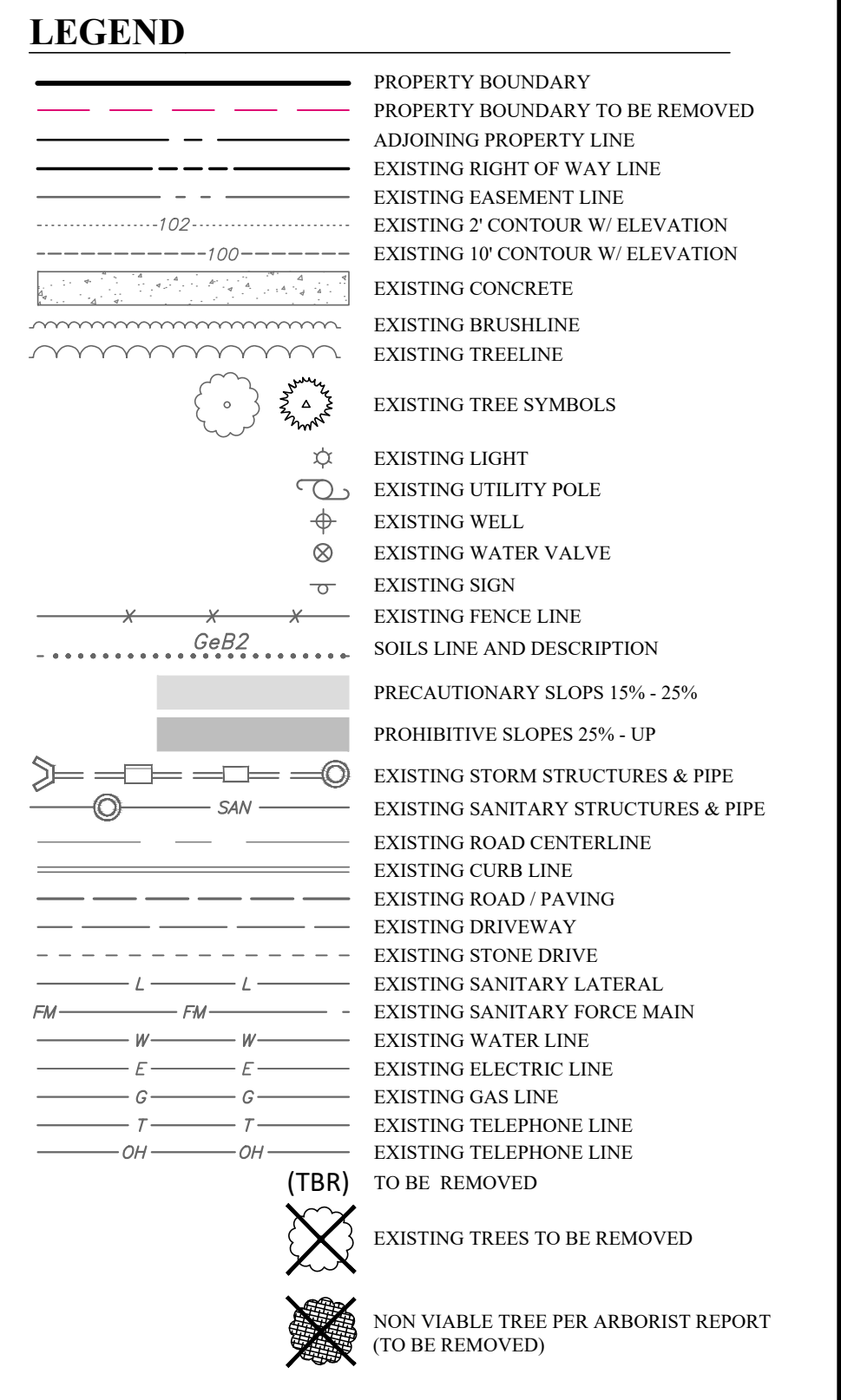


- EXISTING CONDITIONS NOTES:**
- BOUNDARY INFORMATION SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
  - TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL - 2 FEET.
  - ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 25, 2020. BENCHMARK (EXISTING MANHOLE) LOCATED AT THE INTERSECTION PICKET WAY AND SOUTH CONCORD ROAD. ELEVATION 376.81.
  - SOURCE OF THE EXISTING DRAINAGE EASEMENT AT THE SOUTH OF THE PROPERTY IS THE STORMWATER EASEMENT AGREEMENT RECORDED IN DE 4880 PG 0251.
  - SOURCE OF THE EXISTING DRAINAGE EASEMENT ALONG THE REAR OF TRELIS LANE LOT AND ACROSS 933 TRELIS LANE IS AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDYWINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
  - DATA FOR OFF-SITE STORM SEWER PIPES TAKEN FROM AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDYWINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
  - THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS. MAP NUMBER CDD00000, EFFECTIVE SEPTEMBER 28, 2017.
  - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
  - SITE GEOLOGY IS CHARACTERIZED AS FLSIC AND INTERMEDIATE GNEISS (FGH).
  - THIS SITE IS LOCATED IN THE M4 MULTI-USE ZONING DISTRICT.
  - THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
  - THERE ARE NO WETLANDS LOCATED ON THIS SITE.
  - THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED. THE CHAPTER 19 DESIGNATION FOR GOOSE CREEK IS TSE/MF.
  - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.



**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
Urb	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2c	A
UgB	URBAN LAND-DORTHERTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

**INLAND DESIGN**  
Civil Engineers, Surveyors & Land Development Consultants  
16 Hagerty Blvd. West Chester, PA 19382  
Phone: (484) 947-2928  
Fax: (484) 947-2946  
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**REVISIONS**

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCDD COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE Bmps

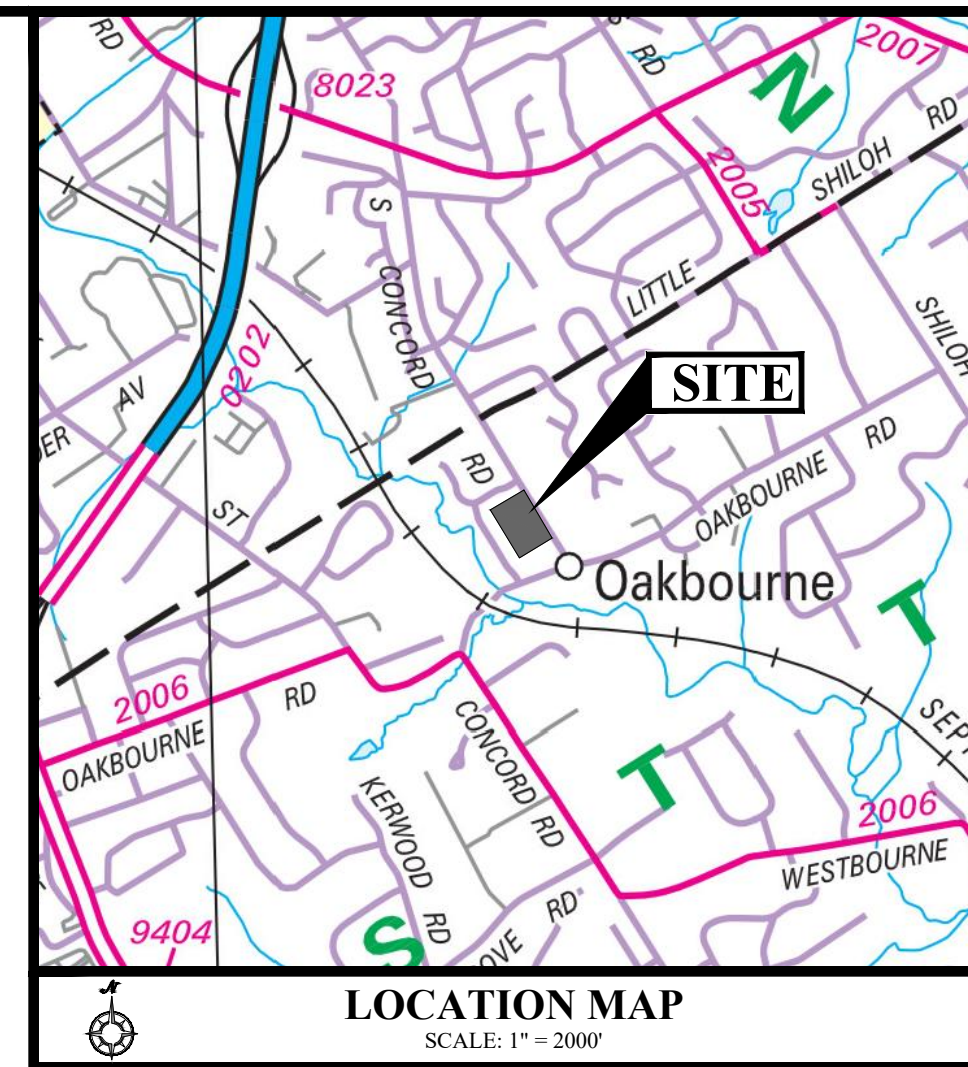
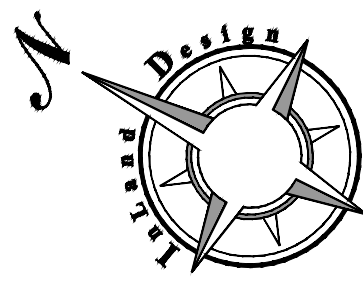
**PRELIMINARY/FINAL LAND DEVELOPMENT**

GRAPHIC SCALE  
0 15 30 60 120  
(IN FEET)  
1 inch = 30'

Date: 12/07/2020  
Scale: 1" = 30'  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**EXISTING CONDITION & DEMOLITION PLAN FOR SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, 19382 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA**

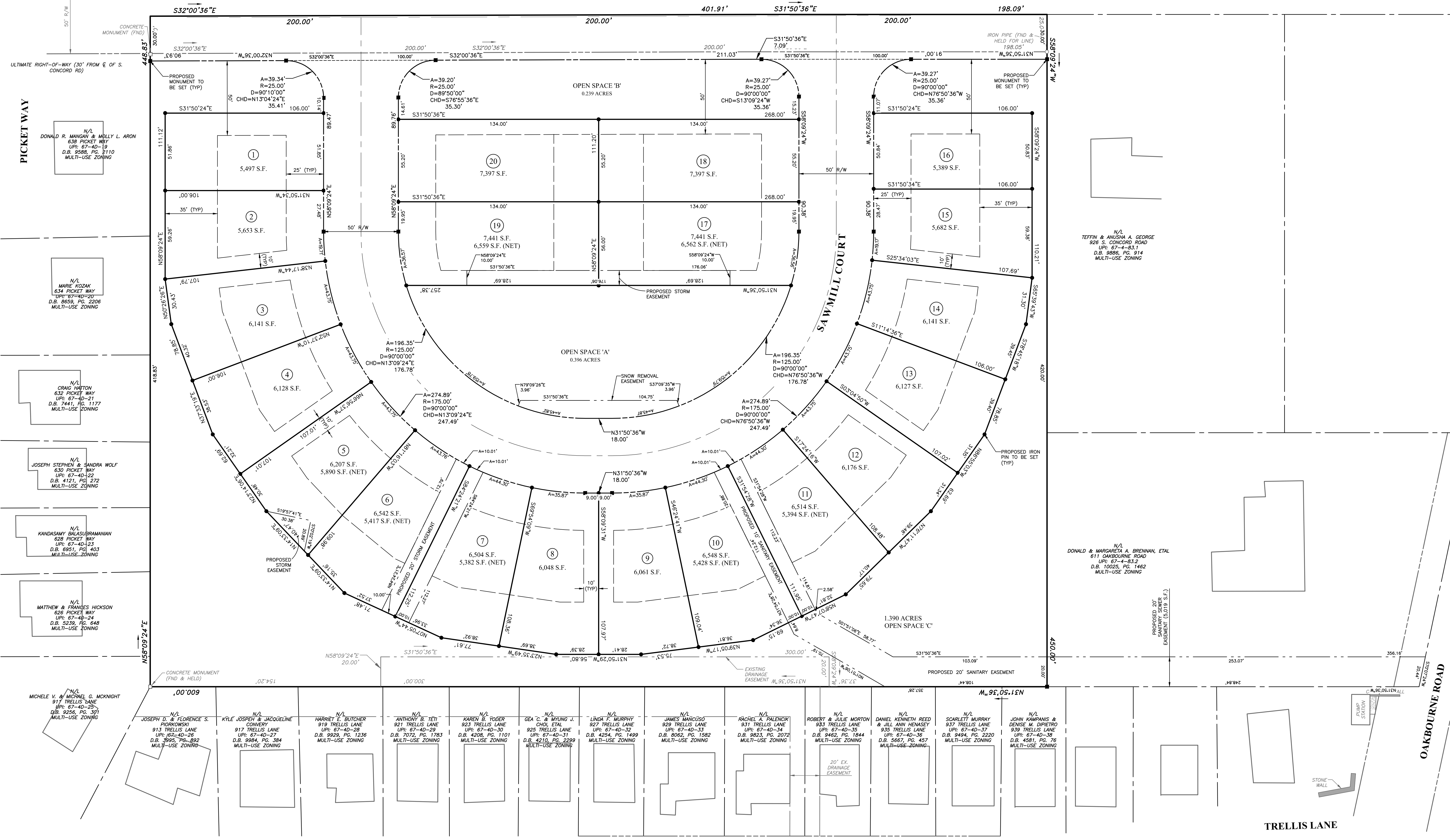
**SHEET 2 OF 20**



**LEGEND**

- PROPERTY BOUNDARY
- PROPERTY BOUNDARY TO BE REMOVED
- ADJOINING PROPERTY LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING ROAD CENTERLINE
- EXISTING SANITARY STRUCTURES & PIPE
- EXISTING SIGN
- PROPOSED RIGHT OF WAY LINE
- PROPOSED EASEMENT LINE
- PROPOSED ROAD CENTERLINE
- PROPOSED PROPERTY CORNER
- PROPOSED MONUMENT
- PROPOSED BUILDING SETBACK LINE

**SOUTH CONCORD ROAD**



**TITLE NOTES**

- A BLANKET EASEMENT IS HEREBY GRANTED GIVING WESTTOWN TOWNSHIP THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM ANY REQUIRED PCSW BMP MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED IN A TIMELY MANNER. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE MUNICIPALITY.
- THE HOMEOWNERS ASSOCIATION SHALL HAVE THE RESPONSIBILITY FOR THE PERPETUAL MAINTENANCE OF THE PERMANENT STORAGE WATER BMPs, OUTLET STRUCTURES, AND PIPES WHICH ARE LOCATED ON THIS PROPERTY. NO CHANGES SHALL BE MADE TO THE STRUCTURES, PIPES OR FINISH GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE TOWNSHIP. THE TOWNSHIP HAS THE RIGHT TO ENTER THE LOT TO PERFORM ANY REQUIRED MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED OR CARRIED OUT IN A TIMELY MANNER. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP. THE TOWNSHIP SHALL LIEN THE PROPERTY FOR SAID COSTS UNTIL THE TOWNSHIP HAS BEEN REIMBURSED IN FULL.

**M-U MULTI-USE ZONING DISTRICT**  
TWIN USE UNDER R-3 IN ACCORDANCE WITH 170-802.E.

	TWIN DWELLING SECTION 170-802.E	PROPOSED
MINIMUM TRACT AREA	5 ACRES	5.84 ACRES (TO LEGAL R/W)
MAXIMUM DENSITY	4 DU/ACRE	3.25 DU/ACRE
MINIMUM LOT AREA	4,800 S.F.	>4,800 S.F.
MAXIMUM BUILDING HEIGHT	38'	<38'
MINIMUM WIDTH @ BUILDING LINE	50'	50'
MAXIMUM BUILDING COVERAGE	30%	<30%
MAXIMUM IMPERVIOUS COVERAGE	60%	<60%
MINIMUM SIDE YARD SETBACK	10'	10'
MINIMUM REAR YARD SETBACK	30'	30'
MINIMUM FRONT YARD DEPTH	25'	25'
MINIMUM COMMON OPEN SPACE	30%	36%

**OPEN SPACE**

DESCRIPTION	AREA (S.F.)	AREA (ACRES)
OPEN SPACE A	17,260 S.F.	0.396 AC.
OPEN SPACE B	10,432 S.F.	0.239 AC.
OPEN SPACE C	60,543 S.F.	1.390 AC.
TOTAL OPEN SPACE	88,237 S.F.	2.025 AC.

**APPLICANT / OWNER:**  
HUNTRE BUILDERS, LLC  
ATTN: WAYNE MEGILL, CO-MANAGER  
330 KENNETT PIKE, SUITE 207  
CHADD FORD, PA 19317  
610.399.1253  
SITE ADDRESS:  
914-924 S. CONCORD RD.  
WESTTOWN TWP., CHESTER COUNTY, PA  
PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
Umb	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A
Uub	URBAN LAND-DORTHERTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

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**COMMONWEALTH OF PENNSYLVANIA**  
REGISTERED PROFESSIONAL ENGINEER  
WILLIAM R. CLUDIK  
SUPERVISOR LICENSE NO. 10072591

**Revisions**

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCCD COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPs

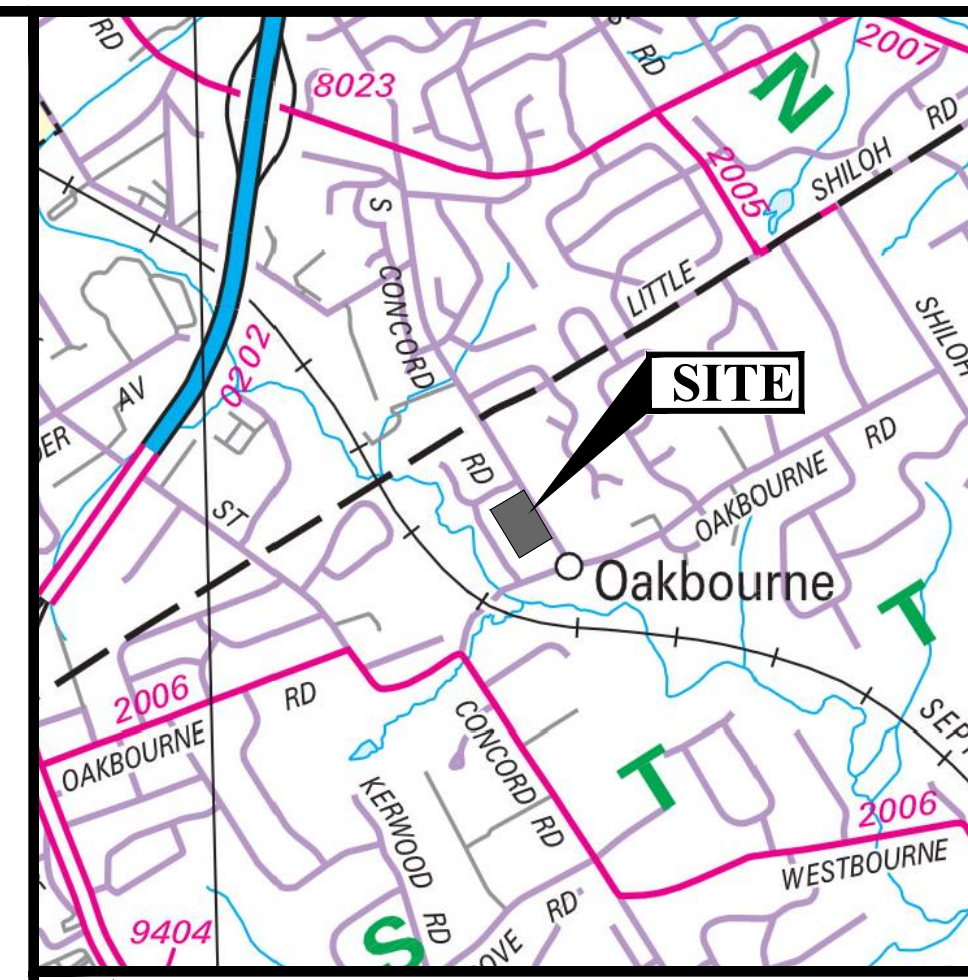
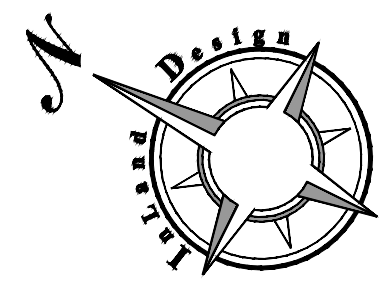
**PRELIMINARY/FINAL LAND DEVELOPMENT**

GRAPHIC SCALE  
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(IN FEET)  
1 inch = 30'

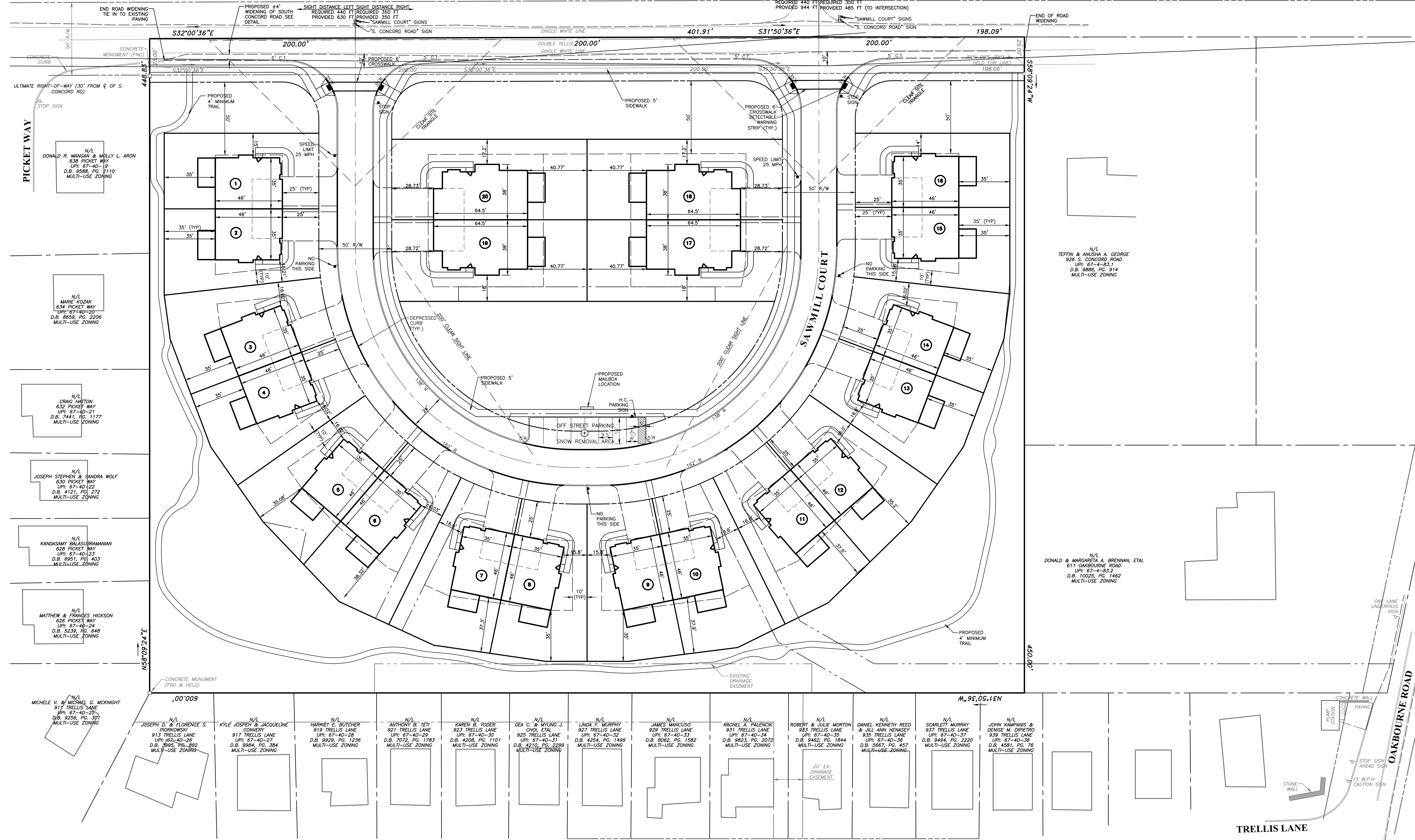
Date: 12/07/2020  
Scale: 1" = 30'  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**TITLE PLAN FOR**  
**SAWMILL COURT**  
**914-924 S. CONCORD ROAD**  
**WEST CHESTER, PENNSYLVANIA, 19382**  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET**  
**3**  
**OF 20**



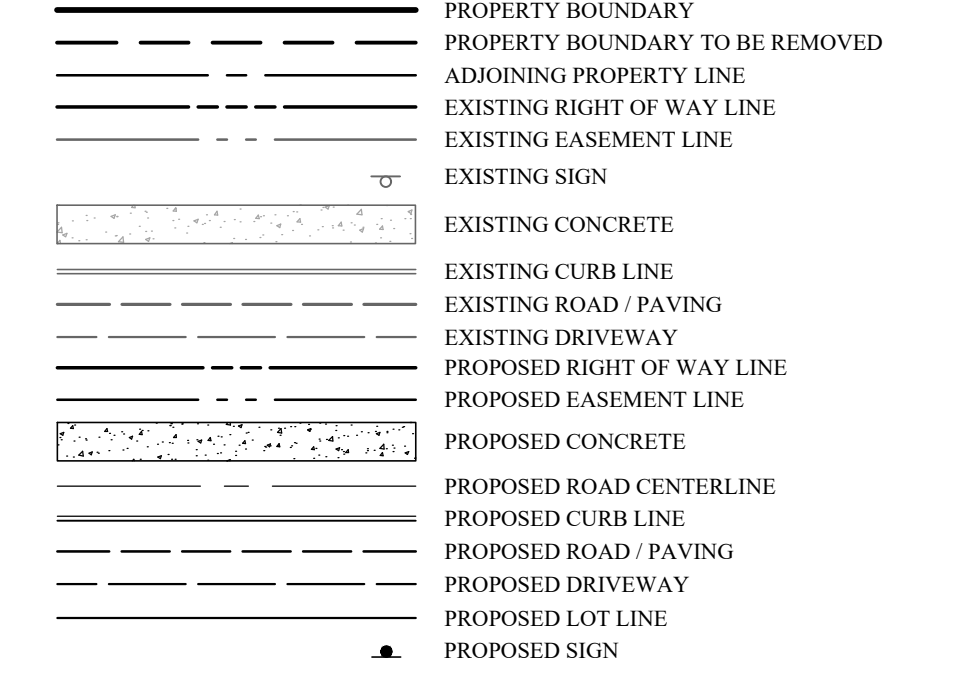
**SOUTH CONCORD ROAD**



**GENERAL NOTES:**

- THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHALL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP ALD AND PER AQUA PA STANDARDS AND SPECIFICATIONS.
- SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOSHEN SEWER AUTHORITY WWTP.
- ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE WESTTOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS.
- THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH.
- THERE ARE NO WELL LANDS WITHIN SITE LIMITS.
- THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
- THE RIGHT-OF-WAY OF SAWMILL COURT WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE RIGHT-OF-WAY.
- THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE BOARD OF SUPERVISORS DETERMINES THAT THE RIGHT-OF-WAY IS NEEDED.
- THE SANITARY SEWER EXTENSION PROPOSED AS A PART OF THIS PROJECT WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE FACILITIES.
- LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY LAMPS ON EACH INDIVIDUAL PROPERTY OWNERS LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCENT LIGHTS ARE SHOWN AT EACH DRIVEWAY. THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DISK TO DAWN SENSOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOMEOWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
- THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN TOWNSHIP TO ALLOW CONSTRUCTION OF CONNECTOR SIDEWALKS IN THE NORTHEAST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS SIDEWALKS ARE EXTENDED TO THESE CORNERS OF THE ADJACENT PARCELS.

**LEGEND**



**TRAFFIC NOTES:**

- PER ITE TRIP GENERATION DATA, THE ANTICIPATED TRAFFIC IMPACT FROM THIS SITE IS 191 TRIPS PER DAY (9.57 TRIPS PER DWELLING UNIT). NO ADDITIONAL TRAFFIC STUDY IS PROPOSED FOR THIS DEVELOPMENT.
- FOUR PARKING SPOTS ARE PROPOSED FOR EACH UNIT (2 IN THE GARAGE AND 2 IN THE DRIVEWAYS).
- 9 ADDITIONAL SPOTS ARE DESIGNATED AS GUEST/OVERFLOW PARKING IN THE AREA OF THE SNOW REMOVAL EASEMENT.
- PARKING ALONG SAWMILL COURT IS TO BE LIMITED TO THE INTERNAL SIDE OF THE PROPOSED ROAD. THIS IS TO BE DOCUMENTED IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
- THE SPEED LIMIT FOR SAWMILL COURT WILL BE POSTED AT 25 MPH.
- SIDEWALK IS PROPOSED ALONG THE EASTERN SIDE OF SAWMILL COURT AND ALONG THE SOUTH CONCORD ROAD FRONTAGE.

**M-U MULTI-USE ZONING DISTRICT**  
TWIN USE UNDER R-3 IN ACCORDANCE WITH 170-802.E.

	TWIN DWELLING SECTION TABLE	PROPOSED
MINIMUM TRACT AREA	5 ACRES	5.84 ACRES (TO LEGAL R/W)
MAXIMUM DENSITY	4 DU/ACRE	3.25 DU/ACRE
MINIMUM LOT AREA	4,800 S.F.	~4,800 S.F.
MAXIMUM BUILDING HEIGHT	3'	<3'
MINIMUM WIDTH @ BUILDING LINE	50'	50'
MAXIMUM BUILDING COVERAGE	30%	<30%
MAXIMUM IMPERVIOUS COVERAGE	60%	<60%
MINIMUM SIDE YARD SETBACK	10'	10'
MINIMUM REAR YARD SETBACK	30'	30'
MINIMUM FRONT YARD DEPTH	25'	25'
MINIMUM COMMON OPEN SPACE	30%	30%

**INDIVIDUAL LOT IMPERVIOUS CHART**

	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20
HOUSE	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.
CONCRETE	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.
DECK	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.
DRIVE	500 S.F.	500 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	500 S.F.	500 S.F.	575 S.F.	575 S.F.	575 S.F.	575 S.F.
FUTURE	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.
TOTAL	2,668 S.F.	2,668 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,668 S.F.	2,668 S.F.	3,042 S.F.	3,042 S.F.	3,042 S.F.	3,042 S.F.

**APPLICANT / OWNER:**

RUNFIRE BUILDERS, LLC  
ATTN: WAYNE MEGILL, CO-MANAGER  
330 KENNETT PIKE, SUITE 207  
CHAUDRON, PA 19317  
(610) 399-1233  
  
SITE ADDRESS:  
914-924 S. CONCORD RD.  
WESTTOWN TWP., CHESTER COUNTY, PA  
PARCEL NO. 67-4-82 | D.B. 851 | PG. 151

**INLAND DESIGN**  
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**JOSEPH D. COMANDA**  
ENGINEER / SURVEYOR  
PE 070740  
PENNSYLVANIA

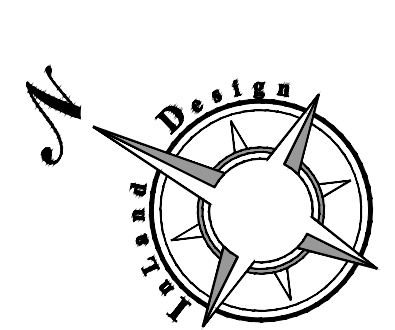
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**PRELIMINARY/FINAL LAND DEVELOPMENT**  
GRAPHIC SCALE  
0 15 30 60 120  
(IN FEET)  
1 inch = 30'

Date: 12/07/2020  
Scale: 1" = 30'  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**SITE PLAN FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET 4 OF 20**



**LEGEND**

Table of symbols and descriptions for LEGEND, including PROPERTY BOUNDARY, EXISTING UTILITY POLE, EXISTING WATER VALVE, EXISTING SIGN, EXISTING FENCE LINE, EXISTING RIGHT OF WAY LINE, etc.

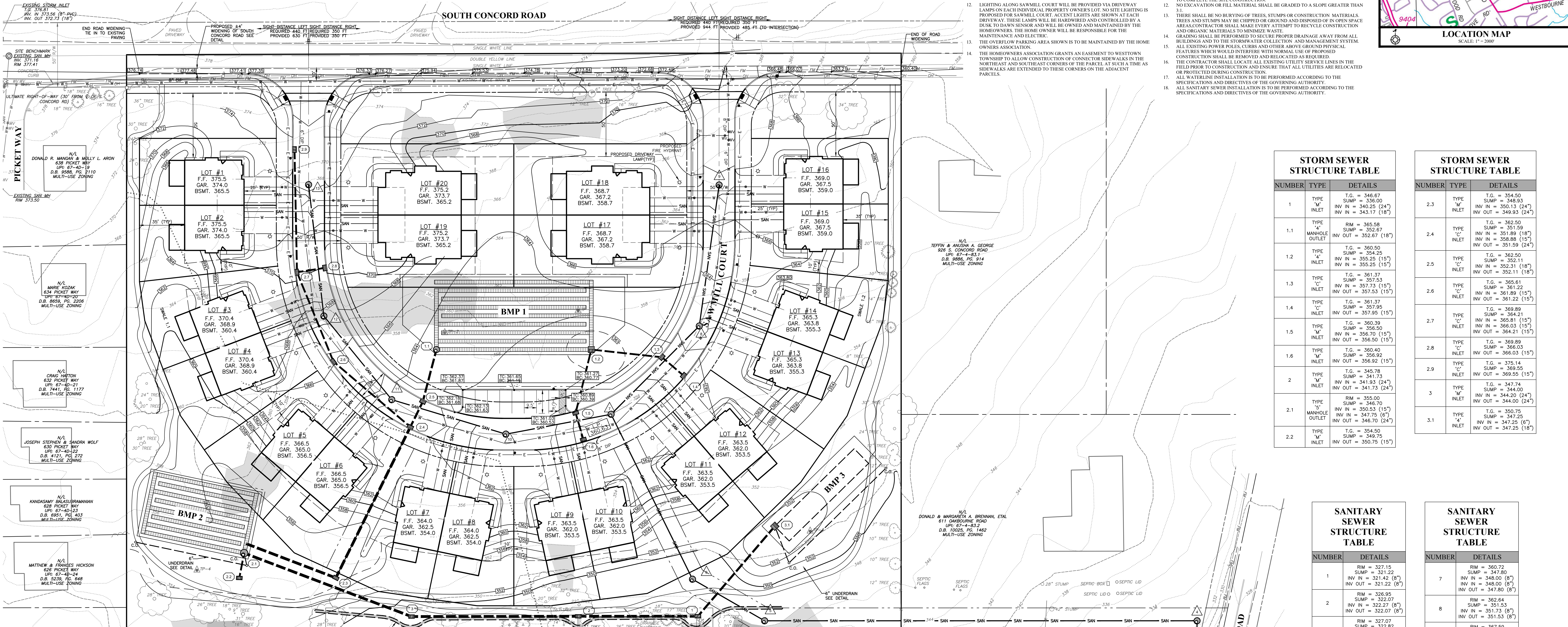
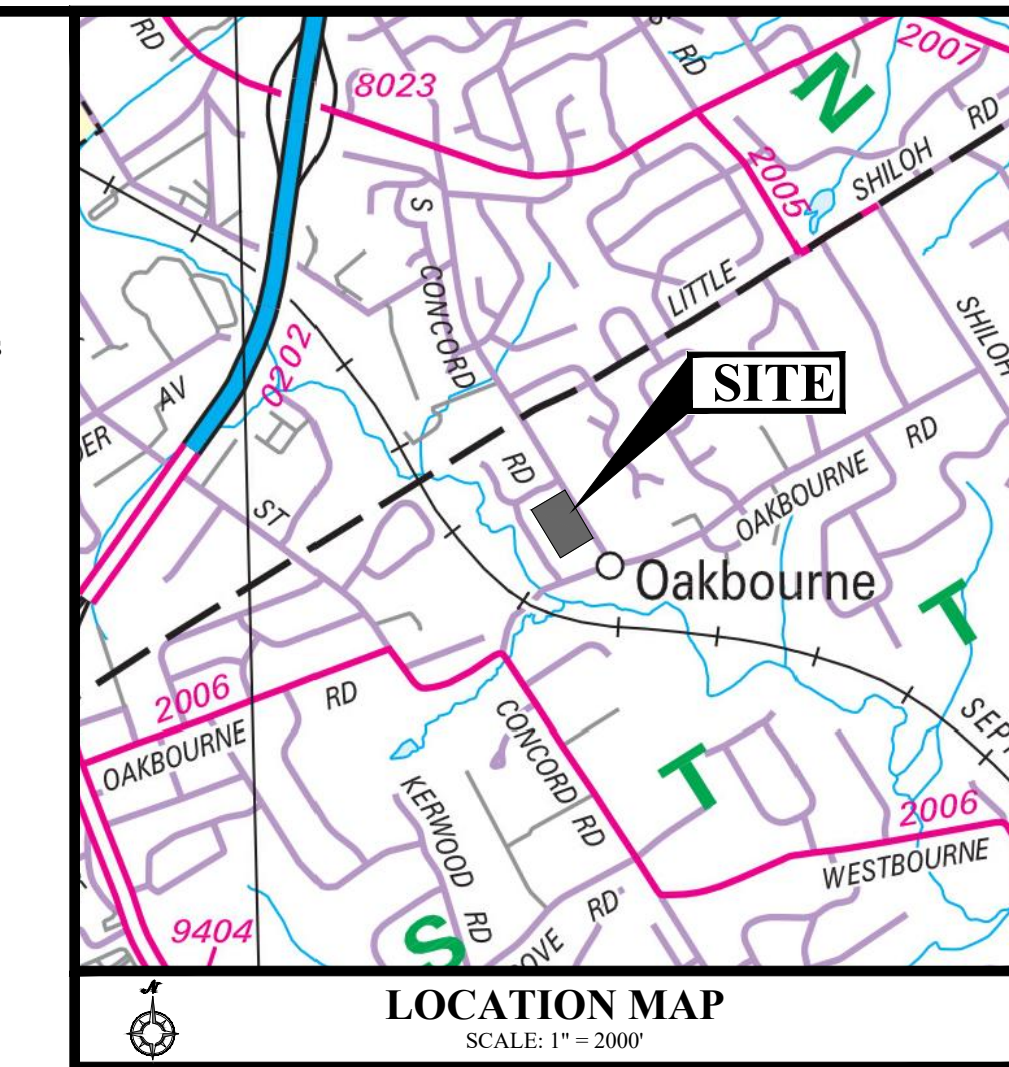
Table of symbols and descriptions for EXISTING and PROPOSED SANITARY STRUCTURES & PIPE, EXISTING WATER LINE, EXISTING ELECTRICAL LINE, EXISTING GAS LINE, etc.

**GENERAL NOTES:**

- 1. THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
2. THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHALL...
3. SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION...
4. ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP...

**CONSTRUCTION NOTES:**

- 1. ALL INLETS TO HAVE 6" VEEPILES DRILLED INTO BOTTOM OF STRUCTURE FOR THE PURPOSES OF THESE PLANS AND GENERAL NOTES.
2. THE PROPOSED STORM SEWER SHALL BE CONSTRUCTED TO MEAN STORMWATER MANAGEMENT FACILITIES, SITE IMPROVEMENTS AND RELATED CONSTRUCTION.
3. ALL SITE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE PDOT PUB. 408, 2007 AND LATEST ADDENDUM THERETO...



STORM SEWER STRUCTURE TABLE with columns: NUMBER, TYPE, DETAILS. Lists details for structures 1 through 2.2.

STORM SEWER STRUCTURE TABLE with columns: NUMBER, TYPE, DETAILS. Lists details for structures 2.3 through 3.1.

SANITARY SEWER STRUCTURE TABLE with columns: NUMBER, DETAILS. Lists details for structures 1 through 6.

SANITARY SEWER STRUCTURE TABLE with columns: NUMBER, DETAILS. Lists details for structures 7 through 12.

SOILS DESCRIPTION table with columns: SYMBOL, DESCRIPTION, SLOPE, AVAILABLE WATER CAPACITY, DRAINAGE CLASS, DEPTH TO S.H.W.T., DEPTH TO BEDROCK, CAPABILITY UNIT, HYDROLOGIC SOIL GROUP.

