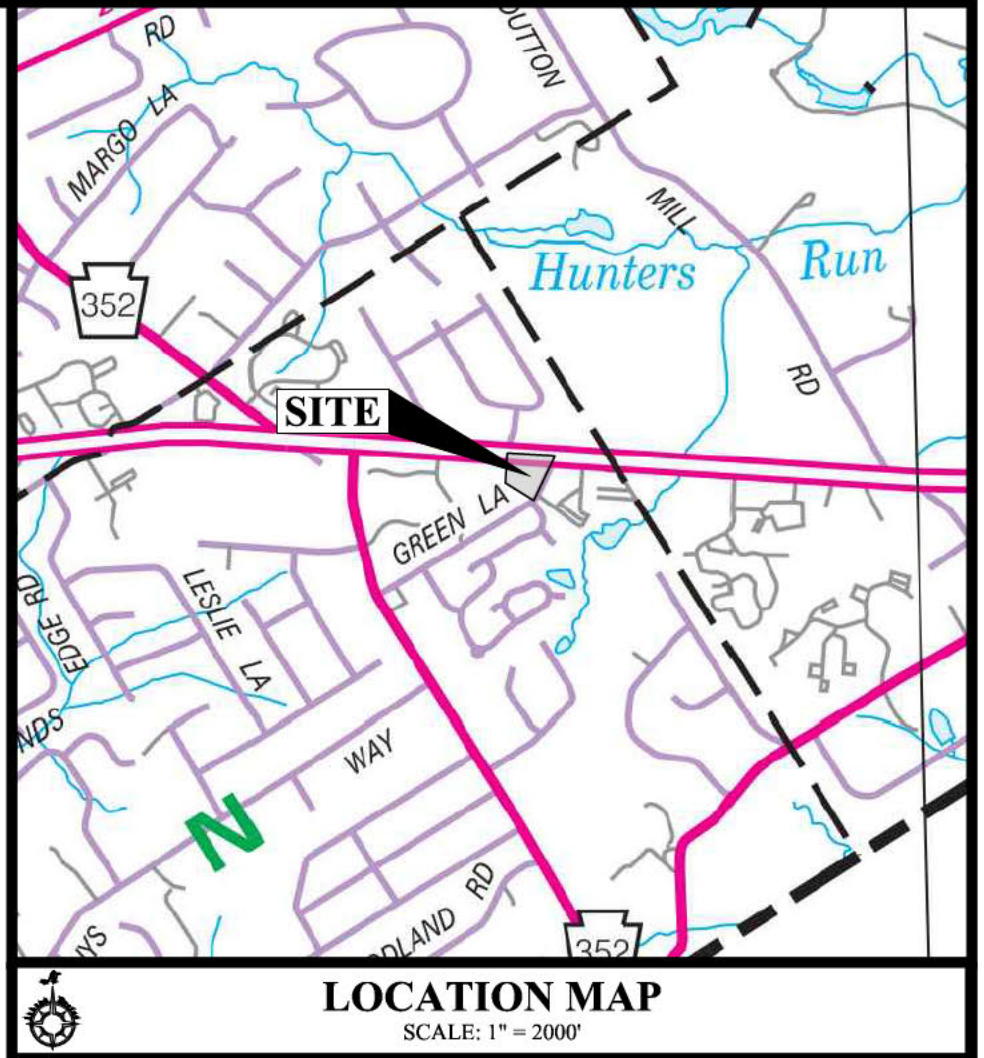
No.	Date:	Description:



Date: 01/16/2023
 Scale: 1" = 30'
 Drawn by: PCD
 Checked by: CAD
 Project No. 12078

EXISTING CONDITIONS & DEMOLITION PLAN
 1" = 30' SCALE FOR
1632 ASSOCIATES, LLC
1632 WEST CHESTER PIKE
WEST CHESTER, PA 19382
 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