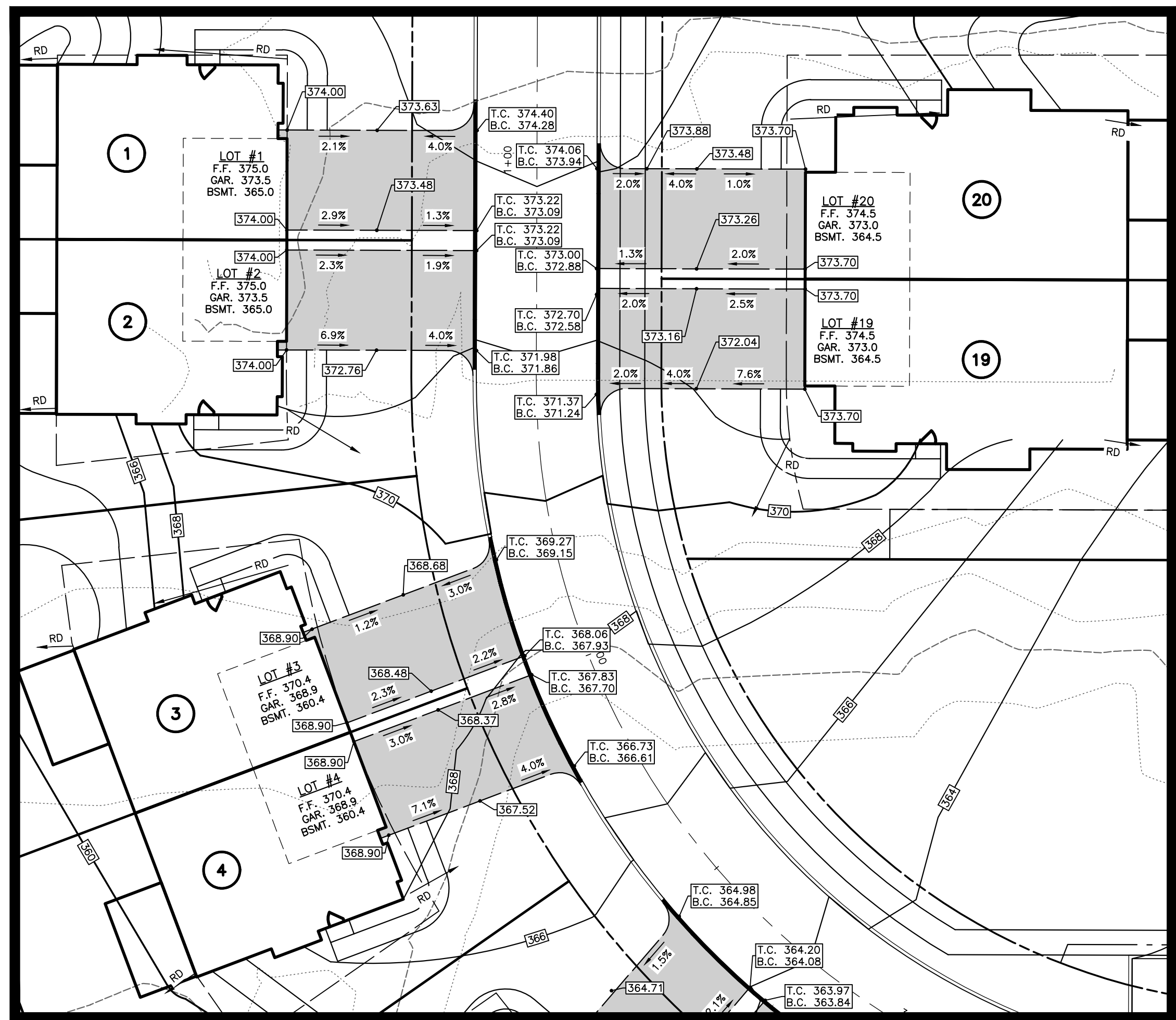
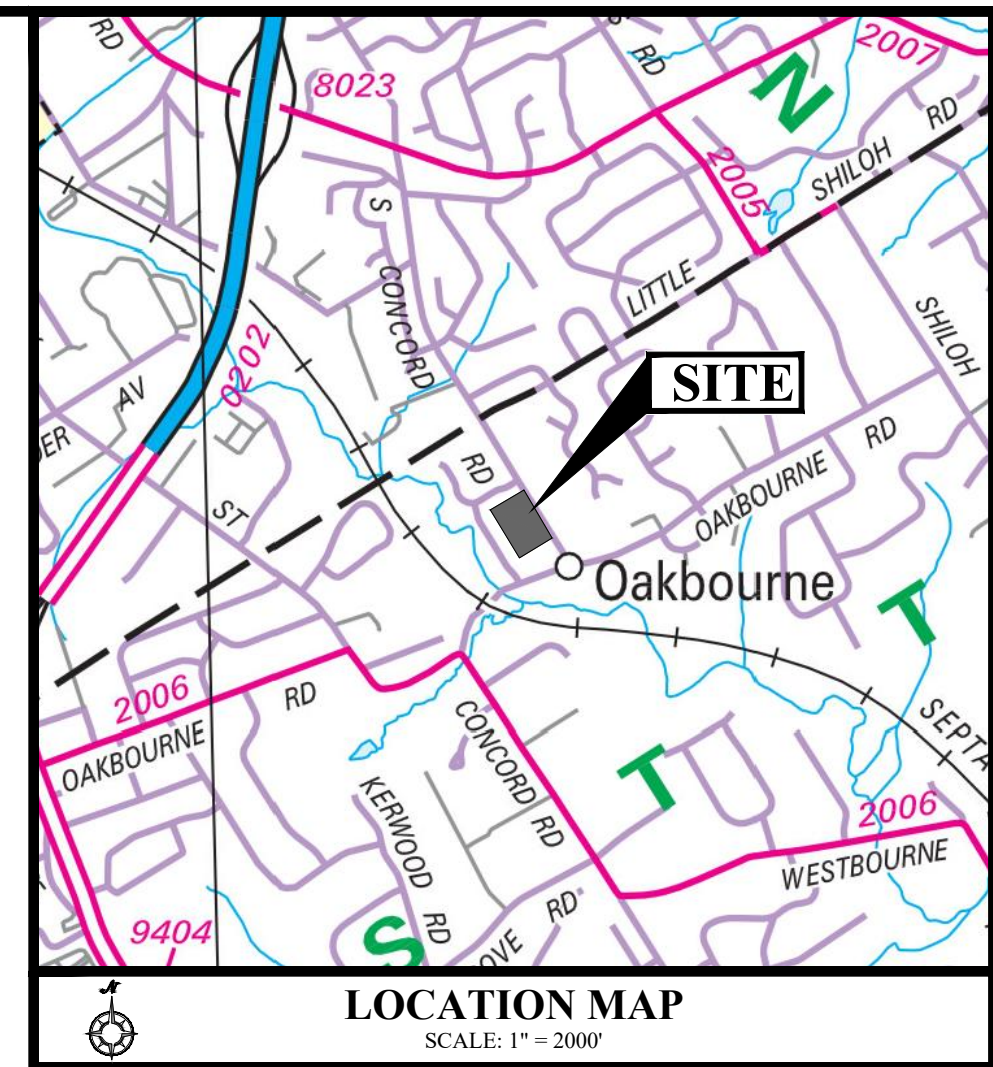
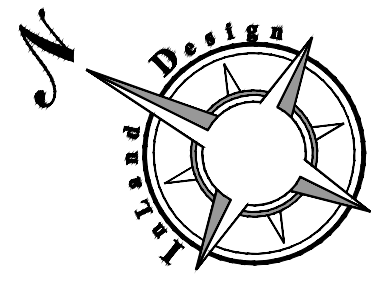
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INLAND DESIGN logo and contact information: 16 Haverly Blvd., West Chester, PA 19382. Phone: (484) 947-2928.

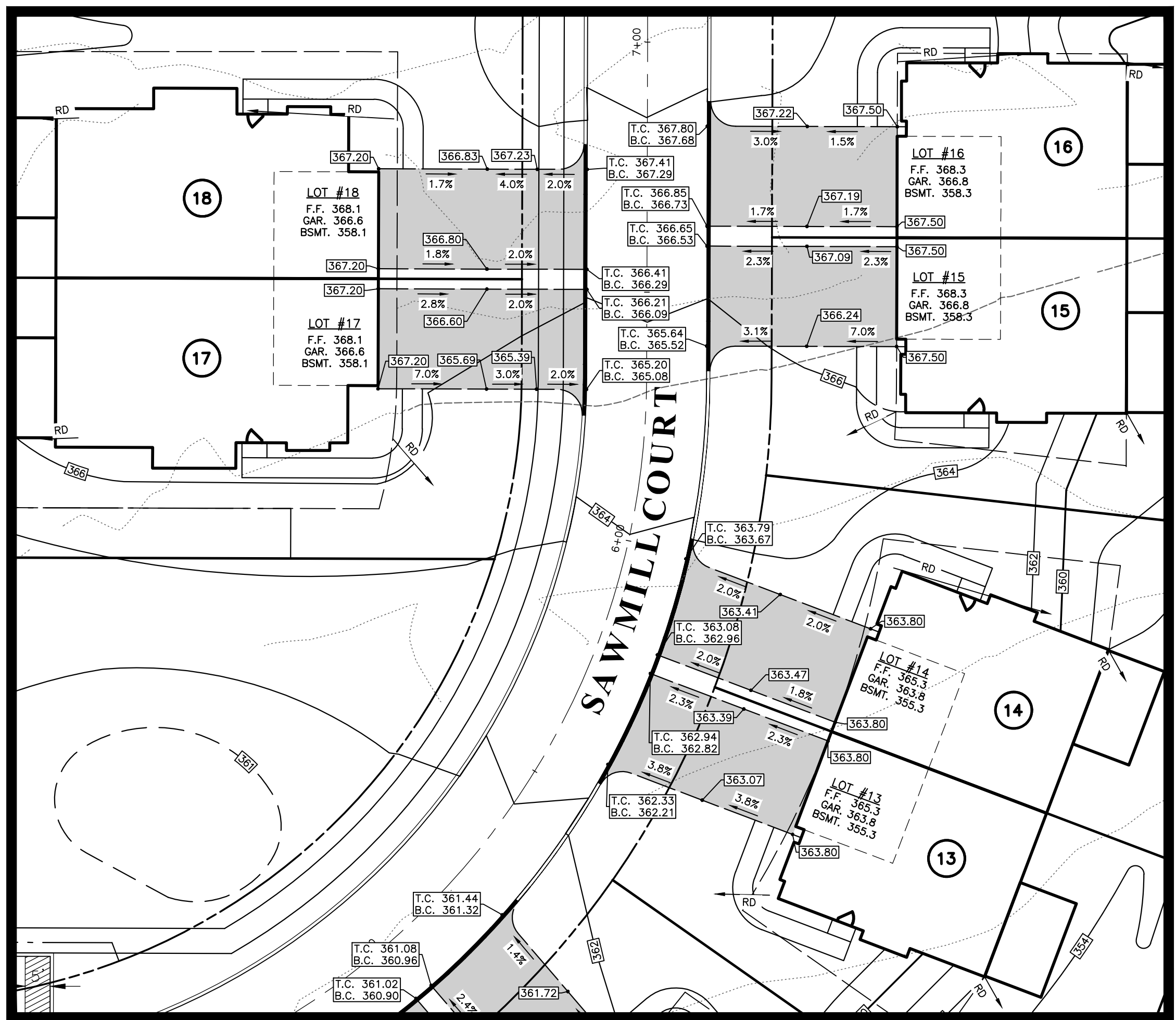
COMMONWEALTH OF PENNSYLVANIA ENGINEER JOEL D. COMANDA, PE 070740. Includes registration information and date.

PRELIMINARY/FINAL LAND DEVELOPMENT. GRAPHIC SCALE 1" = 30'. Project No. 11541.

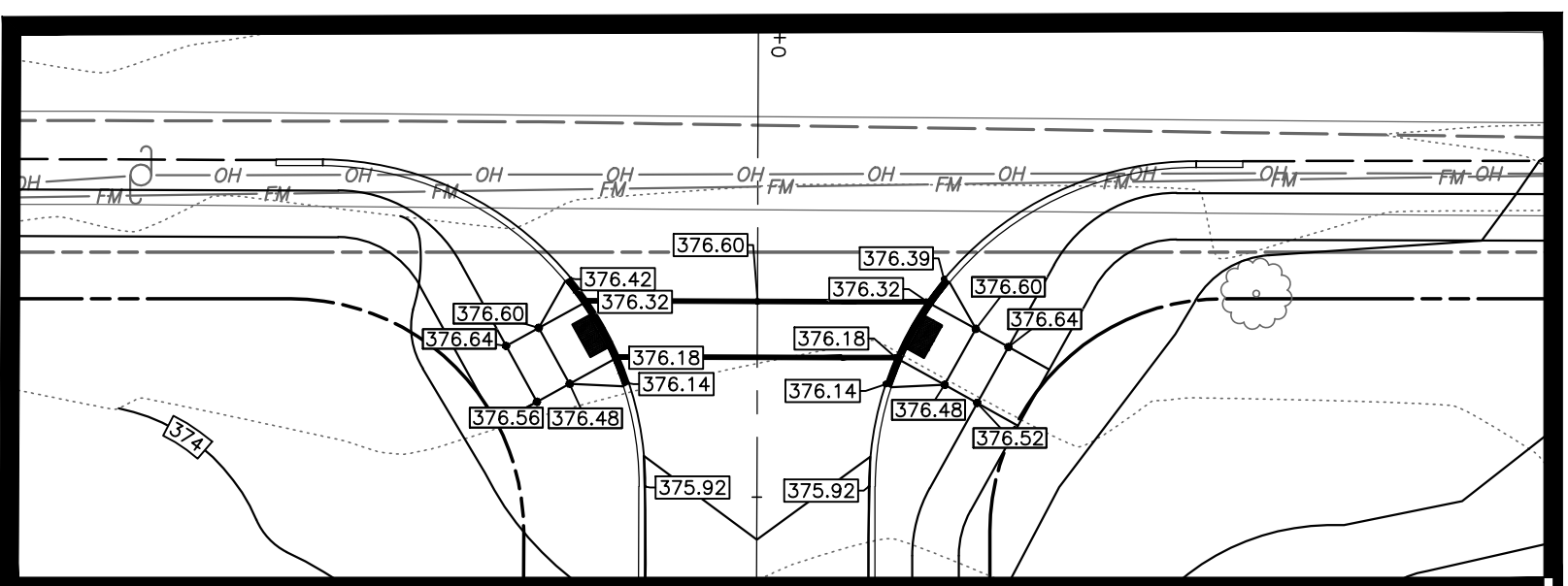
GRADING AND UTILITY PLAN FOR SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, 19382. SHEET 5 OF 20. APPLICANT / OWNER: HUNTRISS BUILDERS, LLC.



**LOTS 1-4, 19, & 20**



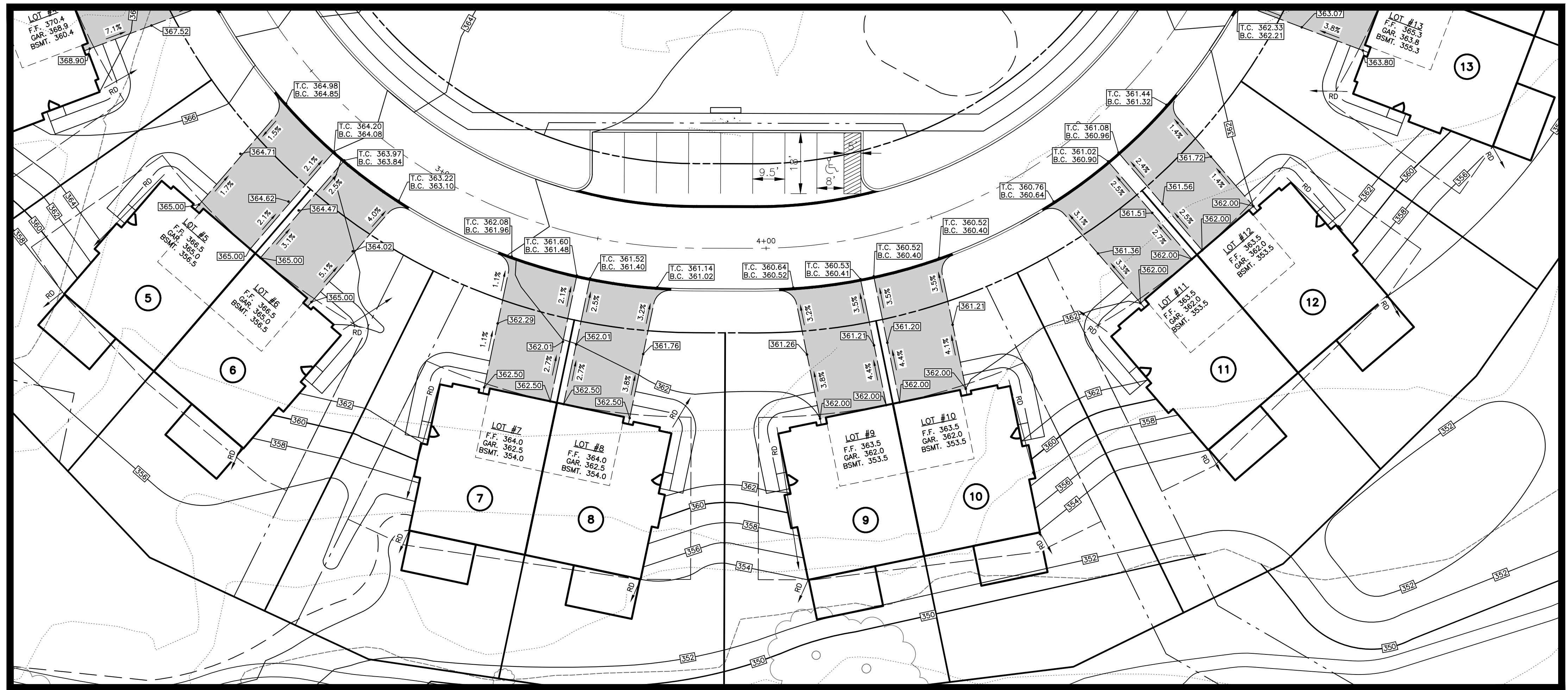
**LOTS 13-18**



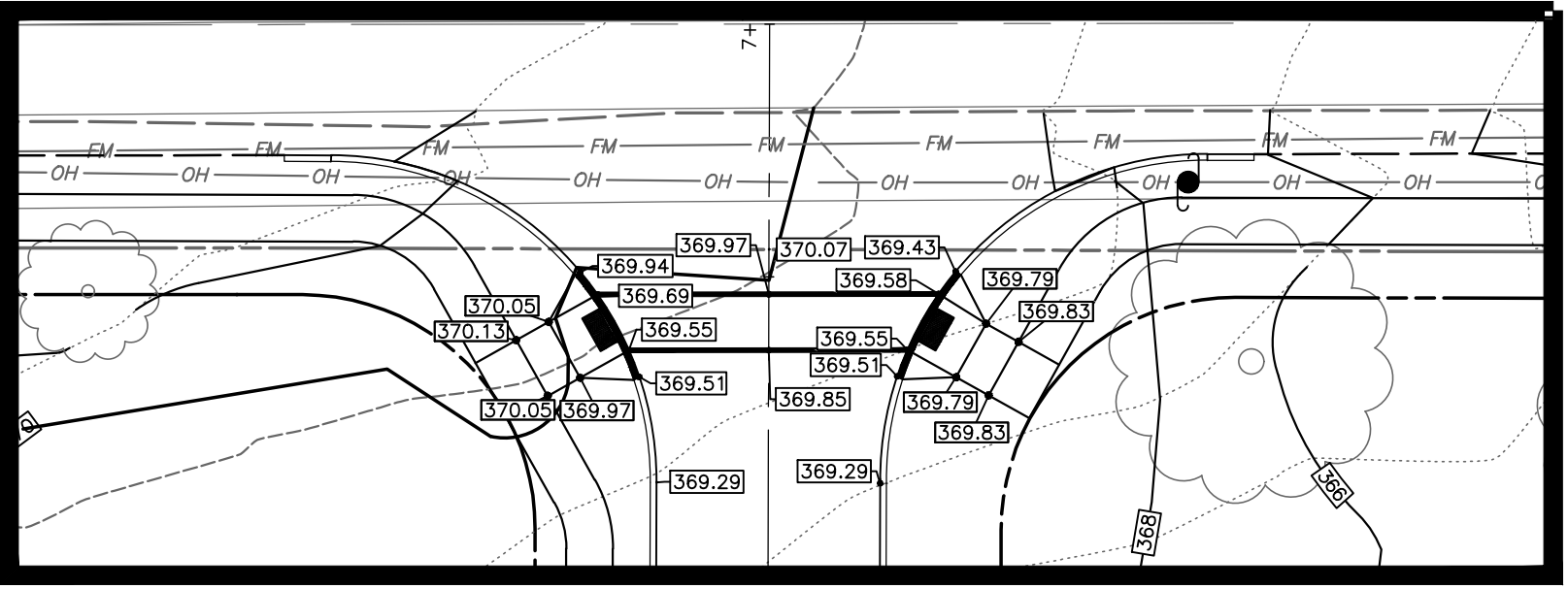
**NORTHERN PEDESTRIAN  
CROSSING ON SAWMILL  
COURT**

**LEGEND**

	PROPERTY BOUNDARY
	PROPERTY BOUNDARY TO BE REMOVED
	ADJOINING PROPERTY LINE
	FLOOD PLAIN LINE
	TEST PIT LOCATION
	EXISTING RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING 2' CONTOUR W/ ELEVATION
	EXISTING 10' CONTOUR W/ ELEVATION
	EXISTING SPOT ELEVATION
	EXISTING BRUSHLINE
	EXISTING TREE LINE
	EXISTING TREE SYMBOLS
	EXISTING LIGHT
	EXISTING UTILITY POLE
	EXISTING WELL
	EXISTING WATER VALVE
	EXISTING SIGN
	EXISTING FENCE LINE
	SOILS LINE AND DESCRIPTION
	PRECAUTIONARY SLOPES 15% - 25%
	PROHIBITIVE SLOPES 25% - UP
	WETLAND AREA
	EXISTING STORM STRUCTURES & PIPE
	EXISTING SANITARY STRUCTURES & PIPE
	EXISTING ROAD CENTERLINE
	EXISTING CURB LINE
	EXISTING ROAD PAVING
	EXISTING DRIVEWAY
	EXISTING STONE DRIVE
	EXISTING SANITARY LATERAL
	EXISTING SANITARY FORCE MAIN
	EXISTING WATER LINE
	EXISTING ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING TELEPHONE LINE
	PROPOSED IRON PIN
	PROPOSED MONUMENT
	PROPOSED RIGHT OF WAY LINE
	PROPOSED EASEMENT LINE
	PROPOSED 2' CONTOUR
	PROPOSED 10' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED CONCRETE
	PROPOSED TREE LINE
	PROPOSED UTILITY POLE
	PROPOSED WATER VALVE
	PROPOSED SIGN
	PROPOSED FENCE LINE
	PROPOSED STORM STRUCTURES & PIPE
	PROPOSED SANITARY STRUCTURES & PIPE
	PROPOSED ROAD CENTERLINE
	PROPOSED CURB LINE
	PROPOSED ROAD PAVING
	PROPOSED DRIVEWAY
	PROPOSED SANITARY LATERAL
	PROPOSED WATER LINE
	PROPOSED ELECTRIC LINE
	PROPOSED GAS LINE
	PROPOSED TELEPHONE LINE



**LOTS 5-12**



**SOUTHERN PEDESTRIAN  
CROSSING ON SAWMILL  
COURT**

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**PENNSYLVANIA ONE CALL SYSTEM**  
PA, act 172 of 1986 requires  
three working days notice  
Signal Numbers:  
20201921658

**PENNSYLVANIA ACT 187 REQUIREMENTS:**  
Inland Design, LLC. does not guarantee the accuracy of the  
location for existing utility structures shown on the  
plans. nor does Inland Design, LLC. guarantee that all  
utility structures are shown. The contractor shall verify the  
location and structure of all underground utilities and structures  
before the start of work.

**PARCEL NO. 67-4-82 | D.B. S51 | PG. 151**

**INLAND DESIGN**  
Civil Engineers, Surveyors & Land Development Consultants  
16 Haverly Blvd., West Chester, PA 19382  
Phone: (484) 947-2928  
Fax: (484) 947-2946  
Info@InlandDesign.net

**JOEL D. COMANDA**  
REGISTERED PROFESSIONAL ENGINEER  
PE070740  
PENNSYLVANIA

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCDD COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPS

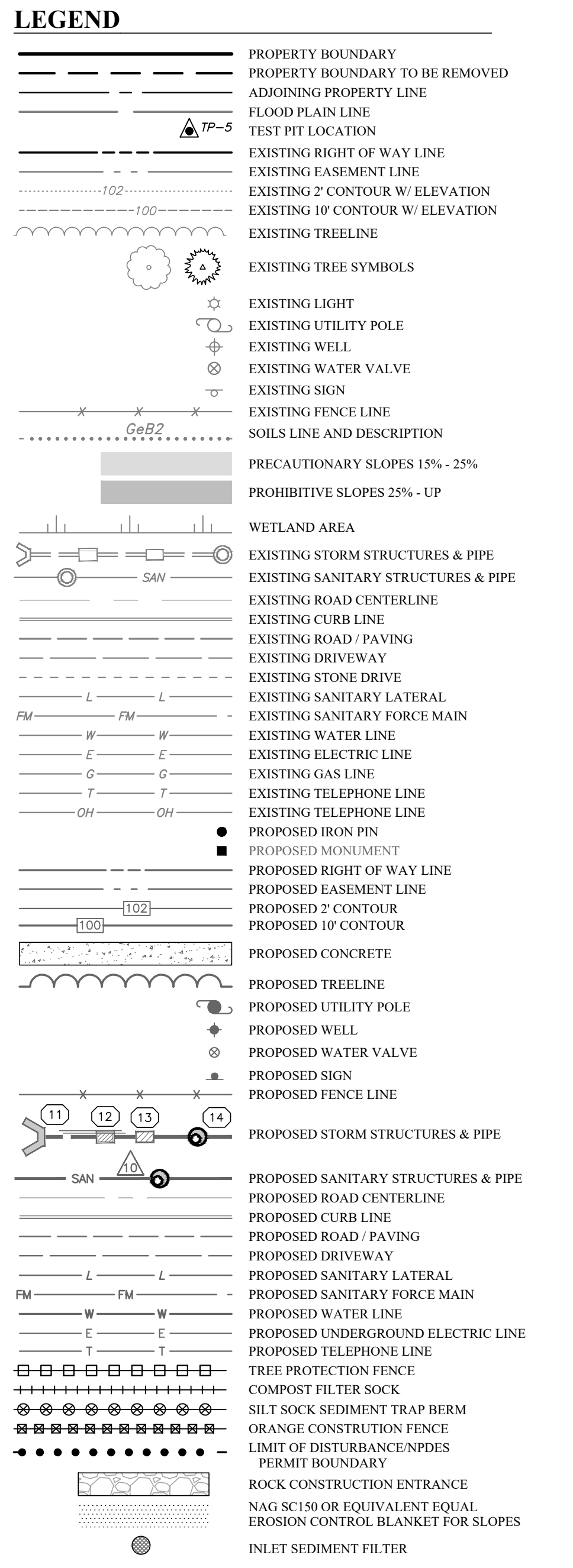
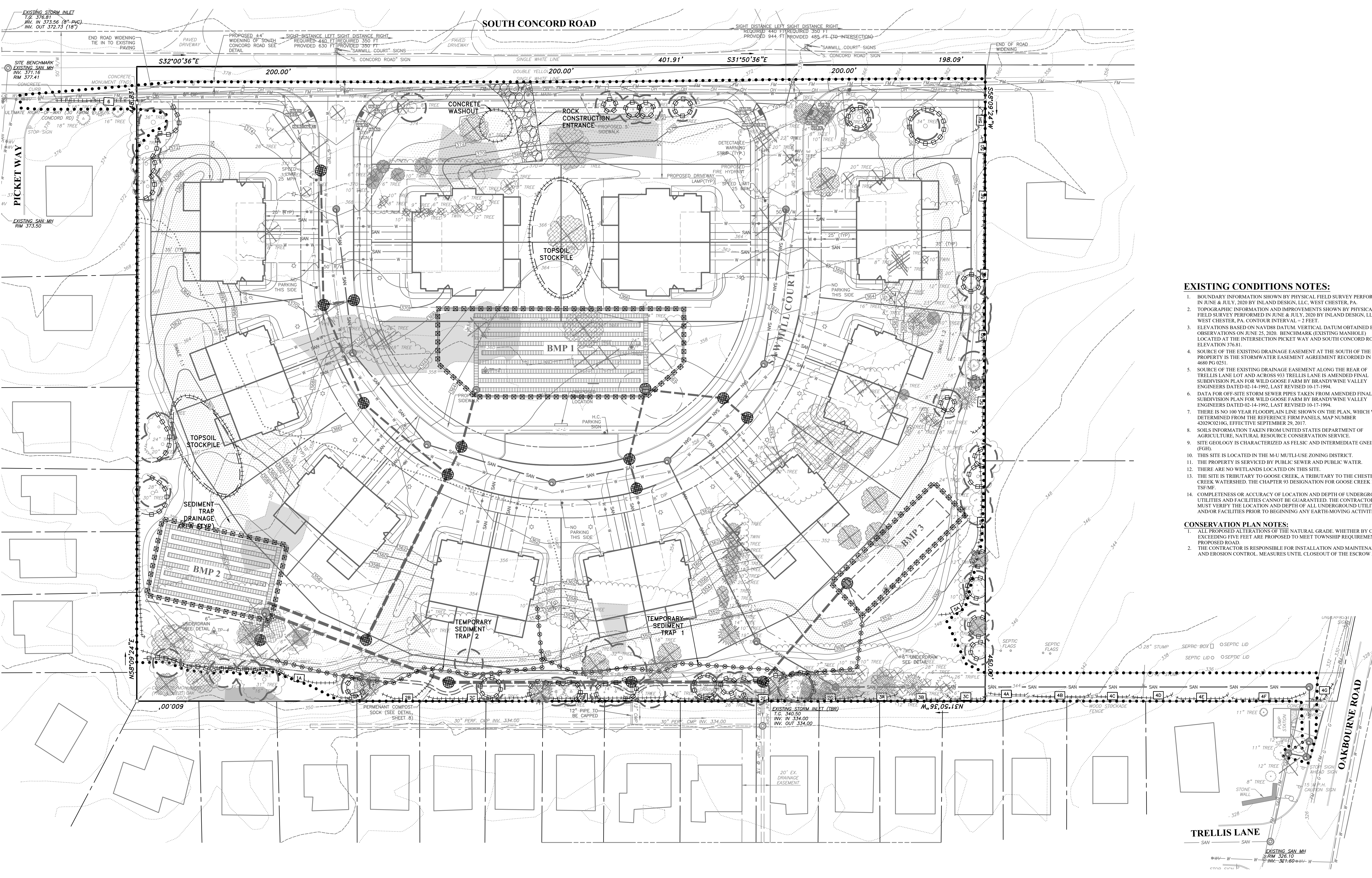
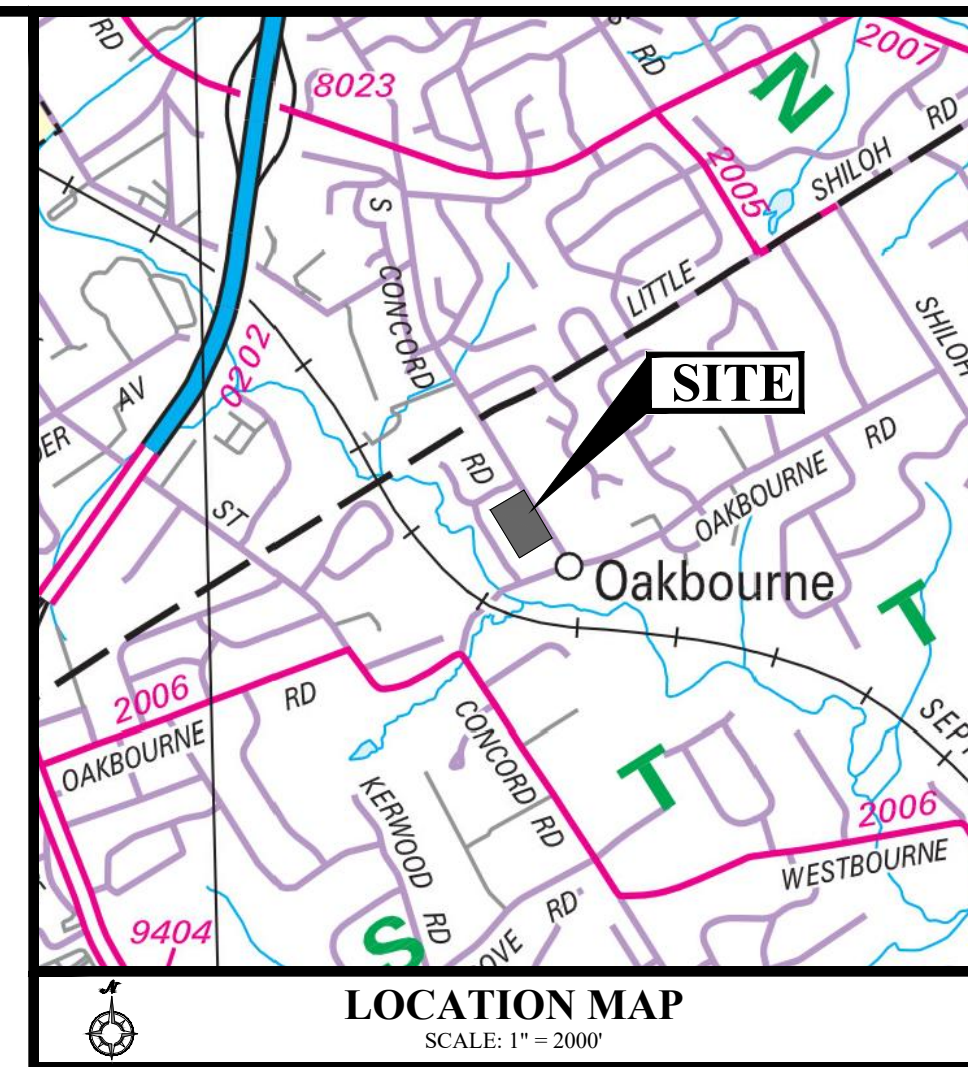
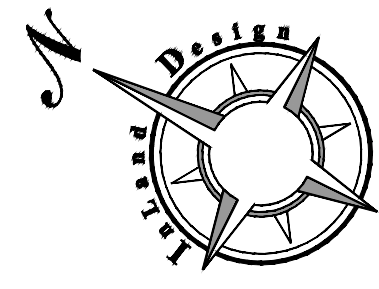
**PRELIMINARY/FINAL  
LAND DEVELOPMENT**

GRAPHIC SCALE  
0 10 20 30 40 50 60  
(IN FEET)  
1 inch = 20'

Date: 12/07/2020  
Scale: 1" = 20'  
Drawn by: TMW  
Checked by: JDC  
Project No. 11541

**DRIVEWAY GRADING BLOWUP  
FOR  
SAWMILL COURT  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA**

**SHEET**  
**6**  
**OF 20**



**EXISTING CONDITIONS NOTES:**

- BOUNDARY INFORMATION SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY 2001 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
- TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY 2001 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL - 2 FEET.
- ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 25, 2008. BENCHMARK (EXISTING MANSION) LOCATED AT THE INTERSECTION PICKET WAY AND SOUTH CONCORD ROAD. ELEVATION 376.81.
- SOURCE OF THE EXISTING DRAINAGE EASEMENT AT THE SOUTH OF THE PROPERTY IS THE STORMWATER EASEMENT AGREEMENT RECORDED IN DB 4800 PG 0251.
- SOURCE OF THE EXISTING DRAINAGE EASEMENT ALONG THE REAR OF TRELIS LANE LOT AND ACROSS 933 TRELIS LANE IS AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992, LAST REVISED 10-17-1994.
- DATA FOR OFF-SITE STORM SEWER PIPES TAKEN FROM AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992, LAST REVISED 10-17-1994.
- THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 4200C0210G, EFFECTIVE SEPTEMBER 29, 2017.
- SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- SITE GEOLOGY IS CHARACTERIZED AS FELSIC AND INTERMEDIATE GNEISS (FGH).
- THIS SITE IS LOCATED IN THE M-41 MULTI-USE ZONING DISTRICT.
- THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
- THERE ARE NO WETLANDS LOCATED ON THIS SITE.
- THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED. THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T510M.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

**CONSERVATION PLAN NOTES:**

- ALL PROPOSED ALTERATIONS OF THE NATURAL GRADE, WHETHER BY CUT OR BY FILL, EXCEEDING FIVE FEET ARE PROPOSED TO MEET TOWNSHIP REQUIREMENTS OF THE PROPOSED ROAD.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL SOIL AND EROSION CONTROL MEASURES UNTIL CLOSURE OF THE ESCROW ACCOUNT.

**SOILS DESCRIPTION**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
U <sub>1</sub> B	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A
U <sub>1</sub> gB	URBAN LAND-DOROTHYS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

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**PENNSYLVANIA ONE CALL SYSTEM**  
 PA, act 172 of 1986 requires three working days notice  
 Serial Numbers  
**20201921658**

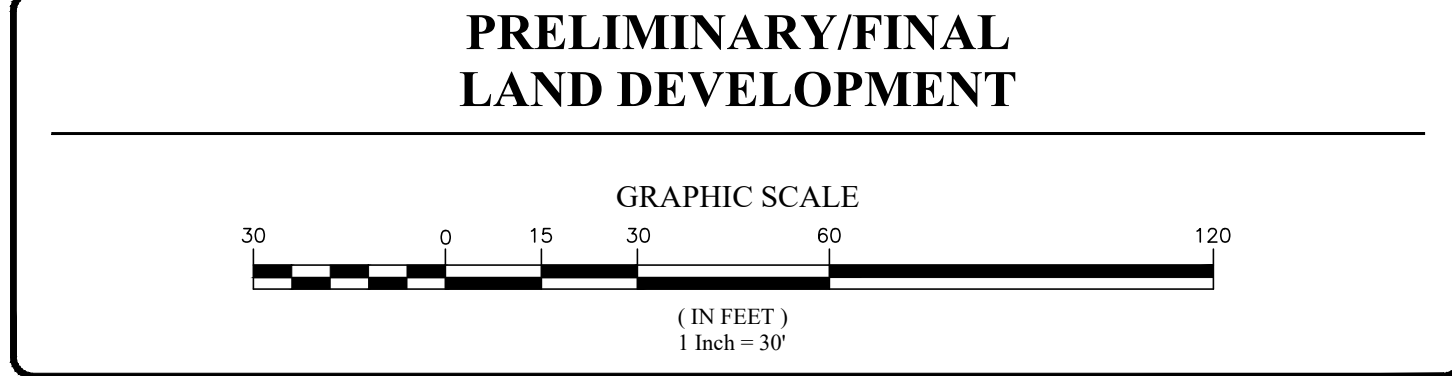
**PENNSYLVANIA ACT 187 REQUIREMENTS:**  
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PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

**INLAND DESIGN**  
 Civil Engineers, Surveyors & Land Development Consultants  
 16 Hagerty Blvd. West Chester, PA 19382  
 Phone: (484) 947-2928  
 Fax: (484) 947-2946  
 Email: info@InlandDesign.net

**JOEL D. COMANDA**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. PE070740  
 PENNSYLVANIA

No.	Date	Description
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4	05/12/2021	REVISED PER CCDC COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPs



**CONSERVATION PLAN FOR SAWMILL COURT**  
 914-924 S. CONCORD ROAD  
 WEST CHESTER, PENNSYLVANIA, 19382  
 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

Date: 12/07/2020  
 Scale: 1" = 30'  
 Drawn by: TMW  
 Checked by: JDC  
 Project No: 11541

**APPLICANT / OWNER:**  
 HUNTRISE BUILDERS, LLC  
 ATTN: WAYNE MEGILL, CO-MANAGER  
 330 KENNETT PKE, SUITE 307  
 CHADDS FORD, PA 19317  
 (610) 399-1235

SITE ADDRESS:  
 914-924 S. CONCORD RD  
 WESTTOWN TWP., CHESTER COUNTY, PA  
 PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

**SHEET 7 OF 20**





**LONG TERM BMP OPERATIONS AND MAINTENANCE PROCEDURES:**

THE RESPONSIBLE PARTIES SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, OPERATION AND MAINTENANCE OF POST CONSTRUCTION STORMWATER MANAGEMENT BMPs...

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE...
• INSTALL ROCK CONSTRUCTION ENTRANCE AND SILT SOCKS ALONG THE PROJECT BOUNDARY AS SHOWN ON THE PLAN AND ACCORDING TO THE DETAILS.

PERMANENT COMPOST SOCK - COMPOST SOCK SHALL BE INSPECTED QUARTERLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENTS (> 1 INCH RAINFALL DEPTH) TO ENSURE THAT THEY ARE WORKING PROPERLY...

**SEQUENCE OF CONSTRUCTION:**

1. DELINEATE LIMITS OF DISTURBANCE AS SHOWN ON THE PLAN. FENCE OFF AREAS OF PROPOSED INFILTRATION FACILITIES WITH CONSTRUCTION FENCING TO PROTECT THEM FROM CONSTRUCTION ACTIVITIES.
2. INSTALL ROCK CONSTRUCTION ENTRANCE AND SILT SOCKS ALONG THE PROJECT BOUNDARY AS SHOWN ON THE PLAN AND ACCORDING TO THE DETAILS.

**INFILTRATION BED NOTES:**

1. DURING SITE CONSTRUCTION, THE INFILTRATION BED SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL AND SHALL ALSO BE PROTECTED FROM SEDIMENTATION...
2. IT IS RECOMMENDED THAT A SOILS ENGINEER OR REPRESENTATIVE THEREOF IS PRESENT ON-SITE DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM...

**PCSWM O&M RESPONSIBLE PARTY:**

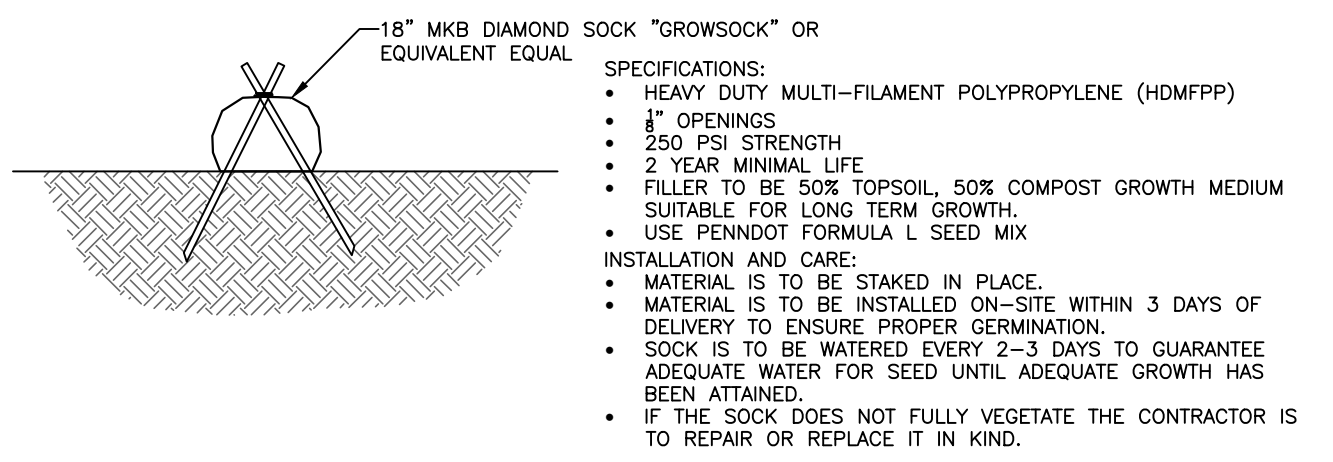
1. UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS...
2. FOR ANY PROPERTY CONTAINING A PCSWM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSWM BMP AND THE RELATED OBLIGATIONS...

**INFILTRATION BED CONSTRUCTION SEQUENCE (CRITICAL STAGE):**

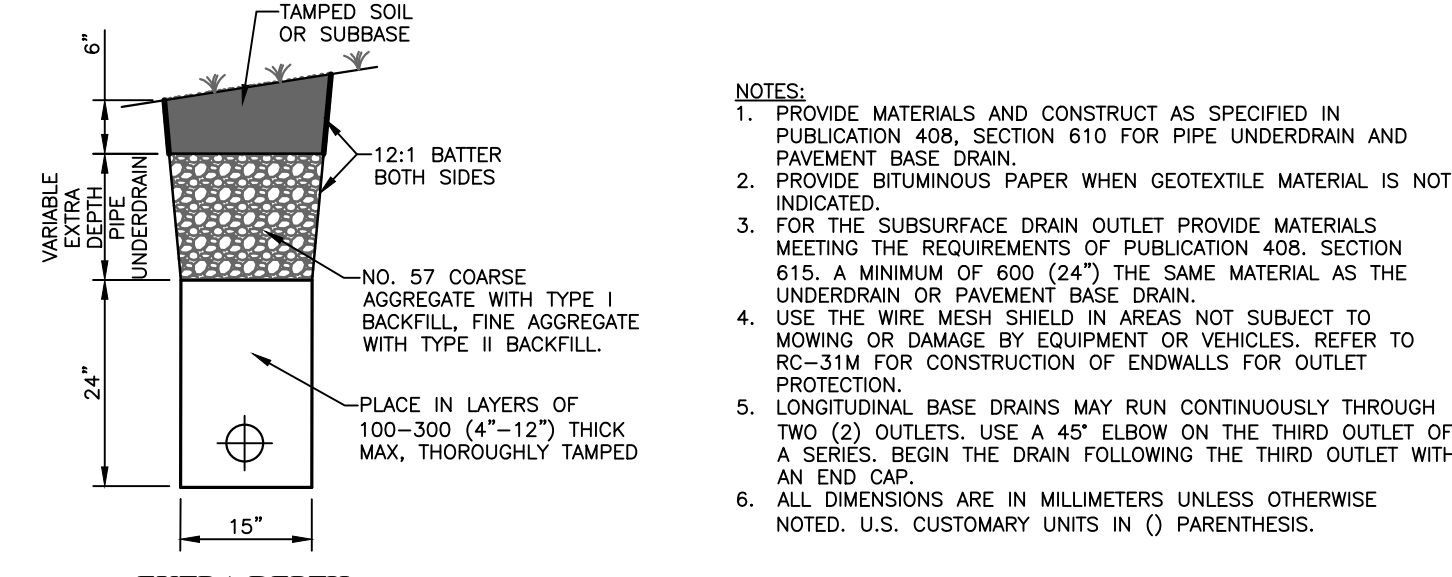
1. STAKE OUT THE LIMITS OF THE BED TO BE INSTALLED.
2. PROTECT INFILTRATION BED AREAS FROM COMPACTION DURING CONSTRUCTION.
3. EXCAVATE UNDERGROUND INFILTRATION BED TO THE PROPOSED BOTTOM. EXCAVATION SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB THE SOIL STRUCTURE...

**INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION:**

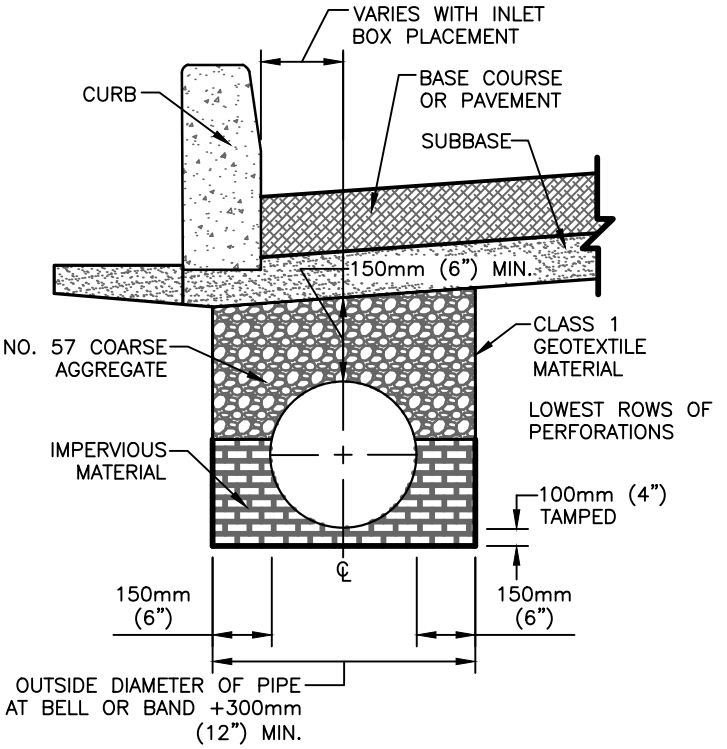
- ALL EARTH DISTURBANCE ACTIVITIES FOR THE INDIVIDUAL LOTS SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE AND THE INDIVIDUAL LOT CONTROL DETAILS PROVIDED. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED...



**PERMANENT COMPOST SOCK DETAIL**  
(NOT TO SCALE)

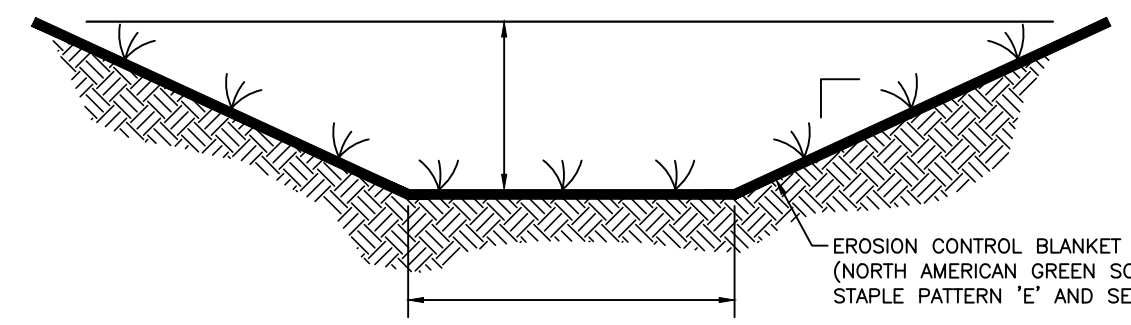


**STANDARD UNDERDRAIN DETAIL RC-30M**  
(NOT TO SCALE)



**COMBINATION STORM SEWER AND UNDERDRAIN**

NOTE: PLACE NO. 57 COARSE AGGREGATE, TAMPED IN LAYERS 150MM (6") THICK, STARTING AT THE LOWEST ROWS OF PERFORATIONS OR THE OPEN JOINT (5 PIPE CURVATURE) SYMMETRICALLY ABOUT THE VERTICAL CENTER LINE.



**GRASS LINED SWALE DETAIL**  
(NOT TO SCALE)

Table with 5 columns: SWALE #, W, D, V, H. Rows include swales 1.1, 1.2, 1.3, 1.4.

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Inland Design logo and contact information: Civil Engineers, Surveyors & Land Development Consultants. 16 Hagerty Blvd., West Chester, PA 19382.

Professional Engineer seal for Joe D. Comanda, No. 0907040, State of Pennsylvania.

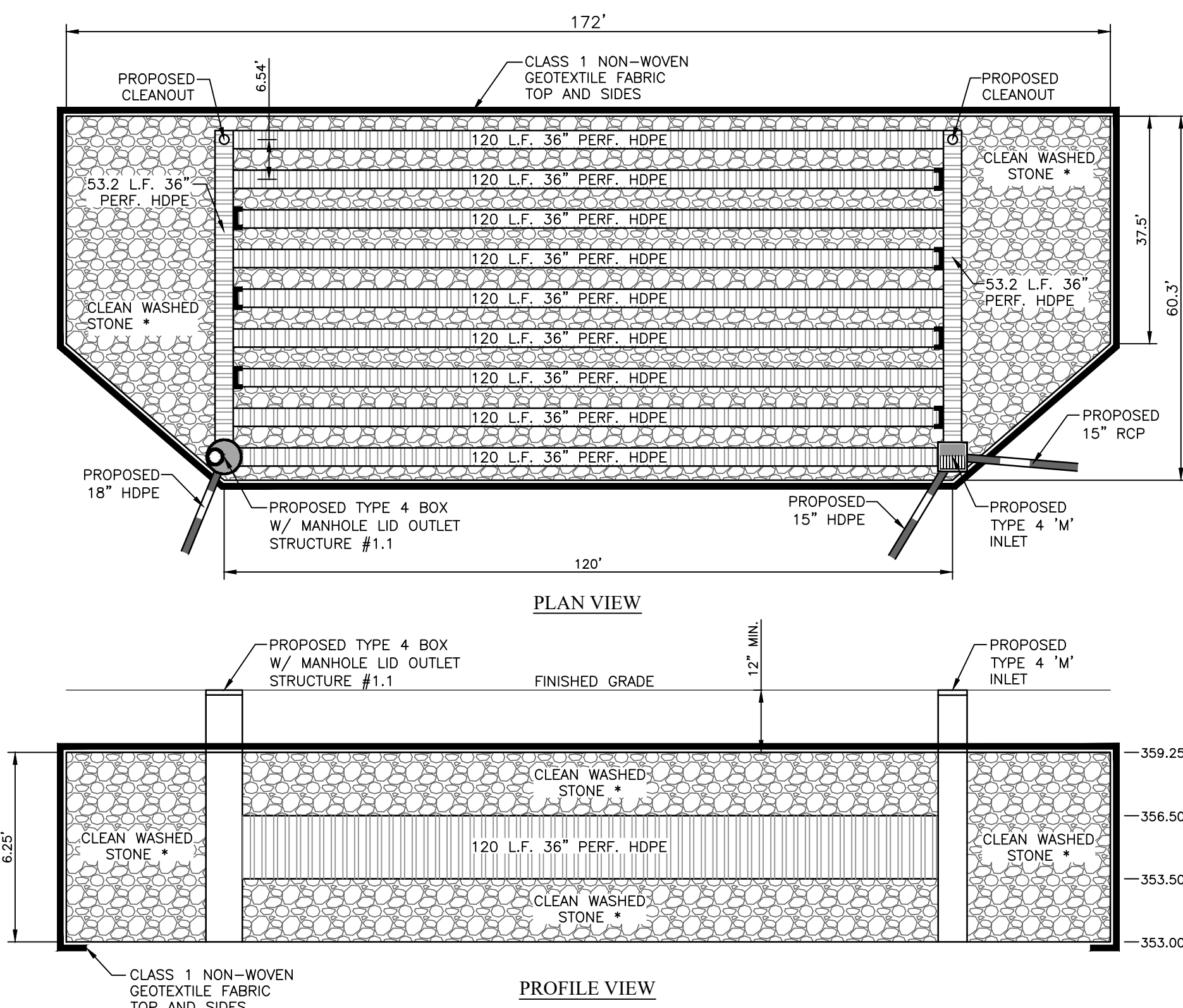
PRELIMINARY/FINAL LAND DEVELOPMENT. Revision table with 6 entries: 02/10/2021 REVISED PER TOWNSHIP REVIEWS, 03/25/2021 REVISED PER TOWNSHIP REVIEWS, etc.

Date: 12/07/2020. Scale: AS NOTED. Drawn by: TMW. Checked by: JDC. Project No: 11541.

PCSWM DETAILS & NOTES 'A' FOR SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, 19382.

SHEET 9 OF 20

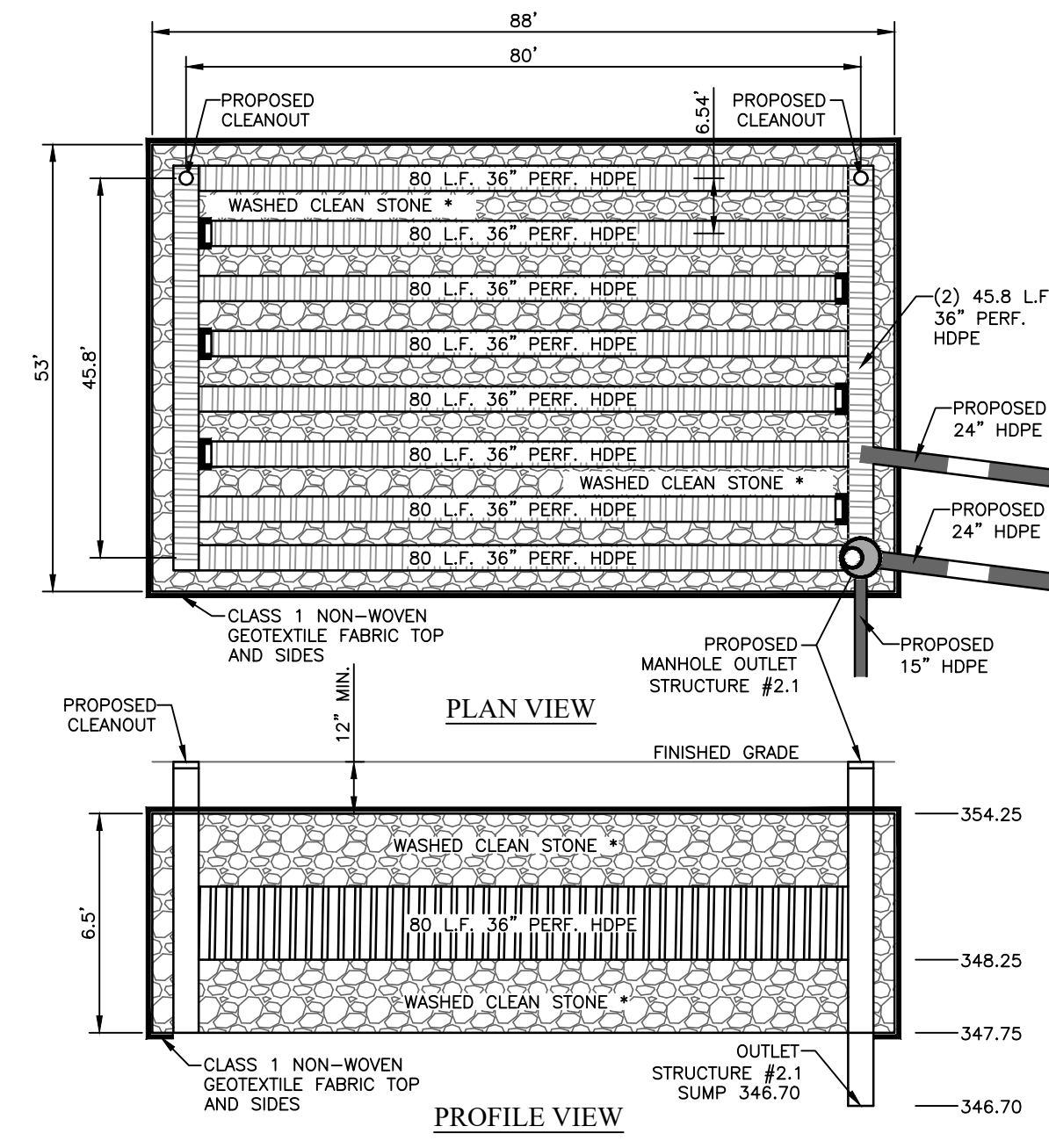
# BMP 1



**BMP 1 DETAIL**  
(NOT TO SCALE)

\* CONTRACTOR TO USE CLEAN WASHED STONE, EITHER AASHITO #57 OR #3 STONE

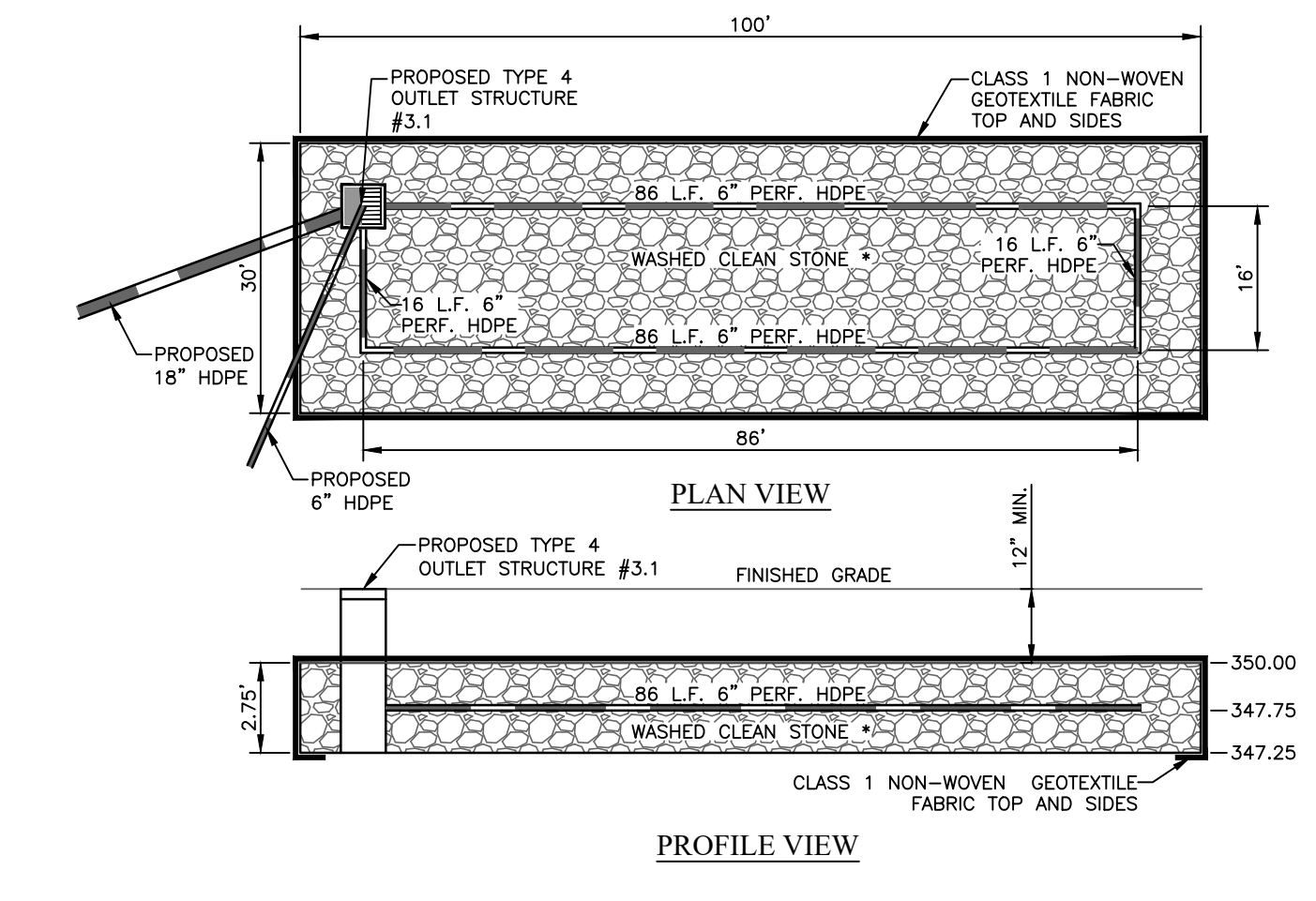
# BMP 2



**BMP 2 DETAIL**  
(NOT TO SCALE)

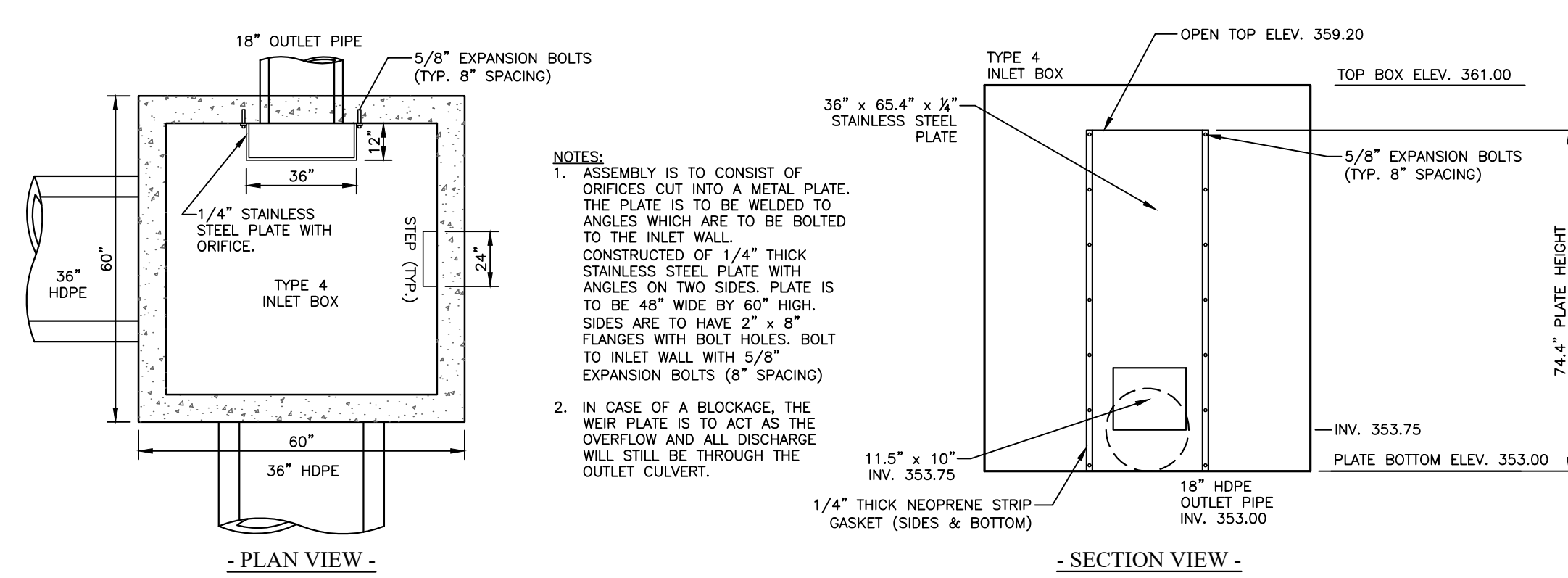
\* CONTRACTOR TO USE CLEAN WASHED STONE, EITHER AASHITO #57 OR #3 STONE

# BMP 3

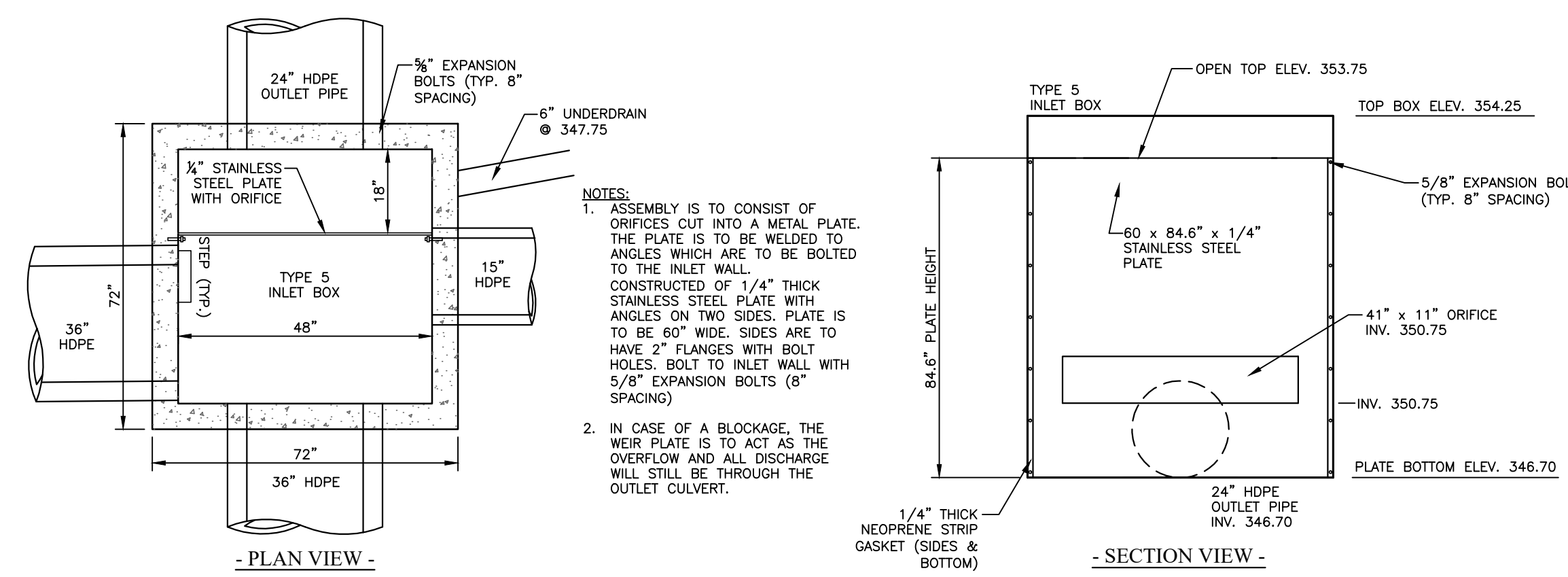


**BMP 3 DETAIL**  
(NOT TO SCALE)

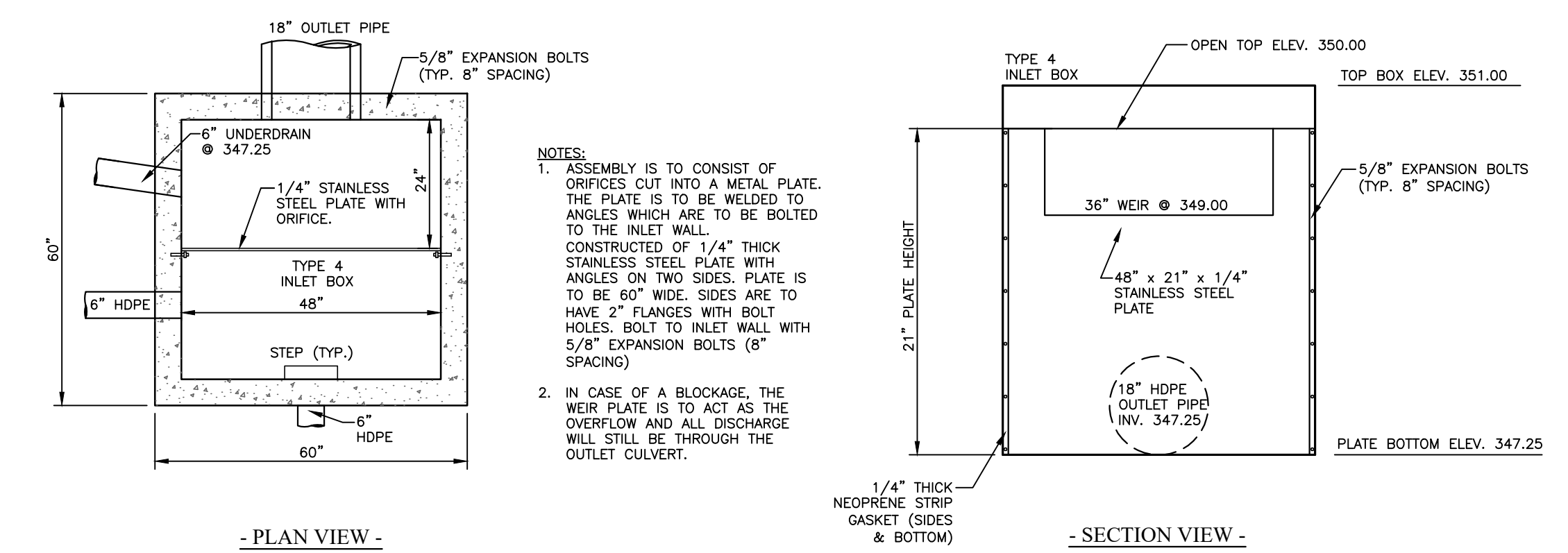
\* CONTRACTOR TO USE CLEAN WASHED STONE, EITHER AASHITO #57 OR #3 STONE



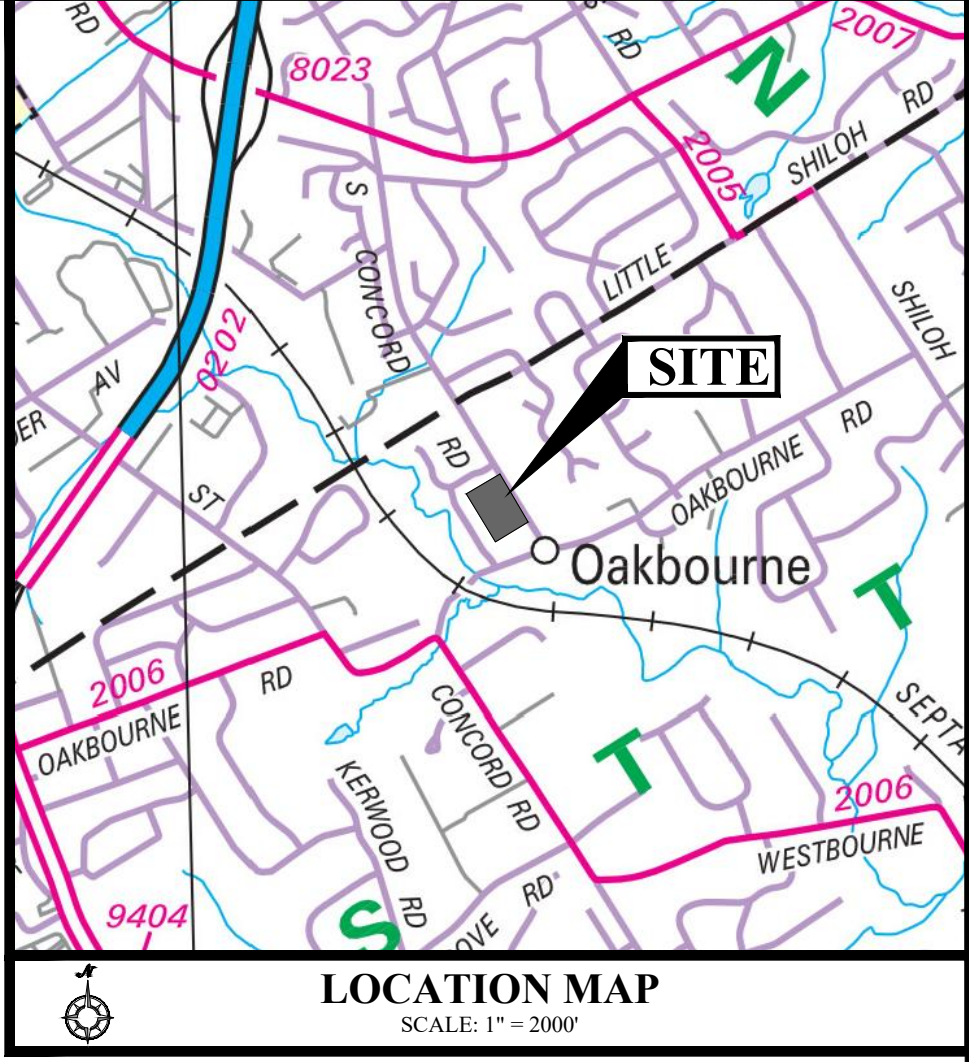
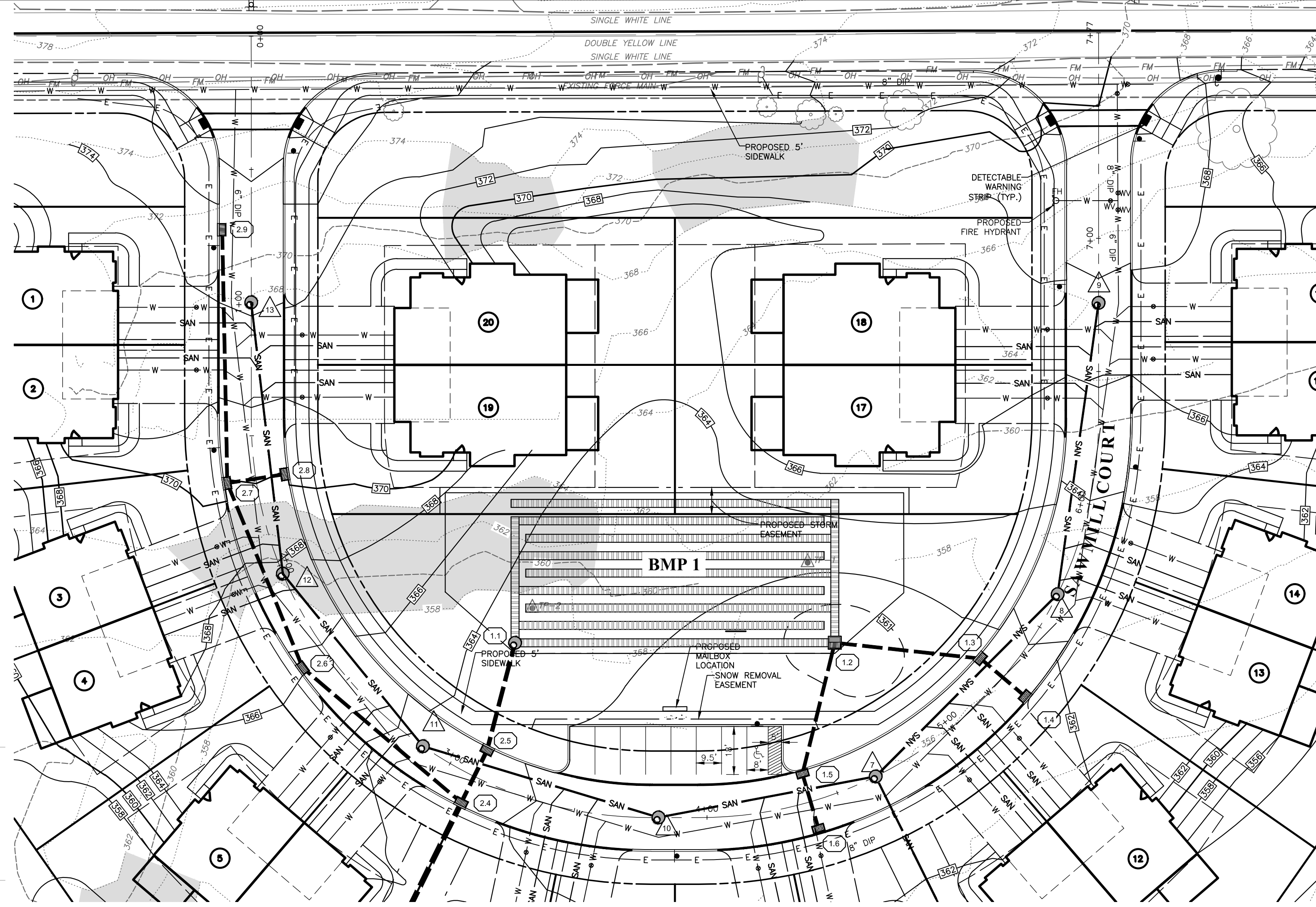
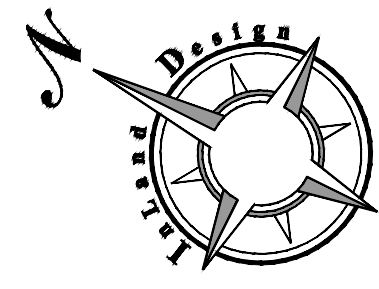
**BMP #1**  
**TYPE 4 PRECAST CONCRETE BOX**  
**ORIFICE PLATE DETAIL**



**BMP #2**  
**TYPE 5 PRECAST CONCRETE BOX**  
**ORIFICE PLATE DETAIL**

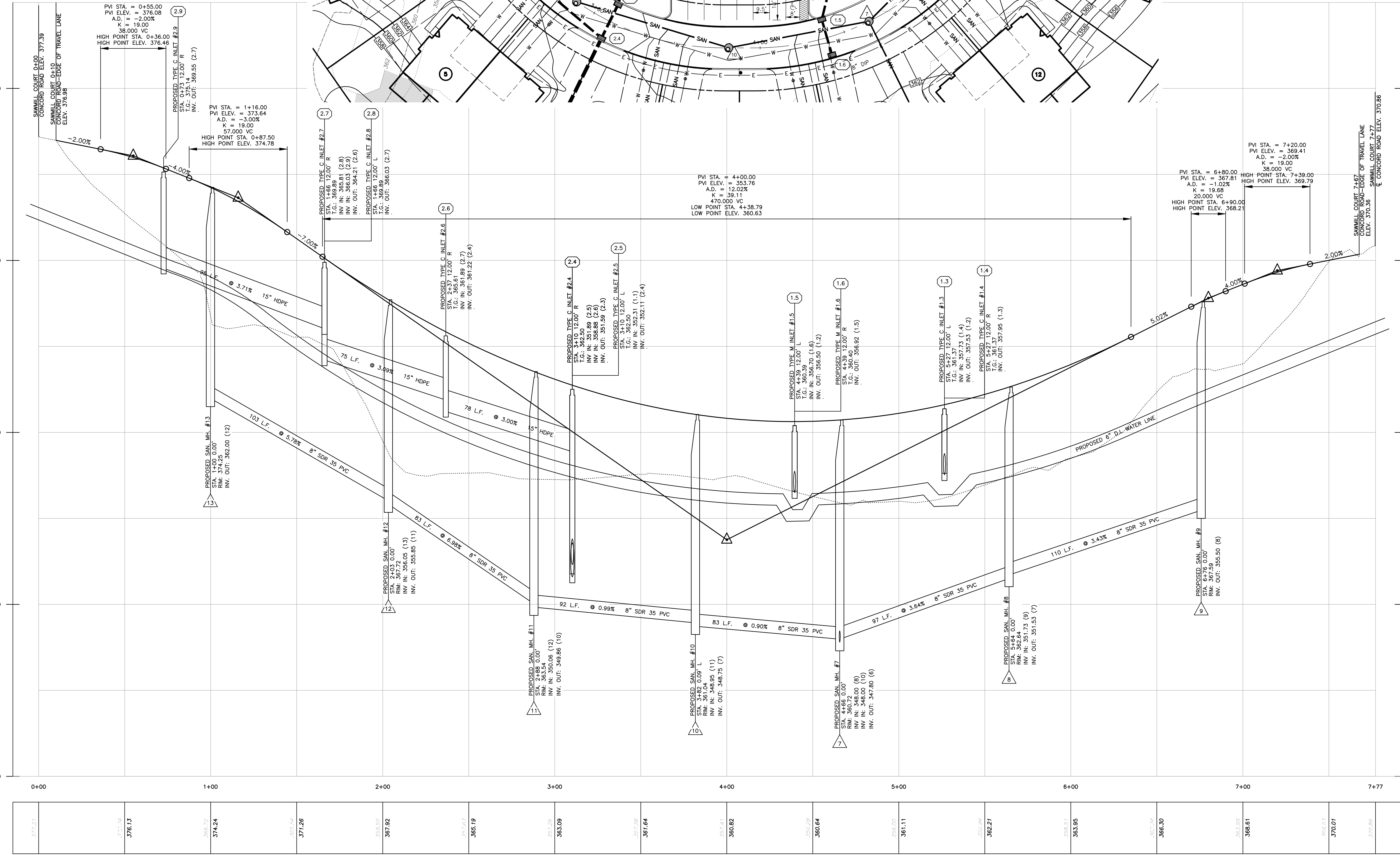


**BMP #3**  
**TYPE 4 PRECAST CONCRETE BOX**  
**ORIFICE PLATE DETAIL**



**LEGEND**

- PROPERTY BOUNDARY
- PROPERTY BOUNDARY TO BE REMOVED
- ADJOINING PROPERTY LINE
- FLOOD PLAN LINE
- EST PIT LOCATION
- EXISTING RIGHT OF WAY LINE
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- EXISTING 2' CONTOUR W/ ELEVATION
- EXISTING 10' CONTOUR W/ ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING BRICK
- EXISTING PAVERS
- EXISTING CONCRETE
- EXISTING BRUSHLINE
- EXISTING TREELINE
- EXISTING TREE SYMBOLS
- EXISTING LIGHT
- EXISTING UTILITY POLE
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- EXISTING SIGN
- EXISTING FENCE LINE
- SOILS LINE AND DESCRIPTION
- PRECAUTIONARY SLOPES 15% - 25%
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- PROPOSED SANITARY FORCE MAIN
- PROPOSED WATER LINE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE
- PROPOSED TELEPHONE LINE



**APPLICANT / OWNER:**  
HUNTRESS BUILDERS, LLC  
ATTN: WAYNE MEGILL, CO-MANAGER  
330 KENNETH PIKE, SUITE 207  
CHADDS FORD, PA 19317  
(610) 399-1235

SITE ADDRESS:  
914-924 S. CONCORD RD.  
WESTTOWN TWP., CHESTER COUNTY, PA  
PARCEL NO. 67-4-82 | D.B. SS1 | PG. 151

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Pennsylvania One Call System  
PA, act 172 of 1986 requires  
these working days notice  
Special Numbers:  
**20201921658**

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www.InlandDesign.net

Phone: (484) 947-2928  
Fax: (484) 947-2946  
Info@InlandDesign.net

**JOSEPH D. COMANDA**  
ENGINEER  
PE#079740  
PENNSYLVANIA

No.	Date:	Description:
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCCD COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPS

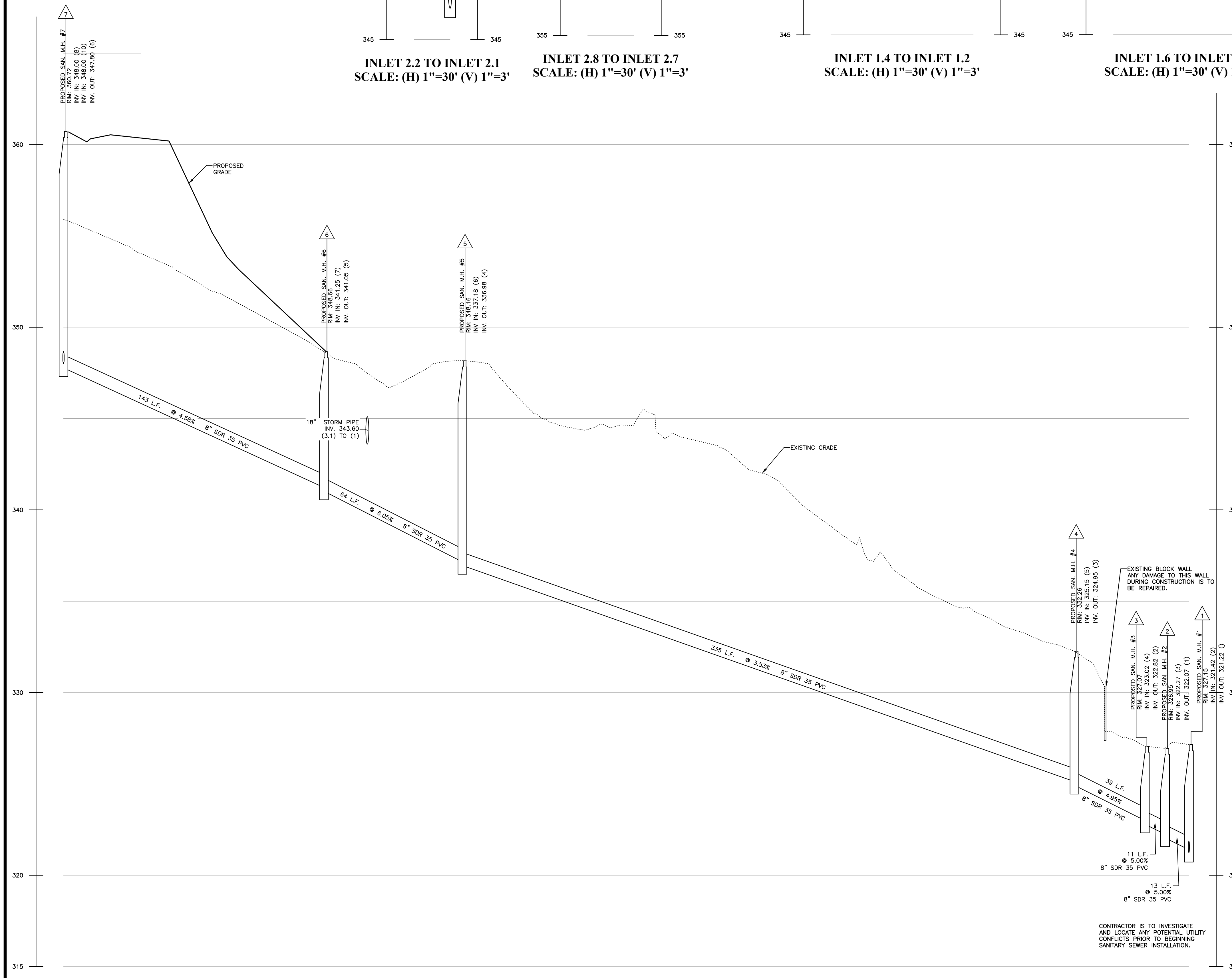
**PRELIMINARY/FINAL  
LAND DEVELOPMENT**

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(IN FEET)  
1 inch = 30'

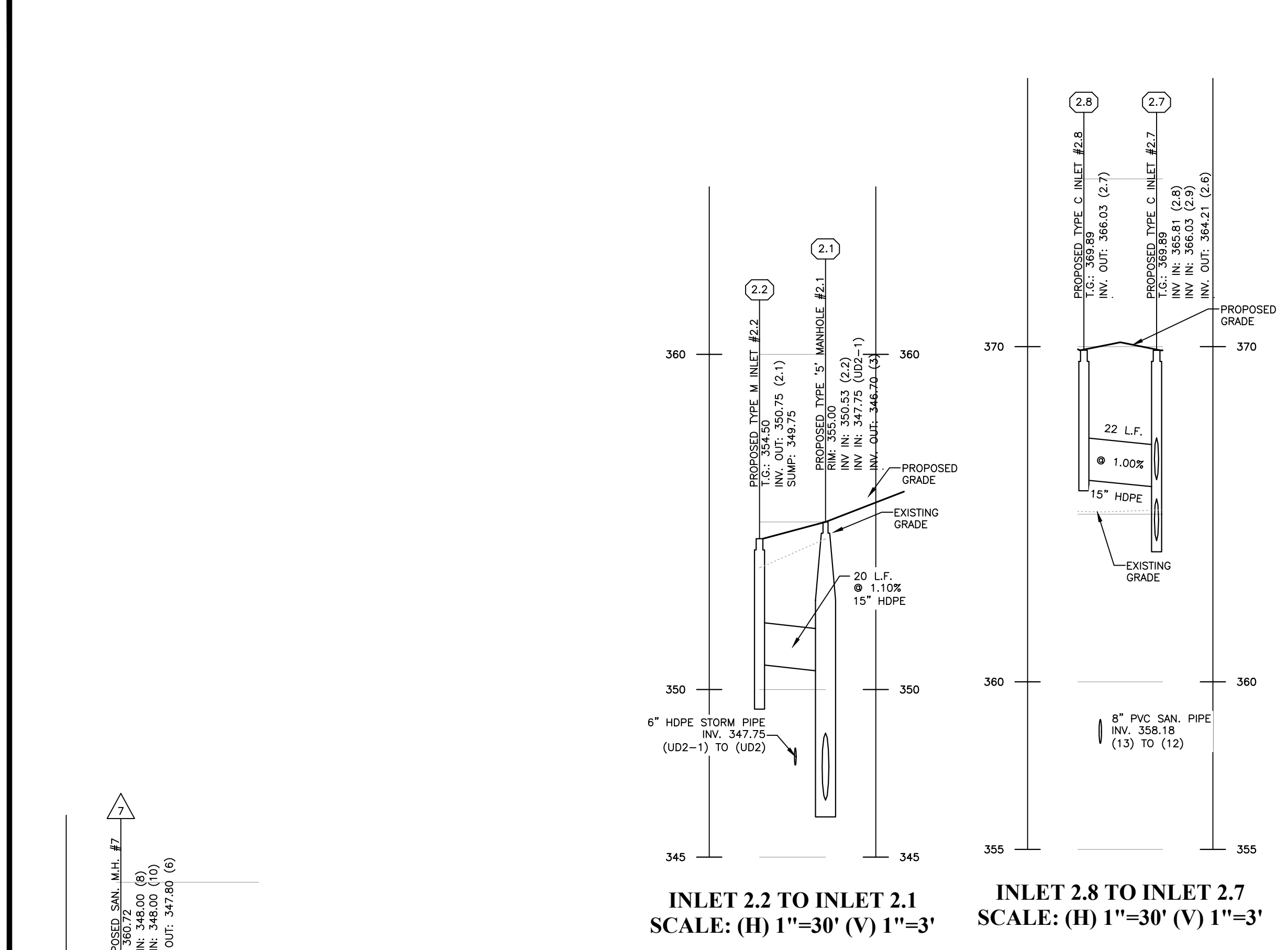
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Scale: 1" = 30'  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**PCSWM PLAN & PROFILE  
FOR  
SAWMILL COURT  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA**

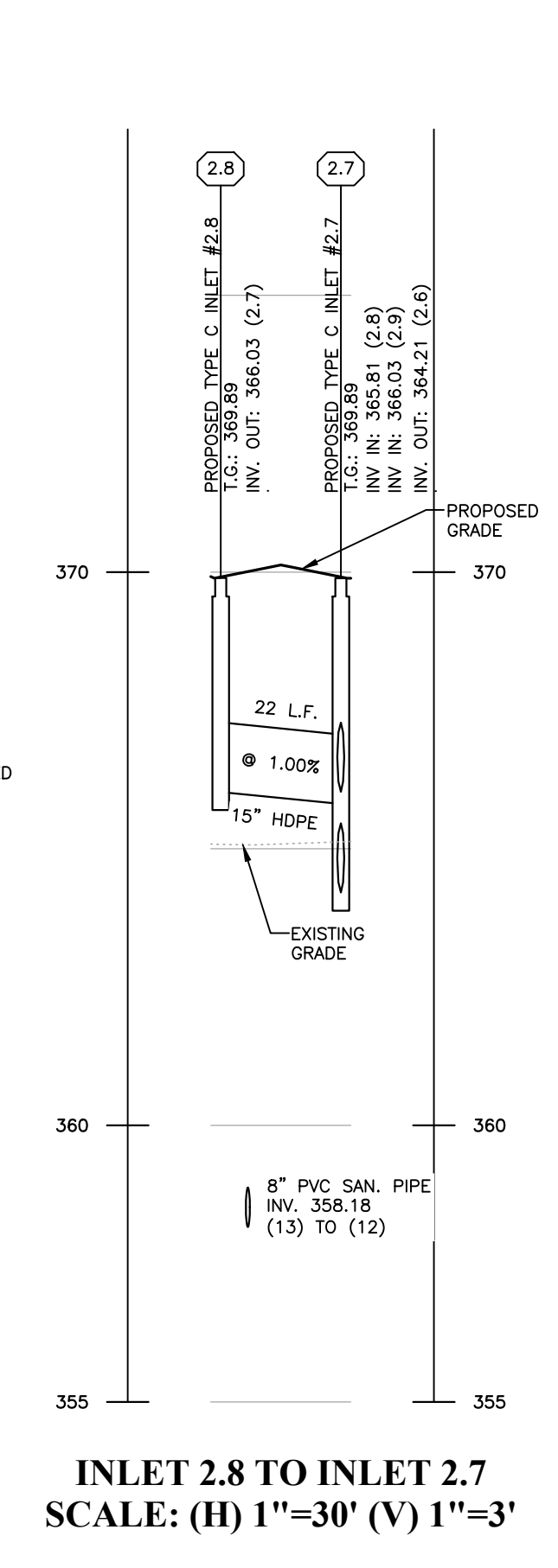
**SHEET**  
**11**  
**OF 20**



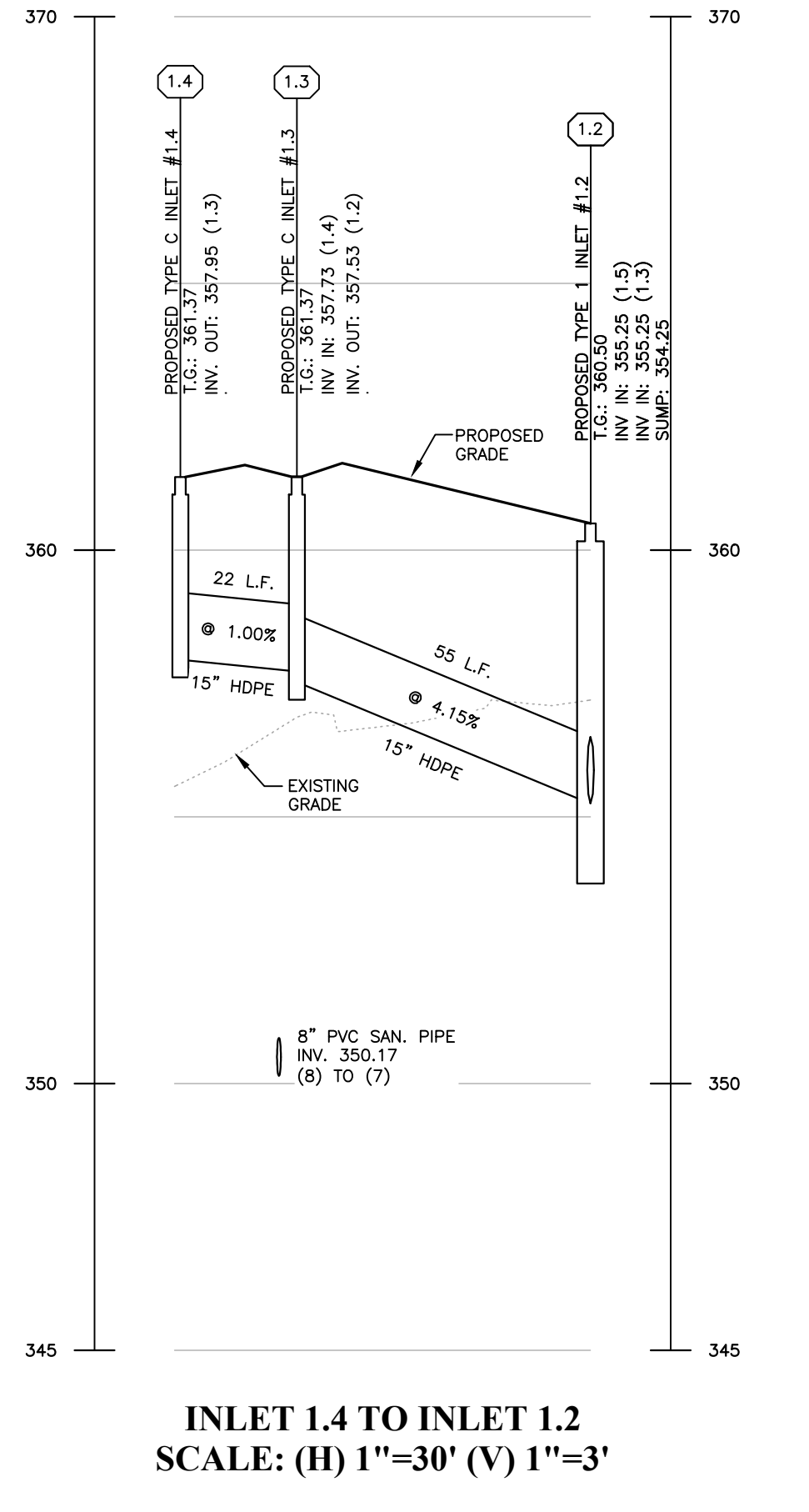
**SANITARY PROFILE MH 5 TO PUMP STATION WET WELL**  
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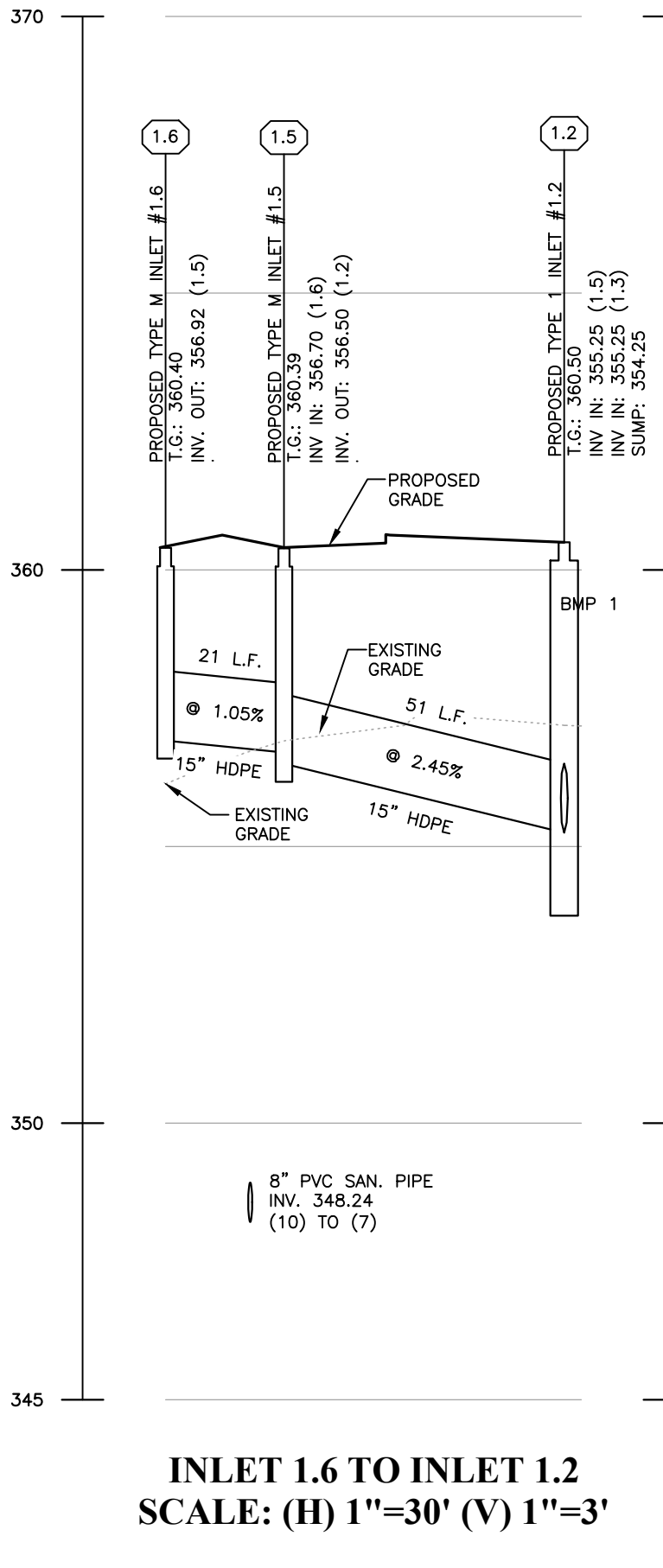
**INLET 2.2 TO INLET 2.1**  
SCALE: (H) 1"=30' (V) 1"=3'



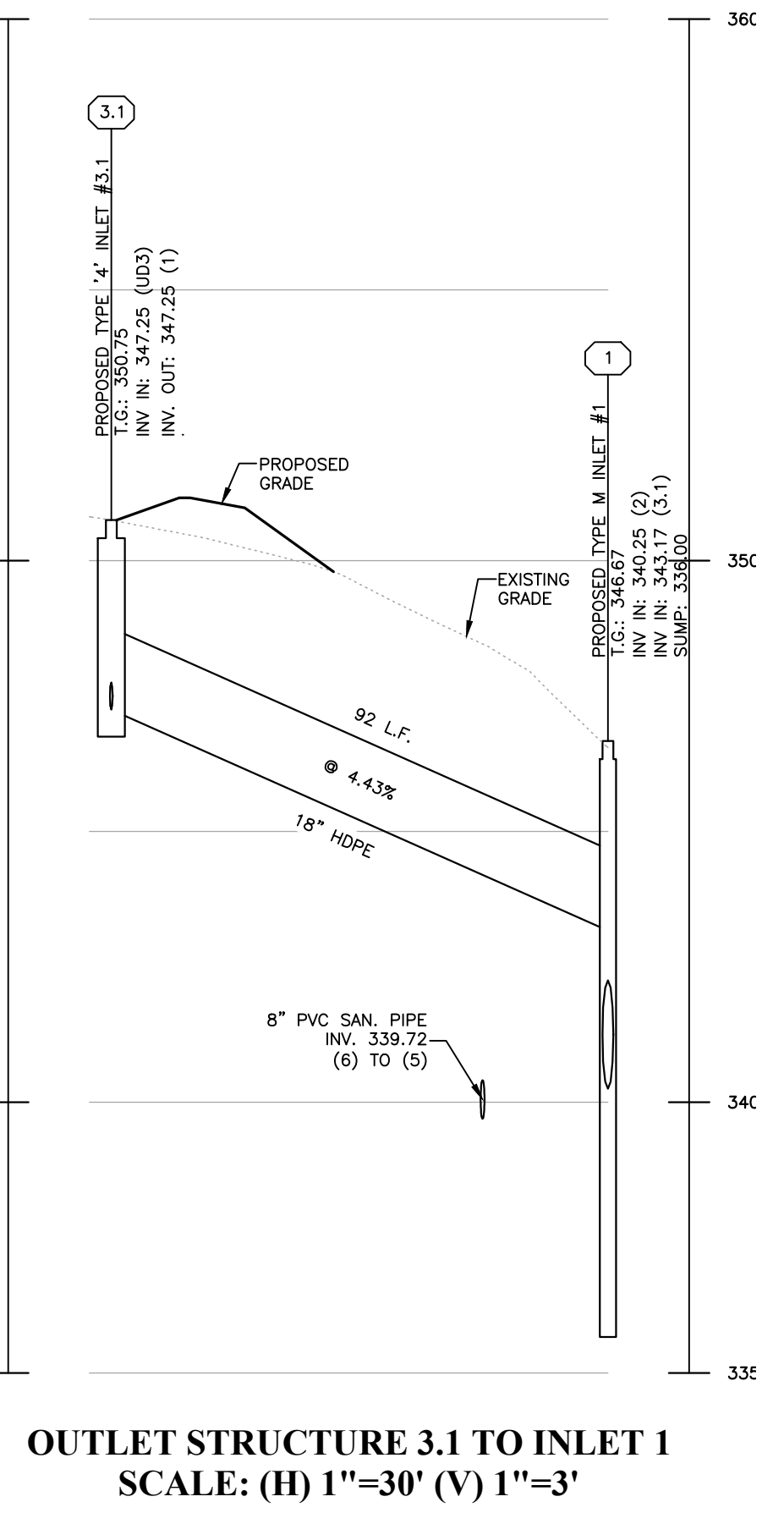
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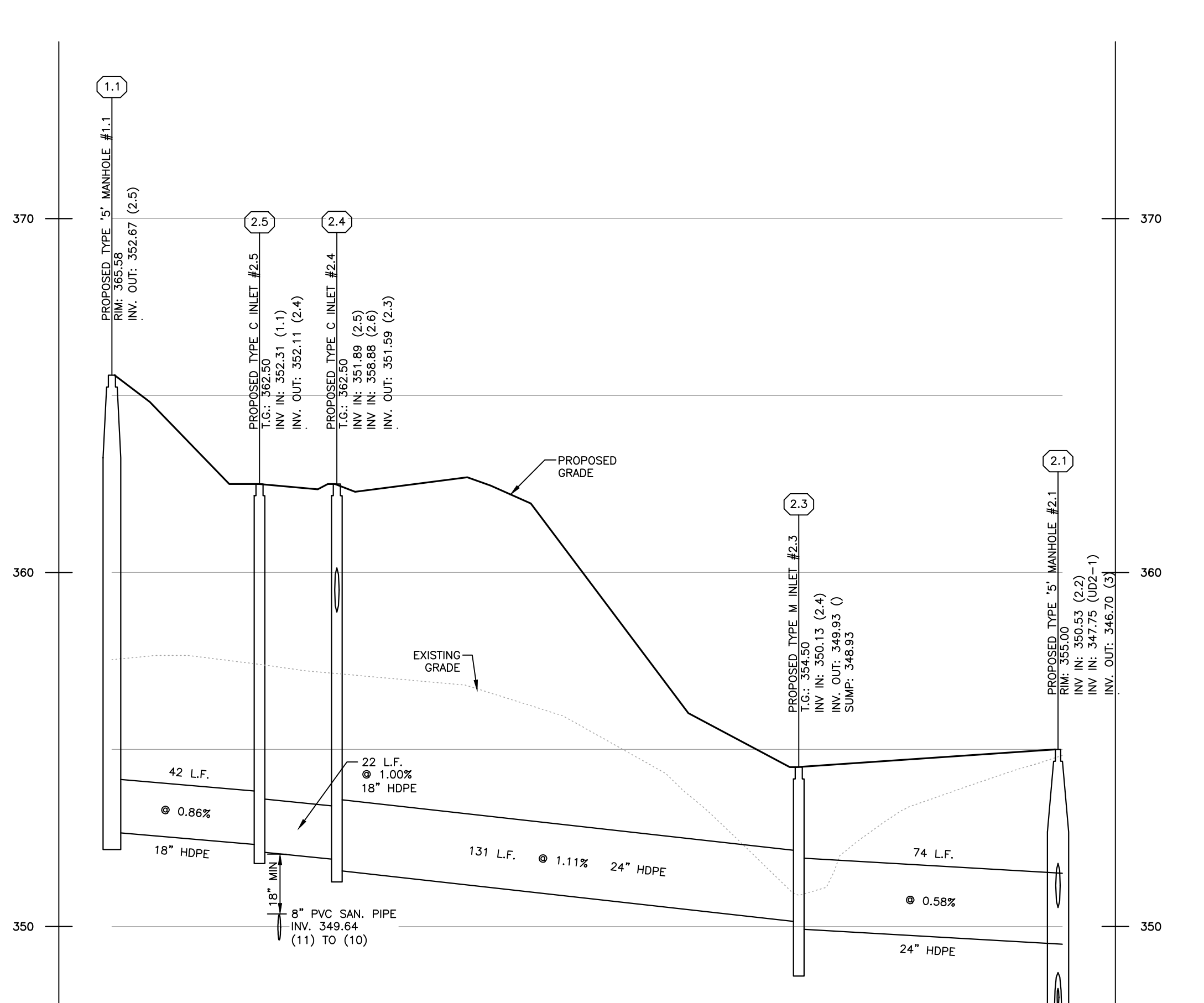
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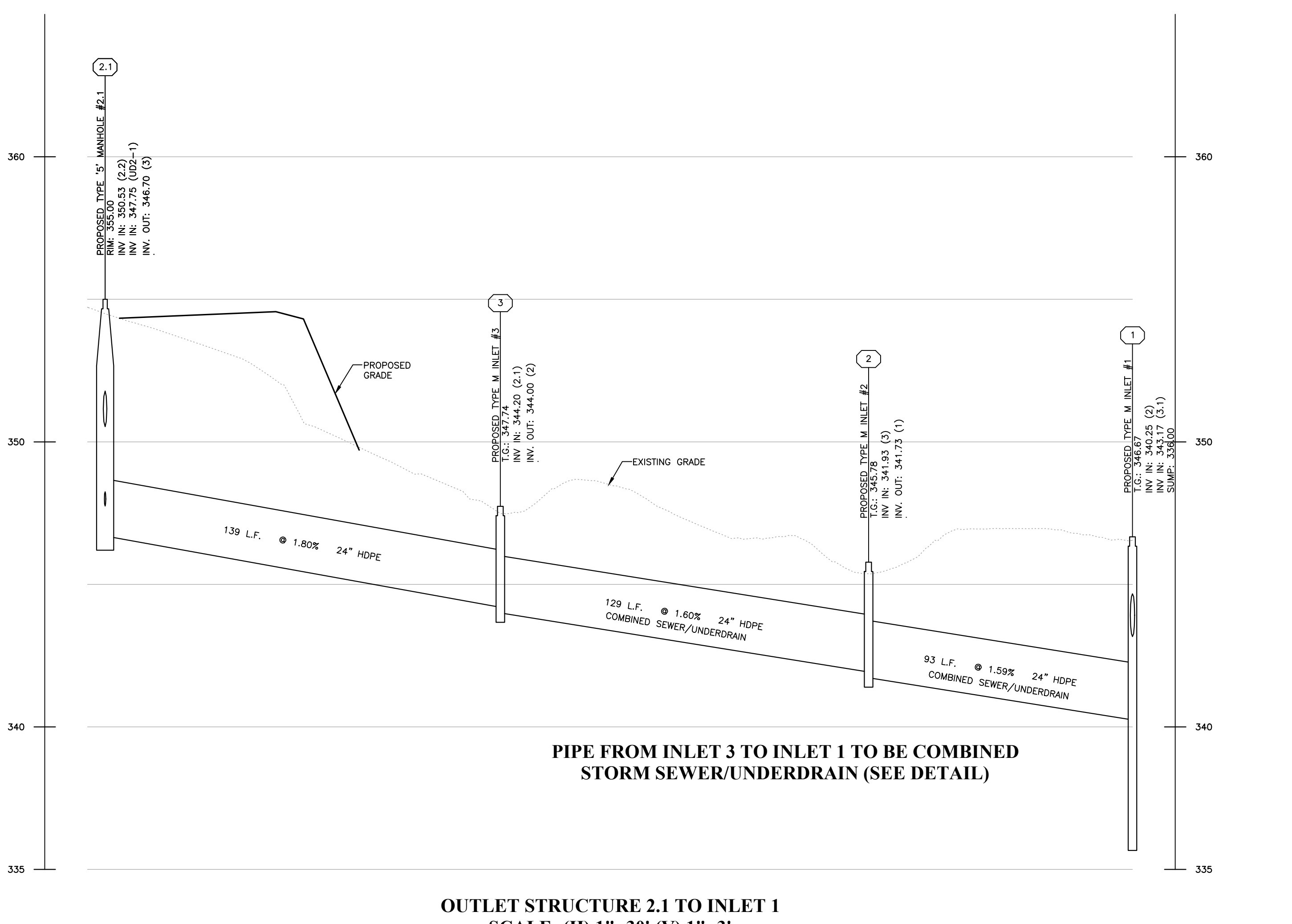
**INLET 1.6 TO INLET 1.2**  
SCALE: (H) 1"=30' (V) 1"=3'



**OUTLET STRUCTURE 3.1 TO INLET 1**  
SCALE: (H) 1"=30' (V) 1"=3'



**OUTLET STRUCTURE 1.1 TO BMP 2**  
SCALE: (H) 1"=30' (V) 1"=3'



**OUTLET STRUCTURE 2.1 TO INLET 1**  
SCALE: (H) 1"=30' (V) 1"=3'

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PARCEL NO. 67-4-82 | D.B. SS1 | PG. 151

**INLAND DESIGN**  
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Info@InlandDesign.net

**COMMONWEALTH OF PENNSYLVANIA**  
REGISTERED PROFESSIONAL ENGINEER  
JOSEPH D. COMANDA  
PE#070740

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
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3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
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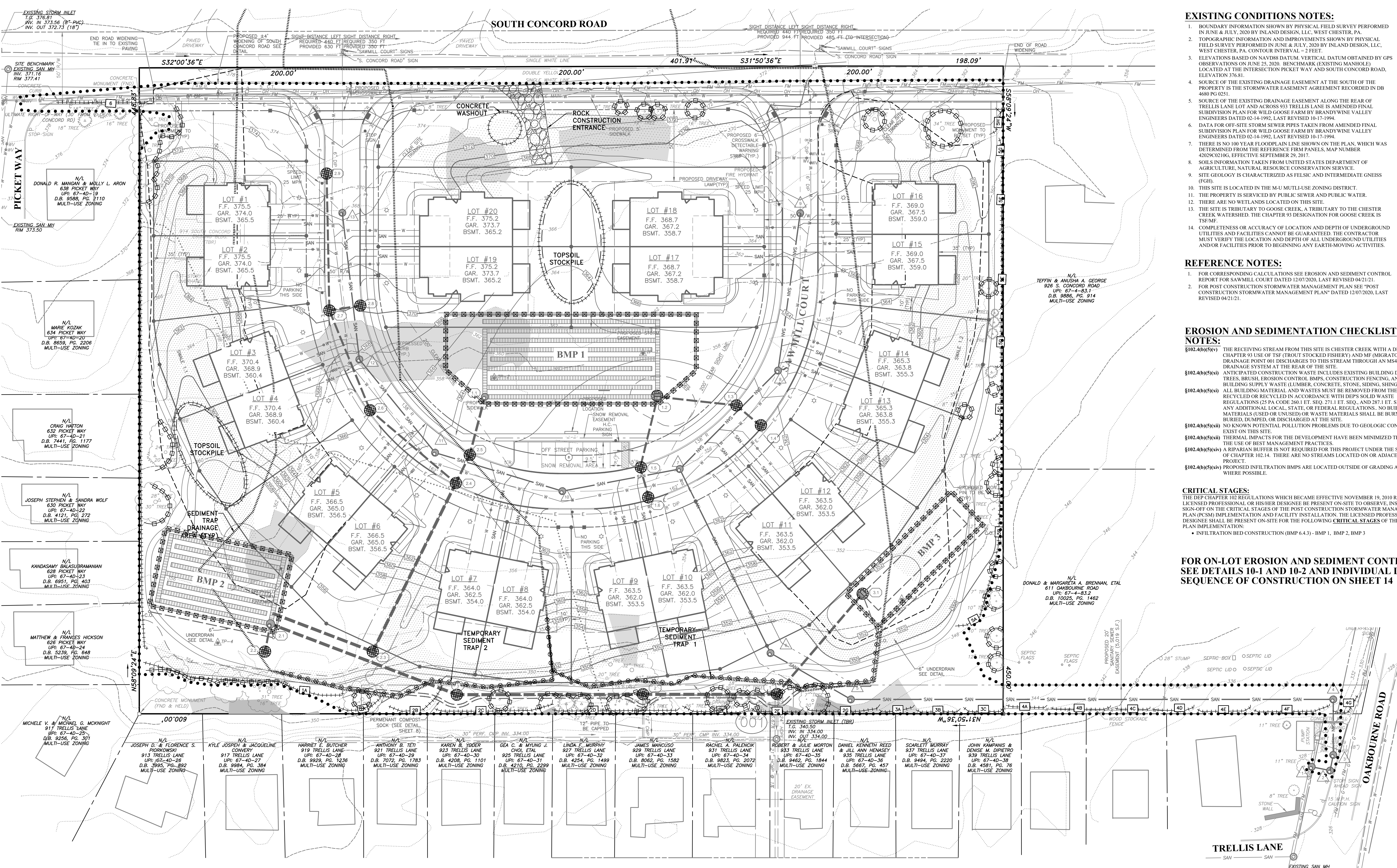
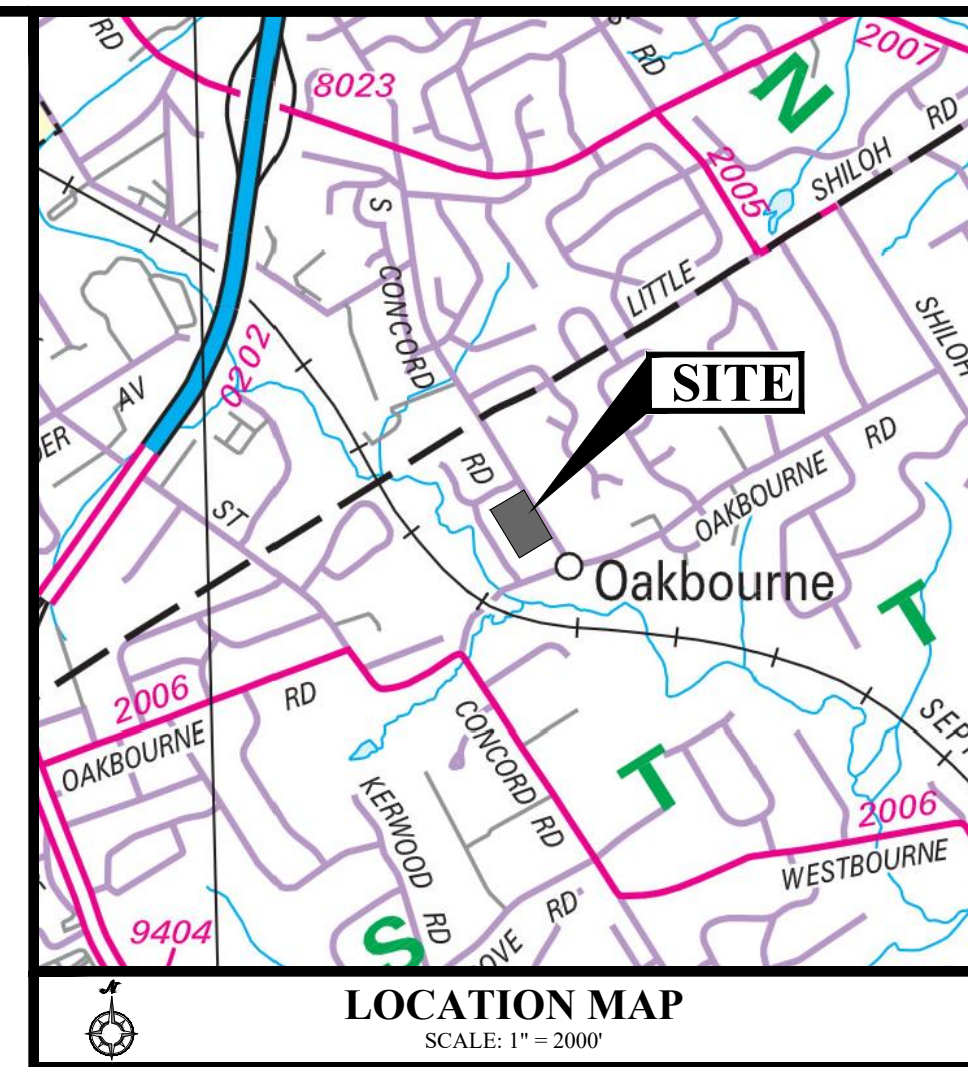
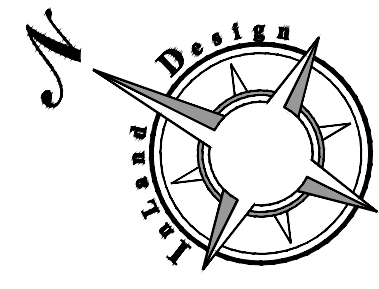
**PRELIMINARY/FINAL LAND DEVELOPMENT**

GRAPHIC SCALE  
1" = 30'

Date: 12/07/2020  
Scale: 1" = 30'  
Drawn by: TMW  
Checked by: JDC  
Project No. 11541

**PCSWM OFF-ROAD PROFILES FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET 12 OF 20**



**EXISTING CONDITIONS NOTES:**

- 1. BOUNDARY INFORMATION SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
- 2. TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL - 2 FEET.
- 3. ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 25, 2020. BENCHMARK (EXISTING MANHOLE) LOCATED AT THE INTERSECTION PICKET WAY AND SOUTH CONCORD ROAD. ELEVATION 376.81.
- 4. SOURCE OF THE EXISTING DRAINAGE EASEMENT AT THE SOUTH OF THE PROPERTY IS THE STORMWATER EASEMENT AGREEMENT RECORDED IN DB 4800 PG 025.
- 5. SOURCE OF THE EXISTING DRAINAGE EASEMENT ALONG THE REAR OF TRELIS LANE LOT AND ACROSS 933 TRELIS LANE IS AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
- 6. DATA FOR OFF-SITE STORM SEWER PIPES TAKEN FROM AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
- 7. THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 4202C0106, EFFECTIVE SEPTEMBER 29, 2017.
- 8. SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- 9. SITE GEOLOGY IS CHARACTERIZED AS FELSIC AND INTERMEDIATE GNEISS (FGD).
- 10. THIS SITE IS LOCATED IN THE M4 MULTIPLE USE ZONING DISTRICT.
- 11. THE PROPERTY IS SERVED BY PUBLIC SEWER AND PUBLIC WATER. THERE ARE NO WETLANDS LOCATED ON THIS SITE.
- 12. THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T25M.
- 14. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

**REFERENCE NOTES:**

- 1. FOR CORRESPONDING CALCULATIONS SEE EROSION AND SEDIMENT CONTROL REPORT FOR SAWMILL COURT DATED 12/07/2020. LAST REVISED 04/21/21.
- 2. FOR POST CONSTRUCTION STORMWATER MANAGEMENT PLAN SEE "POST CONSTRUCTION STORMWATER MANAGEMENT PLAN" DATED 12/07/2020. LAST REVISED 04/21/21.

**EROSION AND SEDIMENTATION CHECKLIST NOTES:**

- 102.40b(5)(v) THE RECEIVING STREAM FROM THIS SITE IS CHESTER CREEK WITH A DESIGNATED CHAPTER 93 USE OF TSF (CROFT STOCKED FISHERY) AND MF (MIGRATORY FISHES) DRAINAGE POINT 001 DISCHARGES TO THIS STREAM THROUGH AN MS4 STORM DRAINAGE SYSTEM AT THE REAR OF THE SITE.
- 102.40b(5)(ix) ANTICIPATED CONSTRUCTION WASTE INCLUDES EXISTING BUILDING DEMOLITION, TREES, BRUSH, EROSION CONTROL BMPs, CONSTRUCTION FENCING, AND BUILDING SUPPLY WASTE (LUMBER, CONCRETE, STONE, SIDING, SHINGLES, ETC.).
- 102.40b(5)(x) ALL BUILDING MATERIAL AND WASTE MUST BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ 271.1 ET SEQ AND 281.1 ET SEQ, AND/OR ANY ADDITIONAL LOCAL, STATE, OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 102.40b(5)(xi) NO KNOWN POTENTIAL POLLUTION PROBLEMS DUE TO GEOLOGIC CONDITIONS EXIST ON THIS SITE.
- 102.40b(5)(xii) THERE ARE NO KNOWN POTENTIAL POLLUTION PROBLEMS DUE TO GEOLOGIC CONDITIONS EXIST ON THIS SITE.
- 102.40b(5)(xiii) A RIPARIAN BUFFER IS NOT REQUIRED FOR THIS PROJECT UNDER THE STANDARDS OF CHAPTER 102.14. THERE ARE NO STREAMS LOCATED ON OR ADJACENT TO THIS PROJECT.
- 102.40b(5)(xiv) PROPOSED INFILTRATION BMPs ARE LOCATED OUTSIDE OF GRADING AREAS WHERE POSSIBLE.

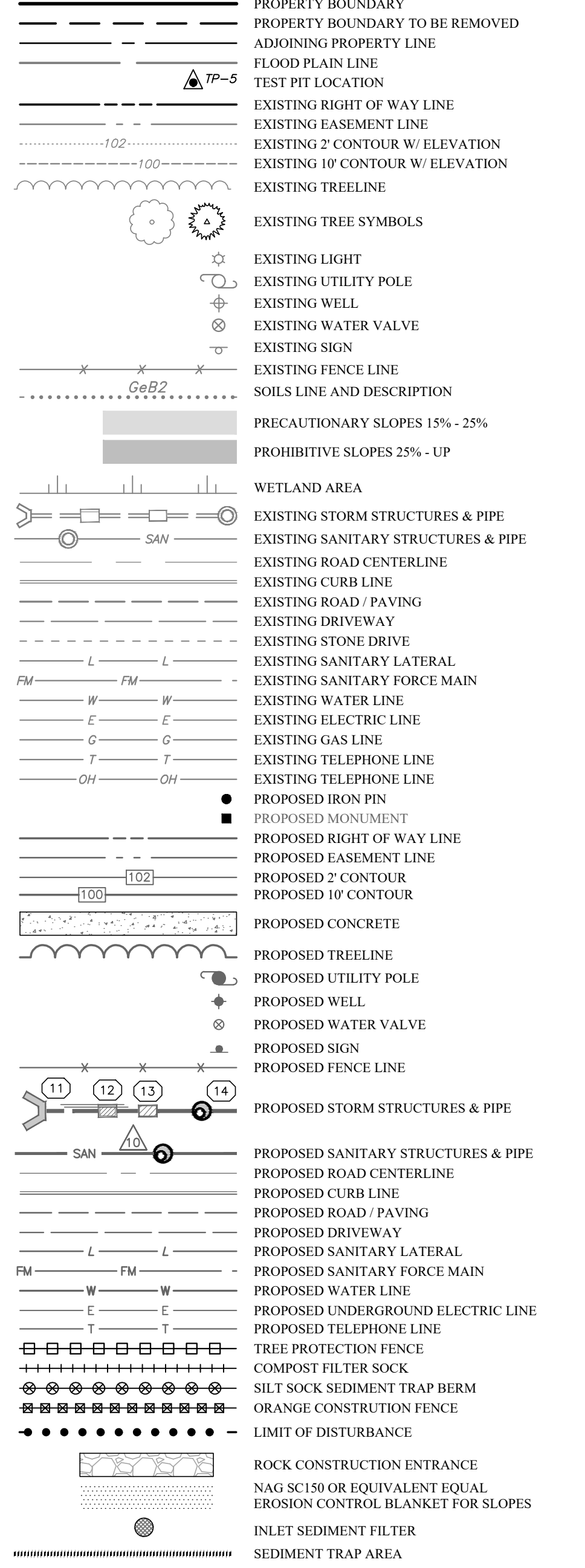
**CRITICAL STAGES:**

THE DEP CHAPTER 102 REGULATIONS WHICH BECAME EFFECTIVE NOVEMBER 19, 2010 REQUIRE A LICENSED PROFESSIONAL OR HIS/HER DESIGNEE BE PRESENT ON-SITE TO OBSERVE, INSPECT AND SIGN-OFF ON THE CRITICAL STAGES OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION AND FACILITY INSTALLATION. THE LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON-SITE FOR THE FOLLOWING CRITICAL STAGES OF THE PCSM PLAN IMPLEMENTATION:

- INFILTRATION BED CONSTRUCTION (BMP 6.4.3), BMP 1, BMP 2, BMP 3

**FOR ON-LOT EROSION AND SEDIMENT CONTROLS SEE DETAILS 10-1 AND 10-2 AND INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION ON SHEET 14**

**LEGEND**



**TOTAL PROJECT SITE AREA: 6.19 AC**  
THE NPDES PROJECT SITE BOUNDARY INCLUDES THE PROPERTY BOUNDARY ALONG WITH ANY DISTURBED AREAS LOCATED OFF-SITE FOR UTILITY OR ROADWAY IMPROVEMENTS.