S H E E T
2
OF 4



GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING FEATURES OF THE PROPERTY AS WELL AS PROPOSED IMPROVEMENTS INCLUDING A VISUAL ARTS CENTER, PARKING, WALKWAYS, GRADING AND STORMWATER MANAGEMENT FACILITIES.
- GROSS TRACT AREA = 3.94 ACRES. TRACT AREA = 3.096 ACRES. REFER TO TRACT AREA CALCULATION TABLE SHOWN ON THIS SHEET.
- BOUNDARY INFORMATION SHOWN PER PHYSICAL FIELD SURVEY PERFORMED ON DECEMBER 19TH, 2022 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
- THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- TOPOGRAPHIC INFORMATION, EXISTING IMPROVEMENTS, PROPOSED IMPROVEMENTS AND ENVIRONMENTAL FEATURES INCLUDING WETLANDS SHOWN PER DIGITAL FILE PROVIDED BY APEX DESIGN AND ENGINEERING GROUP OF CONSHOHOCKEN, PA IN JANUARY 2023. CONTOUR INTERVAL = 2 FOOT.
- ELEVATION BENCHMARK IS EXISTING SANITARY MANHOLE LOCATED WITHIN GREEN LANE (TR 432) LOCATED AT SOUTHEAST CORNER OF THE PROPERTY. BENCHMARK ELEVATION = 328.26.
- WETLAND BOUNDARY WAS DETERMINED BY DEL VAL SOILS CONSULTANTS OF DOYLESTOWN, PA.
- THE PROPERTY IS LOCATED WITHIN THE R-3 RESIDENCE-OFFICE ZONING DISTRICT.
- THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42029C0215G, EFFECTIVE SEPTEMBER 29, 2017.
- SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- SITE GEOLOGY IS CHARACTERIZED AS 5g₁ FELSIC GNEISS.
- THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
- THE SITE IS LOCATED IN THE RIDLEY CREEK WATERSHED.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

IMPERVIOUS COVERAGE TABLE

IMPERVIOUS CATEGORY	EXISTING	PROPOSED
BUILDING	0 S.F.	2,750 S.F.
PARKING AREA/ DRIVEWAY	0 S.F.	13,136 S.F.
WALK	0 S.F.	1,757 S.F.
WALLS	0 S.F.	750 S.F.
TOTAL	0 S.F.	18,393 S.F.

ZONING: R-3 RESIDENCE-OFFICE DISTRICT

RESIDENTIAL DEVELOPMENT OPTION 2 CONVENTIONAL DEVELOPMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	3 ACRES	3.096 ACRES*	3.096 ACRES*
MINIMUM LOT WIDTH @ STREET LINE	300 FEET	469.56 FEET	469.56 FEET
MINIMUM FRONT YARD SETBACK	25 FEET	10 FEET**	25.35 FEET
MINIMUM SIDE YARD SETBACK	10 FEET	10 FEET	263.59 FEET
MINIMUM REAR YARD SETBACK	35 FEET	10 FEET	245.92 FEET
MAXIMUM IMPERVIOUS COVERAGE	65%	0%	13.64% (18,393 S.F.)
MAXIMUM BUILDING COVERAGE	35%	0%	2.04% (2,750 S.F.)
MAXIMUM BUILDING HEIGHT	4 STORIES	N/A	42 FEET

* SECTION 170-802-G(2)(c): TRACT AREA SHALL BE THE NET AREA OF THE TRACT EXCLUDING EXISTING STREET RIGHTS-OF-WAY. TRACT AREA FOR A VAC SHALL NOT BE CALCULATED ACCORDING TO SECTION 170-1519. REFER TO TRACT AREA CALCULATION TABLE THIS SHEET.

** SECTION 170-802-G(3)(a): WHERE THE TRACT IS A CORNER LOT HAVING TWO OR MORE STREET FRONTAGES OR WHERE 10% OR MORE OF THE TRACT IS ENVIRONMENTALLY CONstrained AND UNDEVELOPABLE, ONE OF THE TWO REQUIRED FRONT YARD SETBACKS MAY BE REDUCED TO 10 FEET.

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
CaB	CALIFORN LOAM	3% - 8%	LOW (ABOUT 4.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 TO 36 INCHES	72 TO 99 INCHES	2c	D
GdB	GLADSTONE GRAVELLY LOAM	3% - 8%	MODERATE (ABOUT 8.4 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 80 INCHES	2c	B
GdC	GLADSTONE GRAVELLY LOAM	8% - 15%	MODERATE (ABOUT 6.1 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	65 TO 67 INCHES	3e	B
UrB	URBAN LAND	0% - 8%	N/A	N/A	N/A	N/A	8s	N/A

TRACT AREA CALCULATION

GROSS LOT AREA	167,436 S.F.	3.844 A.C.
AREA WITHIN EXISTING STREET RIGHTS-OF-WAY	32,587 S.F.	0.748 A.C.
TRACT AREA	134,849 S.F.	3.096 A.C.