**DISTURBED AREA: 6.03 AC**

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
UgB	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A
UgB	URBAN LAND-DOROTHENTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7c	C

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**PENNSYLVANIA ONE CALL SYSTEM**  
PA, act 172 of 1986 requires three working days notice  
Social Number: 20201921658

**PENNSYLVANIA ACT 187 REQUIREMENTS:**  
Inland Design, LLC does not guarantee the accuracy of the location for existing utility and safety structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

**PARCEL NO. 67-4-82 | D.B. 51 | PG. 151**

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www.InlandDesign.net Info@InlandDesign.net

**COMMONWEALTH OF PENNSYLVANIA**  
REGISTERED PROFESSIONAL ENGINEER  
JOEL D. COMANDA  
No. 1007040

No.	Date	Description
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4	05/12/2021	REVISED PER CCDC COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPs

**PRELIMINARY/FINAL LAND DEVELOPMENT**

GRAPHIC SCALE  
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(IN FEET)  
1 inch = 30'

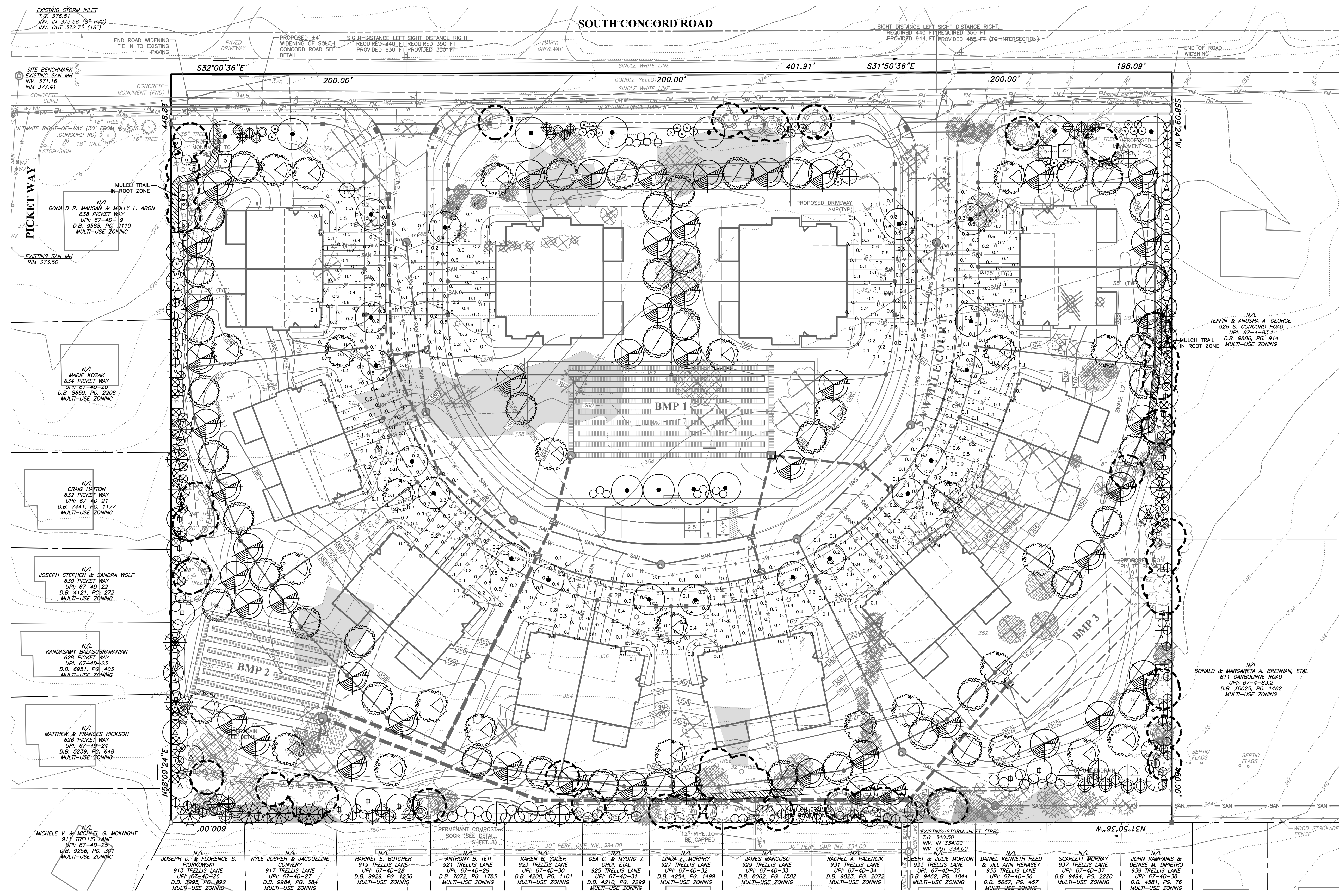
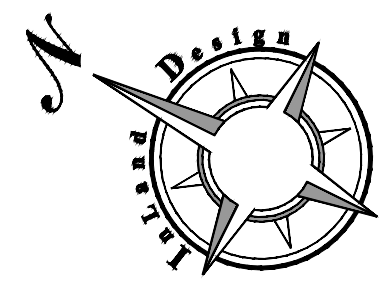
Date: 12/07/2020  
Scale: 1" = 30'  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**EROSION & SEDIMENT CONTROL PLAN**  
FOR  
**SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**SHEET**  
**13**  
OF 20







**LANDSCAPING GENERAL NOTES**

- 1. ALL BEDS SHALL HAVE THREE INCHES OF SHREDDED HARDWOOD MULCH OR EQUAL.
2. TREE WRAP SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.
3. DO NOT CUT THE LEADER OF DECIDUOUS TREES.
4. NO DECIDUOUS SHADE TREES WILL BE LOCATED CLOSER THAN 10 FEET TO SANITARY AND WATER UTILITIES.
5. NO PLANTS EXCEPT GRASS COVER SHALL BE PLANTED LESS THAN FIVE FEET FROM A STRUCTURE, WALKS OR CURB LINES.
6. ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK, BALLED AND BURLAPPED IT SHALL BE OF SYMMETRICAL GROWTH, TYPICAL OF ITS SPECIES OR VARIETY, CERTIFIED FREE OF INSECTS, PESTS AND DISEASE, HAVE A NORMAL GROWTH HABIT, AND A VIGOROUS HEALTHY ROOT SYSTEM.
7. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 24 MONTHS BY THE LANDSCAPING CONTRACTOR, ACCORDING TO 149-82.02 OF THE WESTOWN ORDINANCE.
8. ALL PLANTING MATERIALS SHALL MEET THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION FOR HEALTH, FORM, AND ROOT CONDITION.
9. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE TOWNSHIP.
10. PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
11. TREES AND SHRUBS SHALL BEAR THE SAME RELATIONSHIP TO THE FINISHED GRADE IN THE NEW DEVELOPMENT AS THEY DID IN THE NURSERY.
12. THE LANDSCAPING CONTRACTOR SHALL PROVIDE ALL PLANT MATERIALS AS SPECIFIED IN THE PLANT SCHEDULE AND SHALL INSTALL ALL MATERIAL IN ACCORDANCE WITH THE PLANTING DETAILS, NOTES AND SPECIFICATIONS IN THE APPROVED LANDSCAPE PLANS.
13. ANY SUBSTITUTIONS OF PLANT MATERIALS MUST BE REVIEWED AND APPROVED BY THE TOWNSHIP BEFORE INSTALLATION.
14. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPE AREAS, INCLUDING WATERING, FERTILIZING TO MAINTAIN HEALTHY GROWTH, PRUNING, WEEDING, AND CLEANING DEBRIS PRIOR TO THE END OF THE GUARANTEE PERIOD.
15. THE LANDSCAPING CONTRACTOR WILL PROVIDE A TWO-YEAR MAINTENANCE AND REPLACEMENT GUARANTEE TO THE TOWNSHIP.
16. ALL PLANTINGS WHICH DO NOT SURVIVE AFTER THE EXPIRATION OF THE MAINTENANCE GUARANTEE WILL BE REPLACED BY THE HOMEOWNERS ASSOCIATION.

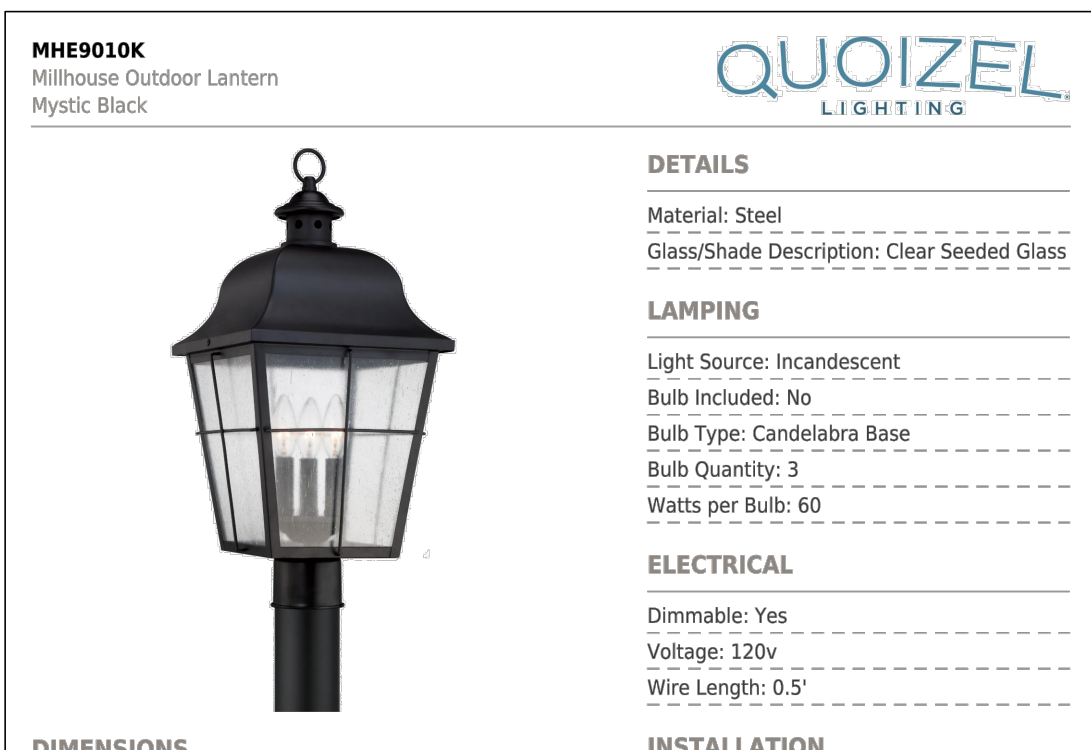
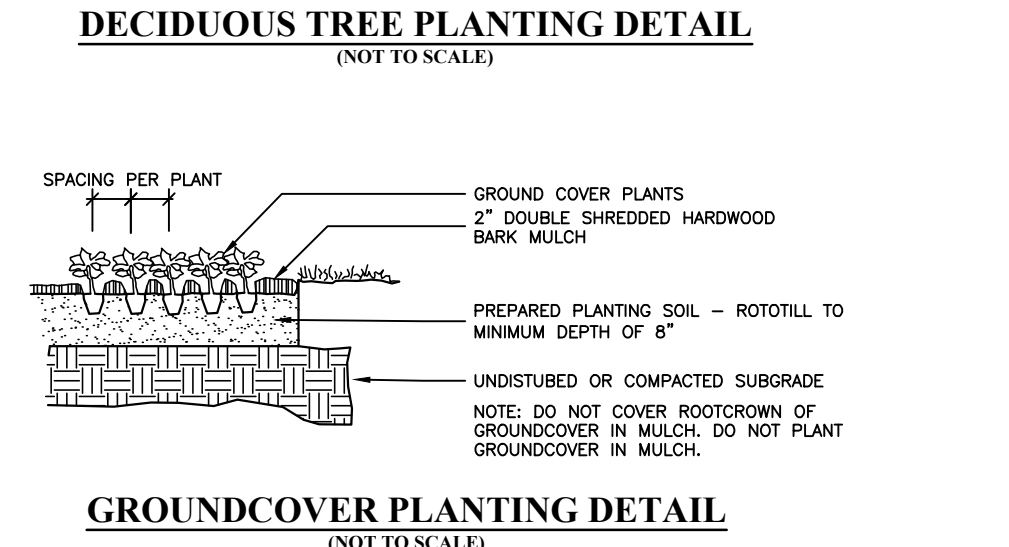
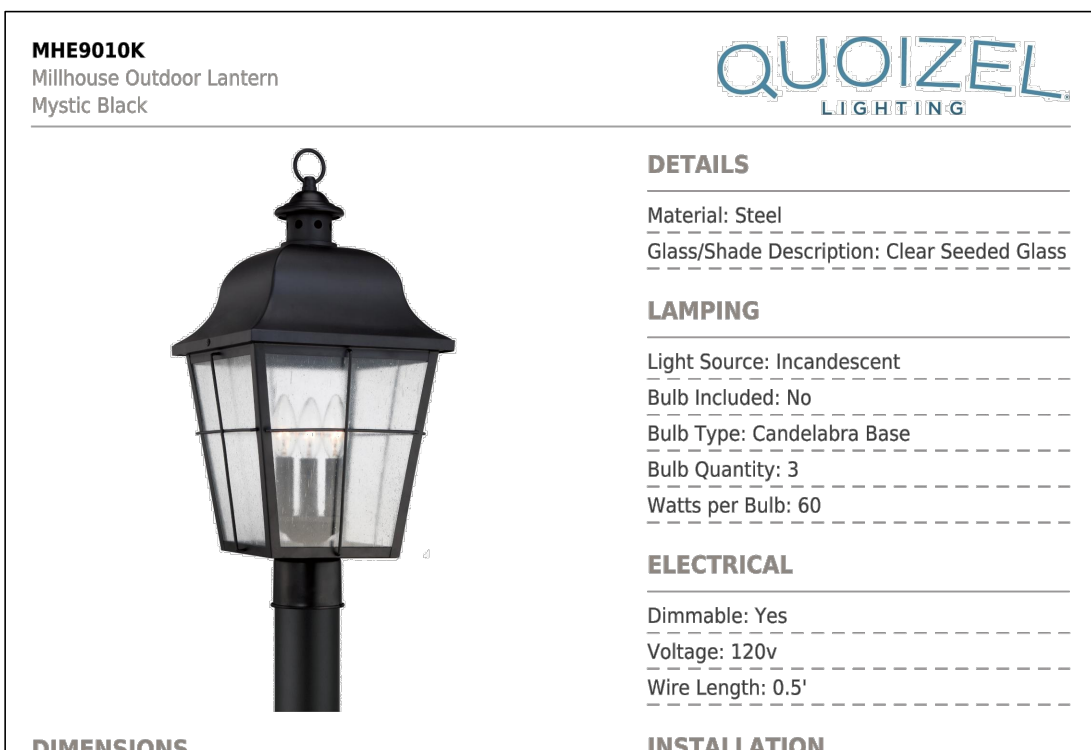
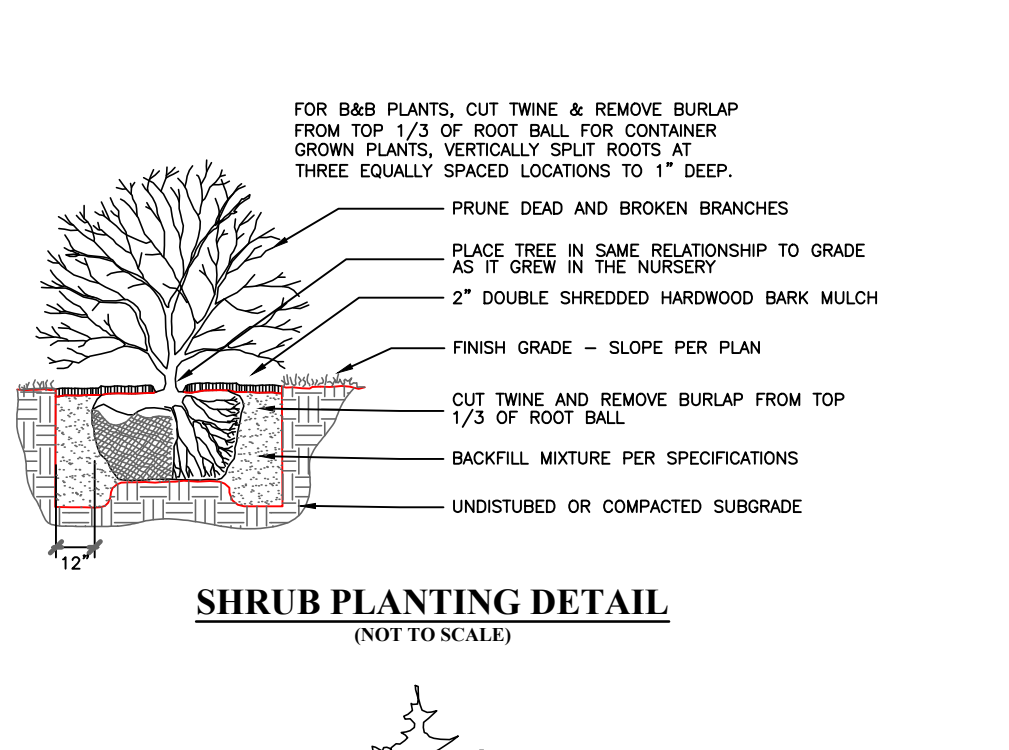
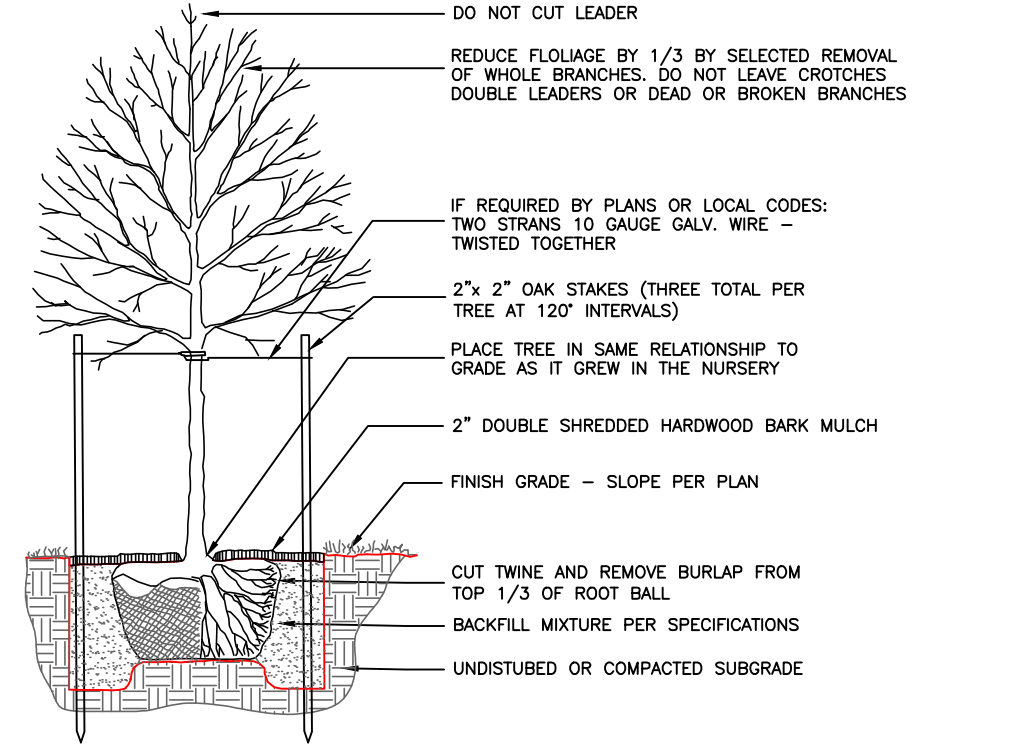
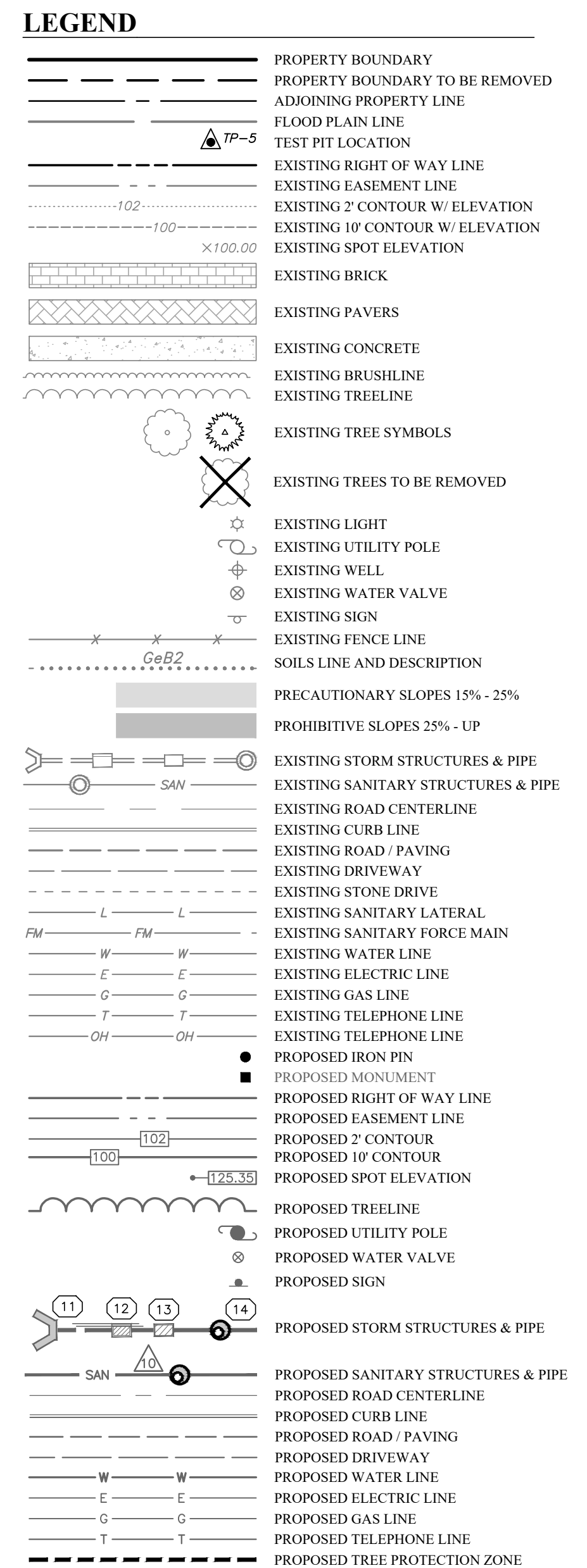
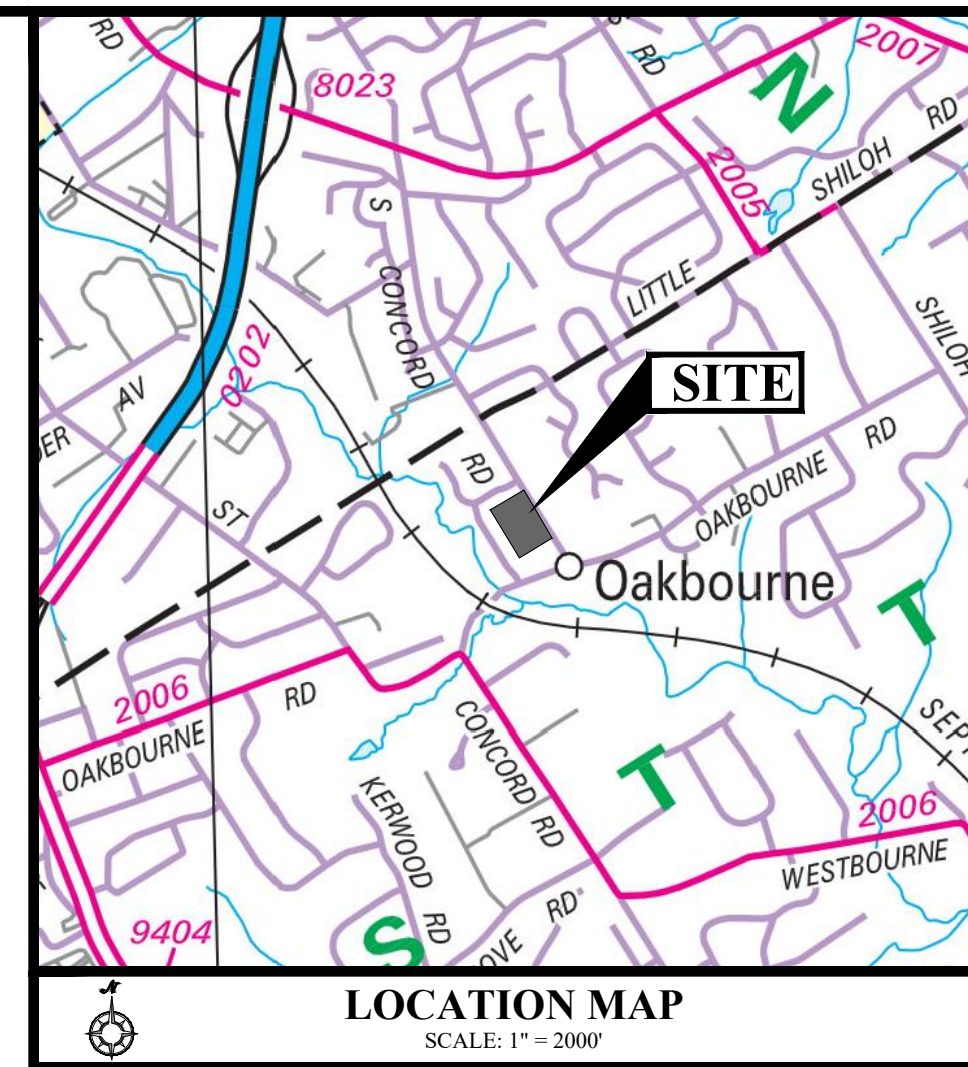


Table with columns: KEY, BOTANICAL NAME, COMMON NAME, QTY., CAL., HT., ROOT, REMARKS. Lists various trees and shrubs with their respective quantities and specifications.

COMPENSATORY PLANTING CHART table showing requirements for existing trees to be removed, specimen trees, and non-specimen trees, including canopy and flowering tree requirements.

LANDSCAPING COMPLIANCE CHART table showing descriptions of landscaping features, required quantities, and provided quantities.

SOILS TABLE with columns: SYMBOL, DESCRIPTION, SLOPE, AVAILABLE WATER CAPACITY, DRAINAGE CLASS, DEPTH TO S.H.W.T., DEPTH TO BEDROCK, CAPABILITY UNIT, HYDROLOGIC SOIL GROUP.

COMPENSATORY TREES table with columns: QTY., CAL., HT., ROOT, REMARKS. Lists specific tree species like Eastern Hop Hornbeam and Magnolia.

Professional information for Inland Design, LLC including contact details, address, and professional seals for civil engineers and surveyors.

Professional seal for Joseph D. Comanda, a Professional Engineer in Pennsylvania.

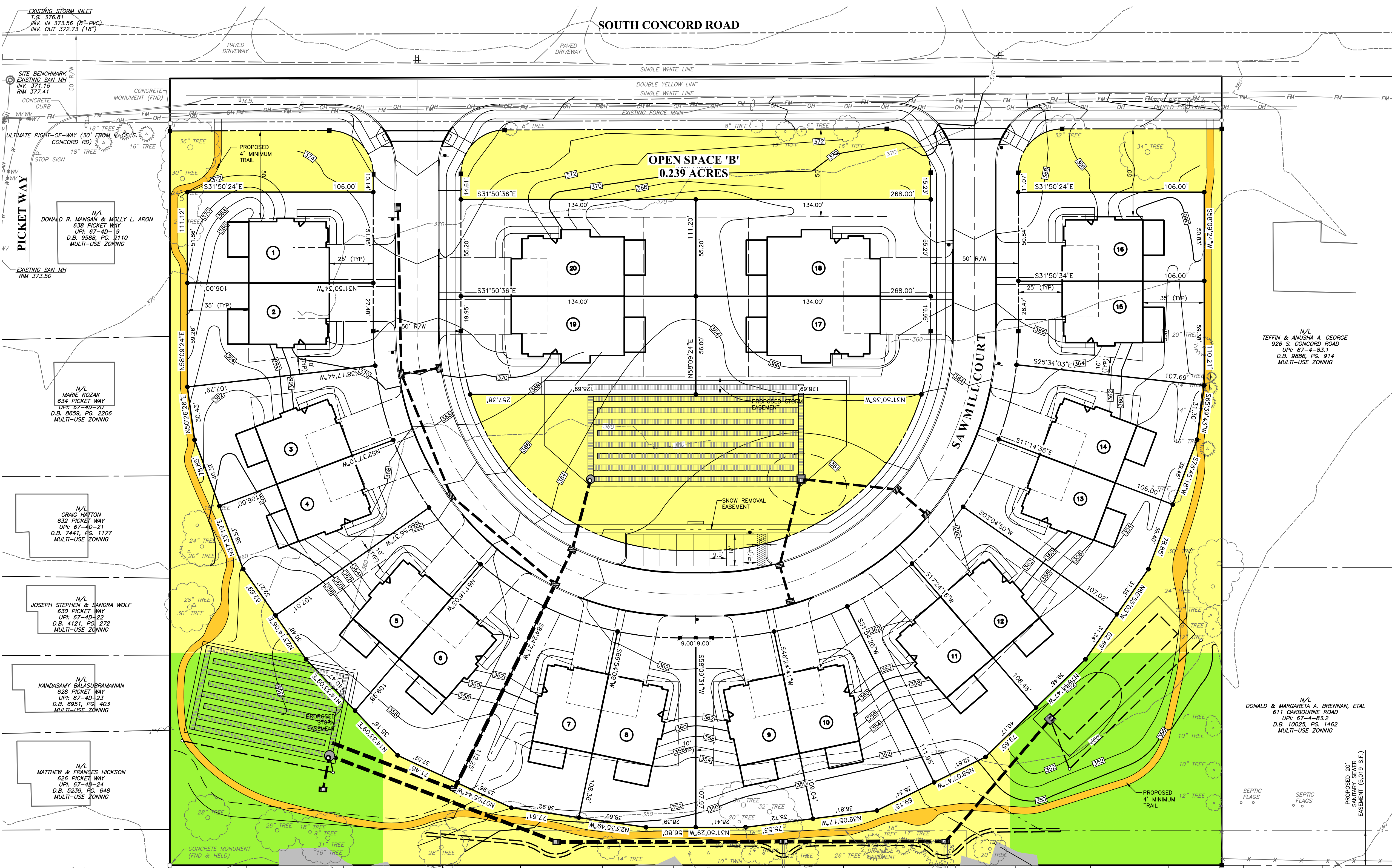
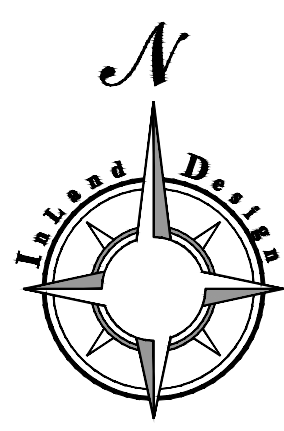
Professional seal for Joseph D. Comanda, a Professional Engineer in Pennsylvania.

Revision table with columns: No., Date, Description. Lists project milestones from 02/10/2023 to 07/26/2023.

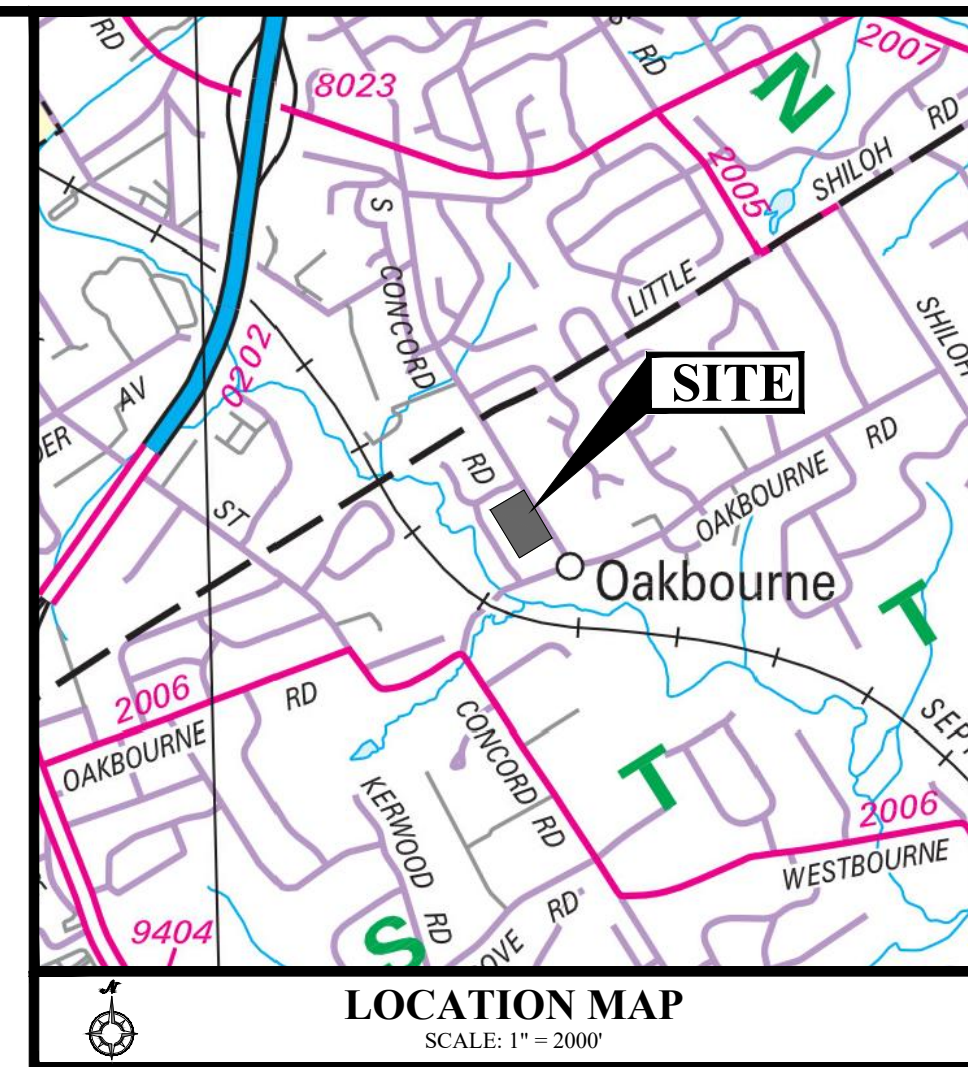
PRELIMINARY/FINAL LAND DEVELOPMENT title block with a graphic scale and north arrow.

Project information including title 'TREE PROTECTION, LANDSCAPING & LIGHTING PLAN FOR SAWMILL COURT', date 12/07/2023, and sheet number 16 OF 20.





- NOTE:**  
THE PROPOSED OPEN SPACE IS TO BE DESIGNATED AS LAWN PER SECTION 149-92.034(a) - TO BE MOWED REGULARLY TO ENSURE A NEAT AND TIDY APPEARANCE.
- OPEN SPACE (LAWN)
  - 75 FT. WIDE OPEN SPACE (LAWN)
  - TRAIL WITHIN OPEN SPACE



**GENERAL NOTES:**

1. THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
2. THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHALL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP SANS AND PER AREA PA STANDARDS AND SPECIFICATIONS.
3. SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOSHEN SEWER AUTHORITY WWTW.
4. ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP.
5. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE WEST TOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS.
6. THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH.
7. THERE ARE NO WETLANDS WITHIN SITE LIMITS.
8. THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
9. THE RIGHT-OF-WAY OF SAWMILL COURT, WHICH WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE RIGHT-OF-WAY.
10. THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE BOARD OF SUPERVISORS AGREES THAT THE RIGHT-OF-WAY IS NEEDED.
11. THE SANITARY SEWER EXTENSION PROPOSED AS A PART OF THIS PROJECT WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE FACILITIES.
12. LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY LAMPS ON EACH INDIVIDUAL PROPERTY OWNER'S LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCENT LIGHTS ARE SHOWN AT EACH DRIVEWAY. THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DISK TO DAWN-SENSOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOME OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
13. THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
14. THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN TOWNSHIP TO ALLOW CONSTRUCTION OF CONNECTION SIDEWALKS IN THE NORTHEAST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS SIDEWALKS ARE EXTENDED TO THESE CORNERS OF THE ADJACENT PARCELS.

**OPEN SPACE NOTES:**

1. COMMON OPEN SPACE ON THIS PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
2. THE TRAIL THAT IS LOCATED WITHIN THE OPEN SPACE IS TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
3. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES LOCATED WITHIN THE OPEN SPACE OR IN EASEMENTS WITHIN THE PROPOSED LOTS.
4. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE AREAS WITHIN THE SANITARY SEWER EASEMENTS LOCATED WITHIN THE OPEN SPACE.
5. IN THE EVENT THAT THE ORGANIZATION ESTABLISHED TO OWN AND MAINTAIN COMMON OPEN SPACE OR ANY SUCCESSOR ORGANIZATION, SHALL AT ANY TIME FAIL TO MAINTAIN THE COMMON OPEN SPACES IN REASONABLE ORDER AND CONDITION IN ACCORDANCE WITH THE DEVELOPMENT PLAN, THE TOWNSHIP MAY SERVE WRITTEN NOTICE UPON SUCH ORGANIZATION, OR UPON THE RESIDENTS AND OWNERS OF THE DEVELOPMENT, SETTING FORTH THE MANNER IN WHICH THE ORGANIZATION HAS FAILED TO MAINTAIN THE COMMON OPEN SPACE IN REASONABLE CONDITION, AND SAID NOTICE SHALL INCLUDE A DEMAND THAT SUCH DEFICIENCIES OF MAINTENANCE BE CURED WITHIN 30 DAYS THEREOF, AND SHALL STATE THE DATE AND PLACE OF A HEARING THEREON WHICH SHALL BE HELD WITHIN 14 DAYS OF THE NOTICE. AT SUCH HEARING THE TOWNSHIP MAY MODIFY THE TERMS OF THE ORIGINAL NOTICE AS TO THE DEFICIENCIES AND MAY GIVE AN EXTENSION OF TIME WITHIN WHICH THEY SHALL BE CORRECTED. IF THE DEFICIENCIES SET FORTH IN THE ORIGINAL NOTICE OR IN THE MODIFICATIONS THEREOF ARE NOT CORRECTED WITHIN SAID 30 DAYS OR ANY EXTENSION THEREOF, THE TOWNSHIP, IN ORDER TO PRESERVE THE TAXABLE VALUES OF THE PROPERTIES WITHIN THE DEVELOPMENT AND TO PREVENT THE COMMON OPEN SPACE FROM BECOMING A PUBLIC NUISANCE, MAY, IN ITS DISCRETION, ENTER UPON AND COMMON SPACE AND MAINTAIN THE SAME FOR A PERIOD OF ONE YEAR. SAID ENTRY AND MAINTENANCE SHALL NOT CONSTITUTE A TAKING OF SAID COMMON OPEN SPACE, AND SHALL NOT VEST IN THE PUBLIC ANY RIGHTS TO USE THE COMMON OPEN SPACE EXCEPT FOR THE MAINTENANCE OF THE COMMON OPEN SPACE. CALL A PUBLIC HEARING UPON NOTICE TO SUCH ORGANIZATION, OR TO THE RESIDENTS AND OWNERS OF THE DEVELOPMENT, TO BE HELD BY THE TOWNSHIP, AT WHICH HEARING SUCH ORGANIZATION OF THE RESIDENTS AND OWNERS OF THE DEVELOPMENT SHALL SHOW CAUSE WHY SUCH MAINTENANCE BY THE TOWNSHIP SHALL NOT, AT THE DISCRETION OF THE TOWNSHIP, CONTINUE FOR A SUCCEEDING YEAR. IF THE TOWNSHIP SHALL DETERMINE THAT SUCH ORGANIZATION IS READY AND ABLE TO MAINTAIN SAID COMMON OPEN SPACE IN REASONABLE CONDITION, THE TOWNSHIP SHALL CEASE TO ENTER UPON SAID COMMON OPEN SPACE AT THE END OF SAID YEAR. IF THE TOWNSHIP SHALL DETERMINE SUCH ORGANIZATION IS NOT READY AND ABLE TO MAINTAIN SAID COMMON OPEN SPACE IN A REASONABLE CONDITION, THE TOWNSHIP MAY, IN ITS DISCRETION, CONTINUE TO MAINTAIN SAID COMMON OPEN SPACE DURING THE NEXT SUCCEEDING YEAR AND, SUBJECT TO A SIMILAR HEARING AND DETERMINATION, IN EACH YEAR THEREAFTER. THE DECISION OF THE TOWNSHIP IN ANY CASE SHALL CONSTITUTE A FINAL ADMINISTRATIVE DECISION SUBJECT TO JUDICIAL REVIEW.
6. THE COST OF SUCH MAINTENANCE AND ENFORCEMENT PROCEEDINGS BY THE TOWNSHIP SHALL BE ASSESSED RATABLY AGAINST THE PROPERTIES WITHIN THE DEVELOPMENT THAT HAVE A RIGHT OF ENJOYMENT OF THE COMMON OPEN SPACE AND SHALL BECOME A LIEN ON SAID PROPERTIES. SAID ASSESSMENTS OR CHARGES SHALL BE SUBORDINATE IN LIEN TO THE LIEN OF ANY PRIOR MORTGAGE OR MORTGAGES ON THE PROPERTY WHICH IS SUBJECT TO SUCH ASSESSMENTS OR CHARGES. THE TOWNSHIP, AT THE TIME OF ENTERING UPON SUCH SAID COMMON OPEN SPACE FOR THE PURPOSE OF MAINTENANCE, SHALL FILE NOTICE OF SUCH LIEN, IN THE OFFICE OF THE PROTHONOTARY OF CHESTER COUNTY, UPON THE PROPERTIES AFFECTED BY SUCH LIEN WITHIN THE DEVELOPMENT.

**OPEN SPACE**

DESCRIPTION	AREA (S.F.)	AREA (ACRES)
OPEN SPACE A	17,260 S.F.	0.396 AC.
OPEN SPACE B	10,432 S.F.	0.239 AC.
OPEN SPACE C	60,545 S.F.	1.390 AC.
TOTAL OPEN SPACE	88,237 S.F.	2.026 AC.

**OPEN SPACE REQUIREMENTS**

DESCRIPTION	REQUIRED	PROVIDED
TOTAL OPEN SPACE AREA	N/A	88,237 SF.
% OF GROSS LOT AREA	30%	34.69%
% OF NET LOT AREA	N/A	41.05%
OPEN SPACE IN FLOODPLAIN OR SLOPE >25%	< 40%	0.7% (649 S.F.)

**INLAND DESIGN**  
Civil Engineers, Surveyors & Land Development Consultants  
16 Hagerty Blvd. West Chester, PA 19382  
Phone: (484) 947-2928 Fax: (484) 947-2946  
www.InLandDesign.net

**COMMONWEALTH OF PENNSYLVANIA**  
JOSEPH D. COMANDA  
ENGINEER  
PROF. 070740

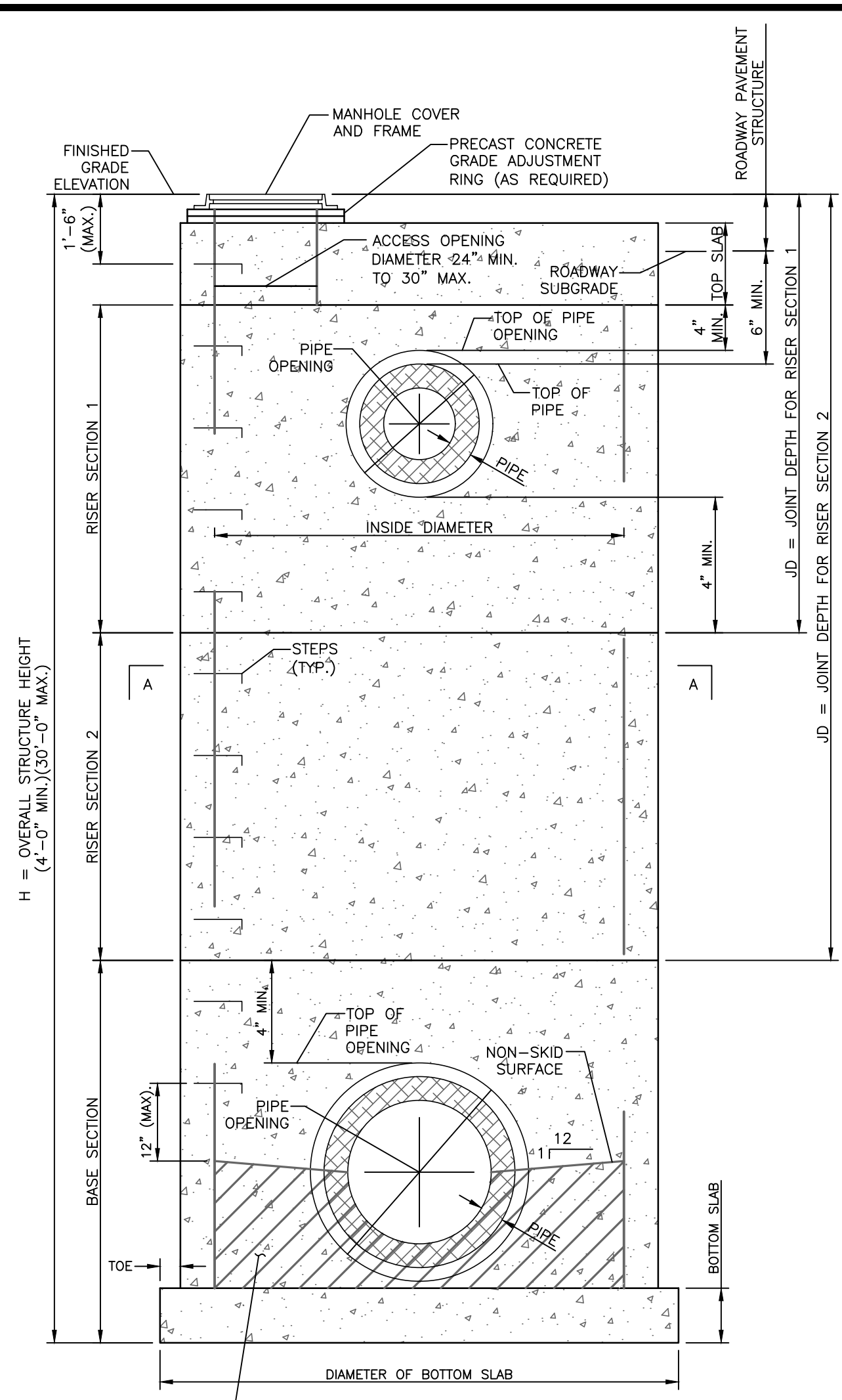
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2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCDD COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPS

**PRELIMINARY/FINAL LAND DEVELOPMENT**  
GRAPHIC SCALE  
0 15 30 60 120  
(IN FEET)  
1 Inch = 30'

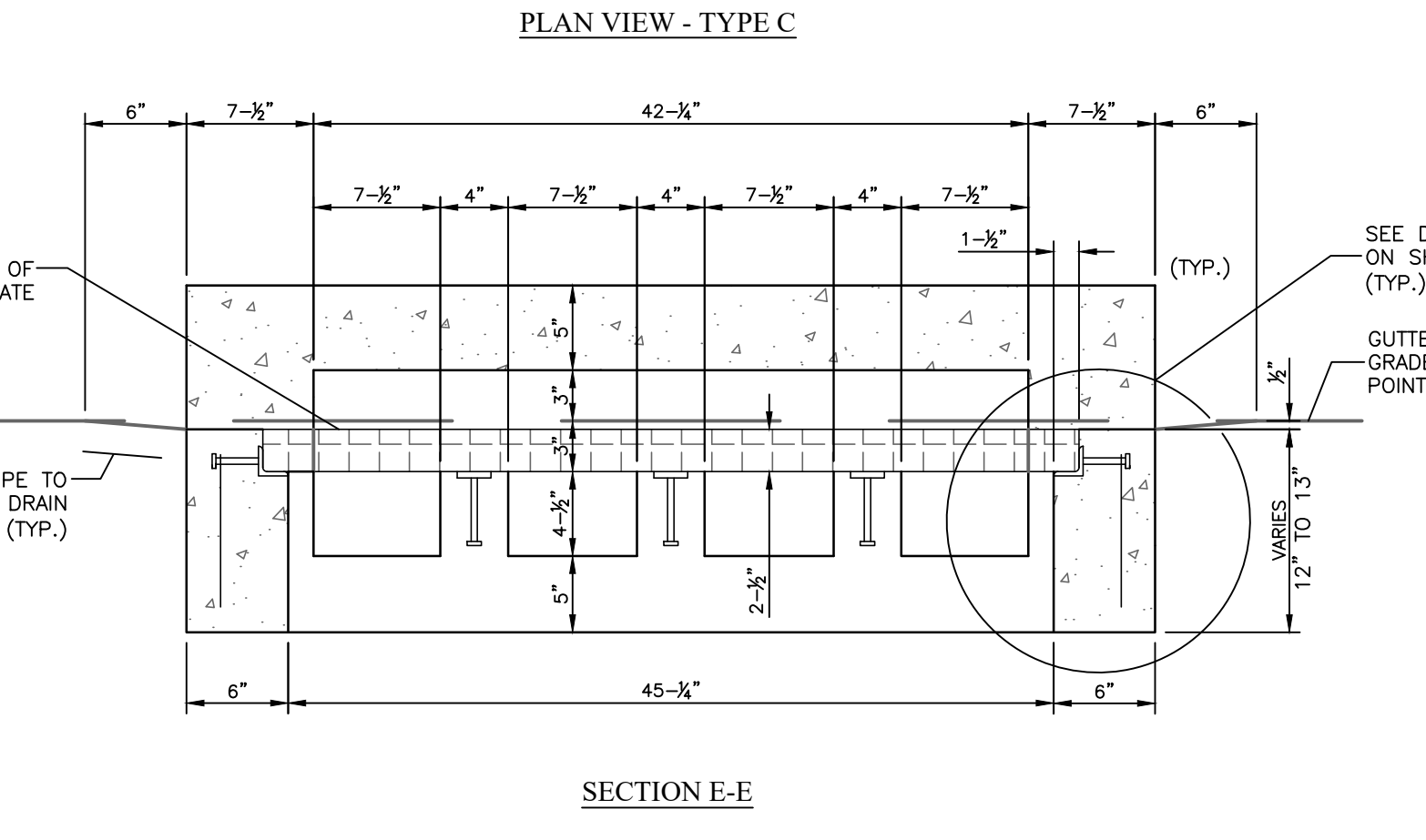
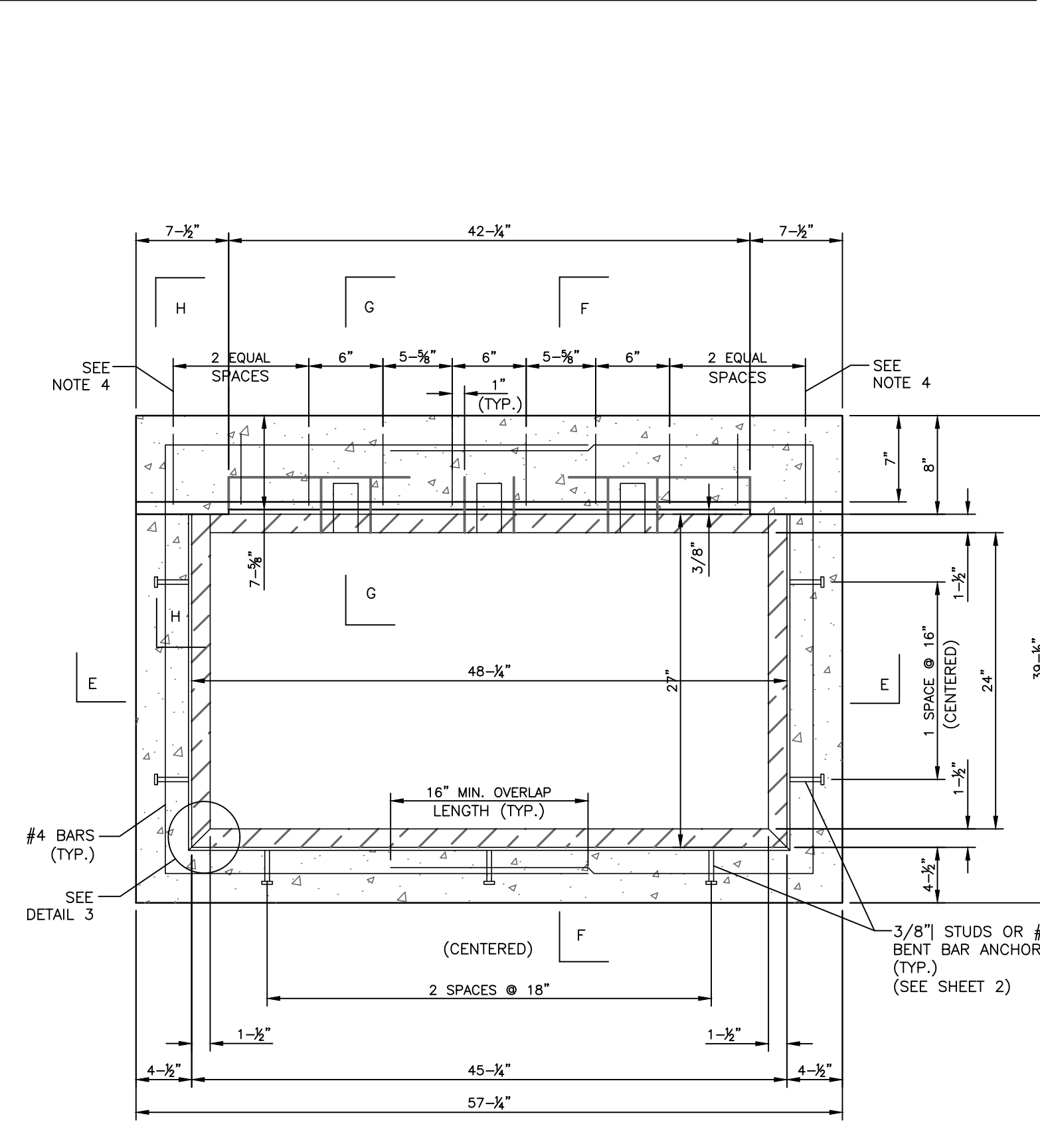
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Scale: 1" = 30'  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**OPEN SPACE MANAGEMENT PLAN FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
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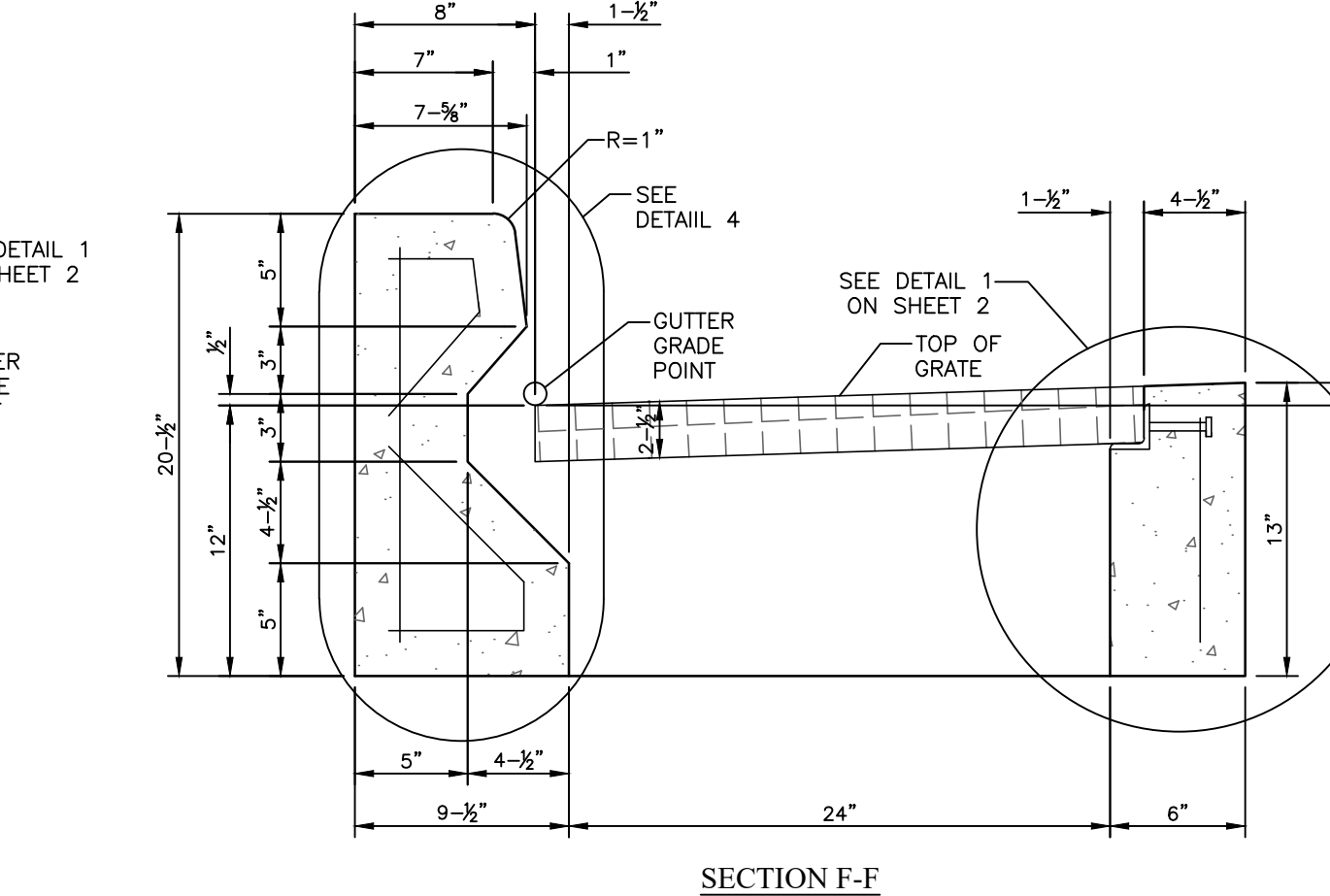
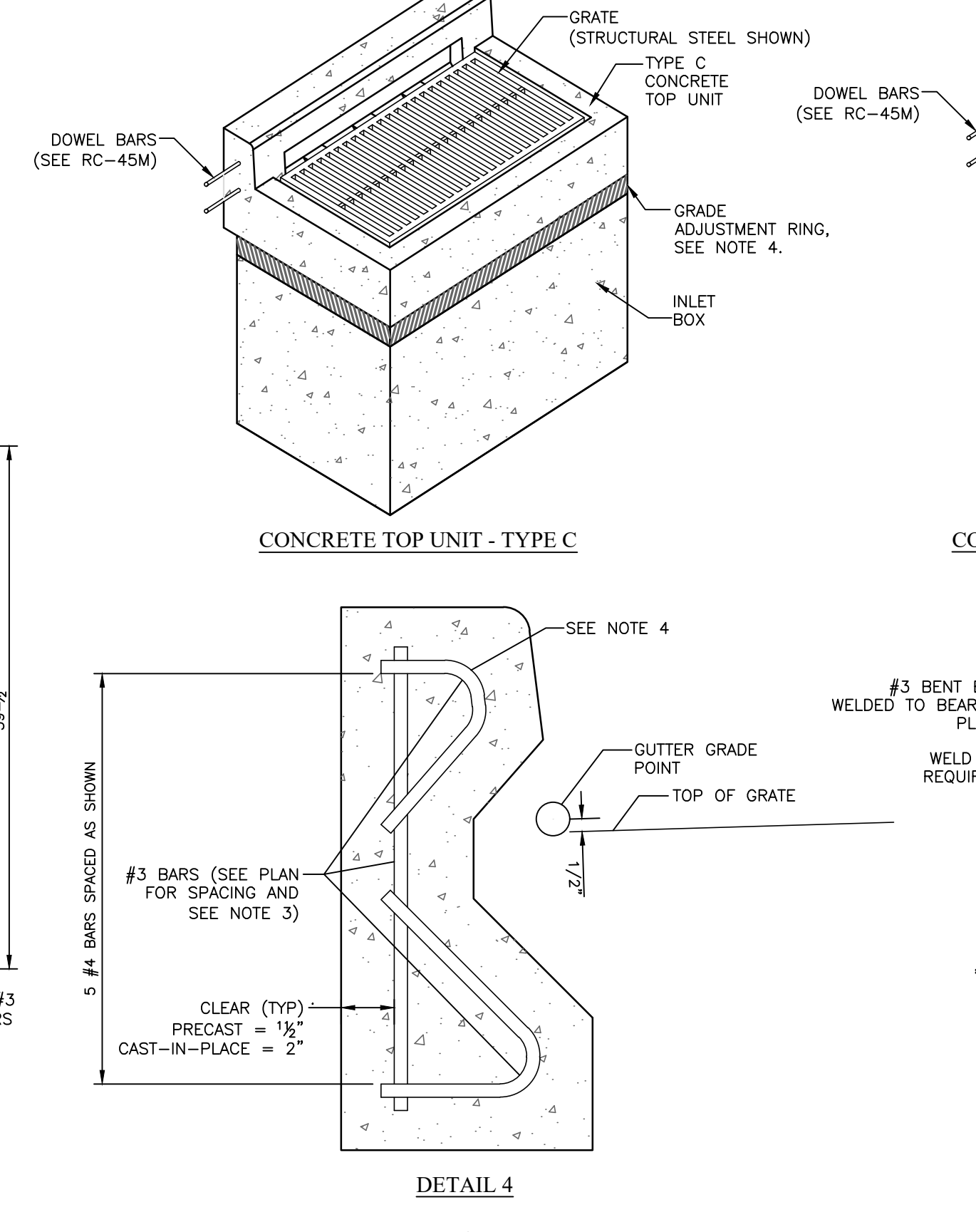
**SHEET 17 OF 20**



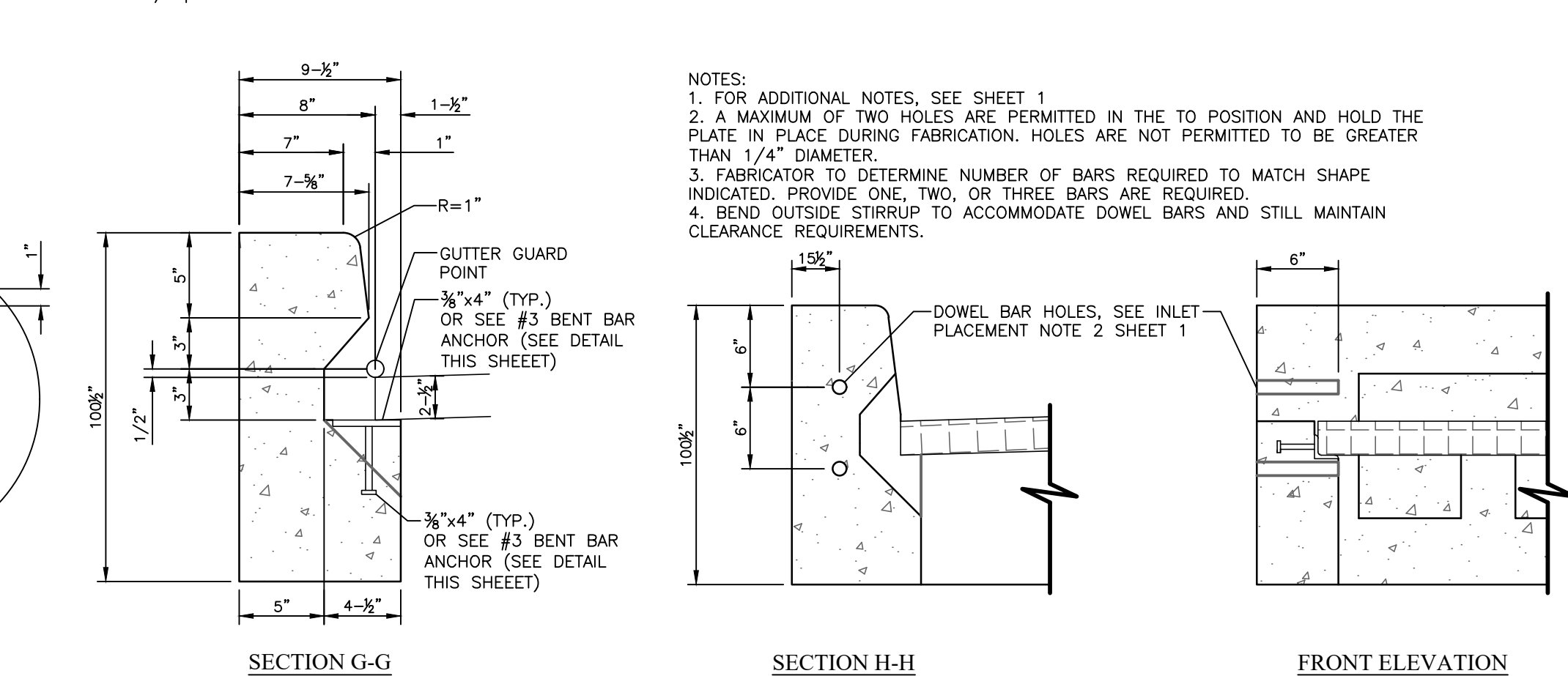
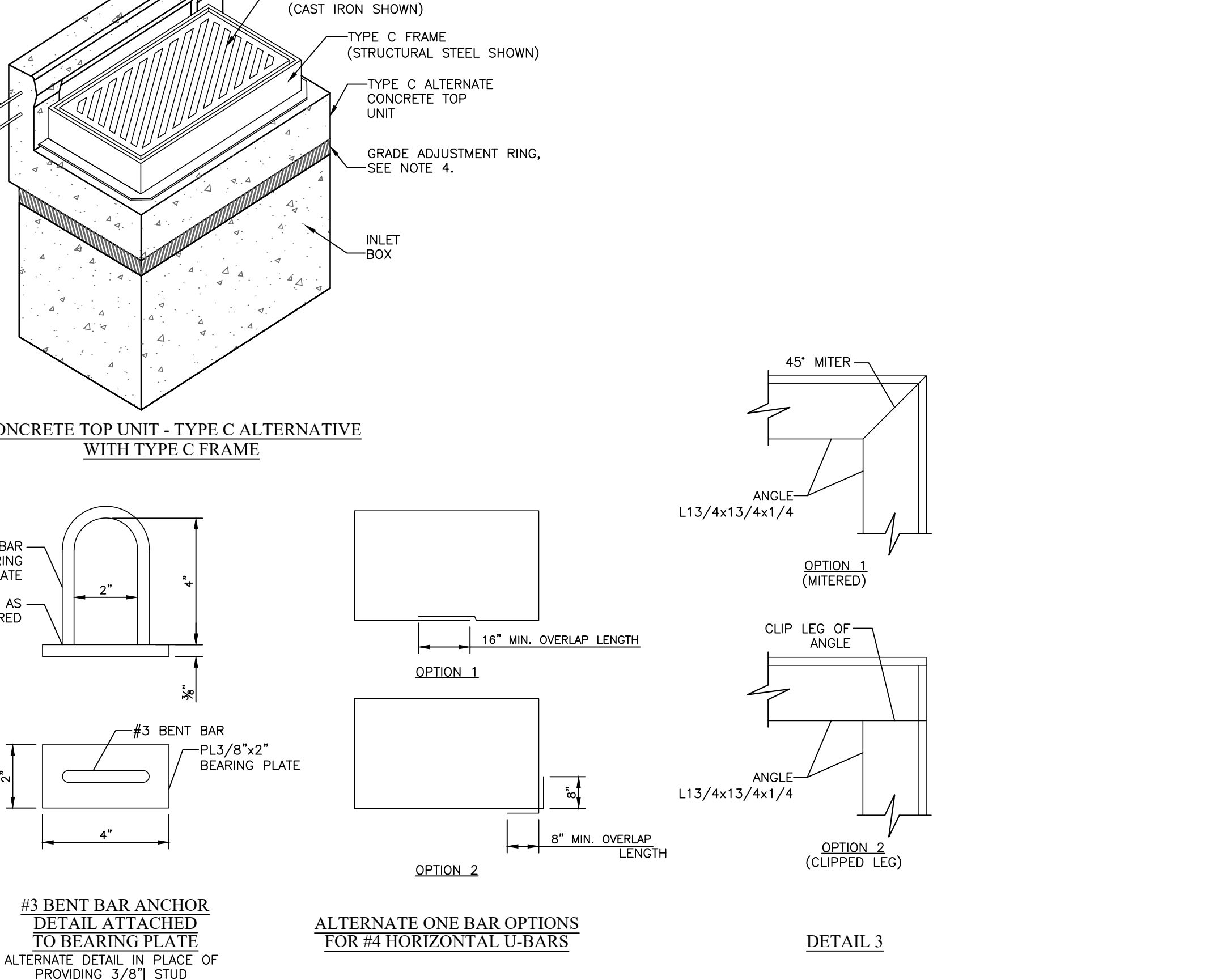
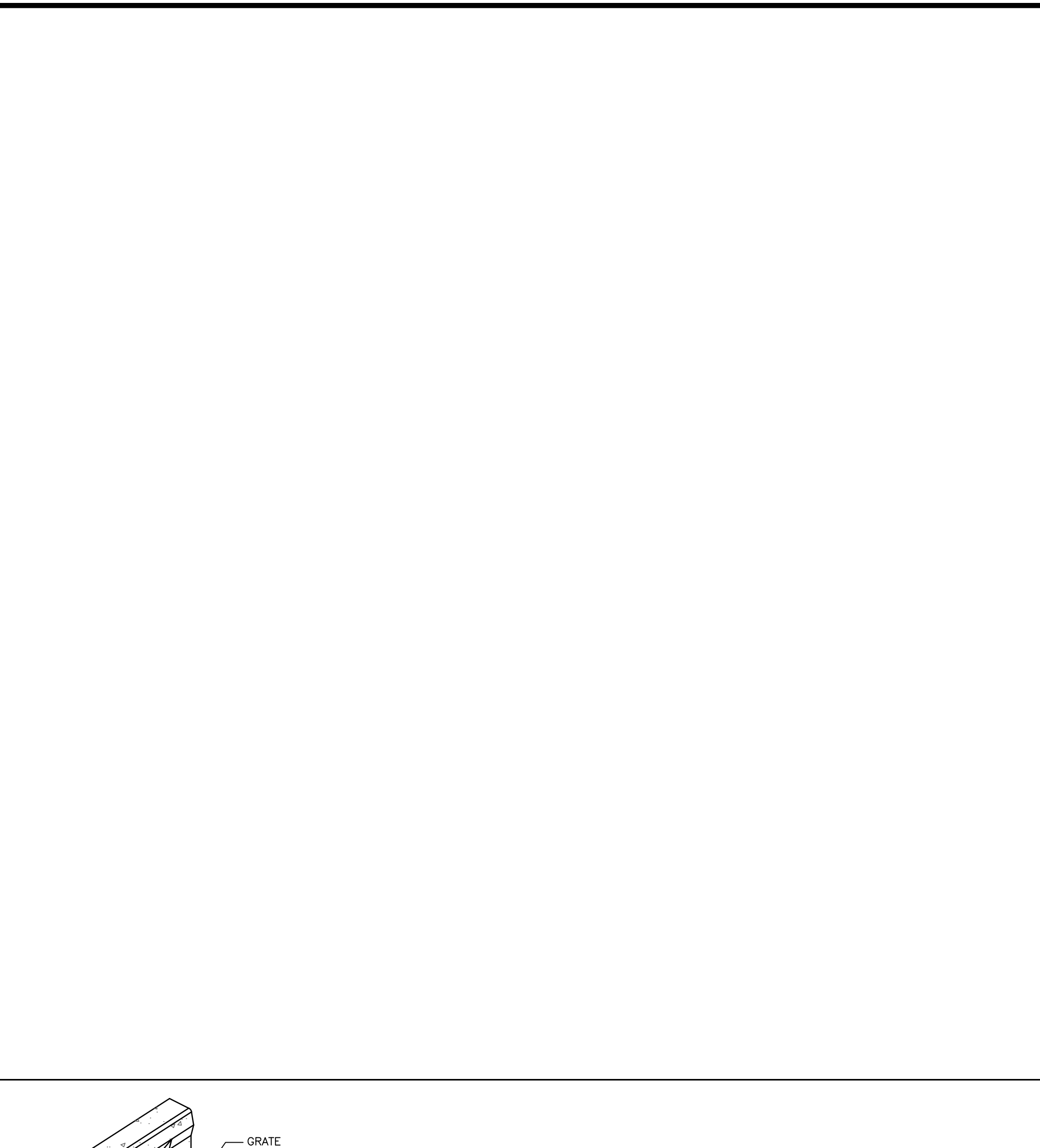
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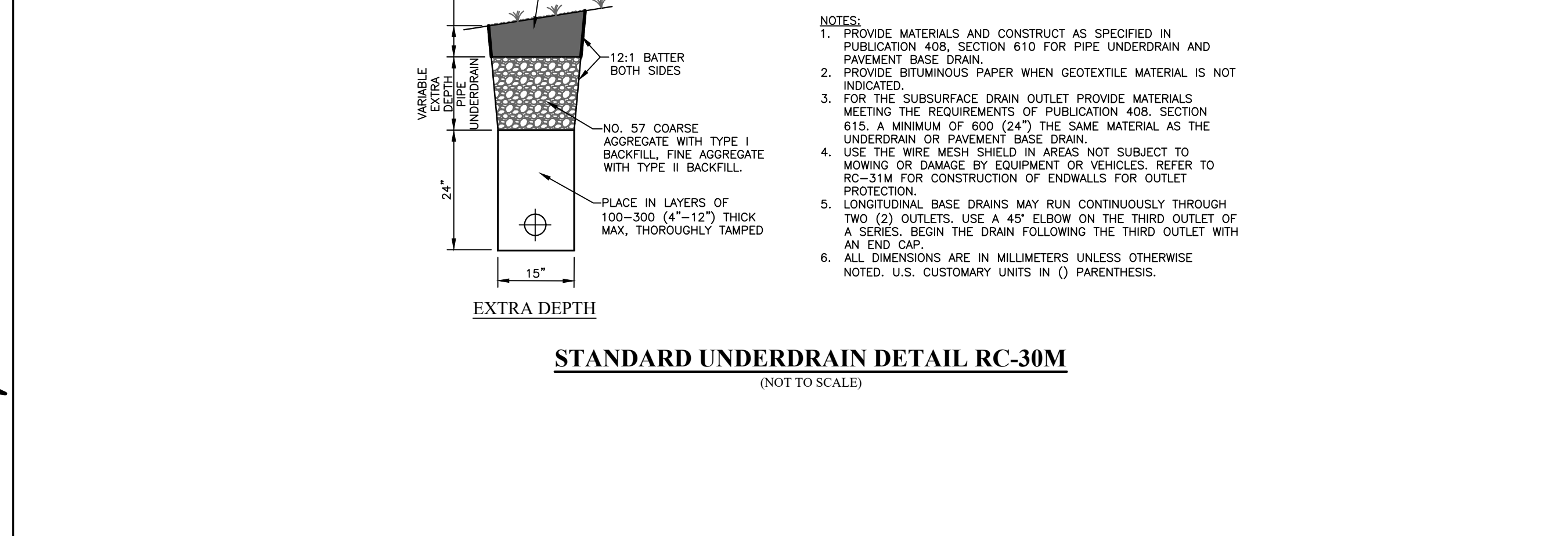
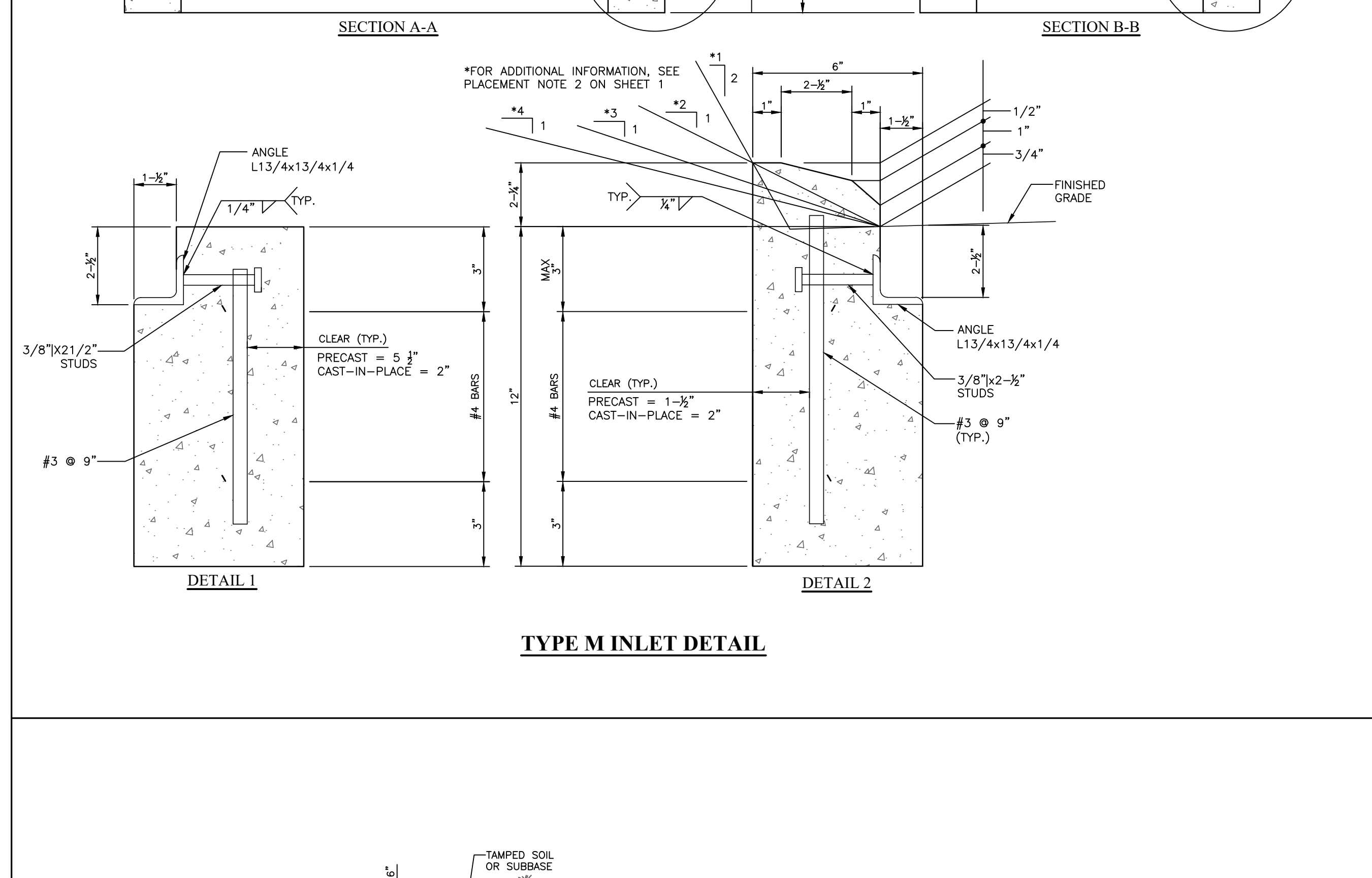
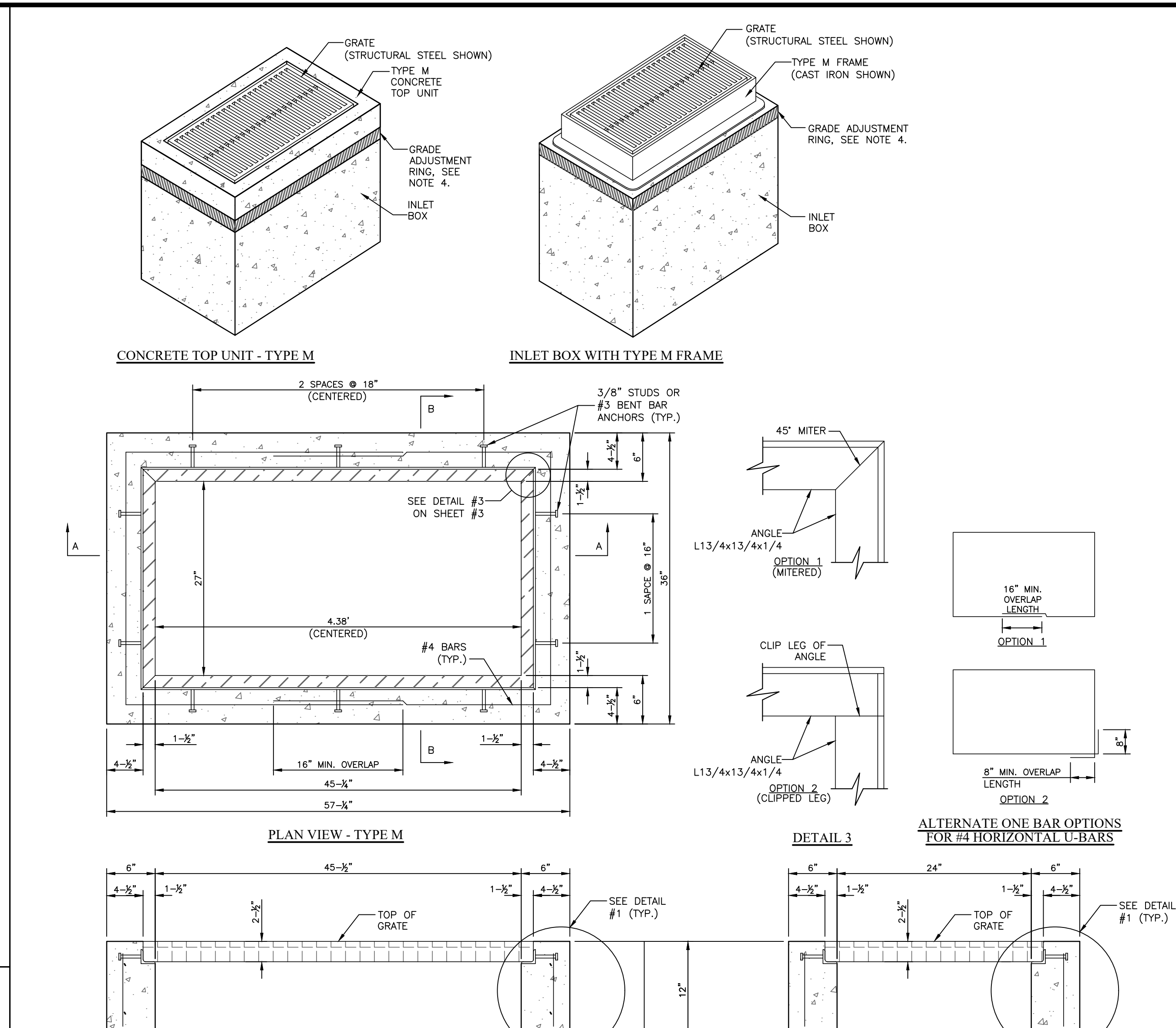
**TYPE C INLET DETAIL**



**TYPE C INLET DETAIL**



**TYPE C INLET DETAIL**



**TYPE C INLET DETAIL**

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**PROFESSIONAL ENGINEER**  
JOEL D. COMANDA  
PE#070740  
PENNSYLVANIA

No.	Date	Description
1	02/10/2020	REVISED PER TOWNSHIP REVIEWS
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5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPS

**PRELIMINARY/FINAL LAND DEVELOPMENT**

Date: 12/07/2020  
Scale: AS NOTED  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**CONSTRUCTION DETAILS 'A' FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
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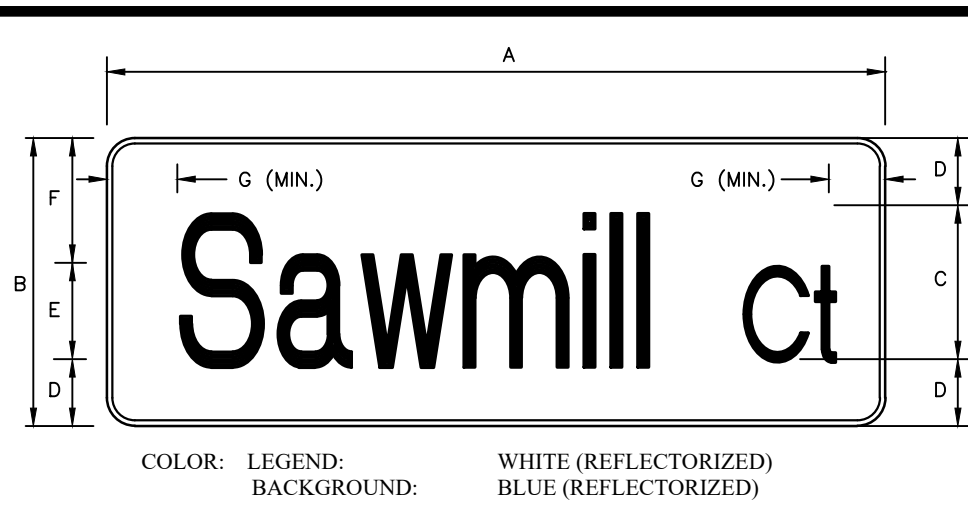
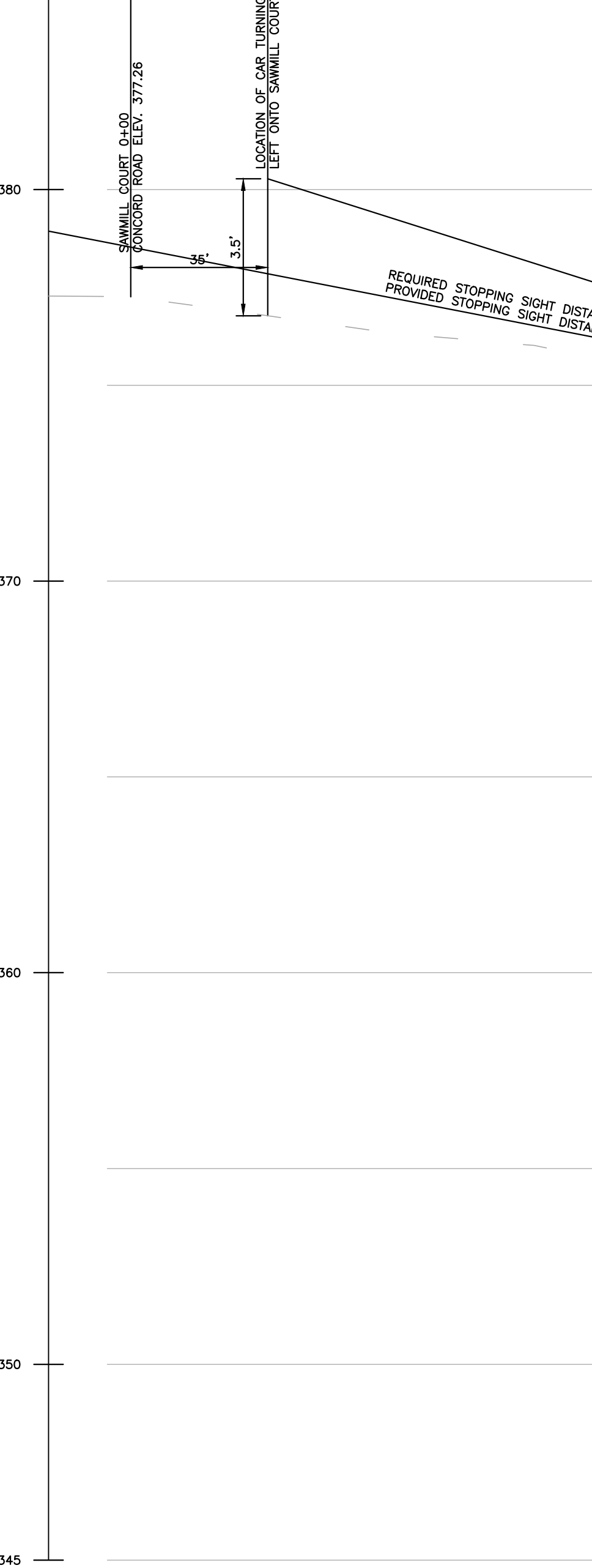
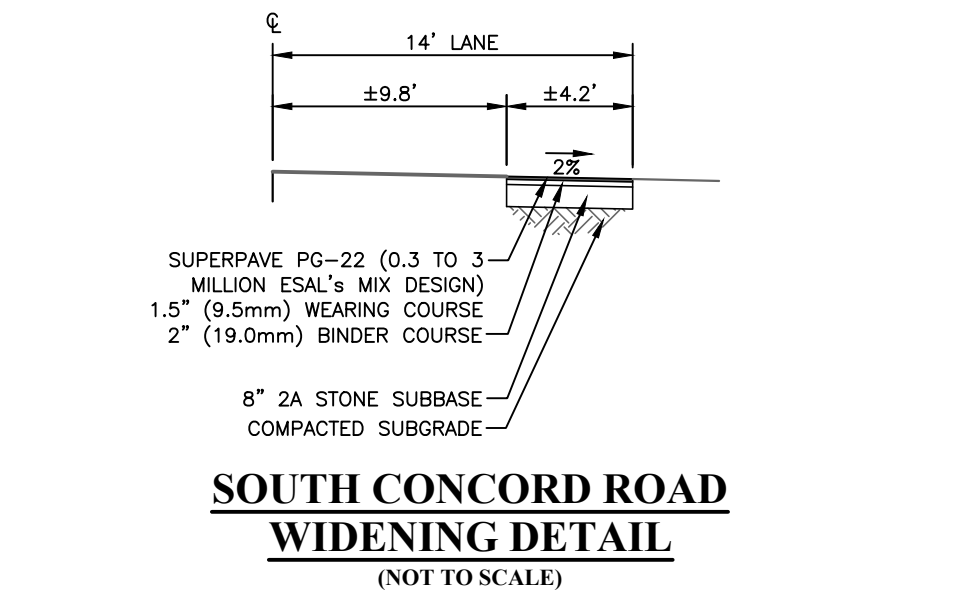
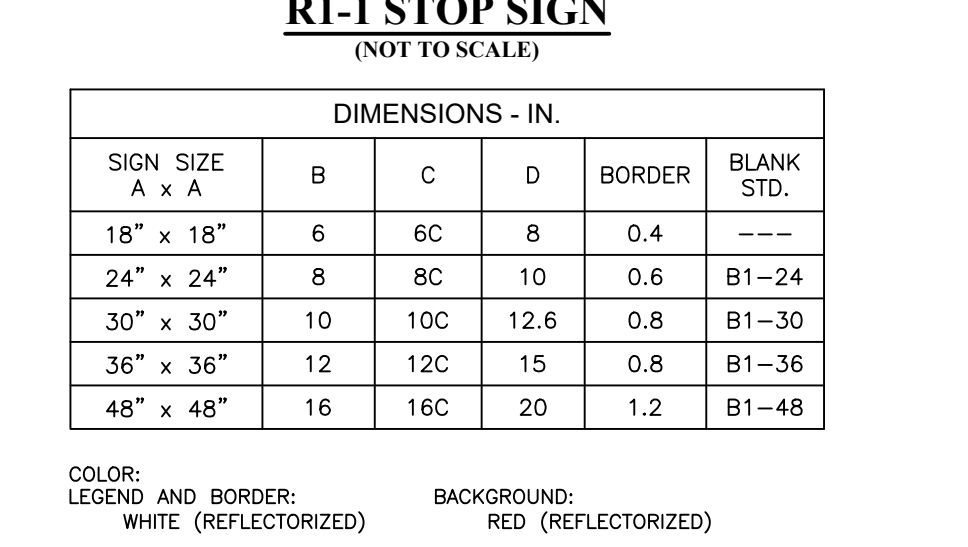
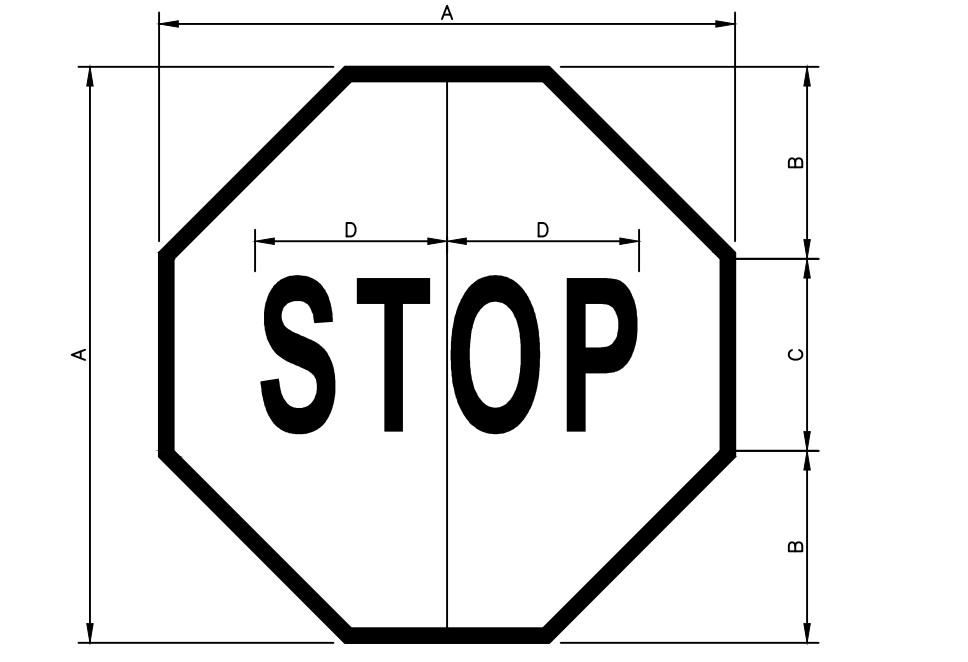
**SHEET 18 OF 20**

(a) Justification. The Stop Sign (R1-1) is authorized for use on those streets or highways which intersect with a through highway or at a stop intersection as designated by the Department with reference to State designated highways or local authorities with reference to highways under their jurisdiction. The R1-1 sign is also authorized for use in work zones involving one-lane, two-way roadways. At intersections where all approaches are controlled by an R1-1 sign, a supplemental ALL-WAY plaque (R1-3P) shall be mounted below each R1-1 sign.