OWNER OF RECORD:

1632 ASSOCIATES, LLC
 ATTN: JACK E. D. LARKIN, GENERAL COUNSEL
 3400 WEST CHESTER PIKE
 NEWTOWN SQUARE, PA 19073

LEGEND

- PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- RIPIARIAN BUFFER
- EXISTING RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING 2' CONTOUR W/ ELEVATION
- EXISTING 10' CONTOUR W/ ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE
- EXISTING TREELINE
- EXISTING TREE SYMBOLS
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING SIGN
- EXISTING FENCE LINE
- SOILS LINE AND DESCRIPTION
- EXISTING WATER COURSE
- WETLAND AREA
- EXISTING STONE/RIP RAP
- EXISTING STORM STRUCTURES & PIPE
- EXISTING SANITARY STRUCTURES & PIPE
- EXISTING ROAD CENTERLINE
- EXISTING CURB LINE
- EXISTING ROAD / PAVING
- EXISTING DRIVEWAY
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED EASEMENT LINE
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONCRETE
- PROPOSED TREELINE
- PROPOSED UTILITY POLE
- PROPOSED WATER VALVE
- PROPOSED SIGN
- PROPOSED FENCE LINE
- PROPOSED STORM STRUCTURES & PIPE
- PROPOSED CURB LINE
- PROPOSED ROAD / PAVING
- PROPOSED WALL
- PROPOSED WATER LINE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE

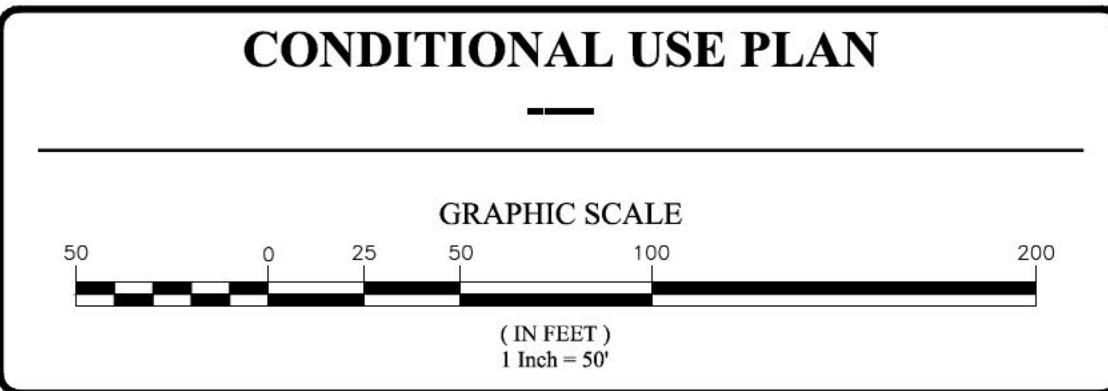
NATURAL RESOURCE INVENTORY

NATURAL RESOURCES	AREA OF LAND IN RESOURCES (S.F.)	AREA OF LAND IN RESOURCES DISTURBED (S.F.)	PROPOSED PROTECTION LAND (S.F.)
FLOODPLAIN	0 S.F.	0 S.F.	0 S.F.
WETLANDS	2,426 S.F.	0 S.F.	2,426 S.F.
WATERCOURSES	7,768 S.F.	0 S.F.	7,768 S.F.
75' PERENNIAL CREEK SETBACK	45,804 S.F.	1,981 S.F.	43,823 S.F.
WOODLANDS	66,284 S.F.	59,812 S.F.	6,472 S.F.
PRECAUTIONARY SLOPES (15-25%)	0 S.F.	0 S.F.	0 S.F.
PROHIBITIVE SLOPES (25+%)	0 S.F.	0 S.F.	0 S.F.
TOTAL	122,282 S.F.	61,793 S.F.	60,489 S.F.

PROPOSED PARKING ANALYSIS

DESCRIPTION	UNIT	REQUIRED	PROVIDED
VISUAL ARTS CENTER (2,750 S.F.)	1 SPACE/300 S.F.	10 SPACES	17 SPACES

No.	Date:	Description:



Date: 01/16/2023
 Scale: 1" = 50'
 Drawn by: PCD
 Checked by: CAD
 Project No: 12078

IMPROVEMENTS PLAN
 1" = 50' SCALE FOR
1632 ASSOCIATES, LLC
1632 WEST CHESTER PIKE
WEST CHESTER, PA 19382
 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

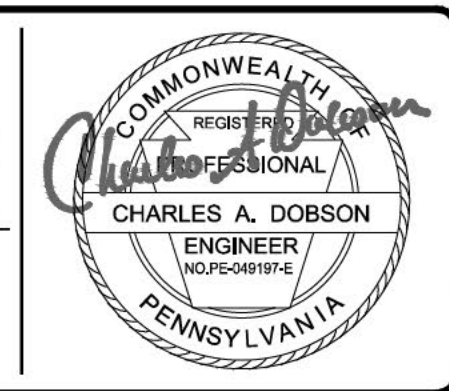
SHEET
3
OF 4

COPYRIGHT
 Inland Design, LLC expressly reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of Inland Design, LLC. They are to be used only in respect to this project and are neither to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of Inland Design, LLC. Any reuse without written permission, verification, consent or adaptation by Inland Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to Inland Design, LLC. The third party shall further indemnify and hold harmless Inland Design, LLC from all claims, damages, losses, and expenses arising therefrom or resulting therefrom.

UPI: 67-3-131 | D.B. 6527 | PG. 1905

PENNSYLVANIA ONE CALL SYSTEM
 PA. act 172 of 1986 requires three working days notice
 Serial Numbers: 20230112129
PENNSYLVANIA ACT 187 REQUIREMENTS:
 Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
 Civil Engineers, Surveyors & Land Development Consultants
 16 Hagerty Blvd. West Chester, PA 19382
 Phone: (484) 947-2928
 Fax: (484) 947-2946
 Info@InLandDesign.net





TMP: 67-3-1
N/F WESTTOWN ASSOCIATES, L.P.

TMP: 67-3-16
N/F DONOHUE FUNERAL HOME, INC.

TMP: 67-3-17.1
N/F JOSEPH & MARIA
GHANGACOMO

TMP: 67-3-130
N/F WARREN & RUTHMAN VETTER

TMP: 67-3-132.2
N/F DONALD THORNTON

TMP: 67-3-132
N/F SPENCER J. QUALLS

TMP: 67-3-129.2
N/F CHESTERFIELD
HOMEOWNERS
ASSOCIATION



LOCATION MAP
SCALE: 1" = 2000'

- GENERAL NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING FEATURES OF THE PROPERTY AS WELL AS PROPOSED IMPROVEMENTS INCLUDING A VISUAL ARTS CENTER, PARKING, WALKWAYS, GRADING AND STORMWATER MANAGEMENT FACILITIES.
 - GROSS TRACT AREA = 3.94 ACRES. TRACT AREA = 3.096 ACRES. REFER TO TRACT AREA CALCULATION TABLE SHOWN ON THIS SHEET.
 - UP: 67-3-131 | DB: 6527 | PG: 1905.
 - BOUNDARY INFORMATION SHOWN PER PHYSICAL FIELD SURVEY PERFORMED ON DECEMBER 19TH, 2022 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
 - THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 - TOPOGRAPHIC INFORMATION, EXISTING IMPROVEMENTS, PROPOSED IMPROVEMENTS AND ENVIRONMENTAL FEATURES INCLUDING WETLANDS SHOWN PER DIGITAL FILE PROVIDED BY APEX DESIGN AND ENGINEERING GROUP OF CONSHOHOCKEN, PA IN JANUARY 2023. CONTOUR INTERVAL = 2 FOOT.
 - ELEVATION BENCHMARK IS EXISTING SANITARY MANHOLE LOCATED WITHIN GREEN LANE (TR 432) LOCATED AT SOUTHEAST CORNER OF THE PROPERTY. BENCHMARK ELEVATION = 328.26.
 - WETLAND BOUNDARY WAS DETERMINED BY DEL VAL SOILS CONSULTANTS OF DOYLESTOWN, PA.
 - THE PROPERTY IS LOCATED WITHIN THE R-3 RESIDENCE-OFFICE ZONING DISTRICT.
 - THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42029C0215G, EFFECTIVE SEPTEMBER 29, 2017.
 - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
 - SITE GEOLOGY IS CHARACTERIZED AS 5g; FELSIC GNEISS.
 - THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
 - THE SITE IS LOCATED IN THE RIDLEY CREEK WATERSHED.
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

IMPERVIOUS COVERAGE TABLE

IMPERVIOUS CATEGORY	EXISTING	PROPOSED
BUILDING	0 S.F.	2,750 S.F.
PARKING AREA/ DRIVEWAY	0 S.F.	13,136 S.F.
WALK	0 S.F.	1,757 S.F.
WALLS	0 S.F.	750 S.F.
TOTAL	0 S.F.	18,393 S.F.