(b) Authorization. Before local authorities designate any highway as a through highway or stop intersection which will intersect or affect a State-designated highway, approval of such designation shall first be obtained from the Department. Approval to install R1-1 signs in work zones shall not require the approval of the Department or local authorities when the conditions stipulated in the Department's Temporary Traffic Control Guidelines are satisfied.

(c) The standard size R1-1 sign shall be 30" x 30" for single lane conventional highways and 36" x 36" for multi-lane conventional highways. The 24" x 24" size shall only be used for alleys with restrictive physical conditions and vehicle usage that prohibits the installation of the standard size R1-1. A sign that is mounted back-to-back with a R1-1 sign should stay within the edges of the R1-1 sign. If necessary, the size of the R1-1 sign should be increased so that any other sign installed back-to-back with it remains within the edges of the R1-1 sign.

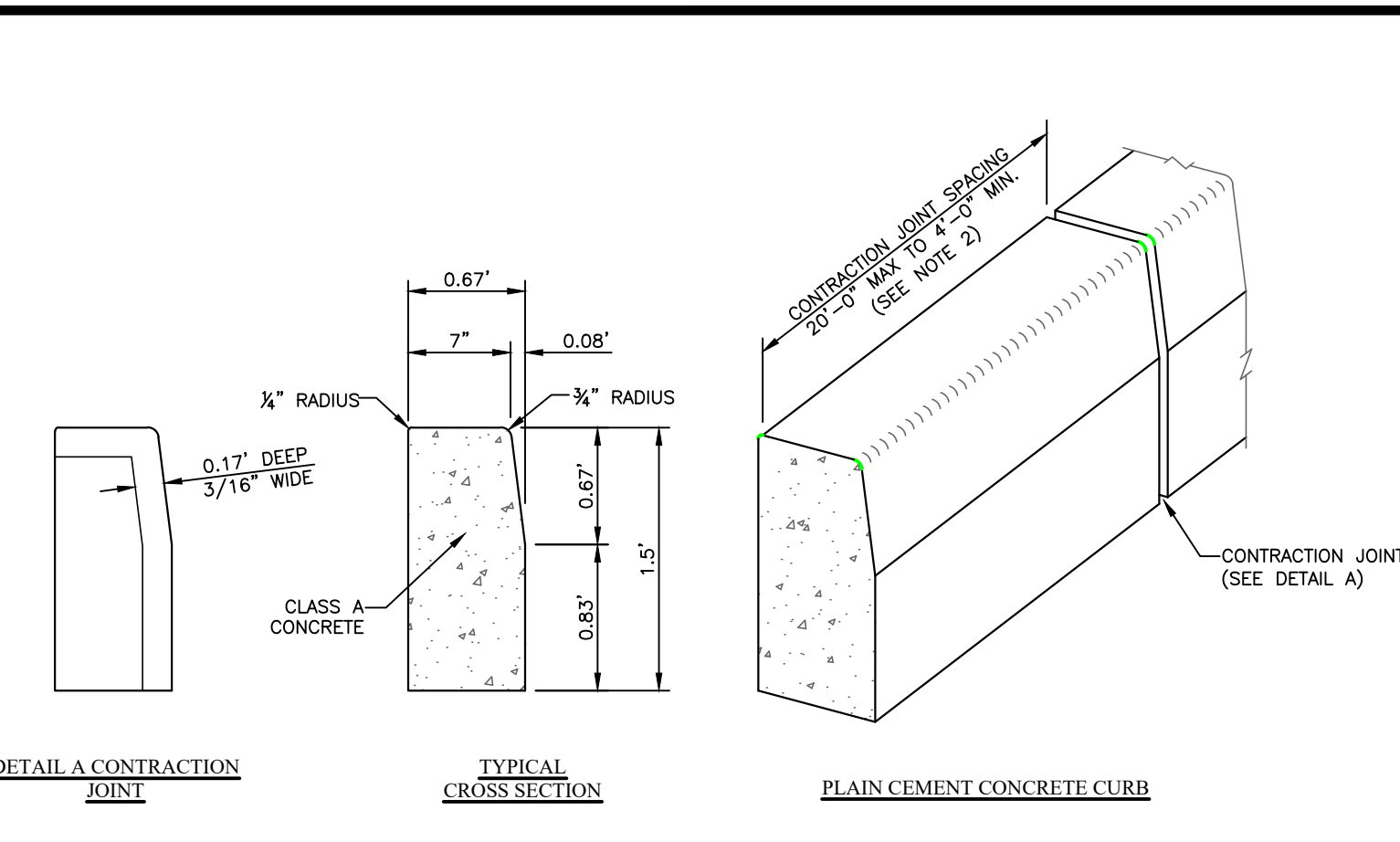
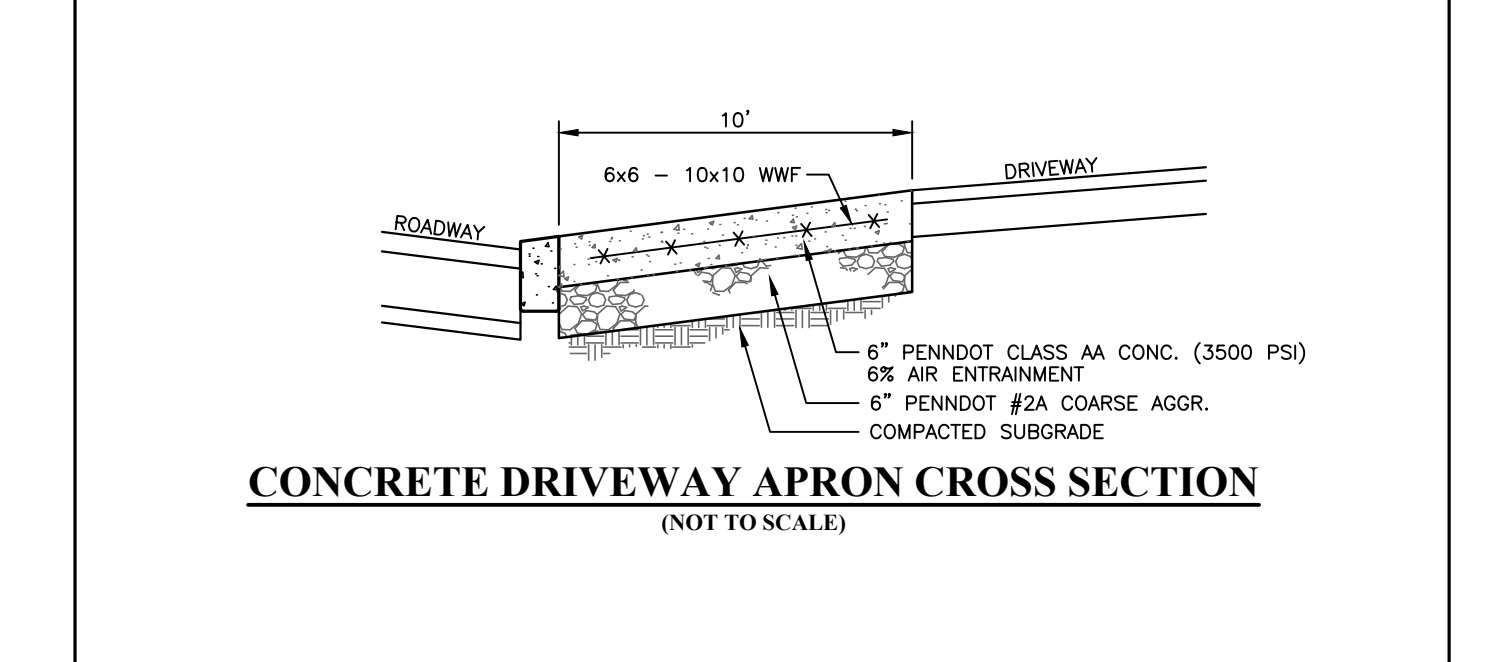
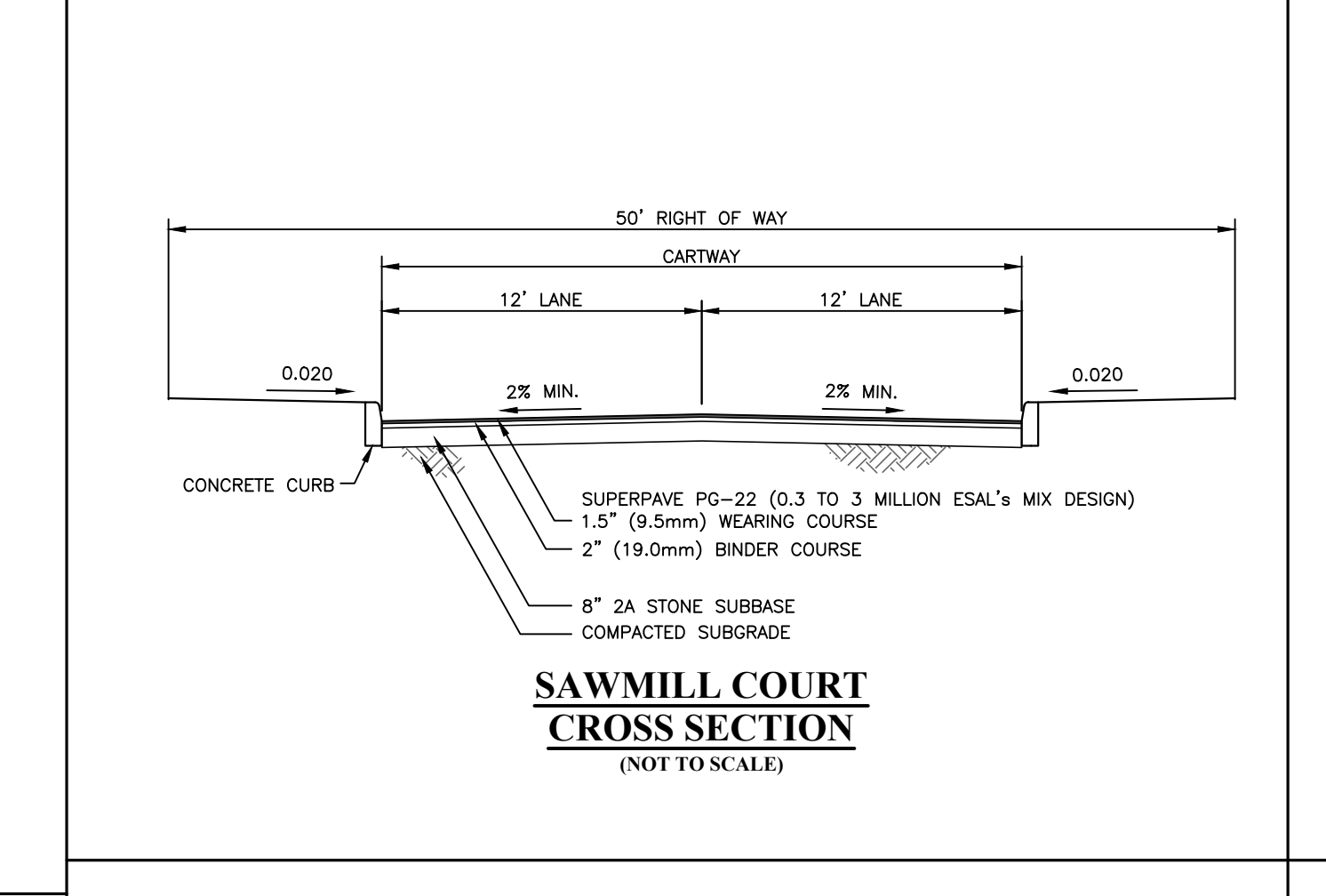
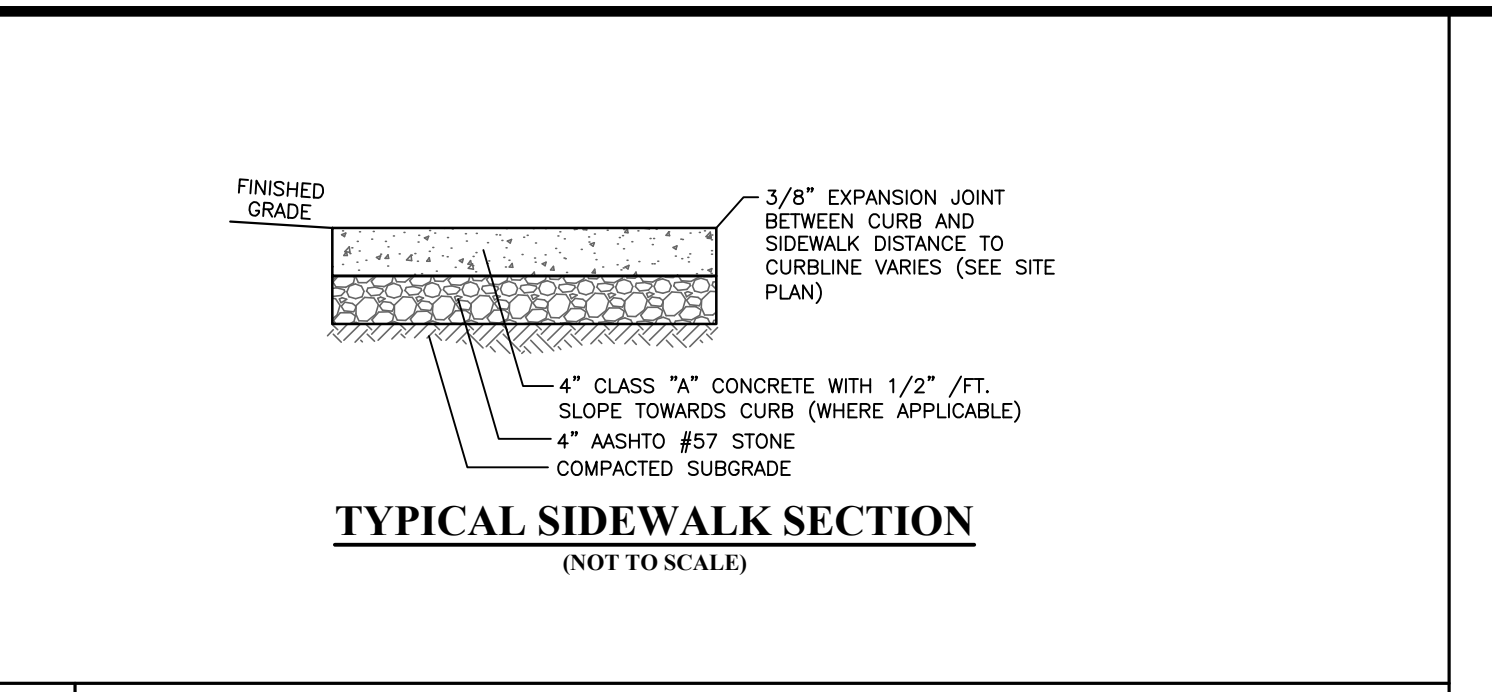
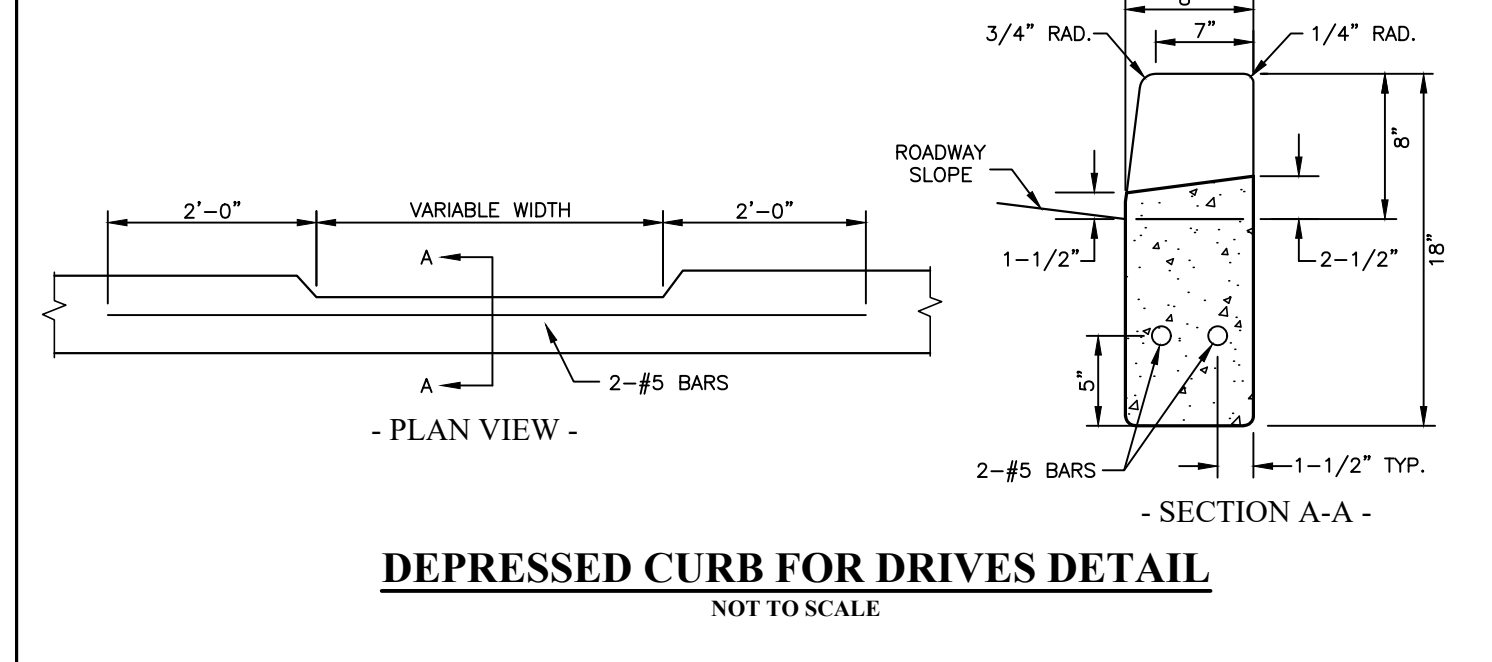
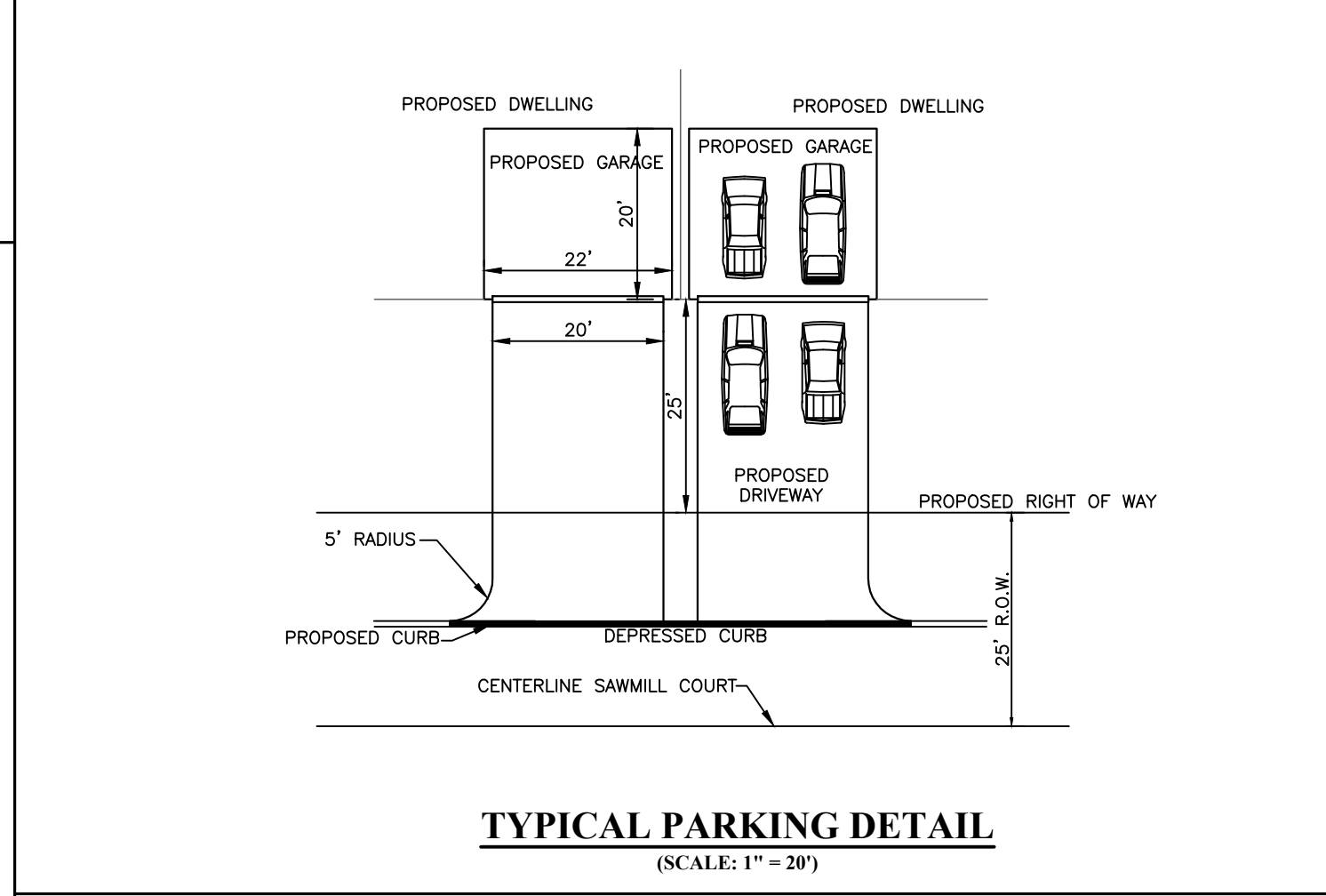
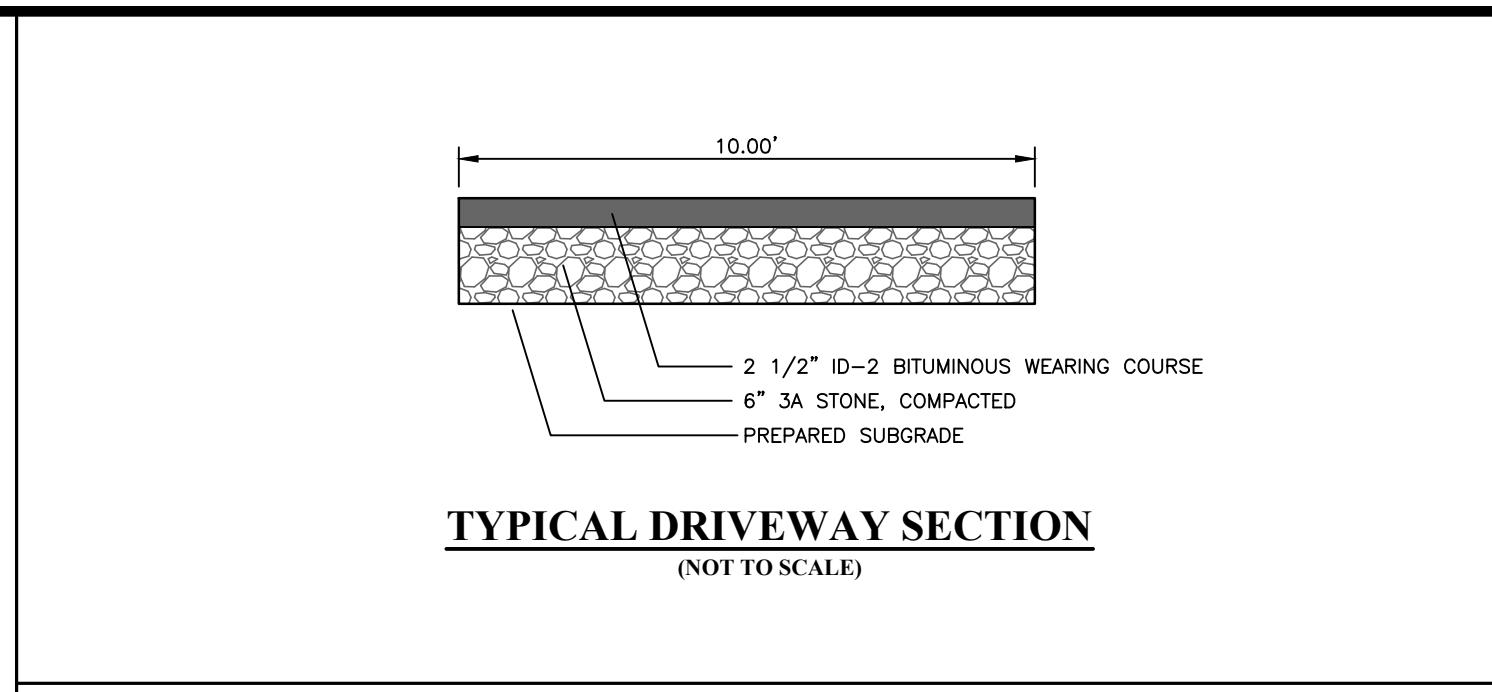
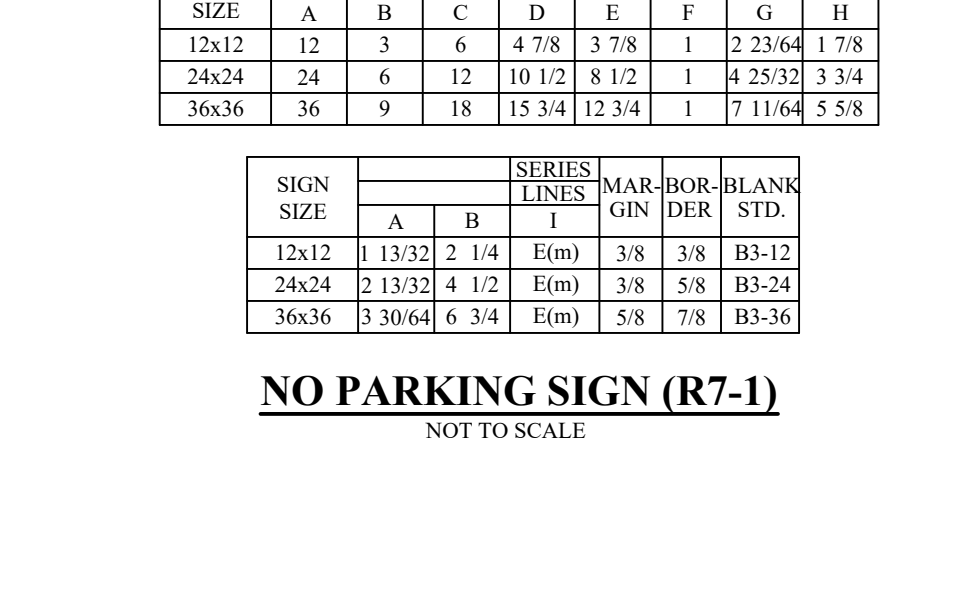
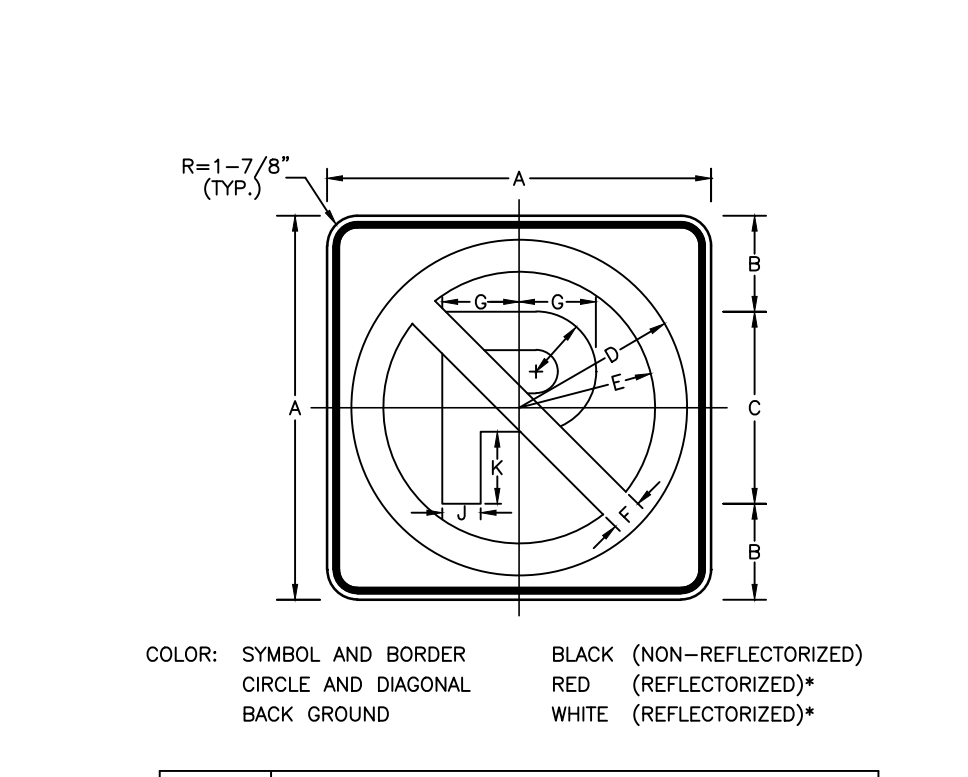
SIGN SIZE	DIMENSIONS - IN.						BLANK STD.
	A	B	C	D	E	F	
24x30	24	30	4	2	10	9-9/16	7-5/16
30x36	30	36	5	2	12	12	9-3/16
36x48	36	48	6	2	14	14-3/8	11
48x60	48	60	8	6	16	18-1/8	14-5/8
48x60	48	60	8	6	16	18-1/8	14-5/8



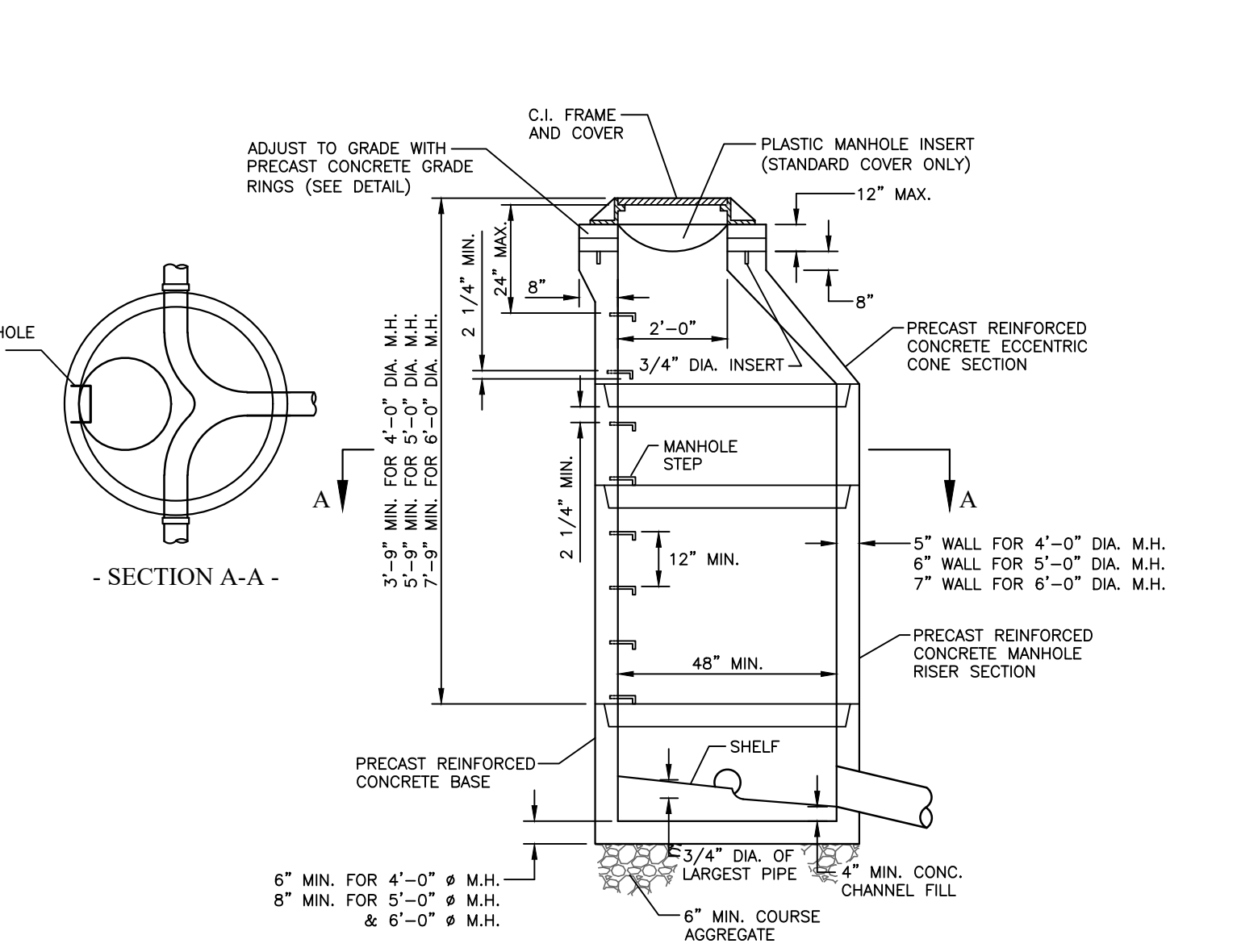
**DIMENSIONS - IN**

SIGN SIZE	C	D	E	F	G
VAR. x 6"	4"	1"	3"	2"	1"
VAR. x 9"	6"	1.5	4.5"	3"	1.4
VAR. x 12"	8"	2"	6"	4"	2"

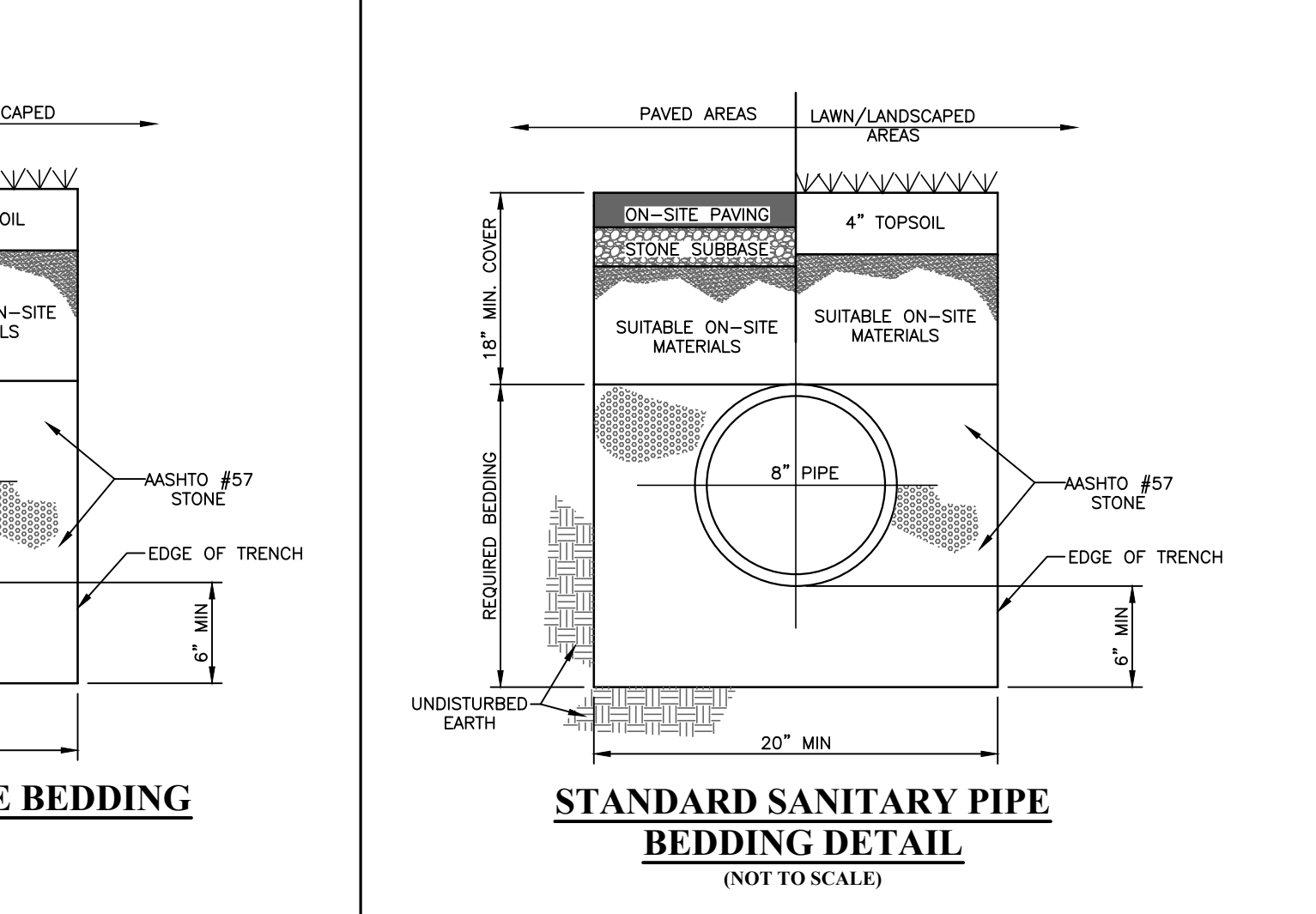
**STREET NAME SIGN (D3-1)**  
(NOT TO SCALE)



- NOTES**
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER.
  2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
  3. PLACE 3/4" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
  4. WHERE CURBS ARE INSTALLED ADJACENT TO PARKING LINES A 6" HIGH CURB REVEAL CAN BE UTILIZED WITH APPROVAL FROM THE LOCAL MUNICIPALITY.
  5. PROVIDE AN ASPHALTIC SEALER AT THE CURB TO PAVEMENT JOINT.