ZONING: R-3 RESIDENCE-OFFICE DISTRICT

RESIDENTIAL DEVELOPMENT OPTION 2 CONVENTIONAL DEVELOPMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	3 ACRES	3.096 ACRES*	3.096 ACRES*
MINIMUM LOT WIDTH @ STREET LINE	300 FEET	469.56 FEET	469.56 FEET
MINIMUM FRONT YARD SETBACK	25 FEET	10 FEET**	25.35 FEET
MINIMUM SIDE YARD SETBACK	10 FEET	10 FEET	263.59 FEET
MINIMUM REAR YARD SETBACK	35 FEET	10 FEET	245.92 FEET
MAXIMUM IMPERVIOUS COVERAGE	65%	0%	13.64% (18,393 S.F.)
MAXIMUM BUILDING COVERAGE	35%	0%	2.04% (2,750 S.F.)
MAXIMUM BUILDING HEIGHT	4 STORIES	N/A	42 FEET

* SECTION 170-802-G(2)(c): TRACT AREA SHALL BE THE NET AREA OF THE TRACT EXCLUDING EXISTING STREET RIGHTS-OF-WAY. TRACT AREA FOR A VAC SHALL NOT BE CALCULATED ACCORDING TO SECTION 170-1519. REFER TO TRACT AREA CALCULATION TABLE THIS SHEET.
 ** SECTION 170-802-G(3)(a): WHERE THE TRACT IS A CORNER LOT HAVING TWO OR MORE STREET FRONTAGES OR WHERE 10% OR MORE OF THE TRACT IS ENVIRONMENTALLY CONSTRAINED AND UNDEVELOPABLE, ONE OF THE TWO REQUIRED FRONT YARD SETBACKS MAY BE REDUCED TO 10 FEET.

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
CaB	CALIFON LOAM	3% - 8%	LOW (ABOUT 4.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 TO 36 INCHES	72 TO 99 INCHES	2c	D
GgB	GLADSTONE GRAVELLY LOAM	3% - 8%	MODERATE (ABOUT 8.4 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 80 INCHES	2c	B
GgC	GLADSTONE GRAVELLY LOAM	8% - 15%	MODERATE (ABOUT 6.1 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	65 TO 67 INCHES	3e	B
UrB	URBAN LAND	0% - 8%	N/A	N/A	N/A	N/A	8s	N/A

TRACT AREA CALCULATION

GROSS LOT AREA	167,436 S.F.	3,844 A.C.
AREA WITHIN EXISTING STREET RIGHTS-OF-WAY	32,587 S.F.	0.748 A.C.
TRACT AREA	134,849 S.F.	3.096 A.C.

OWNER OF RECORD:

1632 ASSOCIATES, LLC
 ATTN: JACK E. D. LARKIN, GENERAL COUNSEL
 3400 WEST CHESTER PIKE
 NEWTOWN SQUARE, PA 19073

LEGEND

- PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- RIPARIAN BUFFER
- EXISTING RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING 2' CONTOUR W/ ELEVATION
- EXISTING 10' CONTOUR W/ ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE
- EXISTING TREELINE
- EXISTING TREE SYMBOLS
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING SIGN
- EXISTING FENCE LINE
- SOILS LINE AND DESCRIPTION
- EXISTING WATER COURSE
- WETLAND AREA
- EXISTING STONE/RIP RAP
- EXISTING STORM STRUCTURES & PIPE
- EXISTING SANITARY STRUCTURES & PIPE
- EXISTING ROAD CENTERLINE
- EXISTING CURB LINE
- EXISTING ROAD / PAVING
- EXISTING DRIVEWAY
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED EASEMENT LINE
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONCRETE
- PROPOSED TREELINE
- PROPOSED UTILITY POLE
- PROPOSED WATER VALVE
- PROPOSED SIGN
- PROPOSED FENCE LINE
- PROPOSED STORM STRUCTURES & PIPE
- PROPOSED CURB LINE
- PROPOSED ROAD / PAVING
- PROPOSED WALL
- PROPOSED WATER LINE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE

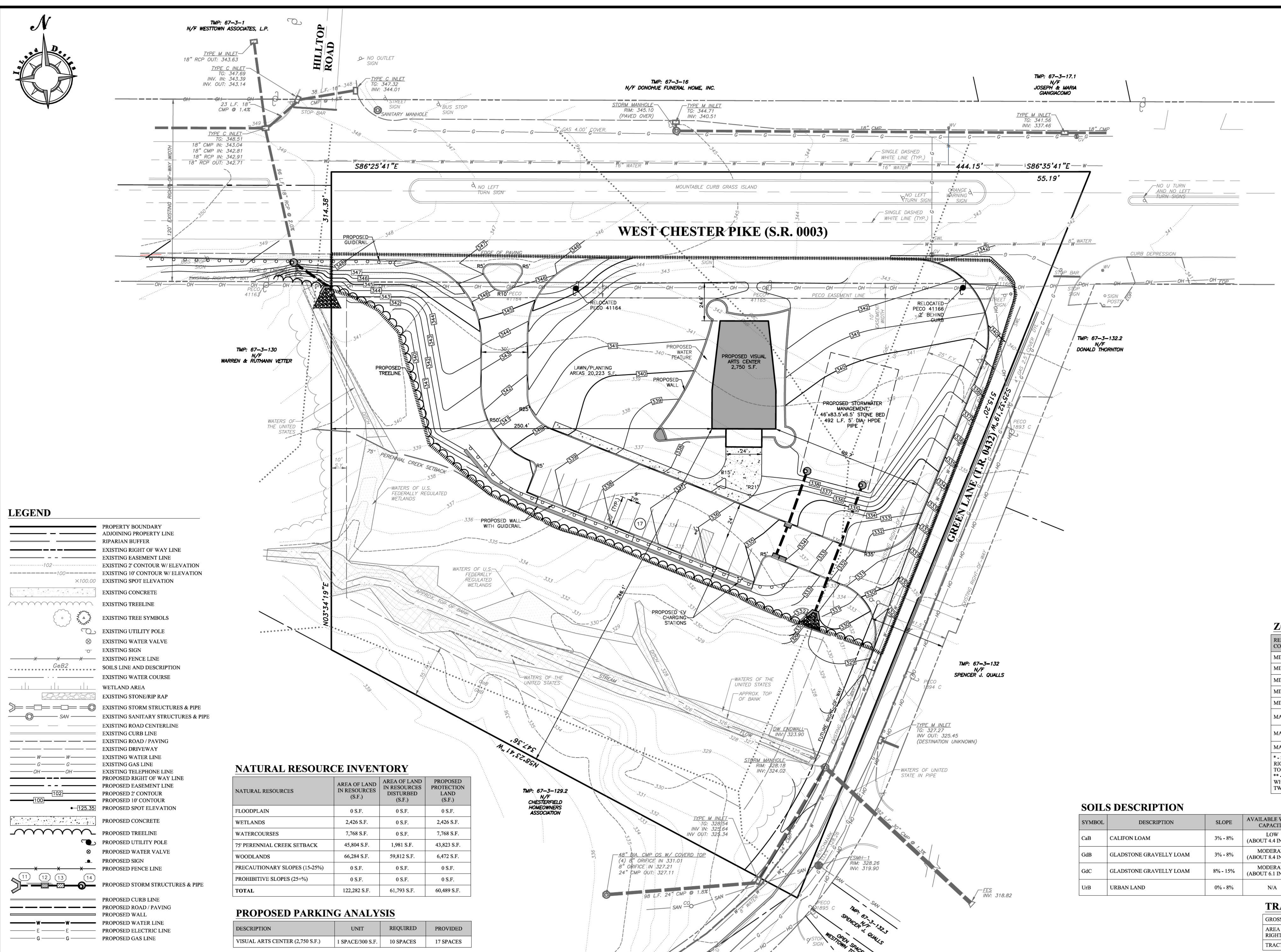
NATURAL RESOURCE INVENTORY

NATURAL RESOURCES	AREA OF LAND IN RESOURCES (S.F.)	AREA OF LAND IN RESOURCES DISTURBED (S.F.)	PROPOSED PROTECTION LAND (S.F.)
FLOODPLAIN	0 S.F.	0 S.F.	0 S.F.
WETLANDS	2,426 S.F.	0 S.F.	2,426 S.F.
WATERCOURSES	7,768 S.F.	0 S.F.	7,768 S.F.
75' PERENNIAL CREEK SETBACK	45,804 S.F.	1,981 S.F.	43,823 S.F.
WOODLANDS	66,284 S.F.	59,812 S.F.	6,472 S.F.
PRECAUTIONARY SLOPES (15-25%)	0 S.F.	0 S.F.	0 S.F.
PROHIBITIVE SLOPES (25+%)	0 S.F.	0 S.F.	0 S.F.
TOTAL	122,282 S.F.	61,793 S.F.	60,489 S.F.

PROPOSED PARKING ANALYSIS

DESCRIPTION	UNIT	REQUIRED	PROVIDED
VISUAL ARTS CENTER (2,750 S.F.)	1 SPACE/300 S.F.	10 SPACES	17 SPACES

WEST CHESTER PIKE (S.R. 0003)



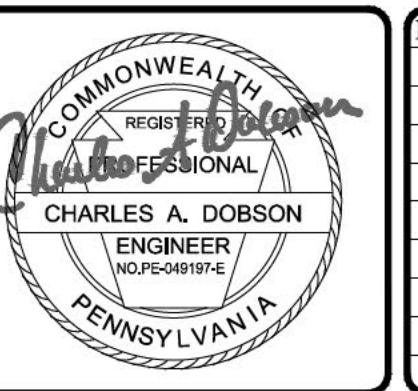
COPYRIGHT
 Inland Design, LLC expressly reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of Inland Design, LLC. They are to be used only in respect to this project and are neither to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of Inland Design, LLC. Any reuse without written permission, verification, consent or adaptation by Inland Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to Inland Design, LLC. The third party shall further indemnify and hold harmless Inland Design, LLC from all claims, damages, losses, and expenses arising therefrom or resulting therefrom.

UP: 67-3-131 | D.B. 6527 | PG. 1905

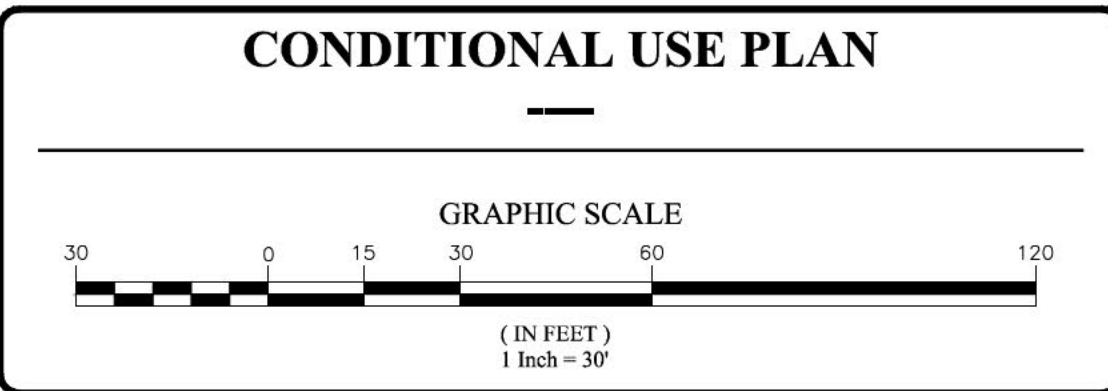
Pennsylvania One Call System
 PA. act 172 of 1986 requires three working days notice
 Serial Number:
20230112129

PENNSYLVANIA ACT 187 REQUIREMENTS:
 Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
 Civil Engineers, Surveyors & Land Development Consultants
 16 Hagerty Blvd. West Chester, PA 19382
 Phone: (484) 947-2928
 Fax: (484) 947-2946
 Info@InlandDesign.net
 www.InlandDesign.net



No.	Date:	Description:



Date:
01/16/2023
 Scale:
1" = 30'
 Drawn by:
PCD
 Checked by:
CAD
 Project No.
12078

IMPROVEMENTS PLAN
1" = 30' SCALE FOR
1632 ASSOCIATES, LLC
1632 WEST CHESTER PIKE
WEST CHESTER, PA 19382
 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET
4
OF 4