- NOTES**
1. THE DEPTH OF THE INVERT CHANNEL SHALL BE EQUAL TO 3/4 OF THE DIAMETER OF THE SEWER.
  2. THE BENCH SHALL SLOPE TOWARD THE INVERT CHANNEL AT A RATE OF 1" PER FOOT.
  3. FOR MANHOLES HAVING 5" DIAMETER AND 6" DIAMETER BASE, REDUCTION IN DIAMETER TO 5" SHALL START AT THE FIRST JOINT ABOVE THE UPPERMOST PIPE CONNECTION TO WALL, WHERE DEPTH IS SUFFICIENT.
  4. ALL MANHOLE FRAMES SHALL BE BOLTED TO THE CONC. SECTION OR CONCRETE SLAB WITH 4-3/4" DIAMETER BOLTS WITH WASHERS AND NUTS. BOLTS TO BE AT 90 DEGREES ON THE BOLT CIRCLE.
  5. ALL CONCRETE SHALL BE 4000 P.S.I. MINIMUM.
  6. ENTIRE OUTSIDE SURFACE OF MANHOLE SHALL RECEIVE TWO COATS (4 MIL DFT TOTAL) OF COAL TAR EPOXY BITUMASTIC 300M BY KOP-COAT CARBONLINE CO. OR APPROVED EQUAL.
  7. INSTALL DOUBLE RING PLASTIC PERFORMED JOINT SEALANT BETWEEN ALL SECTIONS AND UNDER FRAME AND BETWEEN RING RINGS.
  8. MANHOLE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ASTM C478.
  9. STEPS TO BE ALUMINUM ALLOY WITH DEEP TREAD. STEEL REINFORCED POLYPROPYLENE IS OPTIONAL.
  10. A RESILIENT PIPE CONNECTION GASKET SHALL BE INTEGRALLY CAST IN MANHOLE WALL AT ALL PIPE CONNECTIONS.
  11. 4" DIAMETER - 8" TO 18" PIPES  
5" DIAMETER - 16" TO 27" PIPES  
6" DIAMETER - 30" TO 48" PIPES
  12. ENTIRE INTERIOR SURFACE OF MANHOLE SHALL RECEIVE TWO COATS (6 MIL DFT EACH) OF WHITE EPOXY COATING, HIL-GARD EPOXY BY KOP-COAT CARBONLINE CO. OR APPROVED EQUAL.
  13. EACH MANHOLE WHICH DOES NOT HAVE A WATERTIGHT COVER SHALL BE PROVIDED WITH A DEEP BOWL MANHOLE INSERT WITH VENTILATION HOLES, BY PARSON ENVIRONMENTAL PRODUCTS, INC.
  14. APPLY WRAP AROUND HEAT SHRINKABLE MEMBRANE ON GRADE RING ASSEMBLY TO BE BURIED.



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**PENNSYLVANIA ONE CALL SYSTEM**  
PA, act 172 of 1986 requires three working days notice  
20201921658

**PENNSYLVANIA ACT 187 REQUIREMENTS:**  
Inland Design, LLC does not guarantee the accuracy of the location for existing utility structures shown on the plans. nor does Inland Design, LLC guarantee that all utility structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

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**JOE D. COMANDA**  
ENGINEER  
PE070740  
PENNSYLVANIA

No.	Date:	Description:
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
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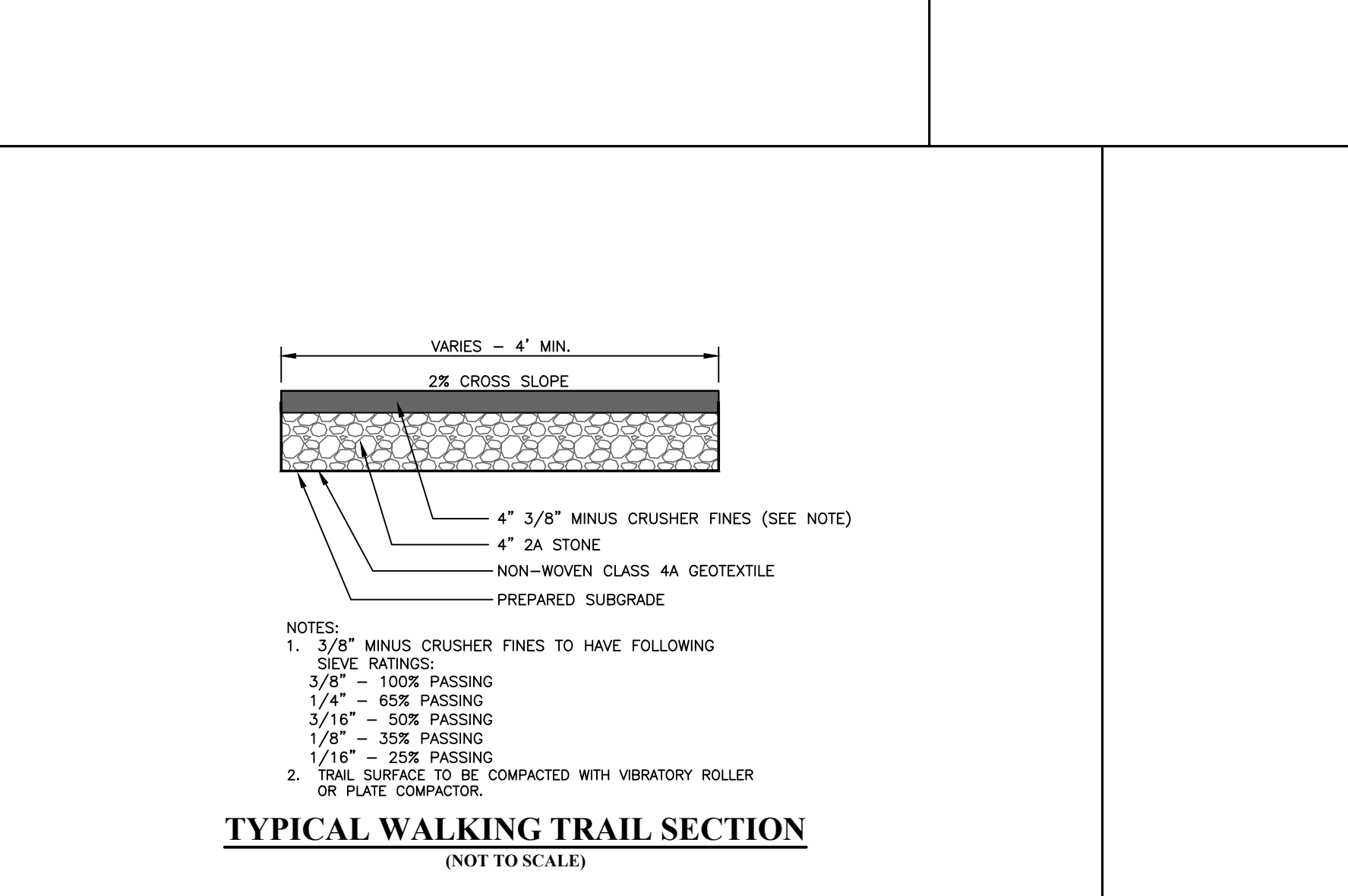
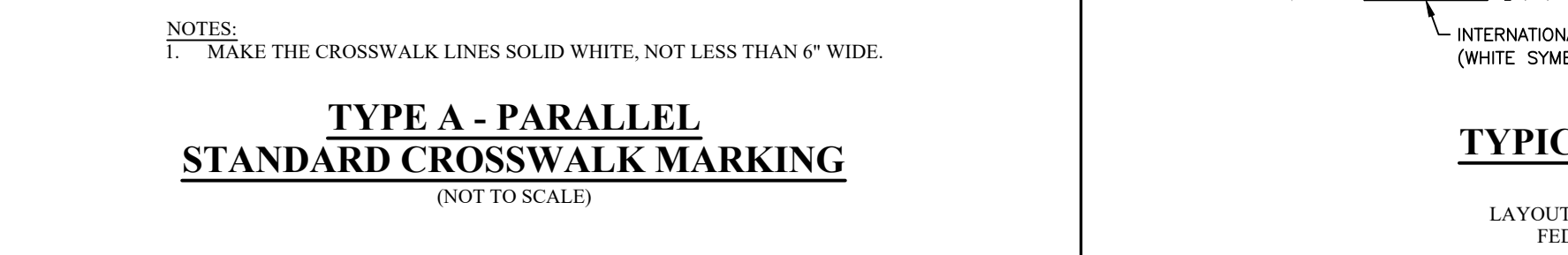
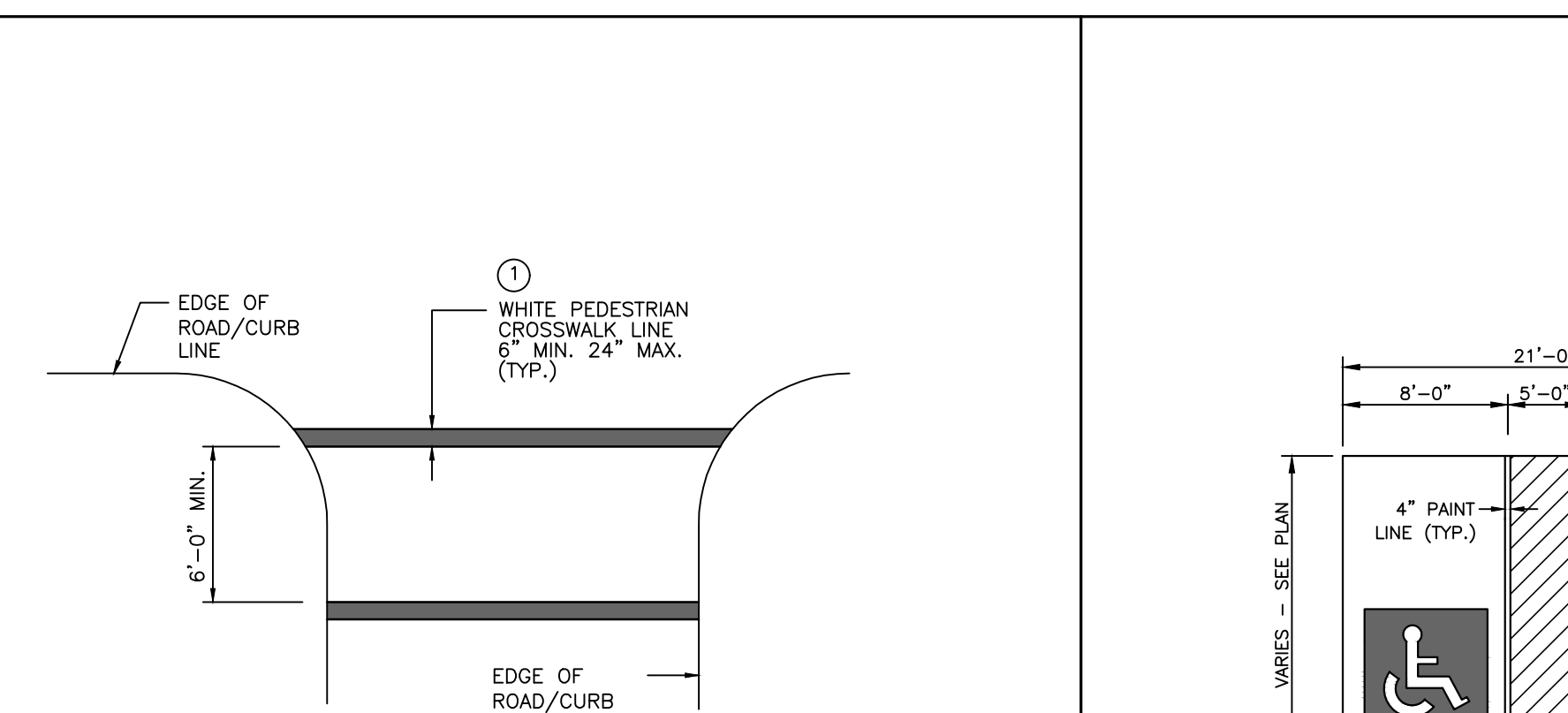
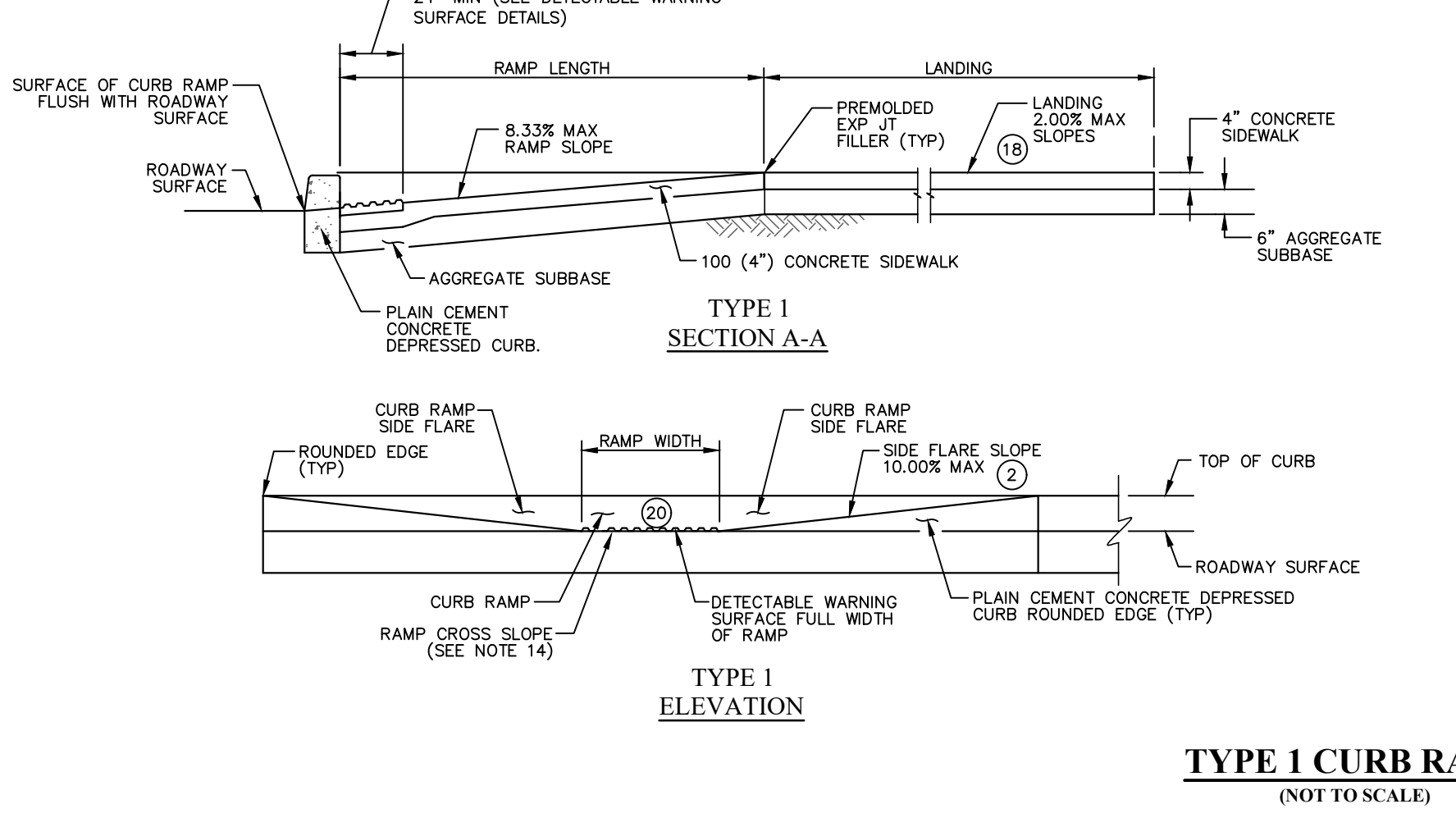
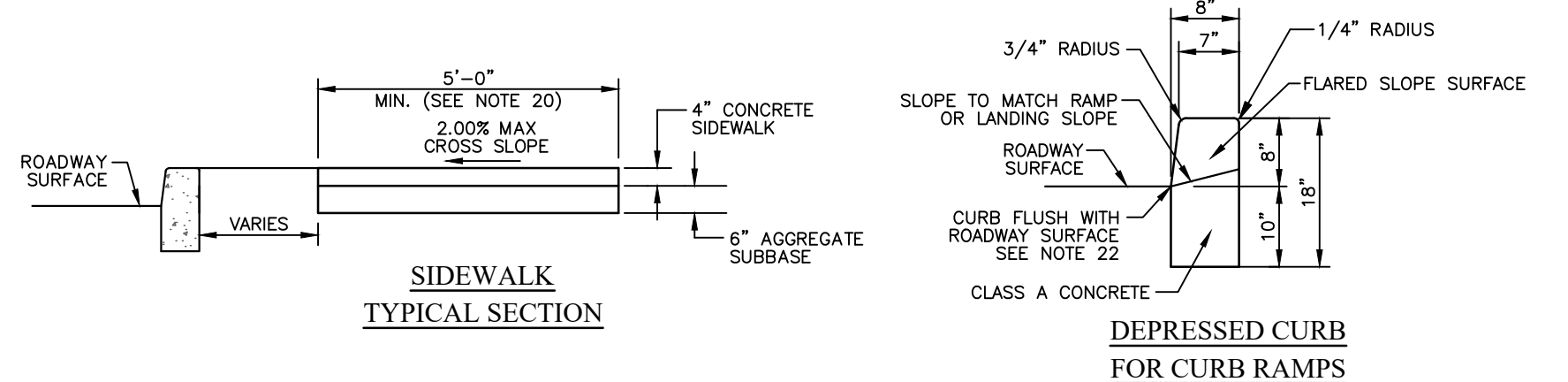
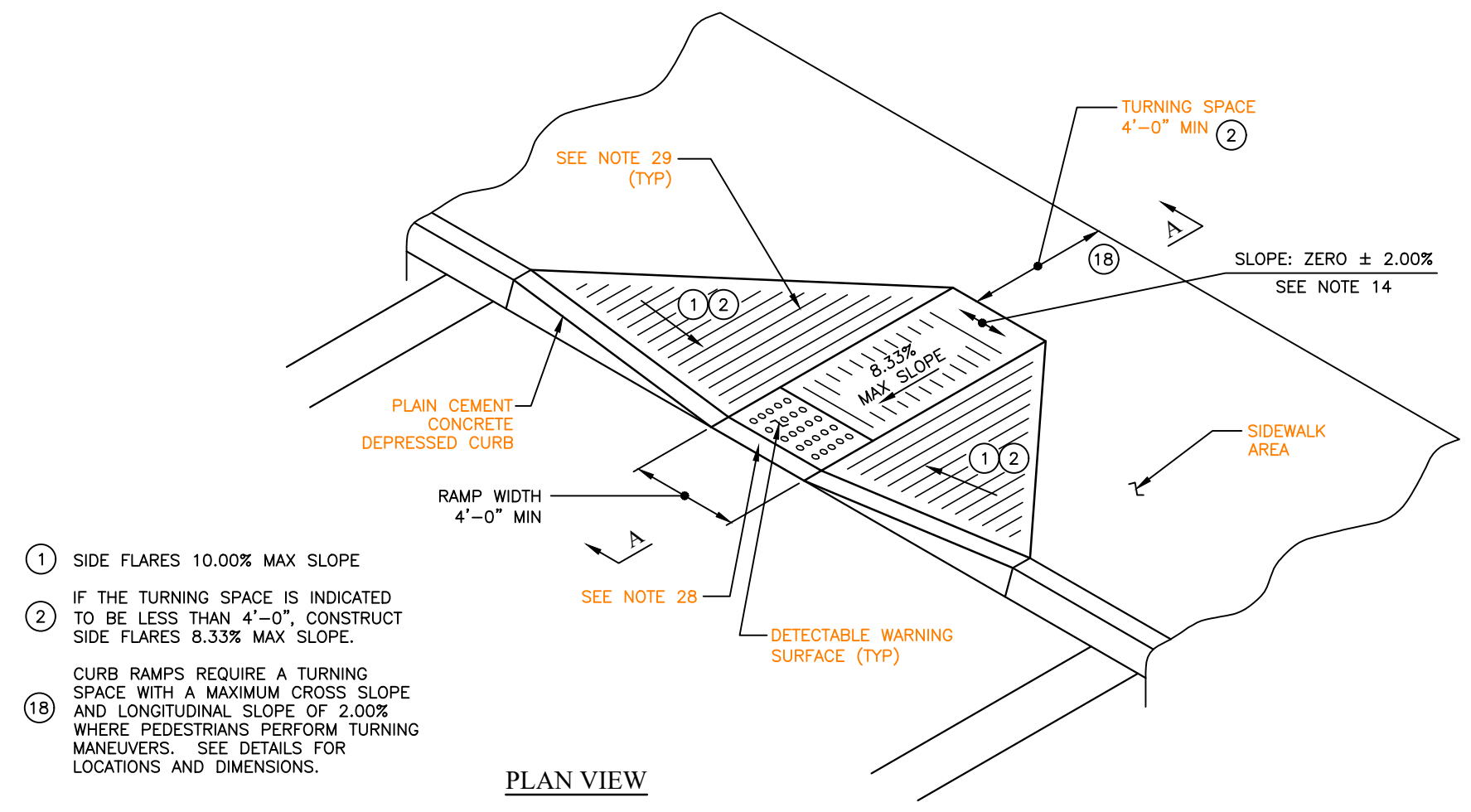
**PRELIMINARY/FINAL LAND DEVELOPMENT**

Date: 12/07/2020  
Scale: AS NOTED  
Drawn by: TMW  
Checked by: JDC  
Project No: 11541

**CONSTRUCTION DETAILS 'B' FOR SAWMILL COURT**  
914-924 S. CONCORD ROAD  
WEST CHESTER, PENNSYLVANIA, 19382  
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

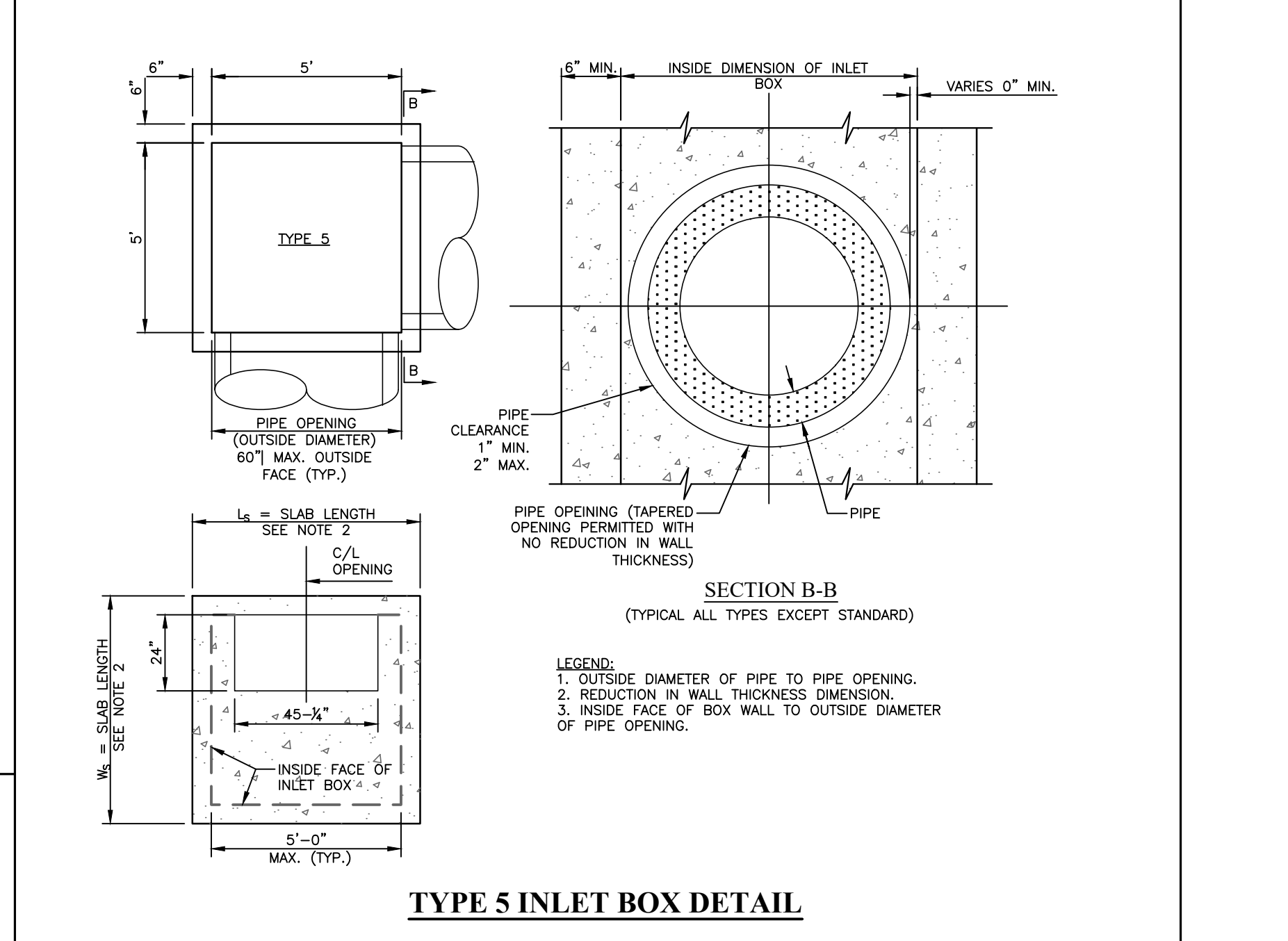
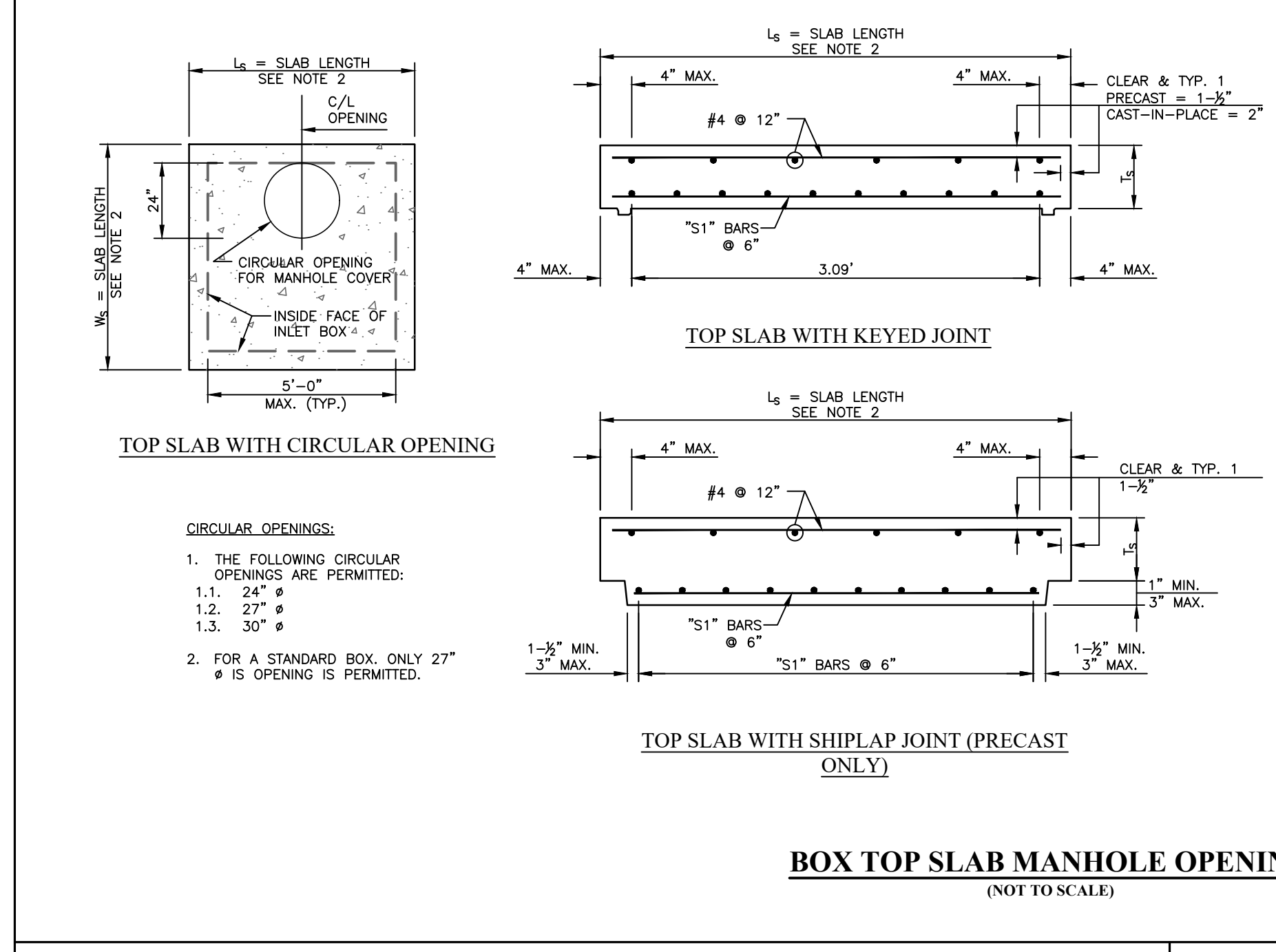
**SHEET 19 OF 20**

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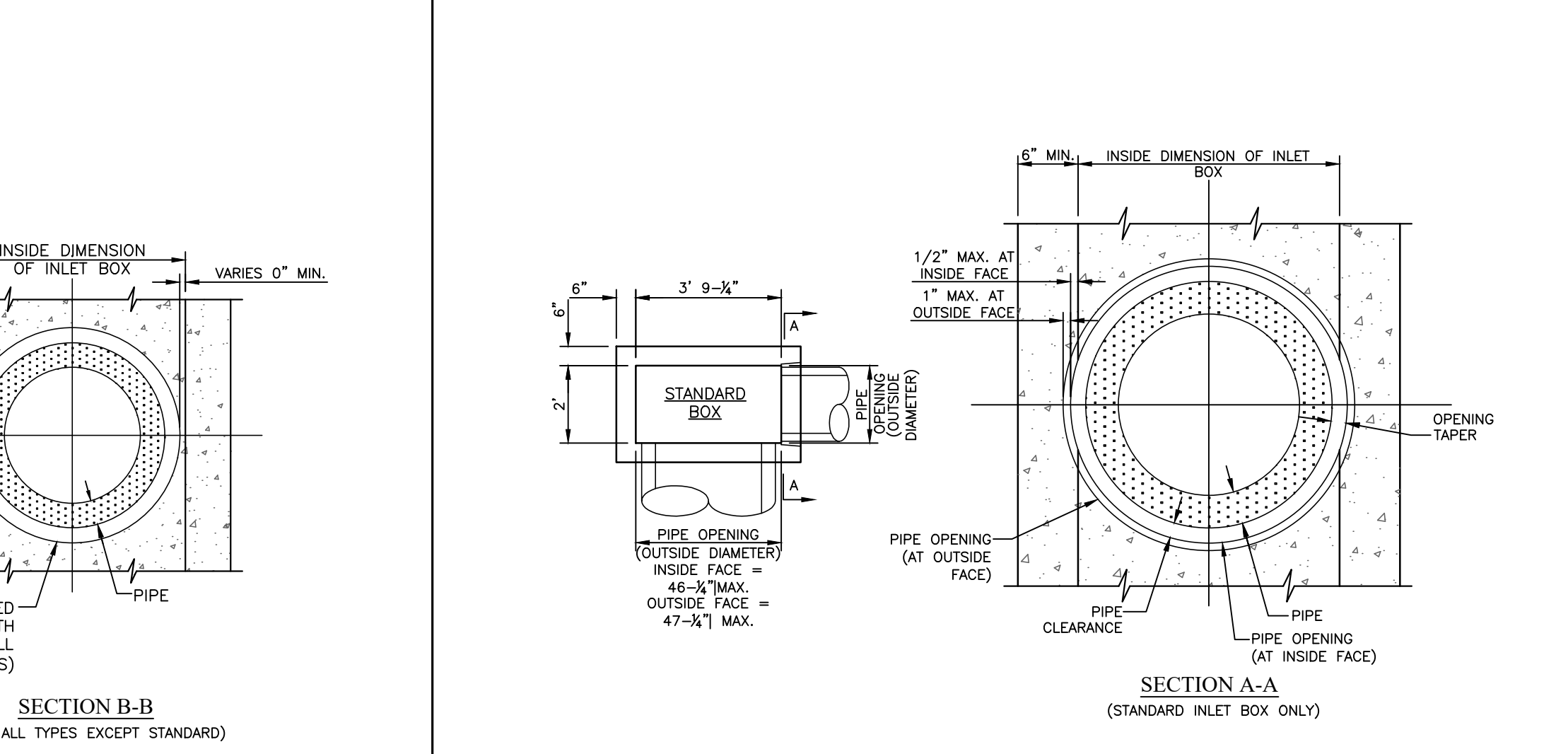
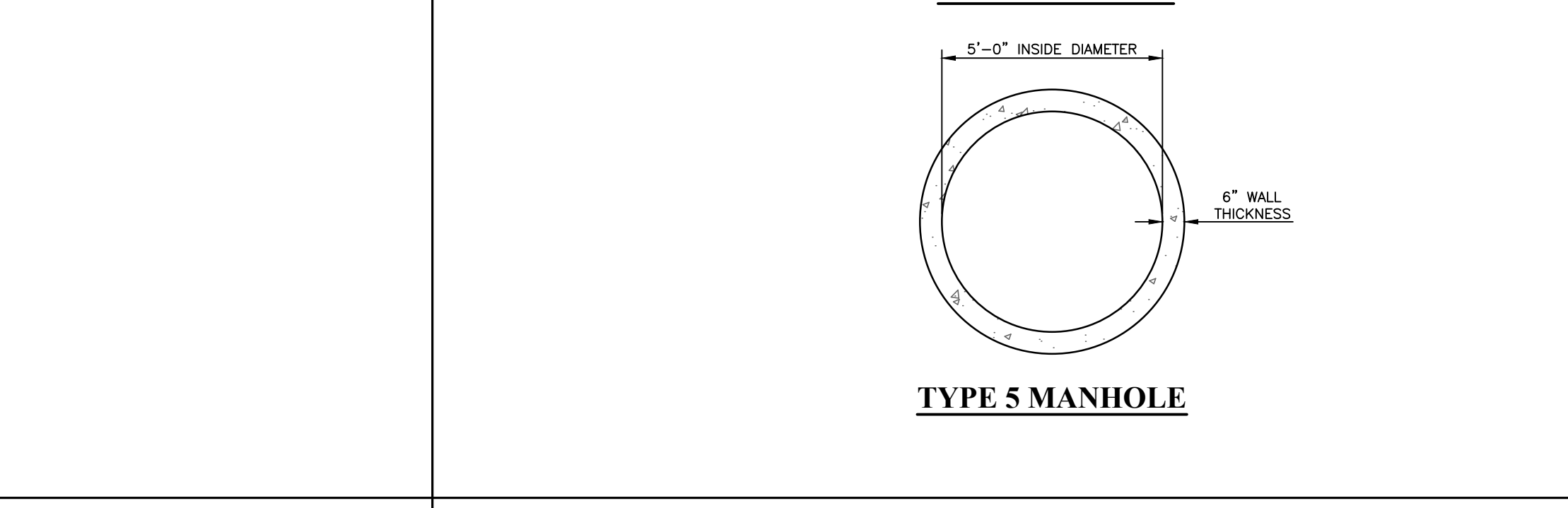
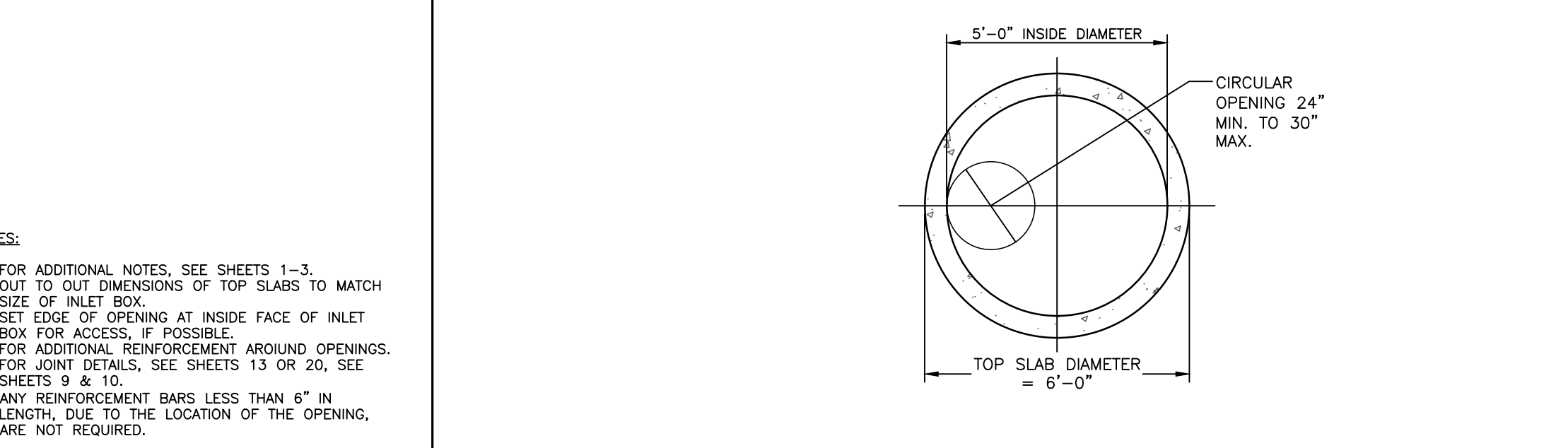
**NOTES**

- PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 650, 876, 894, AND 995.
- PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJACENT TO ANY RAMP, SIDEWALK, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FLUSH WITH ADJACENT CONCRETE SURFACE.
- CONSTRUCT CURB RAMPS WITH A MINIMUM 4'-0" x 4'-0" CLEAR SPACE BEYOND THE CURB FACE WITHIN THE WIDTH OF THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. SEE SHEET 7 FOR CROSSWALK DETAILS.
- SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
- PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COURSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING SIDE FLARES.
- MOODY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 4" HEIGHT.
- CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
- TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVELING THE HEIGHT OF CURB RAMP LENGTH NOT TO EXCEED 12'-0" ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT FEASIBLE.
- NON-WALK AREA IS AN OBSTRUCTED OR GRADES/PAVED AREA ADJACENT TO THE PEDESTRIAN ACCESS ROUTE THAT IS NOT USED BY THE PEDESTRIAN FOR ACCESS.
- THE DETAILS DEPICT PEDESTRIAN PUSHBUTTON POLES TO ILLUSTRATE THE RECOMMENDED PLACEMENT OF PEDESTRIAN PUSHBUTTONS. FOR ALTERNATION PROJECTS, PROVIDE ACCESS TO EXISTING PEDESTRIAN PUSHBUTTONS TO THE MAXIMUM EXTENT FEASIBLE. INSTALL PEDESTRIAN PUSHBUTTON STUB POLES, WHERE APPLICABLE, SO AS NOT TO CREATE PEDESTRIAN OBSTRUCTIONS.
- SEE TC-8803 FOR ADDITIONAL PEDESTRIAN PUSHBUTTON DETAILS NOT SHOWN.
- ALIGN DETECTABLE WARNING SURFACE TRUNCATED DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB. SEE SHEET 9 FOR INSTALLATIONS ALONG CURVED SURFACES.
- PROVIDE DETECTABLE WARNING SURFACES (DWS) 24" MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES. EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP.
- FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESSIBLE ROUTE.
- FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAX SLOPE ALLOWABLE. SLOPES THAT EXCEED THOSE INDICATED IN THE DETAILS OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
- CONSTRUCT SIDEWALKS AT A LONGITUDINAL SLOPE NOT TO EXCEED 5.00% FOR ROADWAY PROFILE SLOPES THAT EXCEED 5.00%, CONSTRUCT PARALLEL SIDEWALKS ADJACENT TO ROADWAY AT A LONGITUDINAL SLOPE NOT TO EXCEED ROADWAY PROFILE SLOPE.
- THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED AN ALGEBRAIC DIFFERENCE OF 13.33%. THE COUNTER SLOPE OF THE CUTTER OR ROAD AT THE FOOT OF A CURB RAMP, TURNING SPACE OR BLENDED TRANSITION IS NOT TO EXCEED 5.00%. SEE SHEET 9 FOR DETAILS.
- THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
- ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 4" CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 4'-0" FOR A 12:1 SLOPE).
- SIDEWALK WIDTH MAY BE REDUCED TO 4'-0", WHEN PASSING AREAS 5'-0" x 5'-0" ARE PROVIDED EVERY 200'.
- THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST. THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
- CONSTRUCT DETECTABLE CURB FOR CURB RAMPS FLUSH TO ADJACENT ROADWAY GRADE EDGE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT UNDESIRABLE TURNING SPACES BEHIND DETECTABLE CURB. ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE AT THE JOINT BETWEEN DETECTABLE CURB AND ROADWAYS. REMOVE EXCESS JOINT SEALER AND COVER THE SEALED AREA WITH A LIGHT APPLICATION OF DRY SAND.
- CHEEK WALLS ARE PERMITTED WHEN ADJACENT TO NON-WALK AREAS OR ELEVATION DIFFERENCES CANNOT BE ACCOMMODATED BY FLARES OR GRADING. GRADE GRASS AREAS OR OTHER NON-WALK AREAS AT 3:1 OR FLATTER. DO NOT INSTALL CHEEK WALLS THAT INTERSECT THE PEDESTRIAN PATH.
- CONSTRUCT TOP OF PLAIN CEMENT CONCRETE DETECTABLE CURB TO BE FLUSH WITH ADJACENT SURFACES (RAMPS, SIDEWALKS, FLARES).
- FOR CURB RAMPS THAT LEAD TO A SINGLE CROSSWALK, THE RAMP (EXCLUDING FLARES) TO BE FULLY INSIDE OF MARKED CROSSWALK LINES. SEE SHEET 7 FOR DETAILS.
- A 4'-0" MAXIMUM DIGITAL DISPLAY LEVEL WILL BE USED TO VERIFY THE SLOPES OF CURB RAMPS AND SIDEWALKS.
- INSTALL CHAMFERED CORNERS WHERE RAMPS, TURNING SPACES, FLARES, AND SIDEWALKS ABUT.
- CONSTRUCT DETECTABLE CURB TO MATCH ROADWAY PROFILE AND HAVE A FLUSH CONNECTION. TRANSITION CURB RAMP CROSS SLOPE TO MATCH ROADWAY PROFILE AS GRADUALLY AS POSSIBLE. DO NOT EXCEED 3.00% PER 1'-0" CROSS SLOPE RATE OF CHANGE WHEN TRANSITIONING TO ROADWAY PROFILE.
- DO NOT SCORE OR MAKE GROOVES ON SLOPED SURFACES. LINES SHOWN IN DETAILS ARE FOR ILLUSTRATION ONLY. SEE NOTE 5.



TOP SLAB CAST-IN-PLACE CONCRETE		
INLET BOX TYPE	T <sub>s</sub> (N.)	S1 BAR SIZE
STANDARD	8	#6
TYPE 4	12	#7
TYPE 5	14	#8
TYPE 6	14	#8
TYPE 7	14	#9
TYPE 8	14	#9
TYPE 9	14	#9
TYPE 10	14	#9

TOP SLAB PRE-CAST CONCRETE		
INLET BOX TYPE	T <sub>s</sub> (N.)	S1 BAR SIZE
STANDARD	8	#6
TYPE 4	12	#6
TYPE 5	14	#8
TYPE 6	14	#8
TYPE 7	14	#9
TYPE 8	14	#9
TYPE 9	14	#9
TYPE 10	14	#9



**NOTES:**

- OUTSIDE DIAMETER OF PIPE TO PIPE OPENING.
- REDUCTION IN WALL THICKNESS DIMENSION.
- INSIDE FACE OF BOX WALL TO OUTSIDE DIAMETER OF PIPE OPENING.

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No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCCC COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPS

**PRELIMINARY/FINAL LAND DEVELOPMENT**

Date: 12/07/2020  
 Scale:  
 Drawn by: TMW  
 Checked by: JDC  
 Project No: 11541

**CONSTRUCTION DETAILS 'C'**  
 FOR  
**SAWMILL COURT**  
**914-924 S. CONCORD ROAD**  
**WEST CHESTER, PENNSYLVANIA, 19382**  
 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA