

## **EXISTING CONDITIONS NOTES:**

- BOUNDARY INFORMATION SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA. 2. TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC
- WEST CHESTER, PA. CONTOUR INTERVAL = 2 FEET ELEVATIONS BASED ON NAVD88 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 25, 2020. BENCHMARK (EXISTING MANHOLE) LOCATED AT THE INTERSECTION PICKET WAY AND SOUTH CONCORD ROAD ELEVATION 376.81
- 4. SOURCE OF THE EXISTING DRAINAGE EASEMENT AT THE SOUTH OF THE PROPERTY IS THE STORMWATER EASEMENT AGREEMENT RECORDED IN DB 4680 PG 0251. 5. SOURCE OF THE EXISTING DRAINAGE EASEMENT ALONG THE REAR OF
- TRELLIS LANE LOT AND ACROSS 933 TRELLIS LANE IS AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDYWINE VALLEY ENGINEERS DATED 02-14-1992, LAST REVISED 10-17-1994. 6. DATA FOR OFF-SITE STORM SEWER PIPES TAKEN FROM AMENDED FINA
- SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDYWINE VALLEY ENGINEERS DATED 02-14-1992, LAST REVISED 10-17-1994.
- THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42029C0210G, EFFECTIVE SEPTEMBER 29, 2017.
- SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- 9. SITE GEOLOGY IS CHARACTERIZED AS FELSIC AND INTERMEDIATE GNEISS (FGH).
- 10. THIS SITE IS LOCATED IN THE M-U MUTLI-USE ZONING DISTRICT. 11. THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
- 12. THERE ARE NO WETLANDS LOCATED ON THIS SITE. 13. THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER
- CREEK WATERSHED. THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS TSF/MF. 14. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

## **GENERAL NOTES:**

PARCELS.

- 1. THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- 2. THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHALL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP SALDO AND PER AQUA PA STANDARDS AND SPECIFICATIONS.
- 3. SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOSHEN SEWER
- AUTHORITY WWTP. 4. ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP.
- 5. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE WESTTOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS. 6. THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH.
- THERE ARE NO WETLANDS WITHIN SITE LIMITS.
- 8. THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS IN THE HOMEOWNERS ASSOCIATION DOCUMENTS. 9. THE RIGHT-OF-WAY OF SAWMILL COURT, WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE
- RIGHT-OF-WAY. 10. THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE
- BOARD OF SUPERVISORS DETERMINES THAT THE RIGHT-OF-WAY IS NEEDED. 11. THE SANITARY SEWER EXTENSION PROPOSED AS A PART OF THIS PROJECT
- WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE FACILITIES. 12. LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY
- LAMPS ON EACH INDIVIDUAL PROPERTY OWNER'S LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCENT LIGHTS ARE SHOWN AT EACH DRIVEWAY. THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DUSK TO DAWN SENSOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOME OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
- 13. THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION. 14. THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN TOWNSHIP TO ALLOW CONSTRUCTION OF CONNECTOR SIDEWALKS IN THE NORTHEAST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS

SIDEWALKS ARE EXTENDED TO THESE CORNERS ON THE ADJACENT

## SHEET LIST

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITION & DEMO PLAN
3	TITLE PLAN
4	SITE PLAN
5	GRADING AND UTILITY PLAN
6	DRIVEWAY GRADING BLOWUP
7	CONSERVATION PLAN
8	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
9	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS & NOTES 'A
10	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS & NOTES 'B
11	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN & PROFILE
12	POST CONSTRUCTION STORMWATER MANAGEMENT OFF-ROAD PROFILES
13	EROSION & SEDIMENT CONTROL PLAN
14	EROSION & SEDIMENT CONTROL NOTES
15	EROSION & SEDIMENT CONTROL DETAILS
16	TREE PROTECTION, LANDSCAPING & LIGHTING PLAN
17	OPEN SPACE MANAGEMENT PLAN
18	CONSTRUCTION DETAILS 'A'
19	CONSTRUCTION DETAILS 'B'

COPYRIGHT
InLand Design, LLC expressly reserves its common law copyright and a other proprietary rights in these plans. All drawings, specifications a copies thereof are and shall remain the property of InLand Design, LL They are to be used only in respect to this project and are neither to 1 used on any other project, nor are they to be assigned to any third par without first obtaining the expressed written permission and consent InLand Design, LLC. Any re-use without written permission, verificatio consent or adaptation by InLand Design, LLC for the specific purpor intended, will be at the third party's sole risk and without liability or leg exposure to InLand Design, LLC the third party shall further indemni and hold harmless InLand Design, LLC from all claims, damages, loss and expenses arising thereto or resulting therefrom.

PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

CONSTRUCTION DETAILS 'C'



Pennsylvania One Call System

three working days notice

Serial Numbers:

20201921658

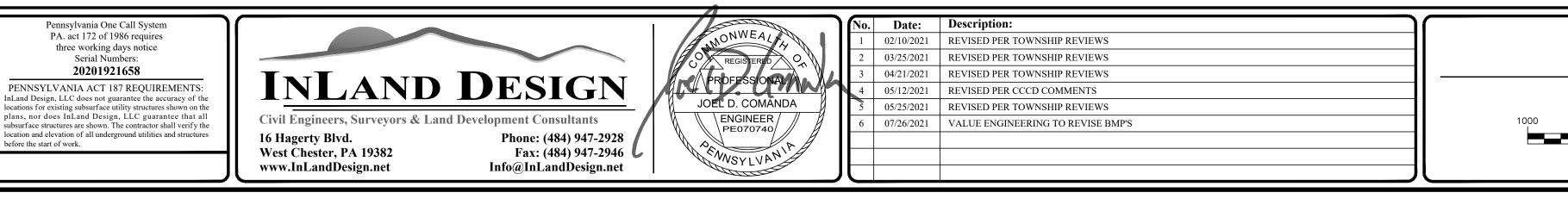
before the start of work.

PA. act 172 of 1986 requires



**USGS MAP** 1'' = 1000'

					M-U MUL	TI-USE Z	ONING DI	STRICT -	TWIN US	E UNDER	R-3 IN AC	CORDAN	CE WITH	170-802.E	•						
	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20
MINIMUM LOT AREA	4,800 S.F.	5,497 S.F.	5,653 S.F.	6,141 S.F.	6,128 S.F.	6,207 S.F.	6,542 S.F.	6,504 S.F.	6,048 S.F.	6,061 S.F.	6,548 S.F.	6,514 S.F.	6,176 S.F.	6,127 S.F.	6,141 S.F.	5,682 S.F.	5,389 S.F.	7,441 S.F.	7,397 S.F.	7,441 S.F.	7,397 S.F
EASEMENT AREA		0 S.F.	0 S.F.	0 S.F.	0 S.F.	317 S.F.	1,125 S.F.	1,122 S.F.	0 S.F.	0 S.F.	1,120 S.F.	1,120 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	879 S.F.	0 S.F.	882 S.F.	0 S.F.
NET LOT AREA		5,497 S.F.	5,653 S.F.	6,141 S.F.	6,128 S.F.	5,890 S.F.	5,417 S.F.	5,382 S.F.	6,048 S.F.	6,061 S.F.	5,428 S.F.	5,394 S.F.	6,176 S.F.	6,127 S.F.	6,141 S.F.	5,682 S.F.	5,389 S.F.	6,562 S.F.	7,397 S.F.	6,559 S.F.	7,397 S.F.
AREA OF STEEP SLOPES		0 S.F.	0 S.F.	141 S.F.	12 S.F.	1,175 S.F.	0 S.F.	0 S.F.	0 S.F.	535 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	37 S.F.	598 S.F.	485 S.F.
UNENCUMBERED LOT AREA	3,600 S.F.	5,497 S.F.	5,653 S.F.	6,000 S.F.	6,116 S.F.	4,715 S.F.	5,417 S.F.	5,382 S.F.	6,048 S.F.	5,526 S.F.	5,428 S.F.	5,394 S.F.	6,176 S.F.	6,127 S.F.	6,141 S.F.	5,682 S.F.	5,389 S.F.	6,562 S.F.	7,360 S.F.	5,961 S.F.	6,912 S.F.
MAX. BUILDING HEIGHT	38'-0"	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'
MIN. WIDTH @ BUILDING LINE	50 FT.	51.86 FT.	50.00 FT.	50.00 FT.	50.00 FT.	50.00 FT.	50.01 FT.	50.63 FT.	50.00 FT.	50.00 FT.	50.63 FT.	50.63 FT.	51.92 FT.	51.92 FT.	51.92 FT.	50.38 FT.	50.84 FT.	56.83 FT.	55.20 FT.	56.83 FT.	55.20 FT.
MAX. BUILDING COVERAGE	30%	29.27%	28.46%	26.20%	26.25%	27.31%	29.72%	29.89%	26.60%	26.54%	29.64%	29.82%	26.05%	26.26%	26.20%	28.31%	29.85%	29.25%	25.95%	29.27%	25.95%
MAX. IMPERVIOUS COVERAGE <sup>1</sup>	60%	48.54%	47.34%	43.61%	43.70%	45.47%	49.44%	49.76%	44.28%	44.18%	49.34%	49.65%	43.36%	43.71%	43.61%	46.96%	49.51%	46.36%	41.12%	46.38%	41.12%
MIN. SIDE YARD SETBACK	10 FT.	15.00 FT.	15.21 FT.	16.02 FT.	16.02 FT.	16.02 FT.	16.03 FT.	16.60 FT.	15.80 FT.	15.80 FT.	16.60 FT.	16.60 FT.	16.00 FT.	16.00 FT.	16.02 FT.	15.38 FT.	14.00 FT.	23.2 FT.	24.00 FT.	24.0 FT.	23.2 FT.
MIN. REAR YARD SETBACK	30 FT.	35.0 FT.	35.0 FT.	35.00 FT.	35.00 FT.	35.10 FT.	38.32 FT.	37.3 FT.	35.00 FT.	35.00 FT.	37.92 FT.	37.48 FT.	35.21 FT.	35.00 FT.	35.00 FT.	35.00 FT.	35.0 FT.	49.0 FT.	49.0 FT.	50.0 FT.	50.0 FT.
MIN. FRONT YARD DEPTH	25 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.
<sup>1</sup> IMPERVIOUS COVERAGES SHO							25.0 F1.	23.0 F I.	25.0 F I.	25.0 F1.	23.0 F1.	25.0 F1.	23.0 F1.	23.0 F1.	25.0 F1.	25.0 F1.	25.0 Г 1.	23.0 F1.	23.0 F 1.	23.0 F 1.	



# PRELIMINARY/FINAL LAND DEVELOPMENT FOR SAWMILL COURT 914-924 S. CONCORD ROAD, WEST CHESTER, PENNSYLVANIA, 19382

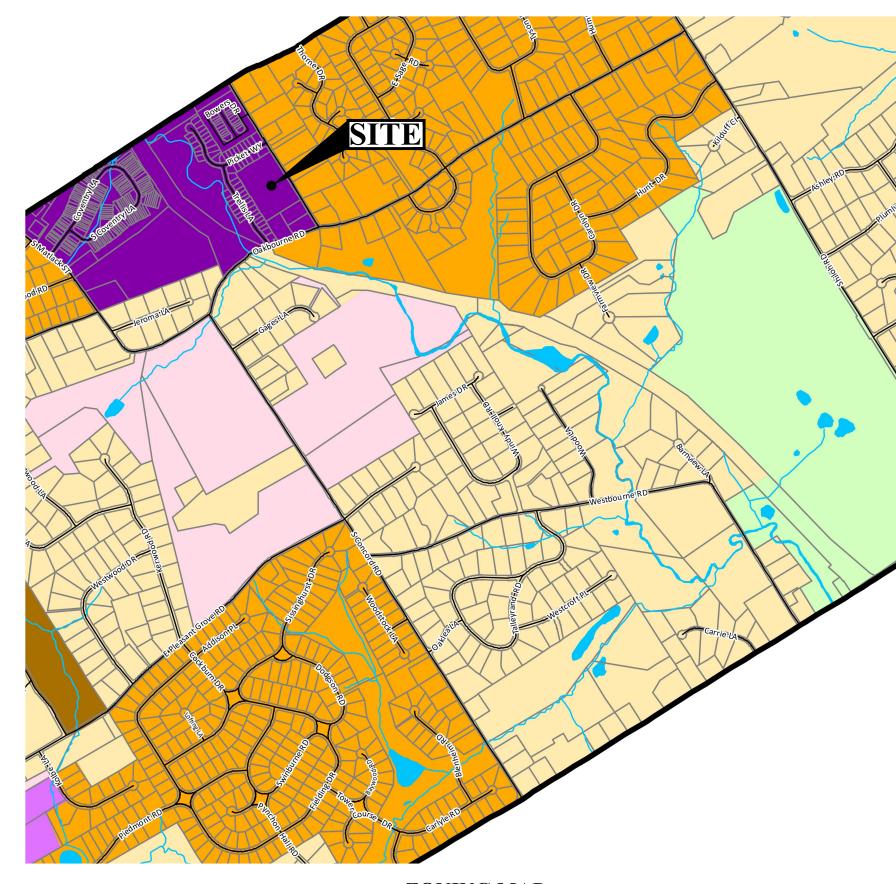
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

**AERIAL MAP** 1'' = 1000'

## INDIVIDUAL LOT ZONING CHART

## **PERMITS REQUIRED:**





**ZONING MAP** 1'' = 1000'

HUNTRISE BUILDERS, LLC

OFFER OF DEDICATION: SOUTH CONCORD ROAD R.O.W. WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREET RIGHT-OF-WAY, SHOWN AND NOT HERETOFORE DEDICATED, IS HEREBY CONTINUALLY OFFERED FOR DEDICATION TO THE PUBLIC USE.

THE FOLLOWING PERMITS ARE REQUIRED FROM THE WESTTOWN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE: CHESTER COUNTY CONSERVATION DISTRICT (NPDES) PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (SEWAGE FACILITIES PLANNING) • AQUA PA - WATER LINE EXTENSION

## WAIVERS REQUESTED:

THE FOLLOWING WAIVERS ARE REOUESTED FROM THE WESTTOWN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE: • §144-311.B(2) TO ALLOW THE USE OF HDPE PIPE WITHIN RIGHTS-OF-WAY OF

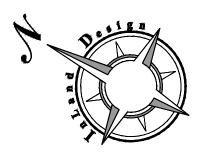
- STREETS. • §149-600.C TO ALLOW THE SUBMISSION OF COMBINED PRELIMINARY/FINAL
- LAND DEVELOPMENT PLANS. • §149-913.B TO ALLOW BLOCK LENGTHS OF 268 FEET AND 185 FEET. • §149-915.K(2) TO WAIVE THE REQUIREMENT FOR A TURN AROUND AREA IN THE
- DRIVEWAYS. • PARTIAL WAIVER FROM §149-924.D(12)(b) TO ALLOW PLANTING ONLY A

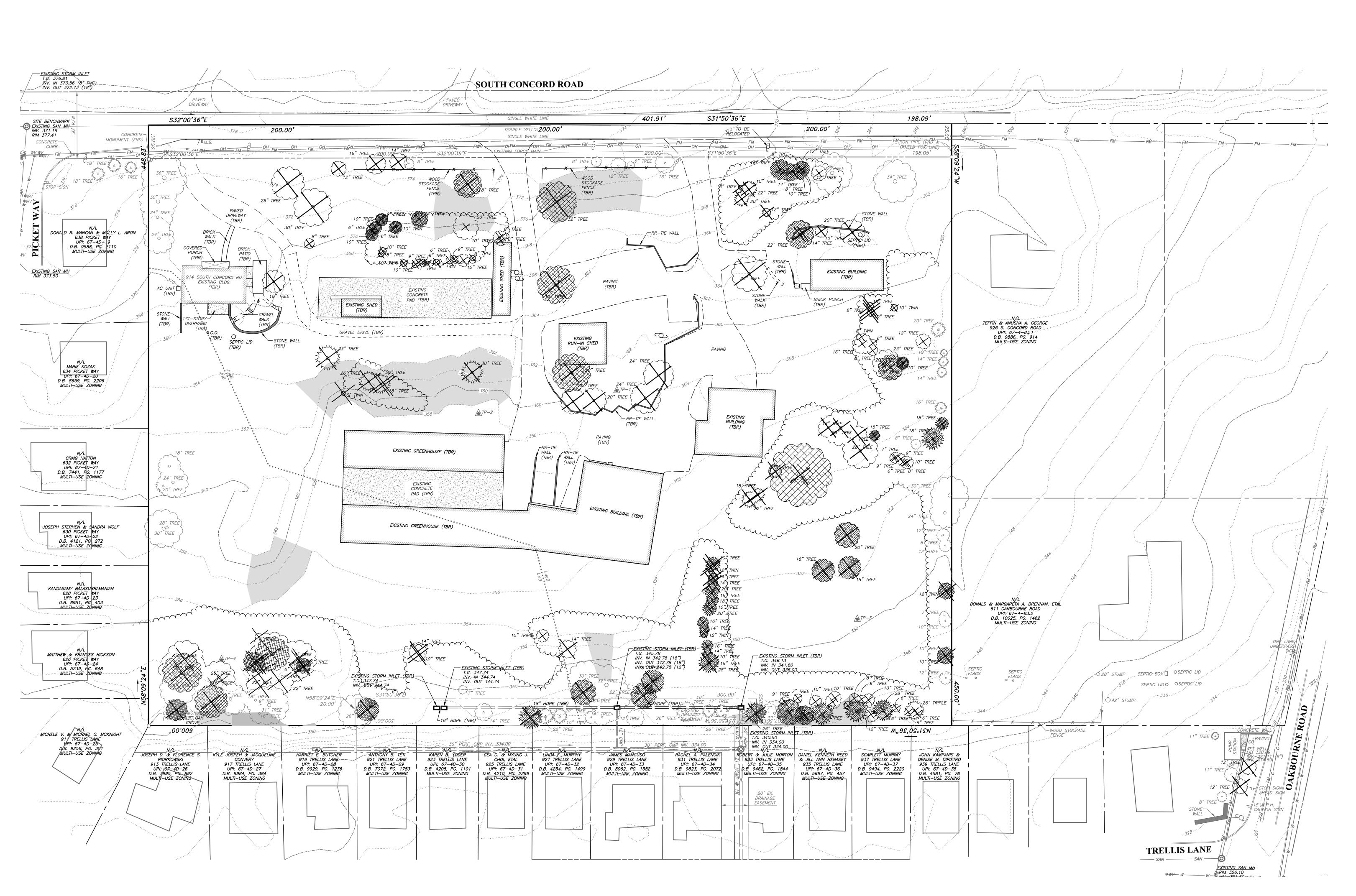
PORTION OF THE REQUIRED COMPENSATORY TREES ON SITE.

PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 1'' = 1000'	COVER SHEET FOR
GRAPHIC SCALE           500         1000         2000         4000	- Drawn by: TMW Checked by: JDC Project No.	SAWMILL COURT 914-924 S. CONCORD ROAD
( IN FEET ) 1 Inch = 1000'		WEST CHESTER, PENNSYLVANIA WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNS

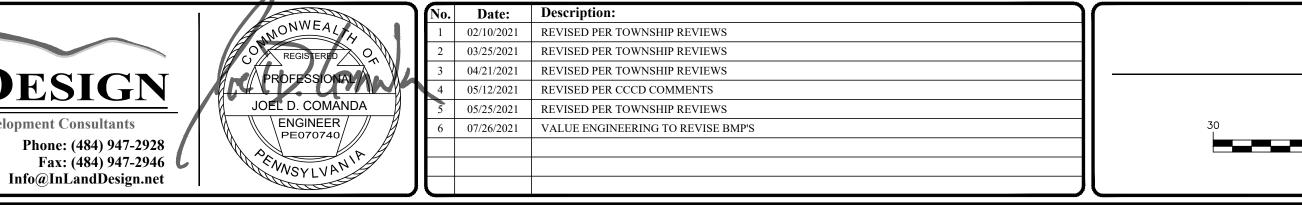
8023 B 2007 PD
SHILDH
ER SA BOURNE RD OAKBOURNE RD
Oakbourne
2006 RD 3
COURNE A IE
WESTBOOM
9404 C B NE RD
LOCATION MAP SCALE: 1" = 2000'
COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER
ON THE DAY OF A.D. 20 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN PERSONALLY APPEARED
RESIDING IN       PERSONALLY APPEARED
THE FOREGOING PLAN BY SIGNING THE NAME OF THE SAID CORPORATION BY HIMSELF AS, THAT THE SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS
BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THE SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.
OWNER
NOTARY PUBLIC MY COMMISSION EXPIRES:
REVIEWED BY THE PLANNING COMMISSION OF WESTTOWN TWP., CHESTER CO., PA., THIS DAY OF, 20
<u> </u>
<u> </u>
APPROVED BY THE BOARD OF SUPERVISORS OF WESTTOWN TWP., CHESTER CO., PA., THIS DAY OF, 20
<u>.</u>
<u> </u>
REVIEWED BY THE PLANNING COMMISSION OF CHESTER COUNTY, PENNSYLVANIA THIS DAY OF, 20
(SECRETARY)
REVIEWED BY THE EAST WESTTOWN TOWNSHIP ENGINEER;
(ENGINEER) (DATE)
(ENGINEER) (DATE) RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER
COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK, PAGE, ON THE DAY OF, 20
(DEPUTY) RECORDER OF DEEDS
CERTIFICATE OF CONFORMANCE:
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION
AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS.
JOEL D. COMANDA, P.E (LIC. #PE707040) (DATE)
SURVEY CERTIFICATION:
CERTIFICATION BY SURVEYOR THAT THE SURVEY AND PLAN ARE CORRECT:
I CERTIFY THAT THE SURVEY AND PLAT ARE CORRECT
WILLIAM R. CUJDIK, P.L.S (DATE) LIC. #SU075215
AFFIDAVIT OF OWNERSHIP COMMONWEALTH OF PENNSYLVANIA :
COUNTY OF CHESTER
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, THIS DAY PERSONALLY APPEARED , TO ME KNOWN (OR SATISFACTORILY PROVEN), WHO
BEING DULY SWORN ACCORDING TO LAW, DEPOSE(S) AND SAY(S): HE IS THE CO-MANAGER OF HUNTRISE BUILDERS, LLC. WHICH IS A
LIMITED LIABILITY CORPORATION AND IS THE RECORD OWNER OF ALL THE PROPERTY ("PROPERTY") TO WHICH THIS PLAN APPLIES AND OF ALL RIGHTS WHICH ARE NECESSARY TO IMPLEMENT THIS PLAN. THE SOURCE OF HUNTRISE BUILDERS, LLC'S TITLE IS THE DEED RECORDED, WITH THE
OF HOW IN SE BOILDERS, ELC STITLE IS THE DEED RECORDED, WITH THE OFFICE ("RECORDER'S OFFICE") OF THE RECORDER OF DEEDS IN AND FOR CHESTER COUNTY, PENNSYLVANIA, IN RECORD BOOK, BEGINNING AT PAGE THIS PLAN IS HUNTRISE BUILDERS, LLC'S ACT AND DEED
AND IS AUTHORIZED BY HUNTRISE BUILDERS, LLC TO BE RECORDED WITH THE RECORDER'S OFFICE AND THAT SUCH RECORDING SHALL BE EFFECTIVE FOR ALL PURPOSES. HE IS AUTHORIZED BY SAID HUNTRISE
BUILDERS, LLC TO MAKE THIS AFFIDAVIT.
HUNTRISE BUILDERS, LLC
BY: SWORN TO AND SUBSCRIBED BEFORE ME
THIS DAY OF
NOTARY PUBLIC
APPLICANT / OWNER: HUNTRISE BUILDERS, LLC ATTN: WAYNE MEGILL, CO-MANAGER
330 KENNETT PIKE, SUITE 207 CHADDS FORD, PA 19317 (610) 399-1235
SITE ADDRESS: 914-924 S. CONCORD RD.
WESTTOWN TWP., CHESTER COUNTY, PA PARCEL NO. 67-4-82   D.B. S51   PG. 151
S H E E T
IRT 1
D ROAD
LVANIA, 19382 NTY • PENNSYLVANIA OF 20

N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\01-COVER SHEET.dwg

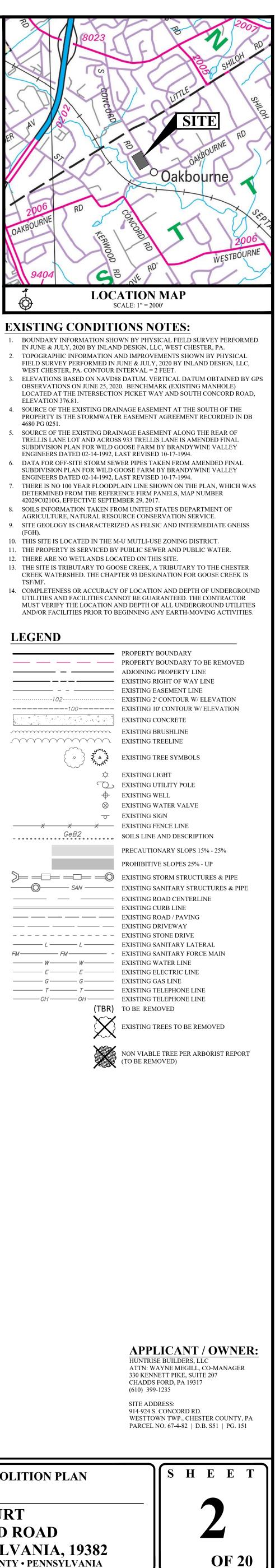




consent or adaptation by InLand Design, LLC for the specific purpose intended, will be at the third party sole risk and without liability or legal exposure to InLand Design, LLC the third party shall further indemnify and hold harmless InLand Design, LLC from all claims, damages, losses, and expenses arising thereto or resulting therefrom. Civil Engineers, Surveyors & Land Development Const before the start of work. Civil Engineers, Surveyors & Land Development Const to cation and elevation of all underground utilities and structures before the start of work.	~ ~									
UrlB       URBAN LAND-GLADSTONE       0% - 8%       (ABOUT 6.9 INCHES)       WELL DRAINED       MORE THAN 80 INCHES       60 TO 100 INCHES       2e       A         UugB       URBAN LAND-UDORTHENTS       0% - 8%       MODERATE (ABOUT 6.8 INCHES)       WELL DRAINED       ABOUT 60 INCHES       20 TO 70 INCHES       2e       A         IugB       URBAN LAND-UDORTHENTS       0% - 8%       MODERATE (ABOUT 6.8 INCHES)       WELL DRAINED       ABOUT 60 INCHES       20 TO 70 INCHES       7s       C	SYMBOL	DESCRIPTION	SLOPE		DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK			
Ugg       URBAN LAND-UDORTHENTS       0% - 8%       (ABOUT 6.8 INCHES)       WELL DRAINED       ABOUT 60 INCHES       20 TO 70 INCHES       7s       C         COPYRIGHT         Inland Design, LLC expressly reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and corpis tearce with these plans. All drawings, specifications and corpis tearce with these plans. All drawings, specifications and corpis tearce with these plans. All drawings, specifications and corpis tearce with the sequences are not built to be used only in respect to this project and are neither to be used only in respect to this project and are neither to be used only in respect to this project and are neither to be used only in respect to this project and are neither to be used only in respect to thuid written permission, verification, consent or adaptation by InLand Design, LLC for the specific purpose intended, will be at the third party shall further indemnify and hold harmless InLand Design, LLC for mail claims, damages, losses, and expenses arising thereto or resulting thereform.       Perms Plans InLand Design, LLC for mail claims, damages, losses, and expenses arising thereto or resulting thereform.       City of plans Intended with the properties of the specific purpose intended, will be at the third party shall further indemnify and hold harmless InLand Design, LLC for the specific purpose intended, will be at the third party shall further indemnify and hold harmless InLand Design, LLC for mail claims, damages, losses, and expenses arising thereto or resulting thereform.       Corporation of all underground utilities and structures shown on the plans, nor does InLand Design, LLC does not guarante the accuracy of the location and elvation of all underground utilities and structures shown and	UrlB	URBAN LAND-GLADSTONE	0% - 8%		WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	А	
In Land Design, LLC expressive reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of InLand Design, LLC hey are to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of InLand Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to InLand Design, LLC for the specific purpose, and expenses arising thereto or resulting therefrom.	UugB	URBAN LAND-UDORTHENTS	0% - 8%		WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	С	
PARCEL NO. 67-4-82   D.B. S51   PG. 151 Info@InLan	other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of InLand Design, LLC. They are to be used only in respect to this project and are neither to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of InLand Design, LLC. Any re-use without written permission, verification, consent or adaptation by InLand Design, LLC for the specific purpose intended, will be at the third party shall further indemnify and hold harmless InLand Design, LLC from all claims, damages, losses, and expenses arising thereto or resulting therefrom.			three we Ser 20 PENNSYLVANIA InLand Design, LLC doo locations for existing sub plans, nor does InLand subsurface structures are location and elevation of	orking days notice tial Numbers: 201921658 ACT 187 REQUIREMENTS: es not guarantee the accuracy of the surface utility structures shown on the d Design, LLC guarantee that all shown. The contractor shall verify the	Civil Engineer	rs, Surveyors &		opment Cons	



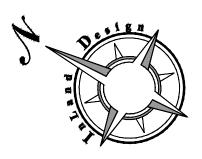
PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 1'' = 30'	EXISTING CONDITION & DEMOLITION FOR
GRAPHIC SCALE 0 15 30 60 120 ( IN FEET ) 1 Inch = 30'	Drawn by: TMW Checked by: JDC Project No. 11541	SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNS

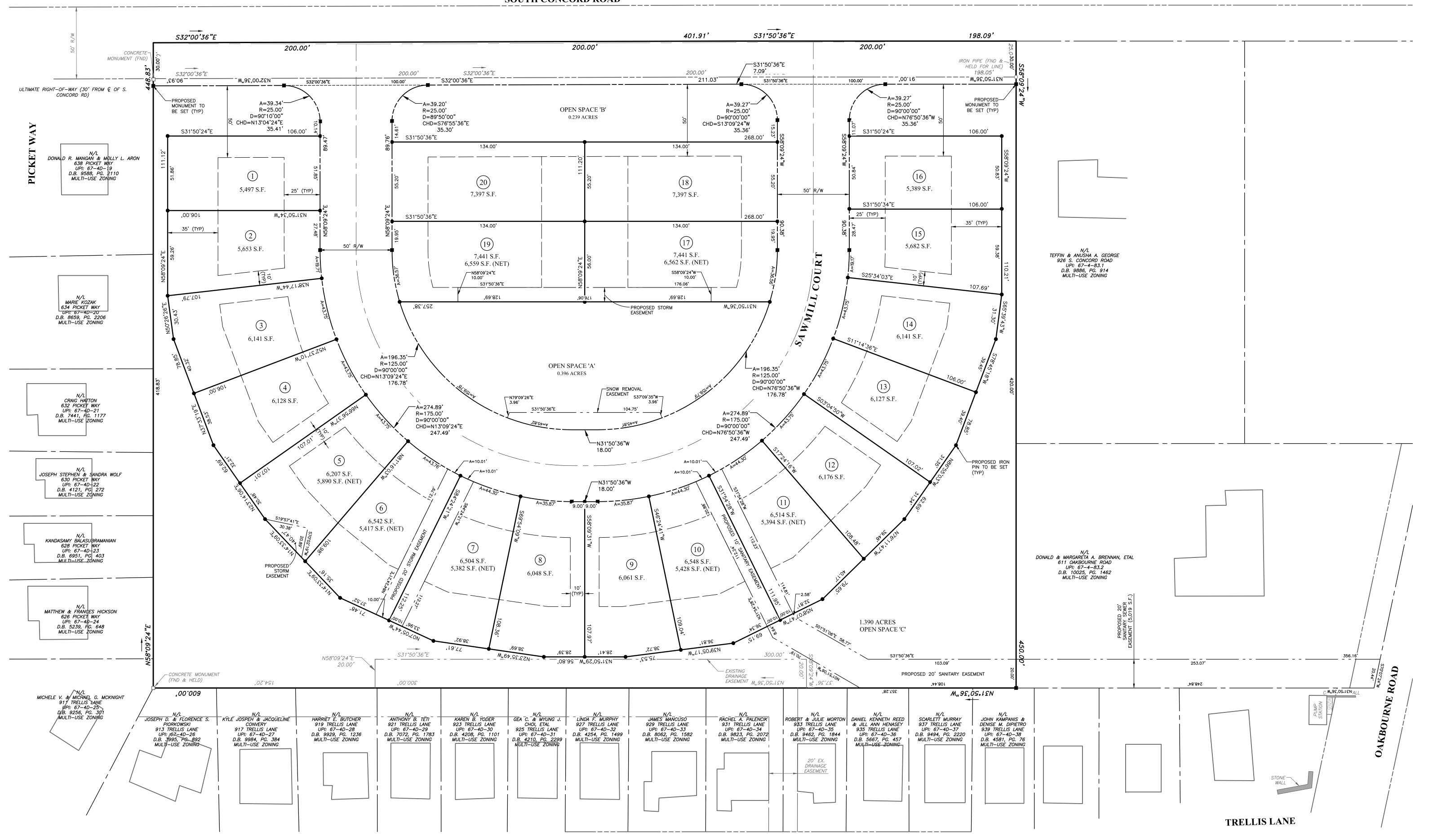


(FGH).

TSF/MF.

N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\02-EXISTING CONDITION & DEMO PLAN.dwg





SOIL	S DESCRIPTION								
SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLIC SOIL GROUP	
UrlB	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	А	
UugB	URBAN LAND-UDORTHENTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	С	
other propriet copies thereos They are to b used on any o without first	<u>COPYRIGHT</u> n, LLC expressly reserves its common law copyright and tary rights in these plans. All drawings, specifications f are and shall remain the property of InLand Design, L ue used only in respect to this project and are neither to ther project, nor are they to be assigned to any third pr obtaining the expressed written permission and consen	and LC. be arty t of	ANTA ONE CALL STEER	PA. act 1 three w Ser 20	nia One Call System 72 of 1986 requires orking days notice rial Numbers: 201921658 ACT 187 REQUIREMENTS:				
consent or ad intended, will exposure to In and hold harn	n, LLC. Any re-use without written permission, verificat laptation by InLand Design, LLC for the specific purp be at the third party's sole risk and without liability or le nLand Design, LLC the third party shall further indems nless InLand Design, LLC from all claims, damages, los arising thereto or resulting therefrom.	oose egal nify	REFORE YOU DE	InLand Design, LLC do locations for existing sub plans, nor does InLan- subsurface structures are	surface utility structures shown on the d Design, LLC guarantee that all shown. The contractor shall verify the all underground utilities and structures	Civil Enginee	rs, Surveyors		

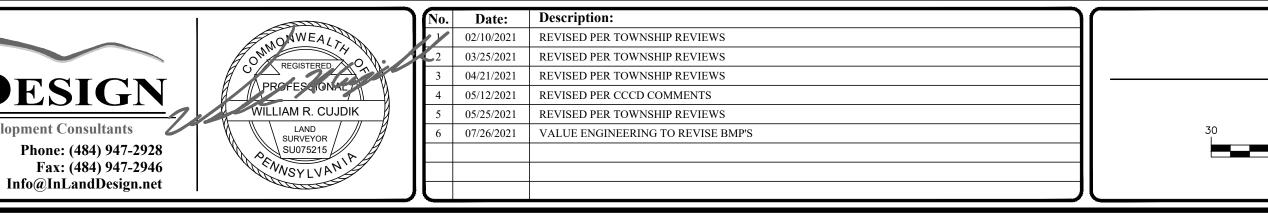
before the start of work.

West Chester, PA 19382

www.InLandDesign.net

PARCEL NO. 67-4-82 | D.B. 851 | PG. 151

## SOUTH CONCORD ROAD



RD	
X	
1	NN
ER	
1	2006
OAKB	OURNE
	9404
¥	-

**TITLE NOTES** 

## **M-U MULTI-USE ZONING DISTRICT** TWIN USE UNDER R-3 IN ACCORDANCE WITH 170-802.E.

	:
MINIMUM TRACT AREA	
MAXIMUM DENSITY	
MINIMUM LOT AREA	
MAXIMUM BUILDING HEIGHT	
MINIMUM WIDTH @ BUILDING LINE	
MAXIMUM BUILDING COVERAGE	
MAXIMUM IMPERVIOUS COVERAGE	
MINIMUM SIDE YARD SETBACK	
MINIMUM REAR YARD SETBACK	
MINIMUM FRONT YARD DEPTH	
MINIMUM COMMON OPEN SPACE	

## **OPEN SPACE**

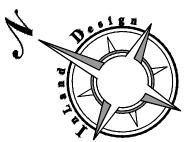
DESCRIPTION	AREA (S.F.)	AREA (ACRE
OPEN SPACE A	17,260 S.F.	0.396 A
OPEN SPACE B	10,432 S.F.	0.239 A
OPEN SPACE C	60,545 S.F.	1.390 A
TOTAL OPEN SPACE	88,237 S.F.	2.0250
	•	

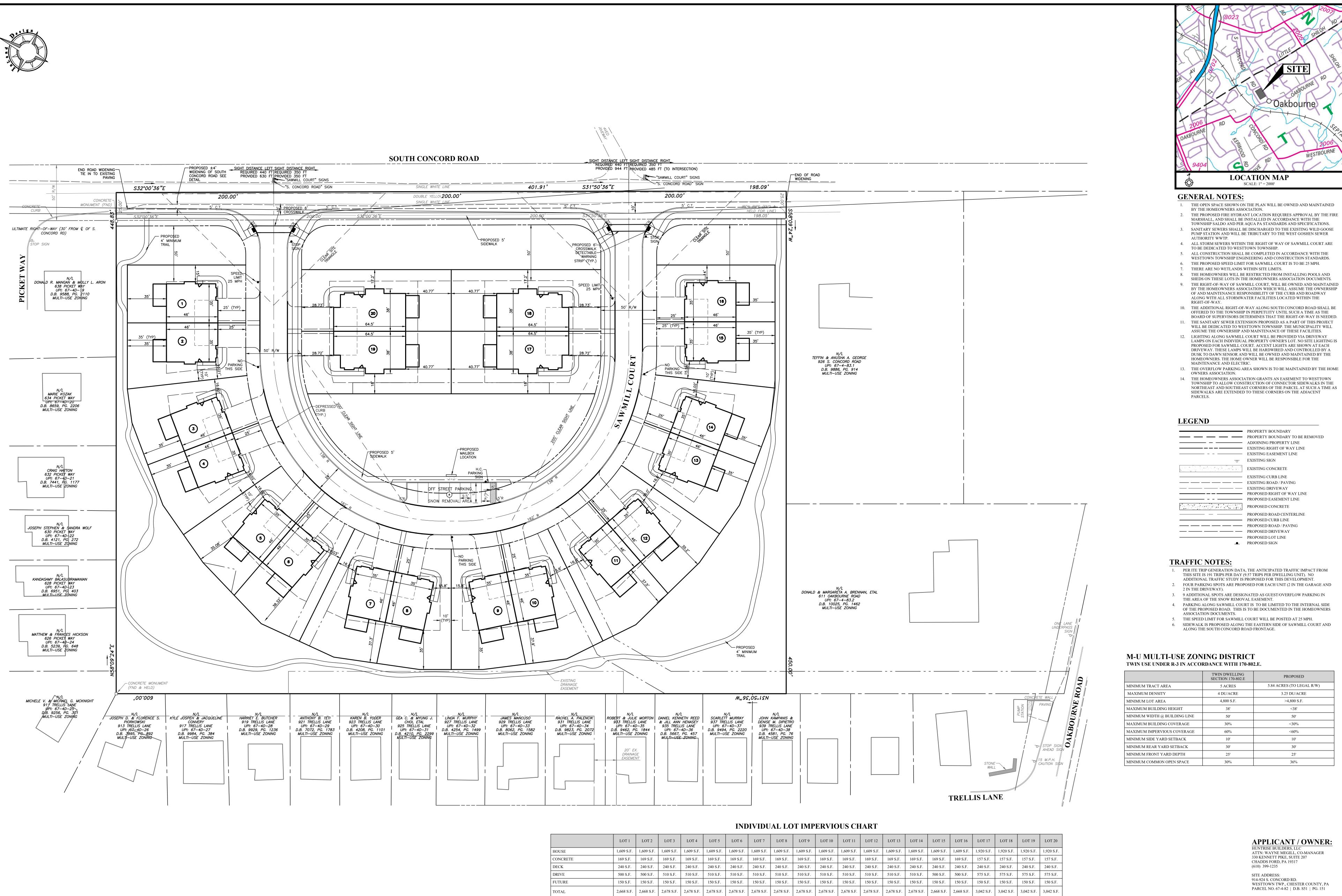
PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 1'' = 30'	TITLE PLAN FOR
GRAPHIC SCALE 0 15 30 60 120 (IN FEET ) 1 Inch = 30'	Drawn by: TMW Checked by: JDC Project No. 11541	SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, 19382 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA



N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\03-TITLE PLAN.dwg

**OF 20** 









PA. act 172 of 1986 requires three working days notice Serial Numbers: 20201921658 PENNSYLVANIA ACT 187 REQUIREMENTS: InLand Design, LLC does not guarantee the accuracy of the locations for existing subsurface utility structures shown on the plans, nor does InLand Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

Pennsylvania One Call System



PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

	1 Contract	No.	Date:	Description:	 	
	MONWEAL	1	02/10/2021	REVISED PER TOWNSHIP REVIEWS		
	REGISTERED	2	03/25/2021	REVISED PER TOWNSHIP REVIEWS		
		3	04/21/2021	REVISED PER TOWNSHIP REVIEWS	 	
IGN		4	05/12/2021	REVISED PER CCCD COMMENTS		
		5	05/25/2021	REVISED PER TOWNSHIP REVIEWS		
sultants	ENGINEER PE070740	6	07/26/2021	VALUE ENGINEERING TO REVISE BMP'S	30	C
84) 947-2928						
84) 947-2946	WSYLVAN					
ndDesign.net						
		•				

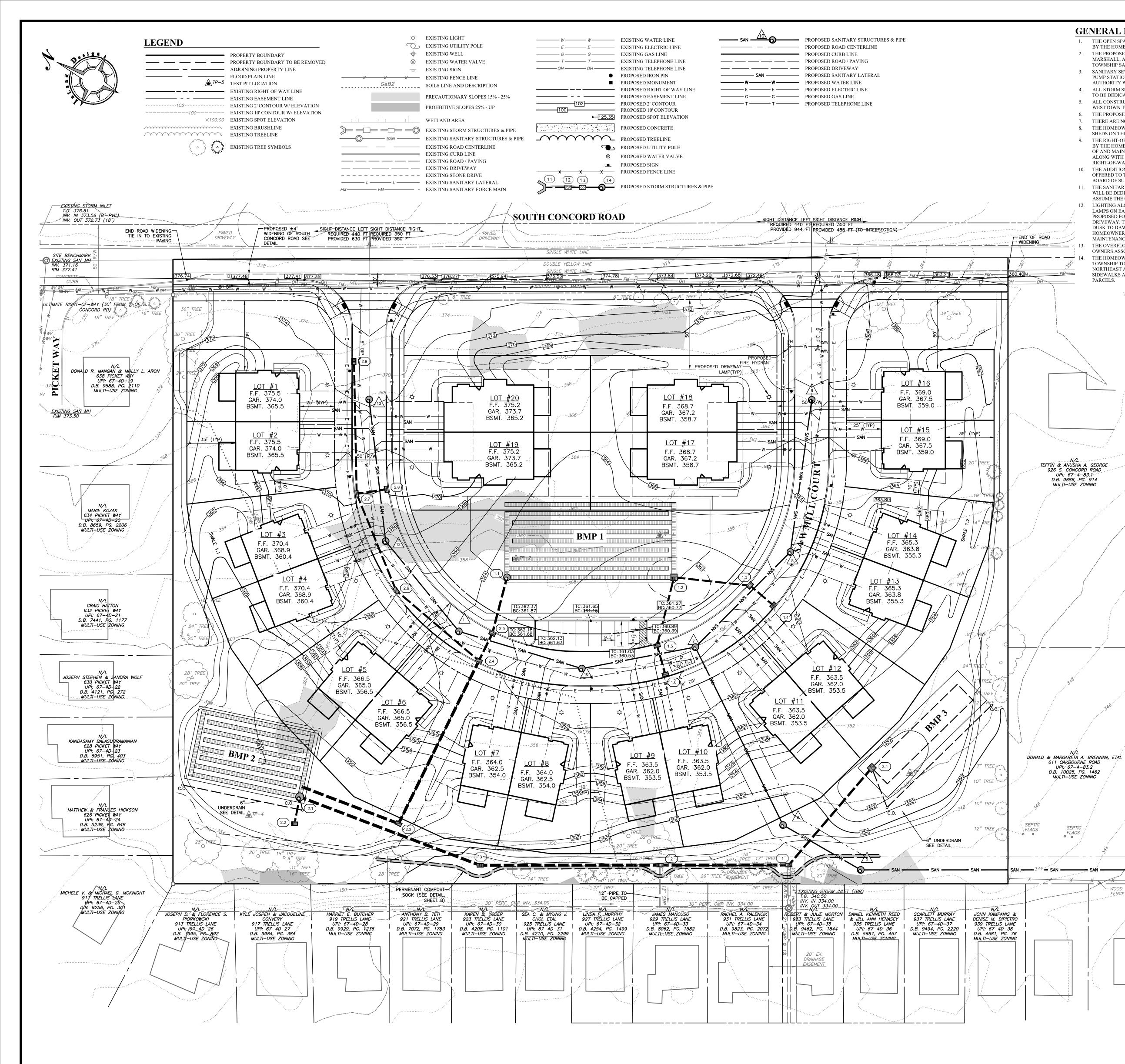
PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 1" = 30'	SITE PLAN FOR
GRAPHIC SCALE 0 15 30 60 120	Drawn by: TMW Checked by: JDC Project No.	SAWMILL COURT 914-924 S. CONCORD ROAD
( IN FEET ) 1 Inch = 30'		WEST CHESTER, PENNSYLVANIA WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNS

	PROPERTY BOUNDARY
	PROPERTY BOUNDARY TO BE REMOVED
	ADJOINING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
0	EXISTING SIGN
	EXISTING CONCRETE
	EXISTING CURB LINE
	EXISTING ROAD / PAVING
	EXISTING DRIVEWAY
- — — — — — — — — — — — — — — — — — — —	PROPOSED RIGHT OF WAY LINE
	PROPOSED EASEMENT LINE
4 4 4 4	PROPOSED CONCRETE
	PROPOSED ROAD CENTERLINE
	PROPOSED CURB LINE
·	PROPOSED ROAD / PAVING
	PROPOSED DRIVEWAY
	PROPOSED LOT LINE
-	PROPOSED SIGN

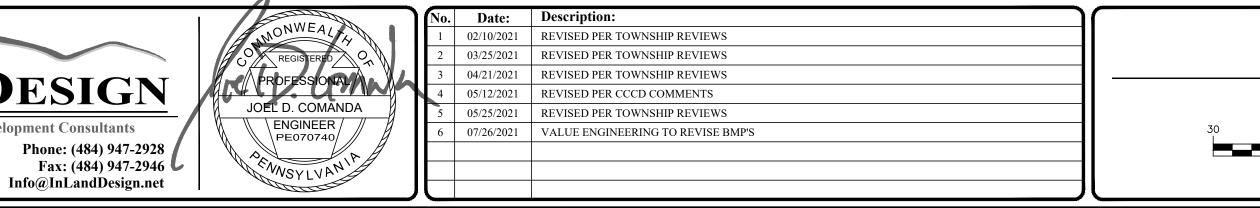
TWIN DWELLING SECTION 170-802.E	PROPOSED
5 ACRES	5.84 ACRES (TO LEGAL R/W)
4 DU/ACRE	3.25 DU/ACRE
4,800 S.F.	>4,800 S.F.
38'	<38'
50'	50'
30%	<30%
60%	<60%
10'	10'
30'	30'
25'	25'
30%	36%

# **S H E E T** A, 19382 **OF 20** SYLVANIA

N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\04-SITE PLAN.dwg



SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLIC SOIL GROUP	
UrlB	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	А	
UugB	URBAN LAND-UDORTHENTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	С	
other proprie copies thereo They are to l used on any without first InLand Desig consent or au intended, wil exposure to l and hold hard	<u>COPYRIGHT</u> gn, LLC expressly reserves its common law copyright ar tary rights in these plans. All drawings, specification of are and shall remain the property of InLand Design, be used only in respect to this project and are neither other project, nor are they to be assigned to any third obtaining the expressed written permission and conse gn, LLC. Any re-use without written permission, verific daptation by InLand Design, LLC for the specific pu l be at the third party's sole risk and without liability or InLand Design, LLC the third party shall further inder mless InLand Design, LLC from all claims, damages, lo arising thereto or resulting therefrom.	s and LLC. to be party nt of ation, rpose legal nnify	ANUA ONE CALL SUSTEMAN ASIS DE CALL SUSTEMAN	PA. act 1 three wo Ser 202 PENNSYLVANIA InLand Design, LLC doo locations for existing sub- plans, nor does InLand subsurface structures are	nia One Call System 72 of 1986 requires orking days notice rial Numbers: 201921658 ACT 187 REQUIREMENTS: es not guarantee the accuracy of the surface utility structures shown on the d Design, LLC guarantee that all shown. The contractor shall verify the all underground utilities and structures	Civil Enginee			





- 1. THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- 2. THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHALL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP SALDO AND PER AOUA PA STANDARDS AND SPECIFICATIONS.
- 3. SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOSHEN SEWER AUTHORITY WWTP.
- 4. ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP. 5. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE
- WESTTOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS. 6. THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH.
- 7. THERE ARE NO WETLANDS WITHIN SITE LIMITS. 8. THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
- 9. THE RIGHT-OF-WAY OF SAWMILL COURT. WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE
- RIGHT-OF-WAY. 10. THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE BOARD OF SUPERVISORS DETERMINES THAT THE RIGHT-OF-WAY IS NEEDED. 11. THE SANITARY SEWER EXTENSION PROPOSED AS A PART OF THIS PROJECT
- WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE FACILITIES. LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY LAMPS ON EACH INDIVIDUAL PROPERTY OWNER'S LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCENT LIGHTS ARE SHOWN AT EACH
- DRIVEWAY, THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DUSK TO DAWN SENSOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOME OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
- THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN
- TOWNSHIP TO ALLOW CONSTRUCTION OF CONNECTOR SIDEWALKS IN THE NORTHEAST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS SIDEWALKS ARE EXTENDED TO THESE CORNERS ON THE ADJACENT PARCELS.

S 28" STUMP SEPTIC BOX OSEPTIC LID

WOOD STOCKADE

SEPTIC LIDO OSEPTIC LID

11" TREE Zhan

STONE -WALL 

TRELLIS LANE

\_\_\_\_\_ SAN \_\_\_\_

\_\_\_\_\_ SAN \_\_\_\_

11" TRFF

-0

Invicting and MI

## **CONSTRUCTION NOTES:** ALL INLETS TO HAVE 8"Ø WEEP HOLES DRILLED INTO BOTTOM OF STRUCTURE.

16.

- FOR THE PURPOSES OF THESE PLANS AND GENERAL NOTES. " SITE CONSTRUCTION" SHALL BE CONSTRUED TO MEAN STORMWATER MANAGEMENT FACILITIES, SITE IMPROVEMENTS AND RELATED CONSTRUCTION. ALL SITE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE PaDOT PUB. 408,
- 2000 Ed. AND LATEST ADDENDUM THERETO. CONTRACTOR SHALL PROVIDE CERTIFICATION THAT ALL MATERIAL INCORPORATED INTO THE PROJECT MEET Padot Specifications. 4. CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES APPLICABLE TO
- THIS TYPE OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DISTANCES, GRADES, QUANTITIES AND ELEVATIONS. POTENTIAL PROBLEMS WHICH MIGHT BE OBSERVED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. WORK IN THE
- AREA SHALL CEASE UNTIL A RESOLUTION OF THE POTENTIAL PROBLEM HAS BEEN DETERMINED. ALL MATERIALS TO BE PROPERLY DISPOSED. A) ALL CLEAN SOIL TO BE DEPOSITED ON SITE AS DIRECTED.
- B) ALL OTHER MATERIAL TO BE REMOVED FROM SITE BY CONTRACTOR. CONTRACTOR SHALL PROVIDE ALL BORROW MATERIAL REQUIRED FOR CONSTRUCTION WHICH IS NOT AVAILABLE ON SITE.
- FILL MATERIAL SHALL BE COMPACTED TO NO LESS THAN 97% OF THE MAXIMUM DRY WEIGHT DENSITY (STANDARD PROCTER). ALL PAVEMENT JOINTS AND CURB-PAVEMENT JOINTS SHALL BE SEALED USING A "RUBBERIZED JOINT SEAL" AS PER PENNDOT PUBLICATION 408.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT MARKINGS, EROSION AND SEDIMENTATION CONTROL AND TRAFFIC MAINTENANCE AND PROTECTION IN ACCORDANCE WITH PENNDOT PUBLICATION 213. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PAYING FOR THE
- REMOVAL AND/OR RELOCATION OF UTILITIES OR OTHER OBSTRUCTIONS IN ORDER TO COMPLETE THE SITE CONSTRUCTION. NO EXCAVATION OR FILL MATERIAL SHALL BE GRADED TO A SLOPE GREATER THAN
- THERE SHALL BE NO BURYING OF TREES, STUMPS OR CONSTRUCTION MATERIALS. 13. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND DISPOSED OF IN OPEN SPACE AREAS, CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE CONSTRUCTION AND ORGANIC MATERIALS TO MINIMIZE WASTE.
- 14. GRADING SHALL BE PERFORMED TO SECURE PROPER DRAINAGE AWAY FROM ALL BUILDINGS AND TO THE STORMWATER COLLECTION AND MANAGEMENT SYSTEM. ALL EXISTING POWER POLES, CURBS AND OTHER ABOVE GROUND PHYSICAL FEATURES WHICH WOULD INTERFERE WITH NORMAL USE OF PROPOSED
- CONSTRUCTION SHALL BE REMOVED AND RELOCATED AS REOUIRED. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY SERVICE LINES IN THE FIELD PRIOR TO CONSTRUCTION AND ENSURE THAT ALL UTILITIES ARE RELOCATED
- OR PROTECTED DURING CONSTRUCTION. ALL WATERLINE INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY. 18. ALL SANITARY SEWER INSTALLATION IS TO BE PERFORMED ACCORDING TO THE

SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.

ROAD

NE

AKBOU

O

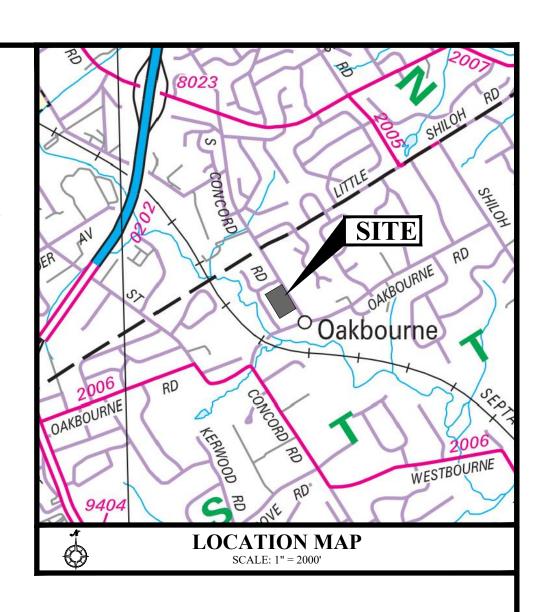
STORM SEWER STRUCTURE TABLE								
NUMBER	TYPE	DETAILS						
1	TYPE 'M' INLET	T.G. = $346.67$ SUMP = $336.00$ INV IN = $340.25$ (24") INV IN = $343.17$ (18")						
1.1	TYPE '4' MANHOLE OUTLET	$\begin{array}{rl} RIM &=& 365.58\\ SUMP &=& 352.67\\ INV & OUT &=& 352.67 \ (18") \end{array}$						
1.2	TYPE '4' INLET	$\begin{array}{rll} \text{T.G.} &=& 360.50\\ \text{SUMP} &=& 354.25\\ \text{INV} & \text{IN} &=& 355.25 & (15")\\ \text{INV} & \text{IN} &=& 355.25 & (15") \end{array}$						
1.3	TYPE 'C' INLET	T.G. = $361.37$ SUMP = $357.53$ INV IN = $357.73$ (15") INV OUT = $357.53$ (15")						
1.4	TYPE 'C' INLET	T.G. = $361.37$ SUMP = $357.95$ INV OUT = $357.95$ (15")						
1.5	TYPE 'M' INLET	T.G. = $360.39$ SUMP = $356.50$ INV IN = $356.70$ (15") INV OUT = $356.50$ (15")						
1.6	TYPE 'M' INLET	T.G. = $360.40$ SUMP = $356.92$ INV OUT = $356.92$ (15")						
2	TYPE 'M' INLET	T.G. = $345.78$ SUMP = $341.73$ INV IN = $341.93$ (24") INV OUT = $341.73$ (24")						
2.1	TYPE '5' MANHOLE OUTLET	$\begin{array}{rl} {\sf RIM} &= 355.00 \\ {\sf SUMP} &= 346.70 \\ {\sf INV} \; {\sf IN} &= 350.53 \; (15") \\ {\sf INV} \; {\sf IN} &= 347.75 \; (6") \\ {\sf INV} \; {\sf OUT} &= 346.70 \; (24") \end{array}$						
2.2	TYPE 'M'	T.G. = 354.50 SUMP = 349.75						

INLET INV OUT = 350.75 (15")

	SANITARY SEWER STRUCTURE TABLE							
NUMBER	DETAILS							
1	$\begin{array}{rl} {\sf RIM} &=& 327.15\\ {\sf SUMP} &=& 321.22\\ {\sf INV} \;\; {\sf IN} &=& 321.42 \;\; (8")\\ {\sf INV} \;\; {\sf OUT} &=& 321.22 \;\; (8") \end{array}$							
2	$\begin{array}{rl} {\sf RIM} &=& 326.95\\ {\sf SUMP} &=& 322.07\\ {\sf INV} \;\; {\sf IN} &=& 322.27 \;\; (8")\\ {\sf INV} \;\; {\sf OUT} &=& 322.07 \;\; (8") \end{array}$							
3	$\begin{array}{rl} {\sf RIM} &=& 327.07\\ {\sf SUMP} &=& 322.82\\ {\sf INV} \;\; {\sf IN} &=& 323.02 \;\; (8")\\ {\sf INV} \;\; {\sf OUT} &=& 322.82 \;\; (8") \end{array}$							
4	$\begin{array}{rl} {\sf RIM} &=& 332.26\\ {\sf SUMP} &=& 324.95\\ {\sf INV} \;\; {\sf IN} &=& 325.15 \;\; (8")\\ {\sf INV} \;\; {\sf OUT} &=& 324.95 \;\; (8") \end{array}$							
5	$\begin{array}{rl} {\sf RIM} &=& 348.16\\ {\sf SUMP} &=& 336.98\\ {\sf INV} \;\; {\sf IN} &=& 337.18 \;\; (8")\\ {\sf INV} \;\; {\sf OUT} &=& 336.98 \;\; (8") \end{array}$							
6	$\begin{array}{rl} {\sf RIM} &=& 348.66\\ {\sf SUMP} &=& 341.05\\ {\sf INV} \;\; {\sf IN} &=& 341.25 \;\; (8")\\ {\sf INV} \;\; {\sf OUT} &=& 341.05 \;\; (8") \end{array}$							

PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 1'' = 30'	GRADING AND UTILITY PLAN FOR
GRAPHIC SCALE 0 15 30 60 120 (IN FEET) 1 Inch = 30'	Drawn by: TMW Checked by: JDC Project No. 11541	SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNS



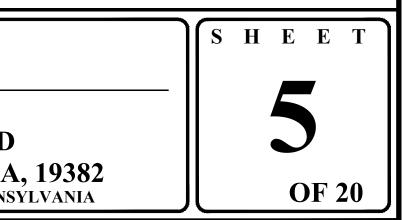


STORM SEWER STRUCTURE TABLE							
NUMBER	TYPE	DETAILS					
2.3	TYPE 'M' INLET	T.G. = $354.50$ SUMP = $348.93$ INV IN = $350.13$ (24") INV OUT = $349.93$ (24")					
2.4	TYPE 'C' INLET	$\begin{array}{rll} T.G. &=& 362.50\\ SUMP &=& 351.59\\ INV & IN &=& 351.89 & (18")\\ INV & IN &=& 358.88 & (15")\\ INV & OUT &=& 351.59 & (24") \end{array}$					
2.5	TYPE 'C' INLET	T.G. = 362.50 SUMP = 352.11 INV IN = 352.31 (18") INV OUT = 352.11 (18")					
2.6	TYPE 'C' INLET	T.G. = $365.61$ SUMP = $361.22$ INV IN = $361.89$ (15") INV OUT = $361.22$ (15")					
2.7	TYPE 'C' INLET	$\begin{array}{rll} T.G. &=& 369.89\\ SUMP &=& 364.21\\ INV & IN &=& 365.81 & (15")\\ INV & IN &=& 366.03 & (15")\\ INV & OUT &=& 364.21 & (15") \end{array}$					
2.8	TYPE 'C' INLET	T.G. = $369.89$ SUMP = $366.03$ INV OUT = $366.03$ (15")					
2.9	TYPE 'C' INLET	T.G. = $375.14$ SUMP = $369.55$ INV OUT = $369.55$ (15")					
3	TYPE 'M' INLET	T.G. = $347.74$ SUMP = $344.00$ INV IN = $344.20$ (24") INV OUT = $344.00$ (24")					
3.1	TYPE '4' INLET	T.G. = $350.75$ SUMP = $347.25$ INV IN = $347.25$ (6") INV OUT = $347.25$ (18")					

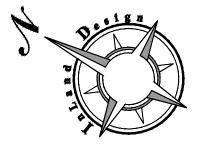
SANITARY SEWER STRUCTURE TABLE								
NUMBER	DETAILS							
7	$\begin{array}{rl} {\sf RIM} &= 360.72 \\ {\sf SUMP} &= 347.80 \\ {\sf INV} \; {\sf IN} &= 348.00 \; (8") \\ {\sf INV} \; {\sf IN} &= 348.00 \; (8") \\ {\sf INV} \; {\sf OUT} &= 347.80 \; (8") \end{array}$							
8	$\begin{array}{rl} \text{RIM} &=& 362.64 \\ \text{SUMP} &=& 351.53 \\ \text{INV} & \text{IN} &=& 351.73 & (8") \\ \text{INV} & \text{OUT} &=& 351.53 & (8") \end{array}$							
9	RIM = 367.59 SUMP = 355.50 INV OUT = 355.50 (8")							
10	$\begin{array}{rl} {\sf RIM} &=& 361.04 \\ {\sf SUMP} &=& 348.75 \\ {\sf INV} & {\sf IN} &=& 348.95 \ (8") \\ {\sf INV} & {\sf OUT} &=& 348.75 \ (8") \end{array}$							
11	$\begin{array}{rl} {\sf RIM} &=& 363.54 \\ {\sf SUMP} &=& 349.86 \\ {\sf INV} & {\sf IN} &=& 350.06 \ (8") \\ {\sf INV} & {\sf OUT} &=& 349.86 \ (8") \end{array}$							
12	$\begin{array}{rl} {\sf RIM} &=& 367.72\\ {\sf SUMP} &=& 355.85\\ {\sf INV} \;\; {\sf IN} &=& 356.05 \;\; (8")\\ {\sf INV} \;\; {\sf OUT} &=& 355.85 \;\; (8") \end{array}$							

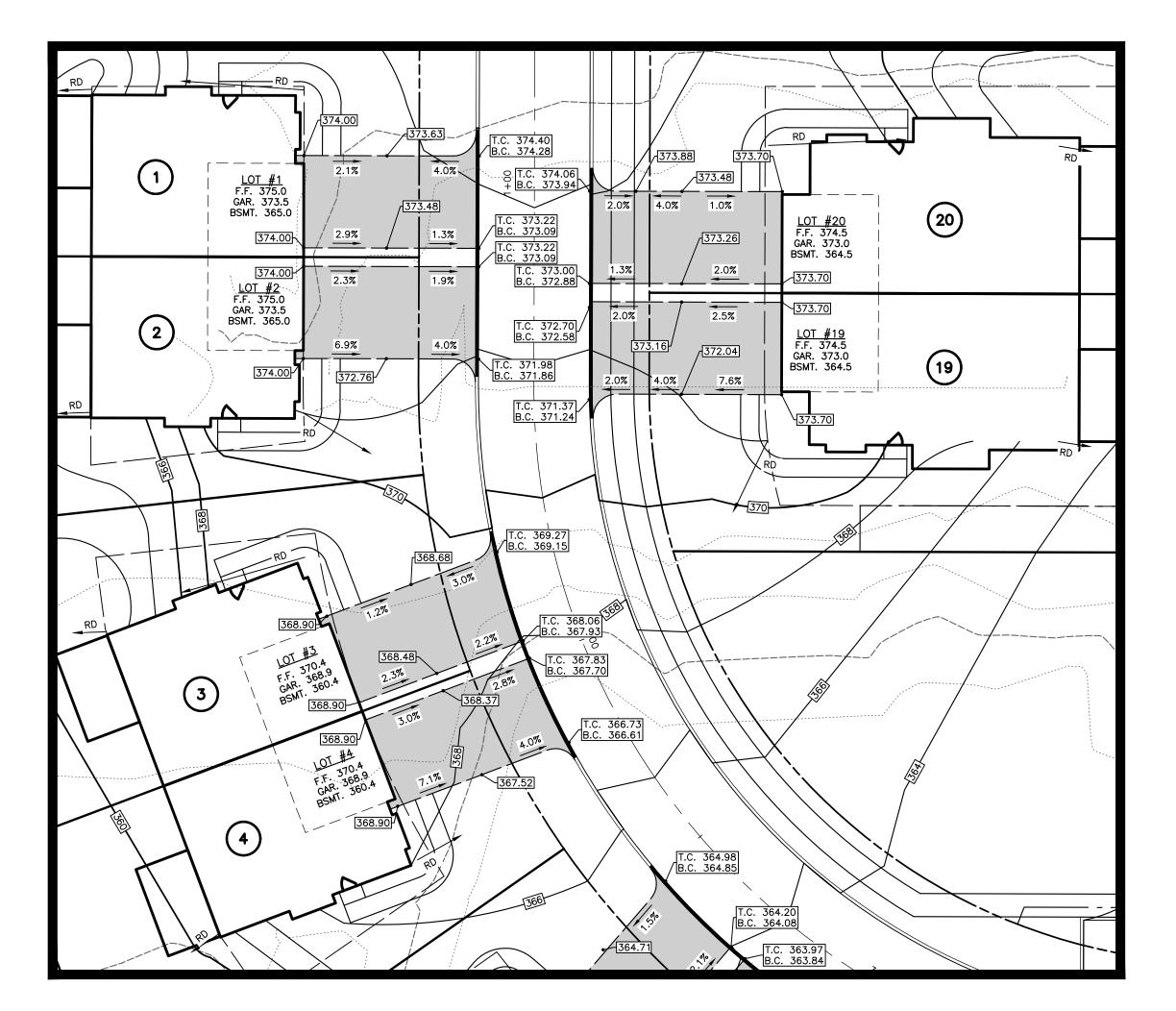
**APPLICANT / OWNER** HUNTRISE BUILDERS, LLC ATTN: WAYNE MEGILL, CO-MANAGER 330 KENNETT PIKE, SUITE 207 CHADDS FORD, PA 19317 (610) 399-1235 SITE ADDRESS: 914-924 S. CONCORD RD. WESTTOWN TWP., CHESTER COUNTY, PA

PARCEL NO. 67-4-82 | D.B. S51 | PG. 151



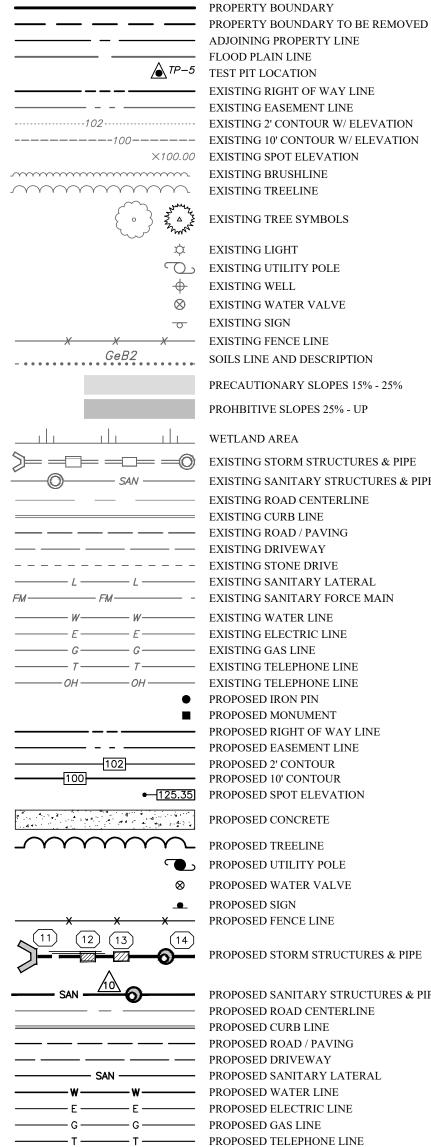
N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\05-GRADING & UTILITY PLAN.dwg





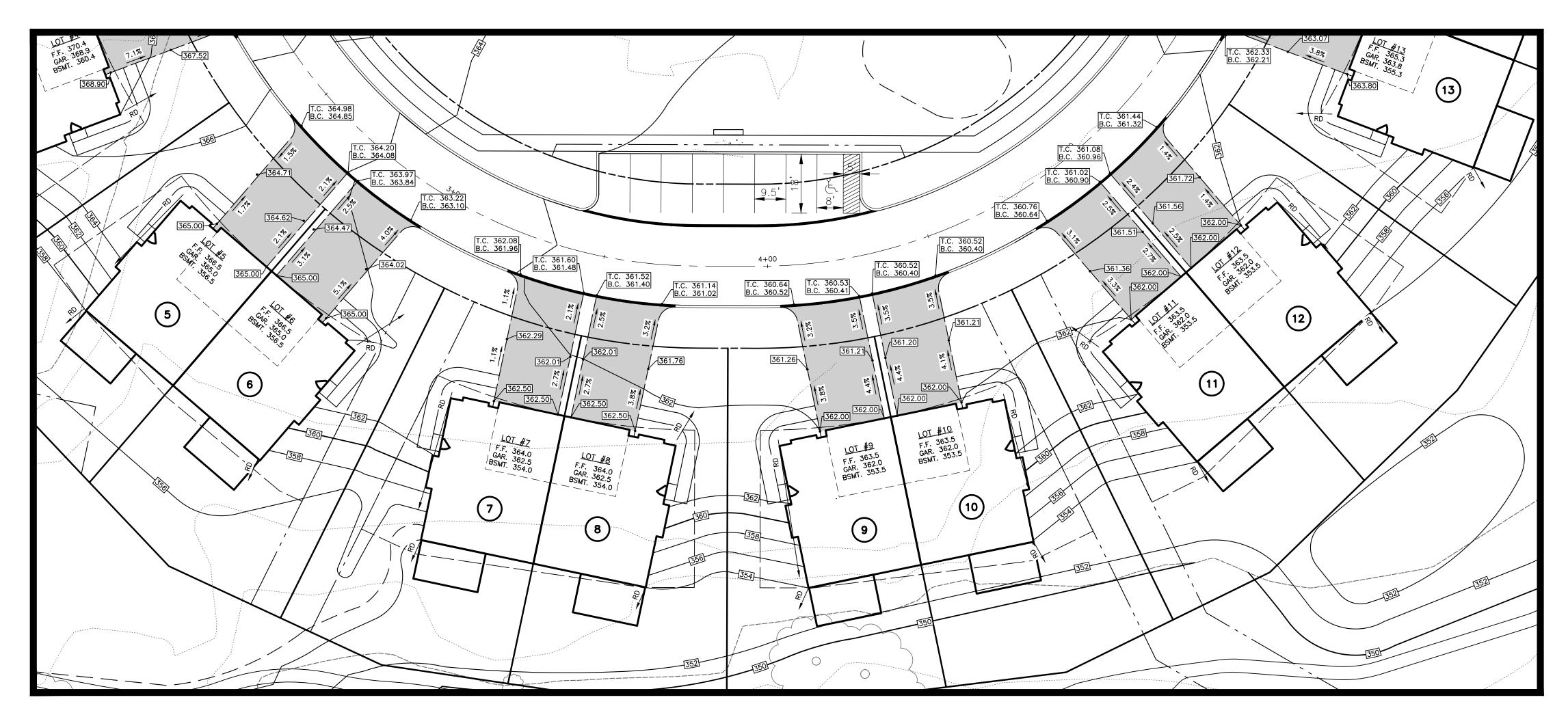
LOTS 1-4, 19, & 20

## LEGEND



 $\frac{1}{2}$   $\frac{1}{2}$  EXISTING TREE SYMBOLS ☆ EXISTING LIGHT EXISTING UTILITY POLE  $\oplus$  EXISTING WELL ⊗ EXISTING WATER VALVE SOILS LINE AND DESCRIPTION PRECAUTIONARY SLOPES 15% - 25% PROHBITIVE SLOPES 25% - UP \_\_\_\_ WETLAND AREA EXISTING STORM STRUCTURES & PIPE EXISTING ROAD CENTERLINE EXISTING CURB LINE L — EXISTING SANITARY LATERAL - EXISTING SANITARY FORCE MAIN — *W*———— EXISTING WATER LINE PROPOSED IRON PIN PROPOSED MONUMENT PROPOSED RIGHT OF WAY LINE • 125.35 PROPOSED SPOT ELEVATION PROPOSED UTILITY POLE ♦ PROPOSED WATER VALVE PROPOSED SIGN PROPOSED STORM STRUCTURES & PIPE 

BEFORE YOU





Pennsylvania One Call System

three working days notice

PA. act 172 of 1986 requires

Serial Numbers:

20201921658

PENNSYLVANIA ACT 187 REQUIREMENTS:

InLand Design, LLC does not guarantee the accuracy of the locations for existing subsurface utility structures shown on the

plans, nor does InLand Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the

location and elevation of all underground utilities and structures

before the start of work.

PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

and expenses arising thereto or resulting therefrom.

<u>COPYRIGHT</u> InLand Design, LLC expressly reserves its common law copyright and all

other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of InLand Design, LLC.

They are to be used only in respect to this project and are neither to be

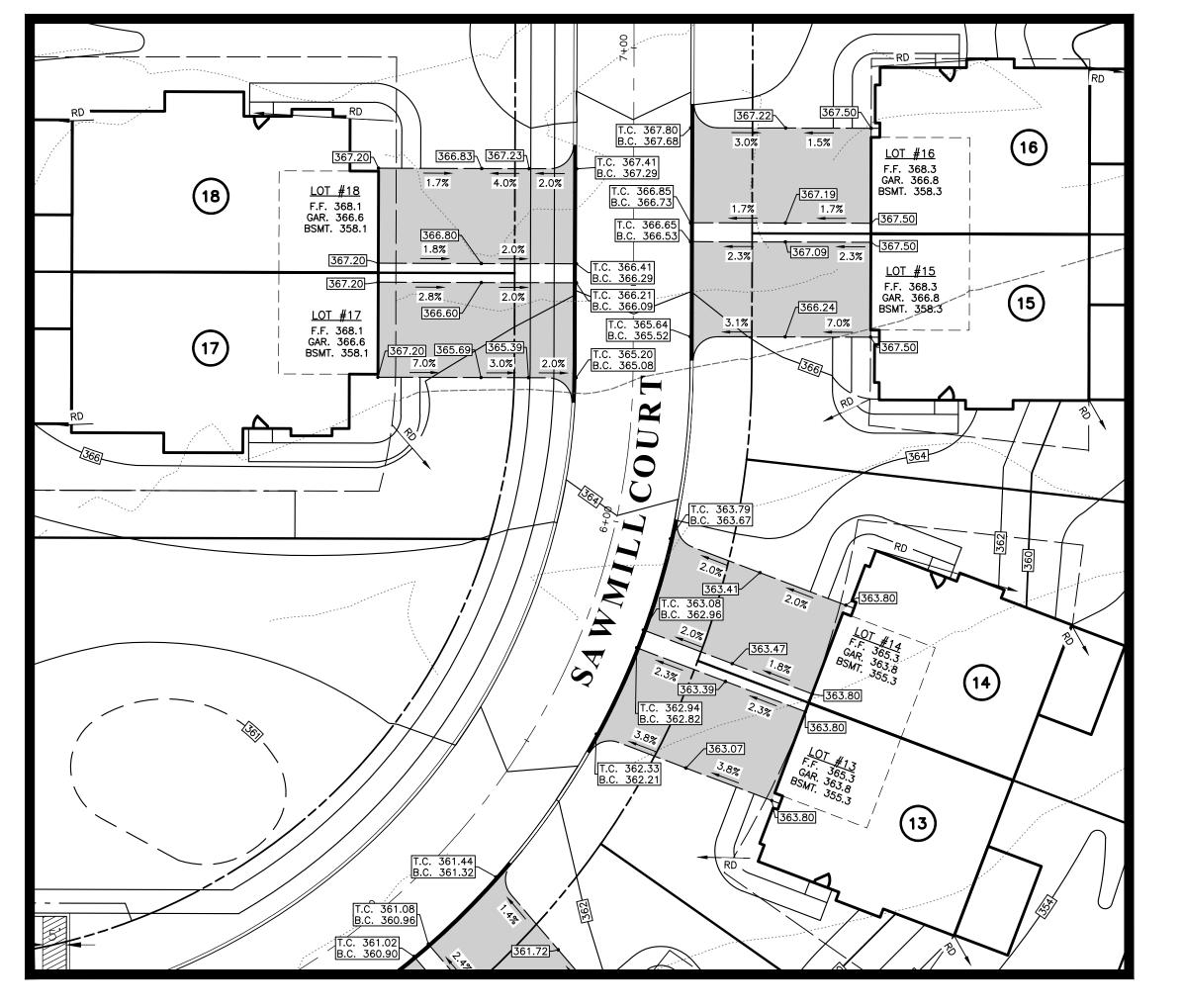
used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of

InLand Design, LLC. Any re-use without written permission, verification,

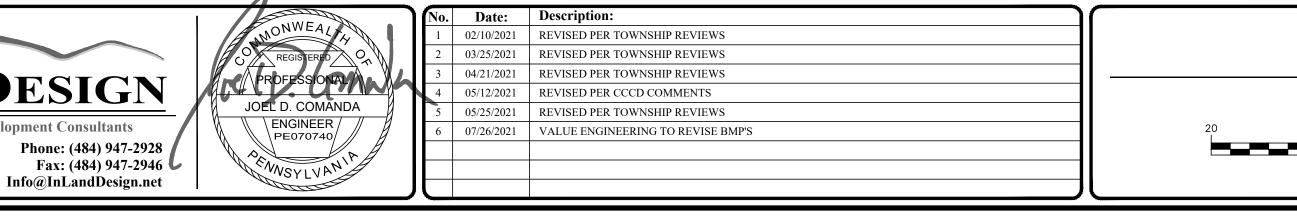
consent or adaptation by InLand Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal

exposure to InLand Design, LLC the third party shall further indemnify

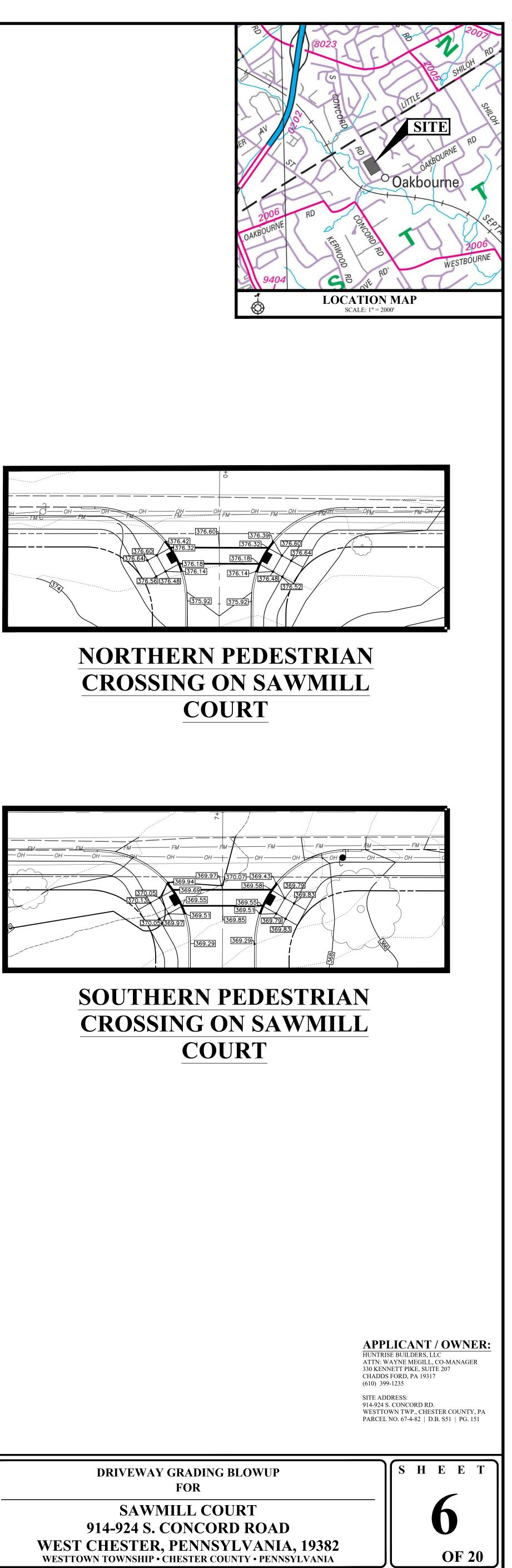
and hold harmless InLand Design, LLC from all claims, damages, losses,

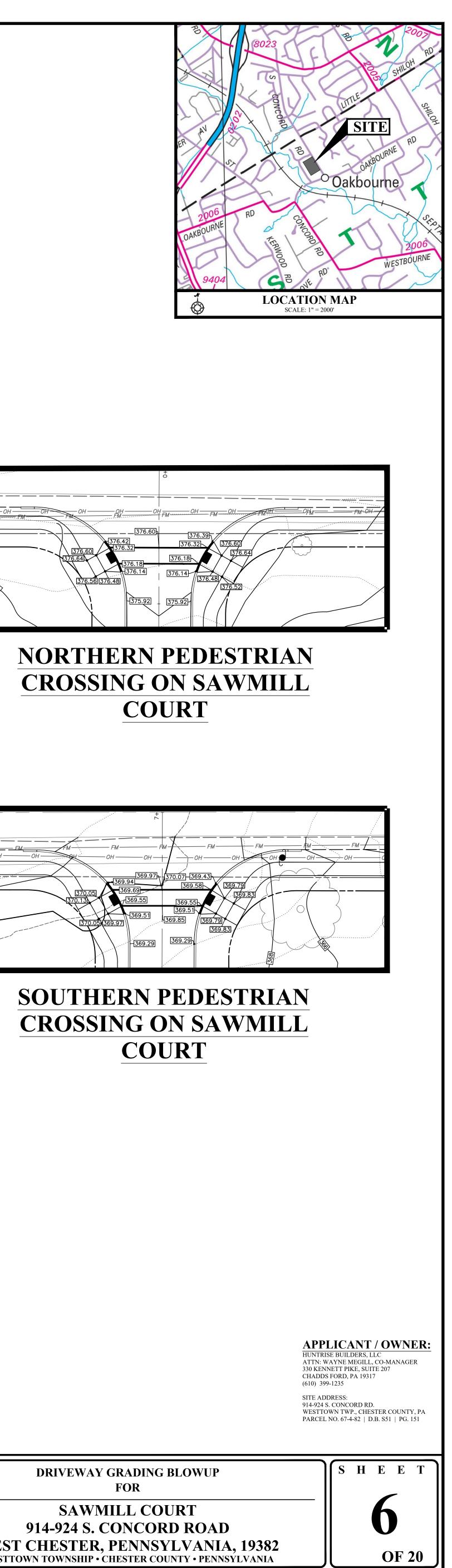


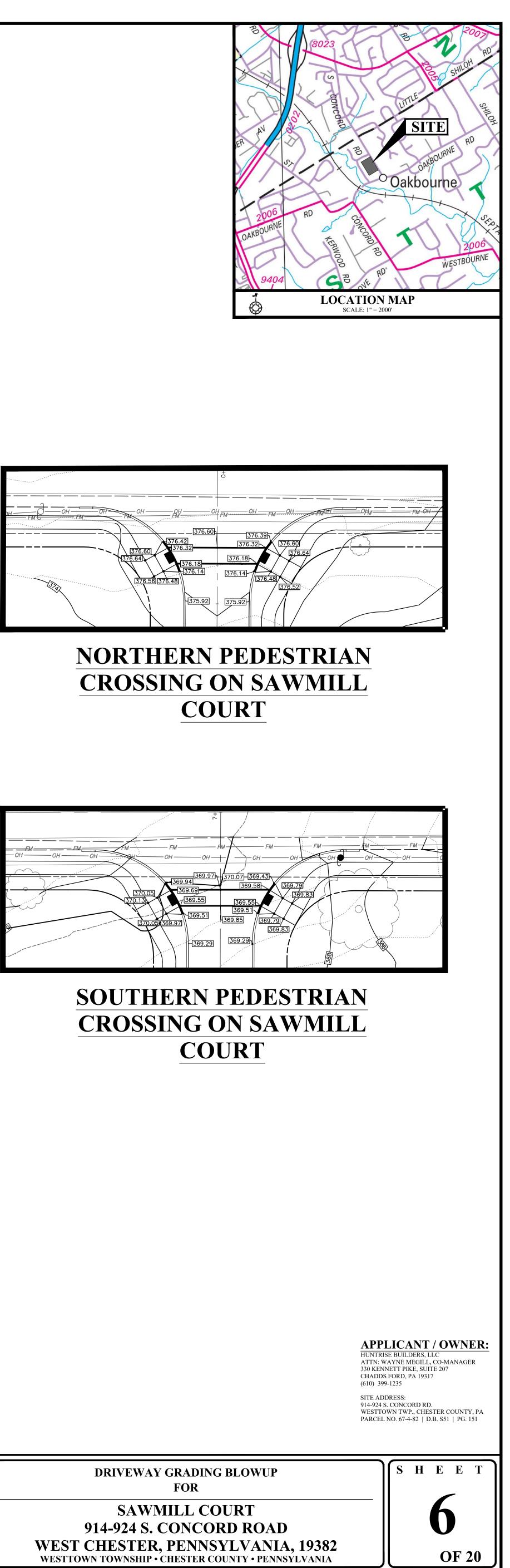
LOTS 5-12

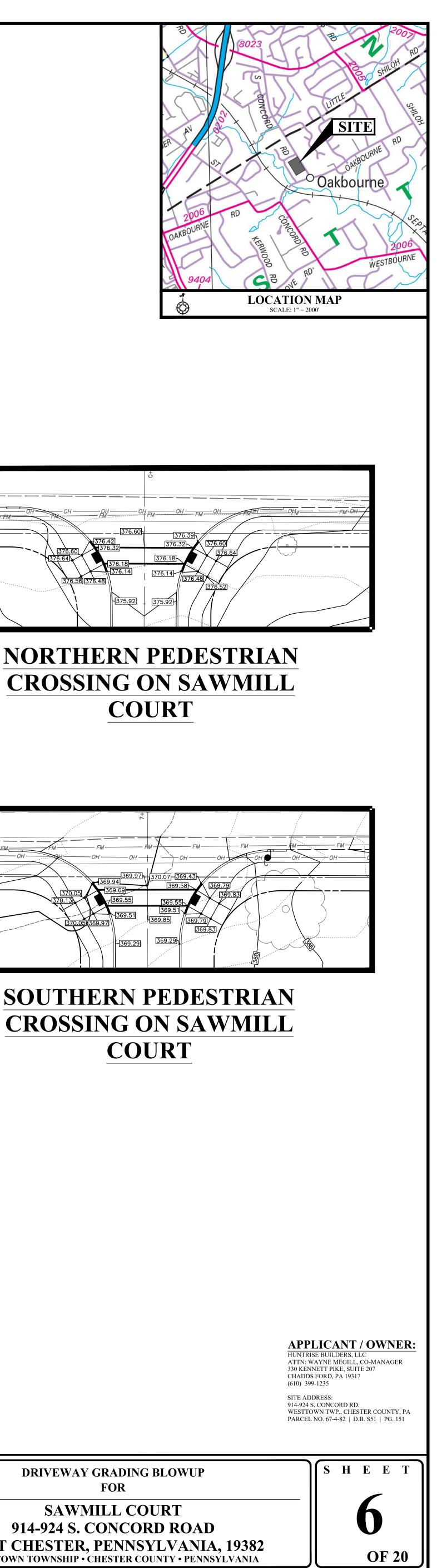


## LOTS 13-18

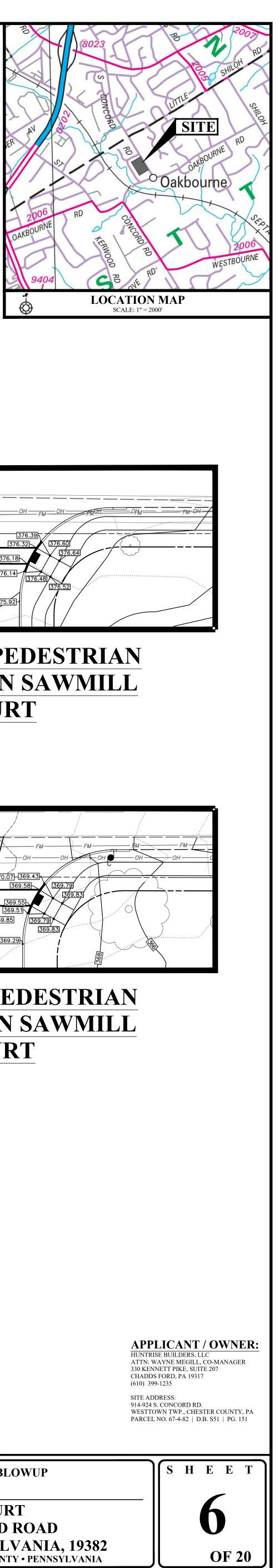




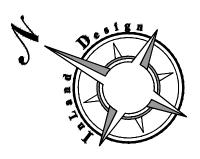


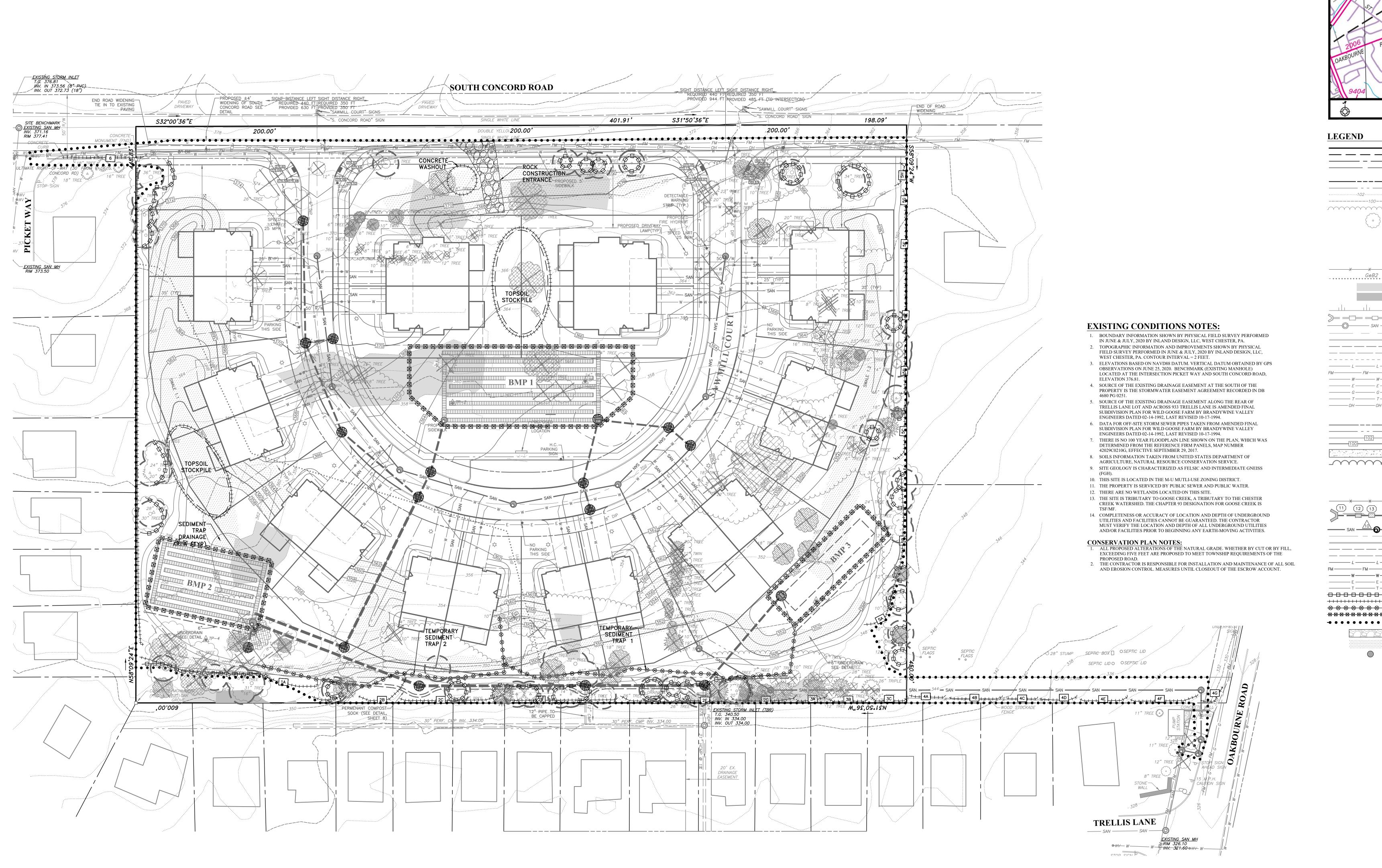


PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 1'' = 20'	DRIVEWAY GRADING BLOWUP FOR
GRAPHIC SCALE 0 10 20 40 80 ( IN FEET ) 1 Inch = 20'	Drawn by: TMW Checked by: JDC Project No. 11541	SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSY



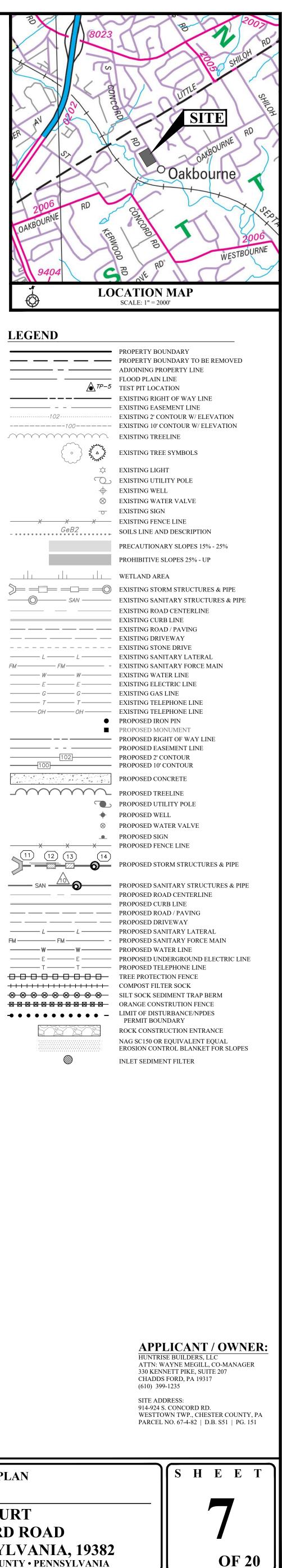
N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\06-GRADING & UTILITY BLOWUP.dwg



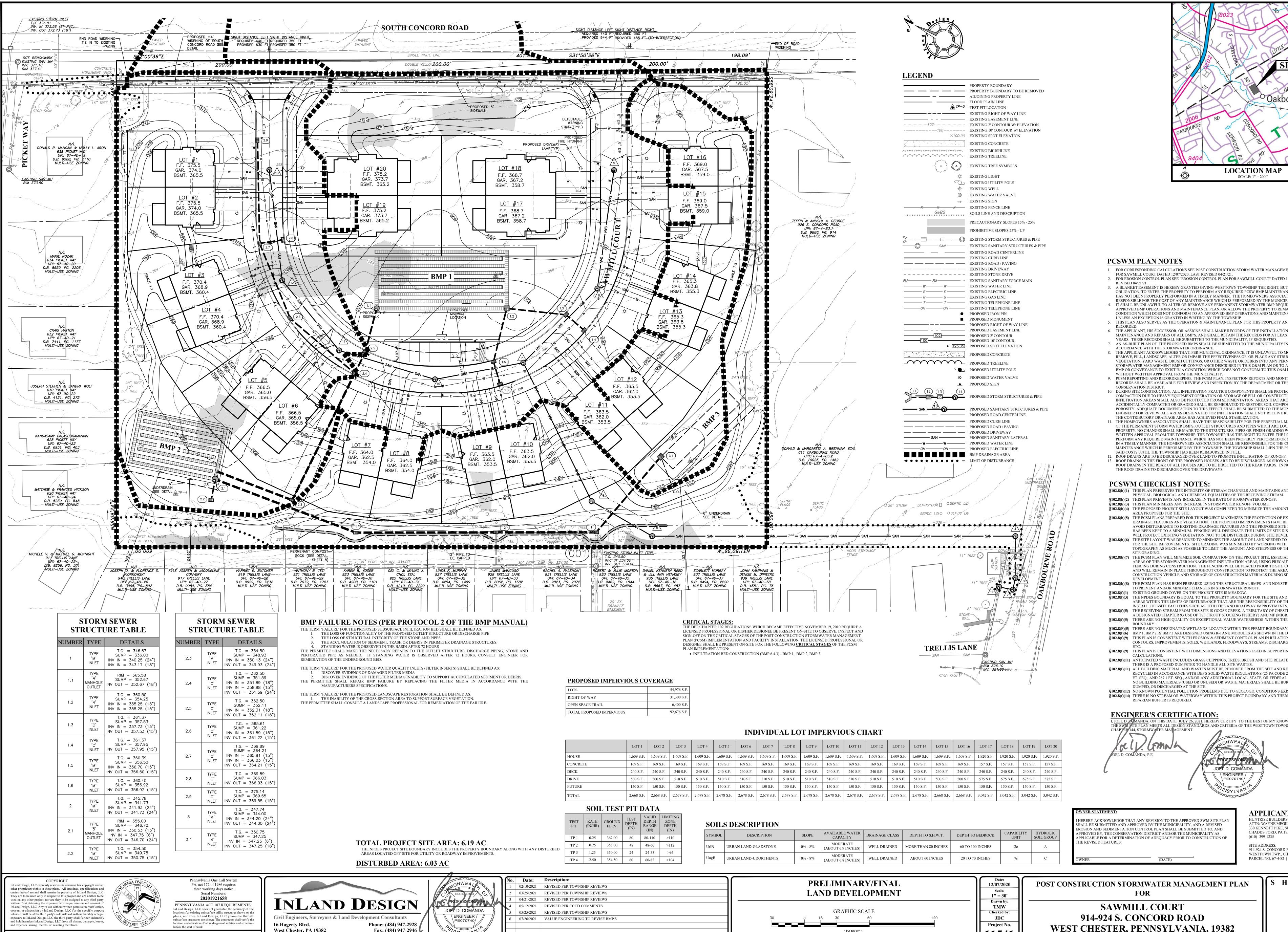


SOIL	5 DESCRIPTION								
SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLIC SOIL GROUP	
UrlB	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	А	
UugB	URBAN LAND-UDORTHENTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	С	
other proprie copies thereoo They are to b used on any o without first InLand Desig consent or ac intended, will exposure to I and hold harm	<u>COPYRIGHT</u> m, LLC expressly reserves its common law copyright an tary rights in these plans. All drawings, specifications of are and shall remain the property of InLand Design, be used only in respect to this project and are neither 1 other project, nor are they to be assigned to any third p obtaining the expressed written permission and conse m, LLC. Any re-use without written permission, verificat laptation by InLand Design, LLC for the specific put l be at the third party's sole risk and without liability or nLand Design, LLC the third party shall further inden mless InLand Design, LLC from all claims, damages, lo arising thereto or resulting therefrom.	s and LLC. to be party nt of thion, pose legal mify	ANNIA ONE CALLS, STEEM	PA. act 1 three w Se: 20 PENNSYLVANIA InLand Design, LLC do locations for existing sub plans, nor does InLan subsurface structures are	nia One Call System 72 of 1986 requires orking days notice rial Numbers: 201921658 ACT 187 REQUIREMENTS: es not guarantee the accuracy of the surface utility structures shown on the d Design, LLC guarantee that all shown. The contractor shall verify the all underground utilities and structures	Civil Enginee 16 Hagerty Bl	rs, Surveyors a		DESI lopment Consu Phone: (484
PARCEL	NO. 67-4-82   D.B. S51   PG. 15	1				West Chester www.InLand	·		Fax: (484 Info@InLand

PROFESSIONAL	No.         Date:         Description:           1         02/10/2021         REVISED PER TOWNSHIP REVIEWS           2         03/25/2021         REVISED PER TOWNSHIP REVIEWS           3         04/21/2021         REVISED PER TOWNSHIP REVIEWS           4         05/12/2021         REVISED PER CCCD COMMENTS	PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 1'' = 30' Drawn by:	CONSERVATION PLAN FOR
JOEL D. COMANDA JOEL D. COMANDA ENGINEER PEO70740 Structure Monte Structure WSY LVAN	4       05/12/2021       REVISED PER CCCD COMMENTS         5       05/25/2021       REVISED PER TOWNSHIP REVIEWS         6       07/26/2021       VALUE ENGINEERING TO REVISE BMP'S         -       -         -       -         -       -	GRAPHIC SCALE 30 0 15 30 60 120 (IN FEET ) 1 Inch = 30'	TMW Checked by: JDC Project No. 11541	SAWMILL COURT 914-924 S. CONCORD ROAI WEST CHESTER, PENNSYLVANL WESTTOWN TOWNSHIP • CHESTER COUNTY • PENN



N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\07-CONSERVATION PLAN.dwg



PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

West Chester, PA 19382 www.InLandDesign.net

Fax: (48 Info@InLand

LOTS	54,976 S.F.
RIGHT-OF-WAY	31,300 S.F.
OPEN SPACE TRAIL	6,400 S.F.
TOTAL PROPOSED IMPERVIOUS	92,676 S.F.

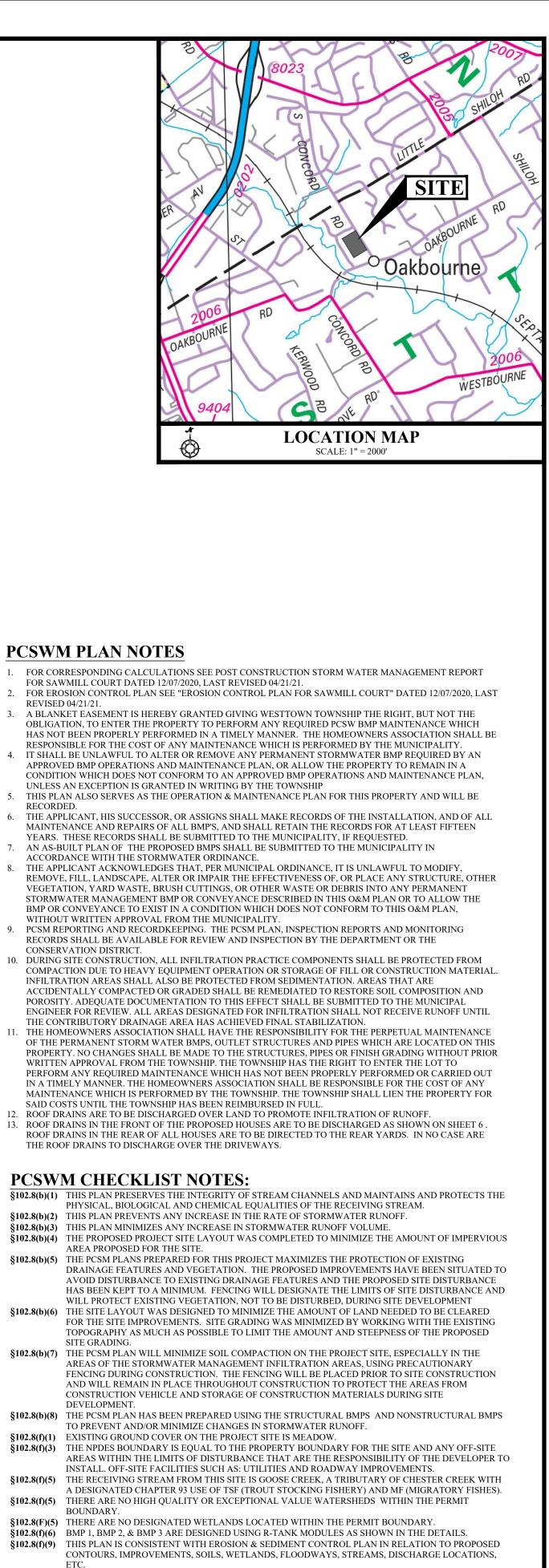
	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20
HOUSE	1,609 S.F.	1,920 S.F.	1,920 S.F.	1,920 S.F.	1,920 S.F.															
CONCRETE	169 S.F.	157 S.F.	157 S.F.	157 S.F.	157 S.F.															
DECK	240 S.F.																			
DRIVE	500 S.F.	500 S.F.	510 S.F.	500 S.F.	500 S.F.	575 S.F.	575 S.F.	575 S.F.	575 S.F.											
FUTURE	150 S.F.																			
TOTAL	2,668 S.F.	2,668 S.F.	2,678 S.F.	2,668 S.F.	2,668 S.F.	3,042 S.F.	3,042 S.F.	3,042 S.F.	3,042 S.F.											

	TEST PIT	RATE (IN/HR)	GROUND ELEV.	DEPTH (IN)	DEPTH RANGE	ZONE DEPTH	SOIL	S DESCRIPTION	
ISTURBED	TP 1	0.25	362.00	80	(IN) 80-110	(IN) >110	SYMBOL	DESCRIPTION	
	TP 2	0.25	358.00	48	48-60	>112	UrlB	URBAN LAND-GLADSTONE	
	TP 3	1.25	350.00	24	24-33	>95		URBAN LAND-UDORTHENTS	
	TP 4	2.50	354.50	60	60-82	>104	UugB		

I		No.	Date:	Description:	$\square$	
	MONWEAL	1	02/10/2021	REVISED PER TOWNSHIP REVIEWS		
	REGISTERED	2	03/25/2021	REVISED PER TOWNSHIP REVIEWS		
	PROFESSIONAL	3	04/21/2021	REVISED PER TOWNSHIP REVIEWS		
IGN		4	05/12/2021	REVISED PER CCCD COMMENTS		
/	JOEL D. COMÁNDA	5	05/25/2021	REVISED PER TOWNSHIP REVIEWS		
nsultants	ENGINEER PE070740	6	07/26/2021	VALUE ENGINEERING TO REVISE BMP'S	3	30 I
484) 947-2928						
484) 947-2946 🕻	WNSYLVAN					
ndDesign.net	Marson 1					

							SHALL BE SUBMITTED AND APPROVED BY THE MUNICIPALITY, AND EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE SUBMITT
SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLIC SOIL GROUP	APPROVED BY, THE CONSERVATION DISTRICT AND/OR THE MUNICITAPPLICABLE FOR A DETERMINATION OF ADEQUACY PRIOR TO CONS
0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	А	THE REVISED FEATURES.
0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	С	OWNER (DATE)
			•				

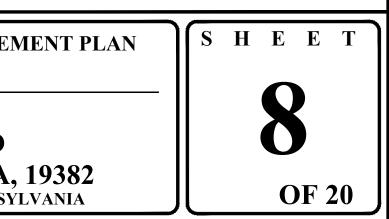
PRELIMINARY/FINAL LAND DEVELOPMENT	Date:     12/07/2020     Scale:     1'' = 30'     Drome here	POST CONSTRUCTION STORMWATER MANAGE FOR
GRAPHIC SCALE 0 15 30 60 120 ( IN FEET ) 1 Inch = 30'	Drawn by: TMW Checked by: JDC Project No. 11541	SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNS



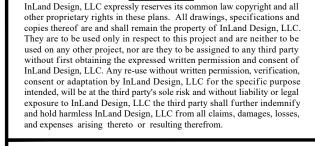
\$102.8(f)(9) THIS PLAN IS CONSISTENT WITH DIMENSIONS AND ELEVATIONS USED IN SUPPORTING \$102.8(f)(11) ANTICIPATED WASTE INCLUDES GRASS CLIPPINGS, TREES, BRUSH AND SITE RELATED REFUSE. §102.8(f)(11) ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET. SEQ. 271. ET. SEQ., AND 287.1 ET. SEQ., AND/OR ANY ADDITIONAL LOCAL, STATE, OR FEDERAL REGULATIONS.. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED,

§102.8(f)(12) NO KNOWN POTENTIAL POLLUTION PROBLEMS DUE TO GEOLOGIC CONDITIONS EXIST ON THIS SITE. **§102.8(f)(14)** THERE IS NO STREAM OR WATERWAY WITHIN THIS PROJECT BOUNDARY AND THEREFORE NO





N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\08-PCSM PLAN.dwg



COPYRIGHT



three working days notice Serial Numbers: 20201921658 PENNSYLVANIA ACT 187 REQUIREMENTS: InLand Design, LLC does not guarantee the accuracy of the locations for existing subsurface utility structures shown on the plans, nor does InLand Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

Pennsylvania One Call System

PA. act 172 of 1986 requires



PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

AFTER EVERY MAJOR STORM EVENTS (> 1 INCH RAINFALL DEPTH) TO ENSURE THAT THEY ARE WORKING

- REPAIRED OR REPLACED.
- OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE

- BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS. IF ACCESS IS NEEDED, USE OF PERMEABLE, TURF REINFORCEMENT SHOULD BE CONSIDERED

MAJOR STORM EVENTS (> 1 INCH RAINFALL DEPTH) TO ENSURE THAT THEY ARE WORKING PROPERLY AND

PERMANENT COMPOST SOCK - COMPOST SOCK SHALL BE INSPECTED QUARTERLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENTS (> 1 INCH RAINFALL DEPTH) TO ENSURE THAT IT IS WORKING

COVER IS < 80%, THE SOCK SHALL BE REPAIRED OR REPLACED.

FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING DESCRIBED IN EACH STAGE.

SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE COUNTY CONSERVATION DISTRICT, THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON SITE PRE-CONSTRUCTION MEETING. THE PROFESSIONAL DESIGN ENGINEER, GEOTECHNICAL ENGINEER, SOILS PROFESSIONAL, AND/OR DESIGNEE MUST BE PRESENT ON-SITE FOR INSPECTIONS OF THE OVERALL FUNCTIONALITY OF THE STORMWATER BMPS AS WELL AS FOR THE SPECIFIC STAGES

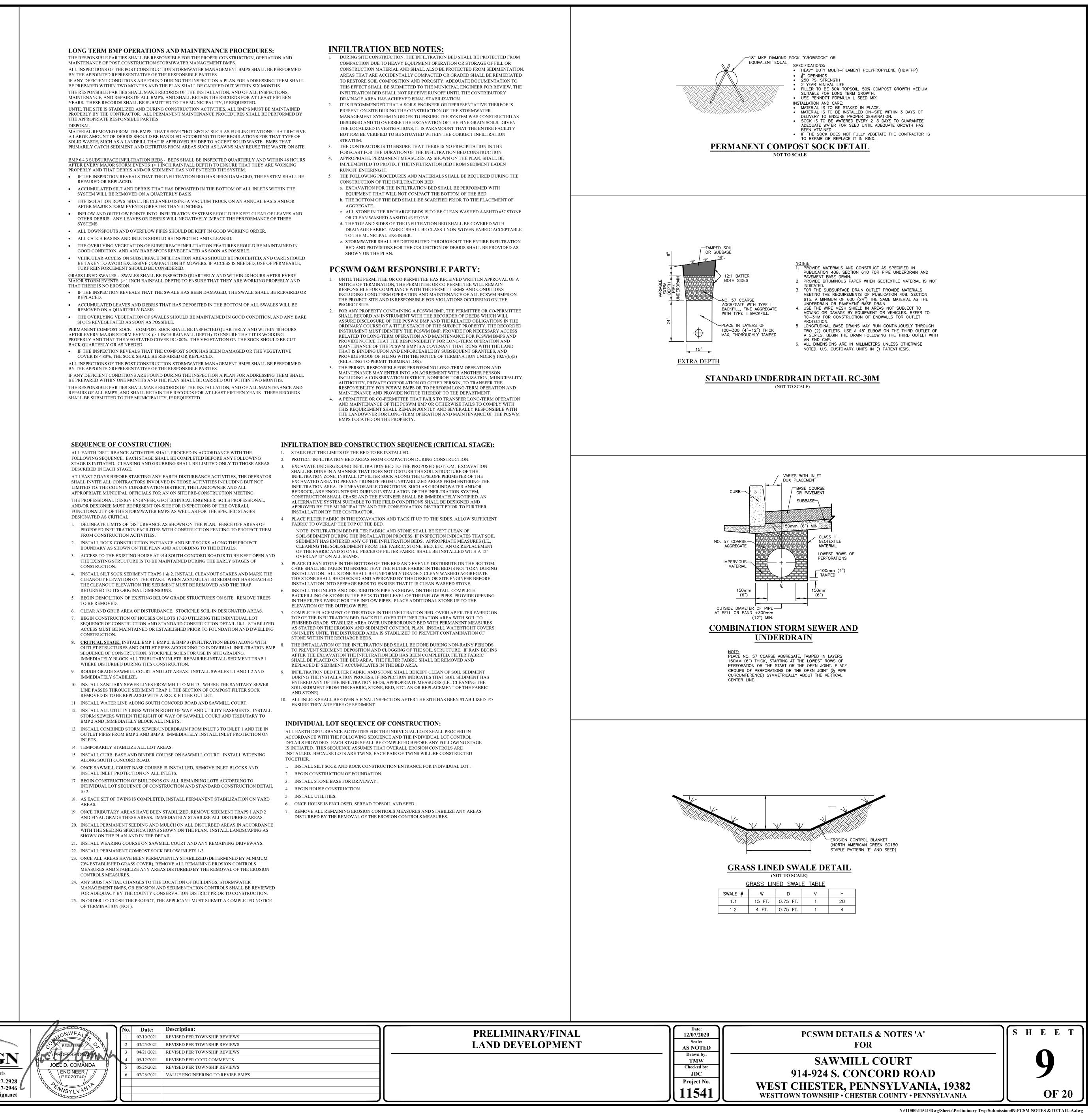
- FROM CONSTRUCTION ACTIVITIES.
- BOUNDARY AS SHOWN ON THE PLAN AND ACCORDING TO THE DETAILS
- THE EXISTING STRUCTURE IS TO BE MAINTAINED DURING THE EARLY STAGES OF CONSTRUCTION.
- THE CLEANOUT ELEVATION THE SEDIMENT MUST BE REMOVED AND THE TRAP RETURNED TO ITS ORIGINAL DIMENSIONS.
- SEQUENCE OF CONSTRUCTION. STOCKPILE SOILS FOR USE IN SITE GRADING. IMMEDIATELY BLOCK ALL TRIBUTARY INLETS. REPAIR/RE-INSTALL SEDIMENT TRAP 1
- IMMEDIATELY STABILIZE
- REMOVED IS TO BE REPLACED WITH A ROCK FILTER OUTLET.
- BMP 2 AND IMMEDIATELY BLOCK ALL INLETS.
- INLETS.
- ALONG SOUTH CONCORD ROAD.
- 10-2.
- AREAS.
- AND FINAL GRADE THESE AREAS. IMMEDIATELY STABILIZE ALL DISTURBED AREAS. SHOWN ON THE PLAN AND IN THE DETAIL.
- 70% ESTABLISHED GRASS COVER). REMOVE ALL REMAINING EROSION CONTROLS MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROLS MEASURES.
- FOR ADEQUACY BY THE COUNTY CONSERVATION DISTRICT PRIOR TO CONSTRUCTION.

- STRATUM.
- RUNOFF ENTERING IT.
- CONSTRUCTION OF THE INFILTRATION BED:
- AGGREGATE.
- OR CLEAN WASHED AASHTO #3 STONE.
- TO THE MUNICIPAL ENGINEER.
- SHOWN ON THE PLAN.
- PROJECT SITE.
- (RELATING TO PERMIT TERMINATION).
- BMPS LOCATED ON THE PROPERTY.

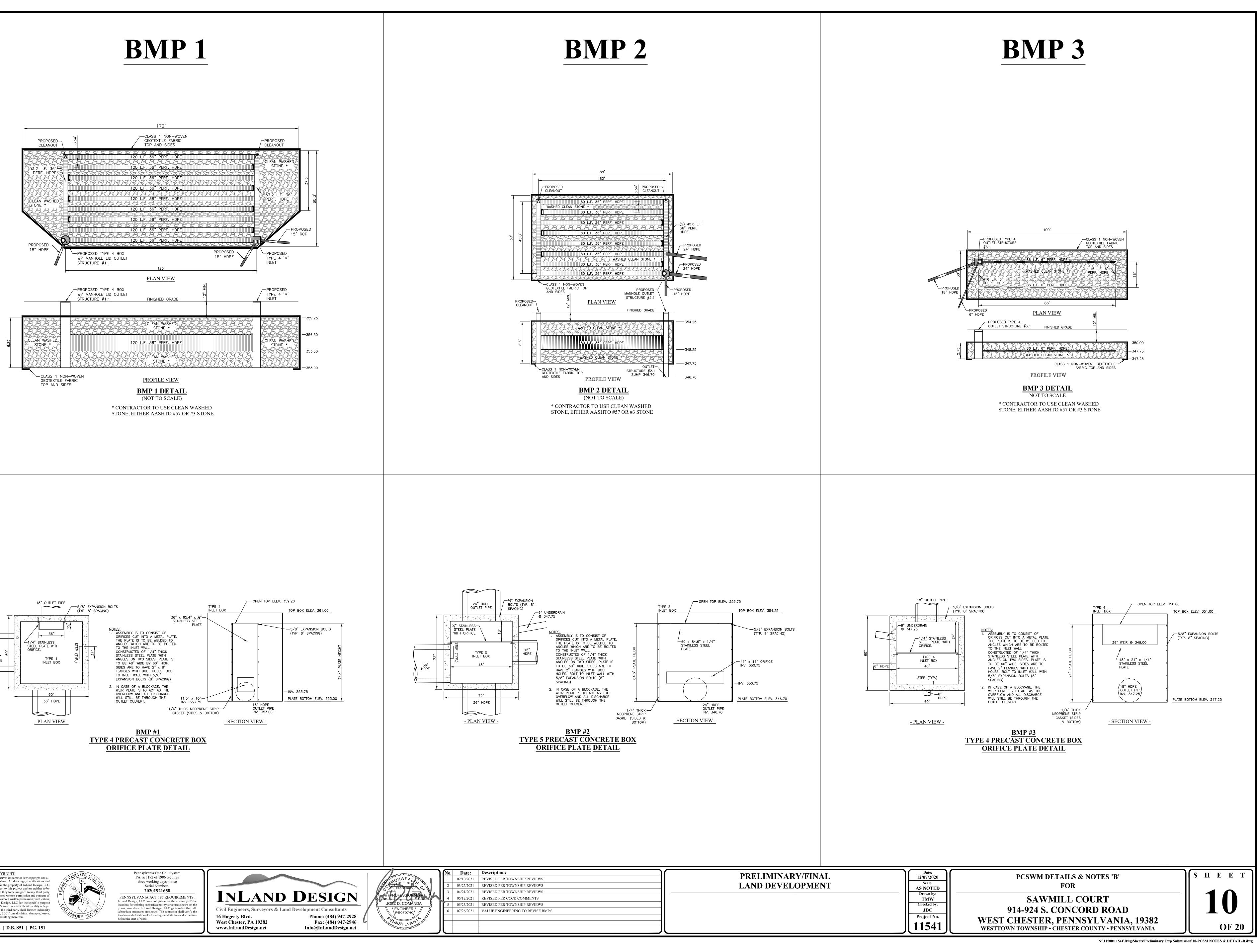
- INSTALLATION BY THE CONTRACTOR.
- OVERLAP 12" ON ALL SEAMS.
- ELEVATION OF THE OUTFLOW PIPE.
- STONE WITHIN THE RECHARGE BEDS.
- AND STONE).

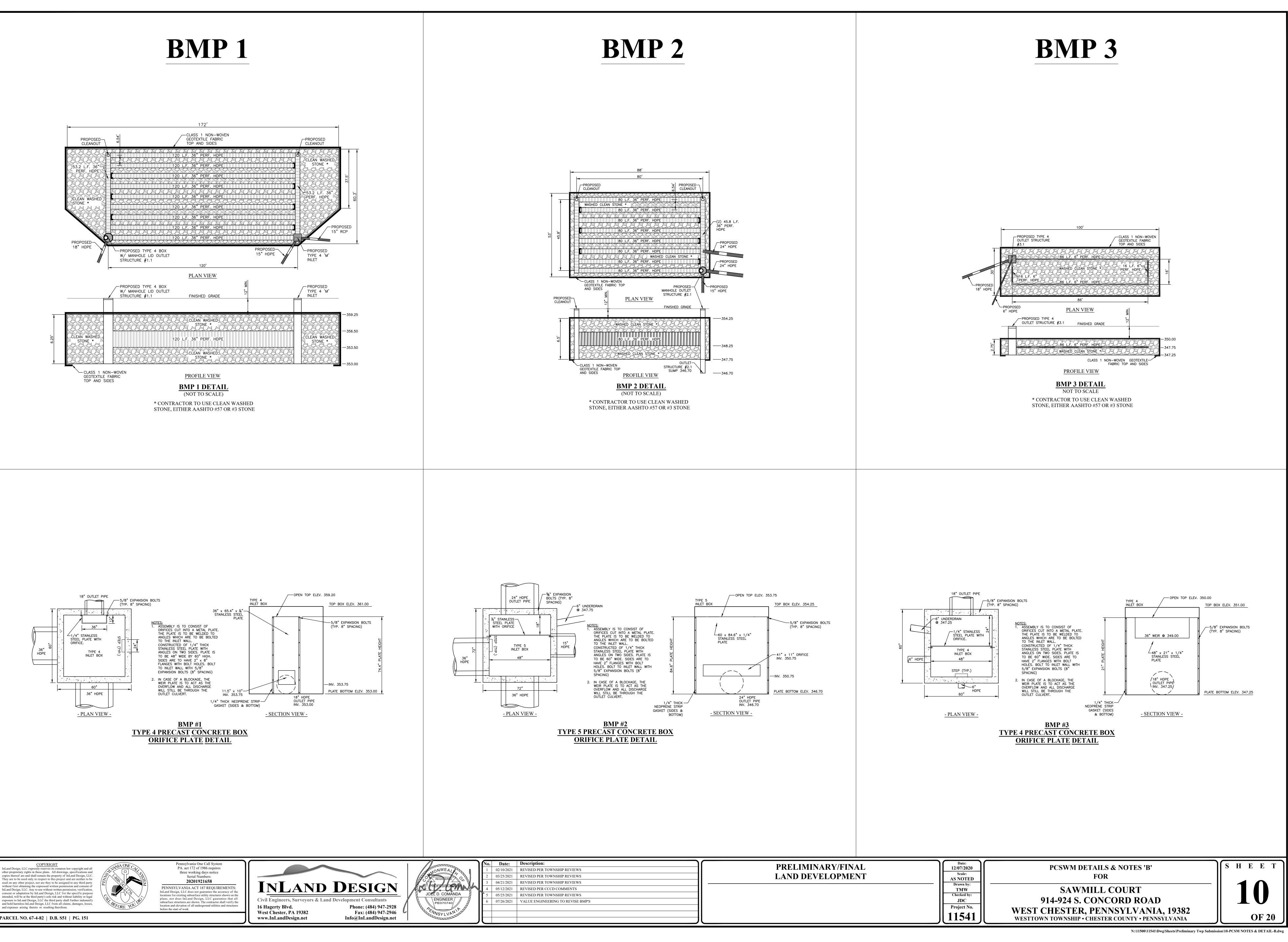
## INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION:

- 2. BEGIN CONSTRUCTION OF FOUNDATION.

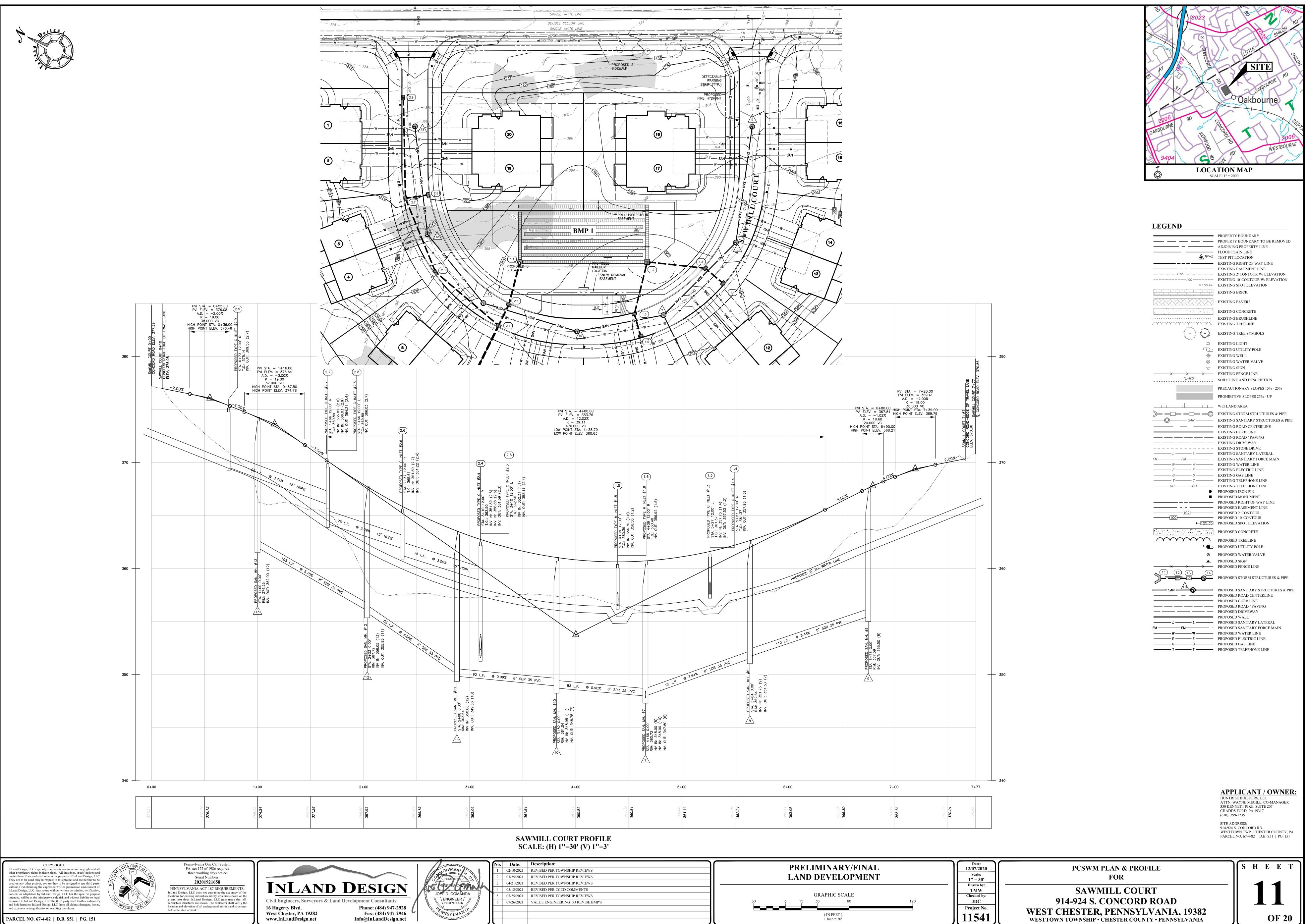








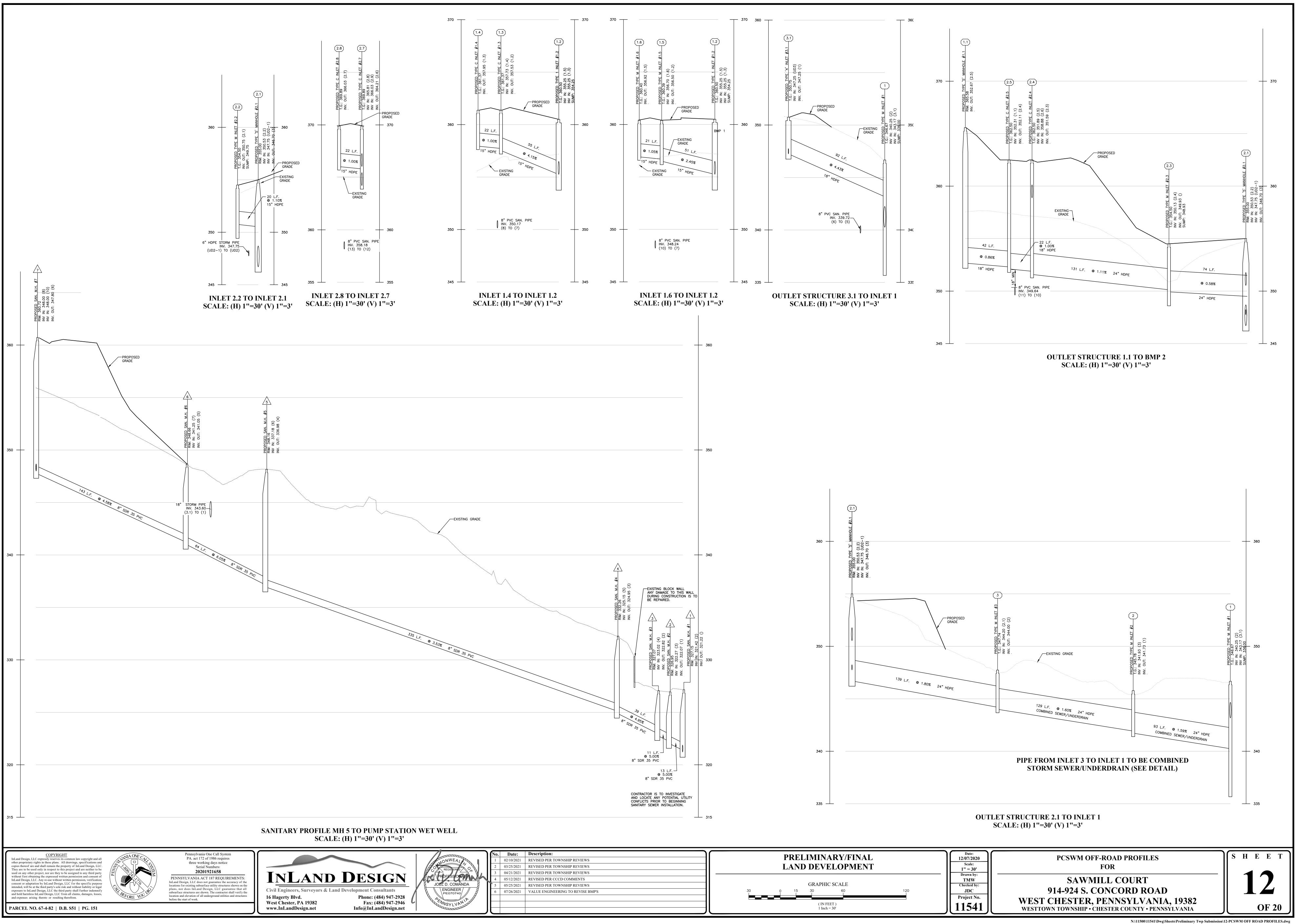
PARCEL NO. 67-4-82 | D.B. S51 | PG. 151



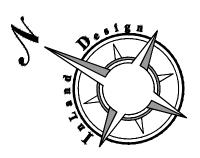
PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 1'' = 30'	PCSWM PLAN & PROFILE FOR
GRAPHIC SCALE	- Drawn by: - TMW Checked by: JDC Project No.	SAWMILL COURT 914-924 S. CONCORD ROAD
( IN FEET ) 1 Inch = 30'	11541	WEST CHESTER, PENNSYLVANIA WESTTOWN TOWNSHIP • CHESTER COUNTY • PENN

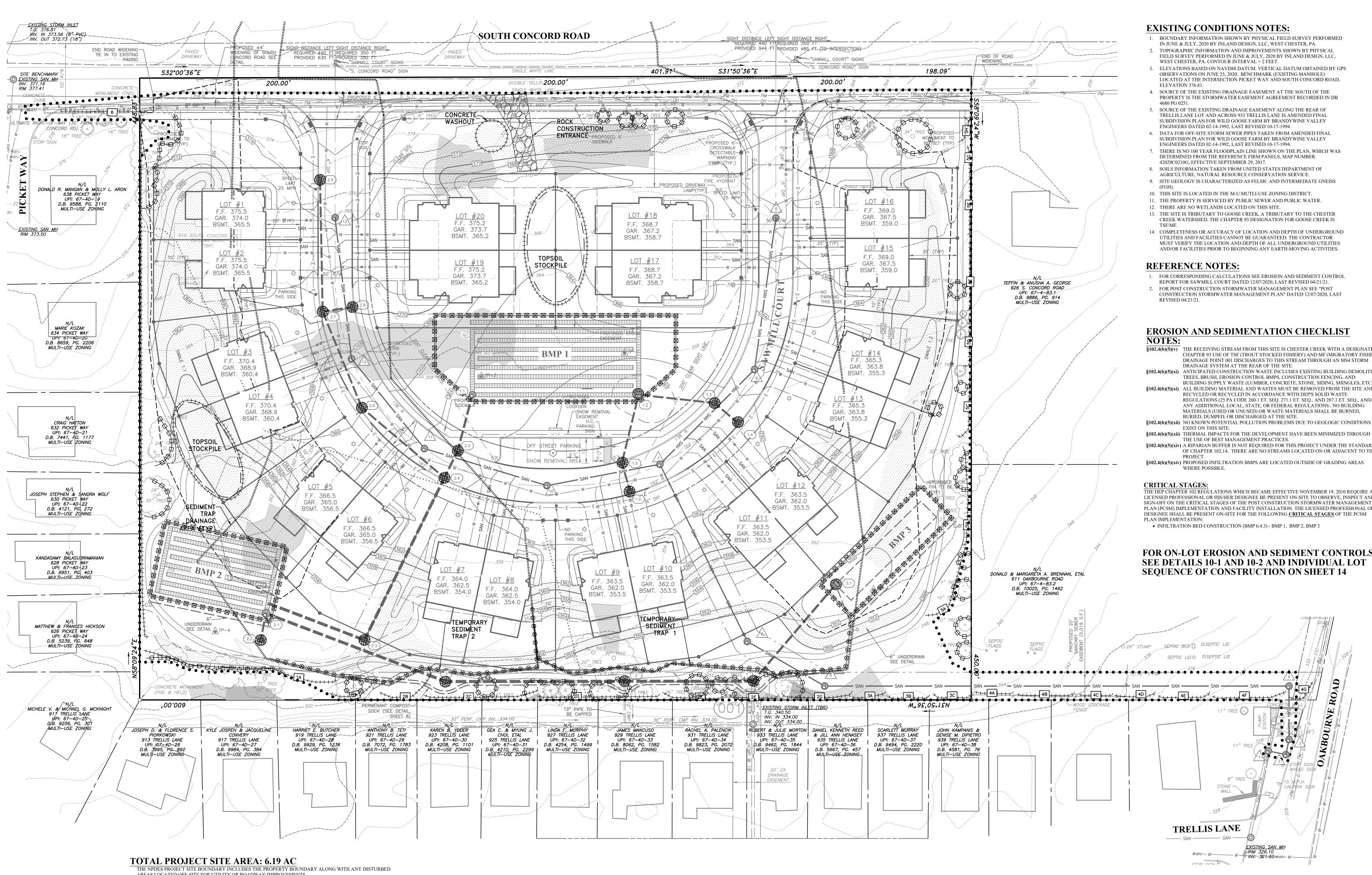
	PROPERTY BOUNDARY
	PROPERTY BOUNDARY TO BE REMOVED
	ADJOINING PROPERTY LINE
<i>TP–5</i>	FLOOD PLAIN LINE
	TEST PIT LOCATION EXISTING RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
2	EXISTING 2' CONTOUR W/ ELEVATION
100	EXISTING 10' CONTOUR W/ ELEVATION
×100.00	EXISTING SPOT ELEVATION
	EXISTING BRICK
	EXISTING PAVERS
	EXISTING CONCRETE
	EXISTING BRUSHLINE EXISTING TREELINE
- muy	EXISTING TREELINE
Color Start	EXISTING TREE SYMBOLS
¢	EXISTING LIGHT
Ú	EXISTING UTILITY POLE
ф Э	EXISTING WELL
$\otimes$	EXISTING WATER VALVE
<u> </u>	EXISTING SIGN
GeB2	EXISTING FENCE LINE SOILS LINE AND DESCRIPTION
• • • • • • • • • • • • • •	
	PRECAUTIONARY SLOPES 15% - 25%
	PROHIBITIVE SLOPES 25% - UP
	WETLAND AREA
	EXISTING STORM STRUCTURES & PIPE
— SAN ———	EXISTING SANITARY STRUCTURES & PIP
	EXISTING ROAD CENTERLINE EXISTING CURB LINE
	EXISTING ROAD / PAVING
	EXISTING DRIVEWAY
	EXISTING STONE DRIVE
<i>L</i>	EXISTING SANITARY LATERAL
=M	EXISTING SANITARY FORCE MAIN EXISTING WATER LINE
——————————————————————————————————————	EXISTING ELECTRIC LINE
<i>G</i>	EXISTING GAS LINE
<i>T</i>	EXISTING TELEPHONE LINE
OH	EXISTING TELEPHONE LINE PROPOSED IRON PIN
	PROPOSED MONUMENT
	PROPOSED RIGHT OF WAY LINE
	PROPOSED EASEMENT LINE
102	PROPOSED 2' CONTOUR PROPOSED 10' CONTOUR
<ul> <li>125.35</li> </ul>	PROPOSED SPOT ELEVATION
	PROPOSED CONCRETE
YYYY	PROPOSED TREELINE
	PROPOSED UTILITY POLE
$\otimes$	PROPOSED WATER VALVE
	PROPOSED SIGN
- <u>×</u> ×	PROPOSED FENCE LINE
	PROPOSED STORM STRUCTURES & PIPE
	PROPOSED SANITARY STRUCTURES & PI PROPOSED ROAD CENTERLINE
	PROPOSED ROAD CENTERLINE PROPOSED CURB LINE
·	PROPOSED ROAD / PAVING
	PROPOSED DRIVEWAY
	PROPOSED WALL
L	PROPOSED SANITARY LATERAL
FM —	PROPOSED SANITARY FORCE MAIN PROPOSED WATER LINE
—— Е ———	PROPOSED WATER LINE PROPOSED ELECTRIC LINE
G	PROPOSED GAS LINE
т	PROPOSED TELEPHONE LINE

N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\11-PCSM PLAN & PROFILE.dwg



	REGISTERED On A		Date:Description:02/10/2021REVISED PER TOWNSHIP REVIEWS03/25/2021REVISED PER TOWNSHIP REVIEWS04/21/2021REVISED PER TOWNSHIP REVIEWS		PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 1'' = 30' Drawn by:	PCSWM OFF-ROAD PROFILES FOR
<b>IGN</b> sultants 84) 947-2928 84) 947-2946 ndDesign.net	PROFESSIONAL IOEL D. COMANDA ENGINEER PE070740 SELVINIA	4 5 6	05/12/2021       REVISED PER CCCD COMMENTS         05/25/2021       REVISED PER TOWNSHIP REVIEWS         07/26/2021       VALUE ENGINEERING TO REVISE BMP'S	30	GRAPHIC SCALE 0 15 30 60 120 ( IN FEET ) 1 Inch = 30'	TMW Checked by: JDC Project No. 11541	SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANL WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNS



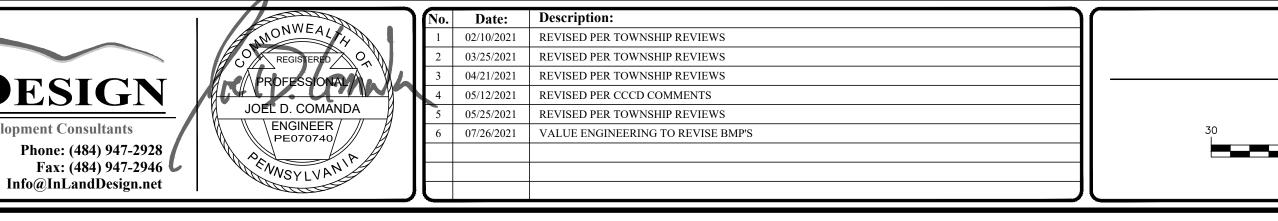


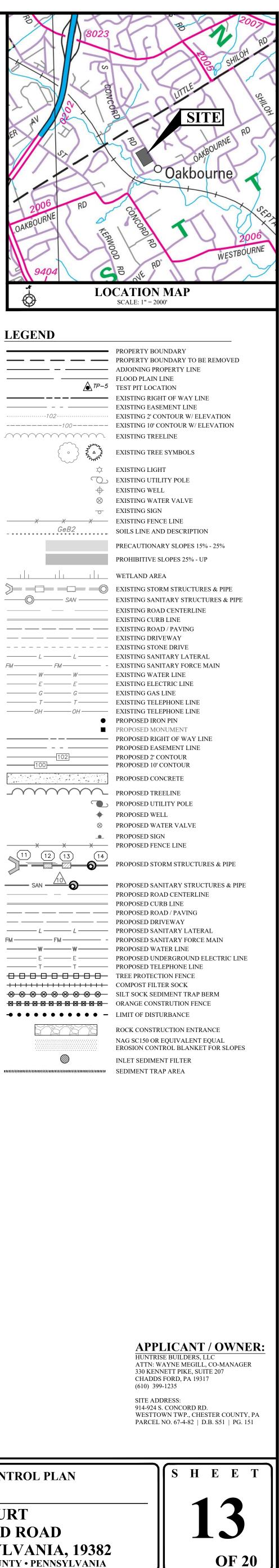
## AREAS LOCATED OFF-SITE FOR UTILITY OR ROADWAY IMPROVEMENTS. **DISTURBED AREA: 6.03 AC**

## SOILS DESCRIPTION

SOIL	S DESCRIPTION								
SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLIC SOIL GROUP	
UrlB	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	А	
UugB	URBAN LAND-UDORTHENTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	С	
other propriet copies thereof They are to b used on any o without first t InLand Design consent or ad intended, will exposure to Ir and hold harm	COPYRIGHT in, LLC expressly reserves its common law copyright and tary rights in these plans. All drawings, specifications if are and shall remain the property of InLand Design, be used only in respect to this project and are neither 1 other project, nor are they to be assigned to any third p obtaining the expressed written permission and conse in, LLC. Any re-use without written permission, verifici- daptation by InLand Design, LLC for the specific pur- be at the third party's sole risk and without liability or nLand Design, LLC the third party shall further inden nless InLand Design, LLC from all claims, damages, loc arising thereto or resulting therefrom.	d all a and LLC. barty nt of titon, pose legal mify	ANTIA ONE CALL STERM	PA. act 1 three w Se 20 PENNSYLVANIA InLand Design, LLC do locations for existing sub plans, nor does InLan subsurface structures are	nia One Call System 72 of 1986 requires orking days notice rial Numbers: 201921658 ACT 187 REQUIREMENTS: es not guarantee the accuracy of the surface utility structures shown on the d Design, LLC guarantee that all shown. The contractor shall verify the all underground utilities and structures	Civil Engineer			
PARCEL	NO. 67-4-82   D.B. 851   PG. 15	1				www.InLandl			Info@InLan

PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

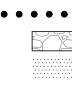




# LEGEND

			_	_
				_[
- A*	.4	<u>-</u> [1(	00	4.
				<u></u>
	Y	Y	Y	γ

Y
SAN
FM F
Е тт
<del></del>
<u> </u>



§102.4(b)(5)(v)	THE RECEIVING STREAM FROM THIS SITE IS CHESTER CREEK WITH A DESIGNATED
	CHAPTER 93 USE OF TSF (TROUT STOCKED FISHERY) AND MF (MIGRATORY FISHES)
	DRAINAGE POINT 001 DISCHARGES TO THIS STREAM THROUGH AN MS4 STORM
	DRAINAGE SYSTEM AT THE REAR OF THE SITE.
§102.4(b)(5)(xi)	ANTICIPATED CONSTRUCTION WASTE INCLUDES EXISTING BUILDING DEMOLITION,
•	TREES, BRUSH, EROSION CONTROL BMPS, CONSTRUCTION FENCING, AND
	BUILDING SUPPLY WASTE (LUMBER, CONCRETE, STONE, SIDING, SHINGLES, ETC.).
§102.4(b)(5)(xi)	ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND
• • • • • • • • •	RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE
	REGULATIONS (25 PA CODE 260.1 ET. SEQ. 271.1 ET. SEQ., AND 287.1 ET. SEQ., AND/OR
	ANY ADDITIONAL LOCAL, STATE, OR FEDERAL REGULATIONS NO BUILDING
	MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED,
	BURIED, DUMPED, OR DISCHARGED AT THE SITE.
§102.4(b)(5)(xii)	NO KNOWN POTENTIAL POLLUTION PROBLEMS DUE TO GEOLOGIC CONDITIONS
	EXIST ON THIS SITE.
§102.4(b)(5)(xii)	THERMAL IMPACTS FOR THE DEVELOPMENT HAVE BEEN MINIMIZED THROUGH
	THE USE OF BEST MANAGEMENT PRACTICES.
\$102.4(b)(5)(xiv)	A RIPARIAN BUFFER IS NOT REQUIRED FOR THIS PROJECT UNDER THE STANDARDS
0 (////////////////////////////////////	OF CHAPTER 102.14. THERE ARE NO STREAMS LOCATED ON OR ADJACENT TO THIS
	PROJECT.
\$102.4(b)(5)(xiv)	PROPOSED INFILTRATION BMPS ARE LOCATED OUTSIDE OF GRADING AREAS
5 ····(~)(-)(m))	WHERE POSSIBLE

LICENSED PROFESSIONAL OR HIS/HER DESIGNEE BE PRESENT ON-SITE TO OBSERVE, INSPECT AND SIGN-OFF ON THE CRITICAL STAGES OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION AND FACILITY INSTALLATION. THE LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON-SITE FOR THE FOLLOWING **CRITICAL STAGES** OF THE PCSM

## FOR ON-LOT EROSION AND SEDIMENT CONTROLS SEE DETAILS 10-1 AND 10-2 AND INDIVIDUAL LOT

PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 1'' = 30'	EROSION & SEDIMENT CONTROL PLA FOR
GRAPHIC SCALE 0 15 30 60 120 ( IN FEET ) 1 Inch = 30'	Drawn by: TMW Checked by: JDC Project No. 11541	SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSY

N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\13-EROSION & SEDIMENT CONTROL PLAN.dwg

## STANDARD E&S PLAN NOTES ALL FARTH DISTURBANCES. INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN

- ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES. INCLUDING CLEARING AND GRUBBING THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED. THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES. ALL FARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE
- PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP. EXCEPT WHERE NOTED. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION,
- ROOTS AND OTHER OBJECTIONABLE MATERIAL. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE, GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEOUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR
- FLATTER . IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT
- 0. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEO. 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. 1. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION
- DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED. 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN
- THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. 14. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS (SPECIFY LOT NUMBERS) ONTO (SPECIFY ROAD NAMES).
- 15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING. RESEEDING. REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED. 16. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- 7. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. 18. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. 19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES -- 6 TO 12 INCHES ON COMPACTED SOILS -- PRIOR TO PLACEMENT OF TOPSOIL, AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4
- INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL 20. ALL FILLS SHALL BE COMPACTED AS REOUIRED TO REDUCE EROSION. SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS. 22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. 23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- 24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES. 25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE
- STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD. 26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN
- 7. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- 28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM. PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS. 29. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY
- STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT. 30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION
- PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS 1. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON. 32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A
- FINAL INSPECTION 33. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

## SEEDING, MULCHING AND SODDING:

ALL SEEDING, MULCHING AND SODDING WILL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MONTGOMERY COUNTY CONSERVATION DISTRICT. ALL SLOPES STEEPER THAN 3:1 AND ALL SWALES WILL BE STABILIZED WITH EITHER SOD OR PERMANENT SEEDING AND MULCH ANCHORED IN PLACE WITH AN EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S-75 OR EQUAL). NO PROPOSED SLOPES WILL BE STEEPER THAN 2:1 ALL DISTURBED AREAS WILL BE STABILIZED IMMEDIATELY WITH EITHER TEMPORARY OR PERMANENT SEEDING AND MULCH. HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF AT LEAST 3.0 TONS PER ACRE, ALL SEEDED AREAS AND ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND FOLLOWING EACH RAIN UNTIL PERMANENT COVER IS ESTABLISHED.

SHOULD UNFORESEEN EROSIVE CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND/OR OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS: TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION: SUBPART C. PROTECTION OF NATURAL RESOURCES; ARTICLE III, WATER RESOURCES; CHAPTER 102, EROSION CONTROL

A COPY OF THESE EROSION AND SEDIMENT CONTROL PLANS MUST BE POSTED AT THE CONSTRUCTION SITE IN ACCORDANCE WITH STATE LAW.

SEDIMENT BARRIERS (I.E., COMPOST FILTER SOCKS) SHALL BE INSTALLED BELOW ALL AREAS DISTURBED FOR THE ESTABLISHMENT OF LAWNS AND SHALL BE MAINTAINED UNTIL THE LAWN HAS BEEN PERMANENTLY STABILIZED.

SECTION 102.22(b) - TEMPORARY SITE STABILIZATION PON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OF ANY STAGE OR ASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WIL D 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWIS CTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH TURBANCE ACTIVITIES.

- 1. E&S BMPS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPS.
- 2. ANY DISTURBED AREA THAT IS NOT AT FINAL GRADE OR WHERE THERE HAS BEEN A CESSATION OF EARTHMOVING ACTIVITY SHALL BE PLANTED WITH A TEMPORARY SEED MIX AND MULCHED. AREAS THAT ARE TO BE EXPOSED FOR MORE THAN ONE YEAR SHALL BE SEEDED WITH PERMANENT SEED MIX AND MULCHED. SEEDBED
- PREPARATION AND SEEDING METHODS: (1) LIME - AGRICULTURAL GRADE LIMESTONE
- A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE: LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.) (2) FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20
- A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE: FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.) TEMPORARY SEED MIXTUR
- ANNUAL RYEGRASS IS A QUICK GERMINATING SPECIES OF GRASS, WHICH CAN BE SEEDED DURING MOST TIME PERIODS. IF YOU PLAN TO LEAVE THE PROJECT DISTURBED AND INACTIVE FOR MORE THAN TWENTY (20) DAYS, TEMPORARY SEEDING SHALL BE APPLIED IMMEDIATELY. IF THE SITE IS TO REMAIN INACTIVE FOR ONE YEAR OR MORE A PERMANENT SEED MIX IS NECESSARY ANNUAL RYEGRASS = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
- ALL AREAS THAT ARE SEEDED SHALL BE MULCHED. MULCHING MAY BE USED AS A TEMPORARY STABILIZATION IN SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW OR HAY STRAW OR HAY MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE: STRAW/HAY = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)

hLand Design, LLC expressly reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of InLand Design, LLC hey are to be used only in respect to this project and are neither to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of nLand Design, LLC. Any re-use without written permission, verification consent or adaptation by InLand Design, LLC for the specific purpose ntended, will be at the third party's sole risk and without liability or legal exposure to InLand Design, LLC the third party shall further indemnify nd hold harmless InLand Design, LLC from all claims, damages, losses, and expenses arising thereto or resulting therefrom

COPYRIGHT



three working days notice Serial Numbers: 20201921658 PENNSYLVANIA ACT 187 REQUIREMENTS: InLand Design, LLC does not guarantee the accuracy of the locations for existing subsurface utility structures shown on the plans, nor does InLand Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

Pennsylvania One Call System

PA. act 172 of 1986 requires

- MAINTENANCE OF ALL E&S BMPS SHALL BE RESPONSIBILITY OF THE PROPERTY OWNER.
- FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

## SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES. REFER TO THE SPECIFIC E&S DETAILS FOR ADDITIONAL INFORMATION REGARDING INSTALLATION. CENEDAL E 2.5 DMD INSDECTION 2. MAINTENANCE SCHEDULE

E&S BMP	MAINTENANCE ACTIVITY	INSPECTION SCHEDULE	ADDITIONAL SPECIFICATIONS	
ROCK CONSTRUCTION ENTRANCE	MAINTAIN THICKNESS TO SPECIFIED DIMENSIONS REMOVE SEDIMENT DEPOSITED ON PUBLIC ROADWAYS/SIDEWALKS IMMEDIATELY UPON DISCOVERY IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.	INSPECT DAILY	IN HAZARDOUS SITUATIONS WHEN MUD CAUSES SLICK CONDITIONS ON TRAVELED ROADWAYS, PRESSURE WASHING SHALL BE PERFORMED TO THE SATISFACTION OF THE TOWNSHIP. ALL SEDIMENT LADEN WATER GENERATED BY PRESSURE WASHING SHALL BE COLLECTED AND FILTERED THROUGH AN ADEQUATE FILTER CONTROL, SUCH AS A WATER FILTER BAG, PRIOR TO DISCHARGE TO SEWER OR WATER COURSE. REMOVAL OF MUD OR DEBRIS FROM THE HIGHWAY SHALL BE AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR AND/OR DEVELOPER.	
PUMPED WATER FILTER BAG	REPLACE BAGS WHEN THEY BECOME FULL OF SEDIIMENT.	INSPECT BAGS DAILY	IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.	
SUPER SILT AND FILTER FABRIC FENCE (18"&30")	SEDIMENT SHALL BE REMOVED AS REQUIRED TO KEEP FENCE FUNCTIONAL AND WHEN SEDIMENT ACCUMULATIONS REACH ONE-HALF (1/2) THE ABOVE GROUND HEIGHT OF THE FENCE. ALL UNDERCUTTING OR EROSION OF THE TOE ANCHOR SHALL BE REPAIRED IMMEDIATELY WITH	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY. ADHERE TO ALL MANUFACTURERS' RECOMMENDATIONS FOR REPLACING FILTER FABRIC FENCE DUE TO WEATHERING. ANY SECTION OF FILTER FABRIC FENCE THAT HAS BEEN UNDERMINED OR TOPPLED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER	
ROCK FILTER OUTLET	COMPACTED BACKFILL MATERIAL SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	OUTLET. TO BE INSTALLED UPON FAILURE OF SILT FENCE DUE TO CONCENTRATED FLOW.	
COMPOST FILTER SOCK	SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.	
SEEDING AND MULCHING	SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND REGRADED AS NECESSARY, RESEEDED, AND MULCHED. PROMPTLY REAPPLY MULCH MATERIALS, WHICH BECOME DISLODGED OR LOST, DUE TO WIND, RAIN, FIRE, OR OTHER CAUSES, AT INITIAL OR MODIFIED RATES, AS DIRECTED.	PROPERLY MAINTAIN SEEDED AND MULCHED AREAS UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED. REFER TO TEMPORARY AND PERMANENT SEEDING SPECIFICATIONS FOR ADDITIONAL DETAIL		
EROSION CONTROL BLANKET	DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.	INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT (I.E. AT LEAST 0.25 INCH) UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA.	AFTER MULCHING WORK ON A SLOPE HAS BEEN SATISFACTORILY COMPLETED, IF SLOPE FAILURE OCCURS (ONE WHICH REQUIRES REDRESSING, EXCAVATION, OR THE ESTABLISHMENT OF A NEW SLOPE) REPLACE THE MULCH AS DIRECTED.	
INLET FILTER BAG	BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN THE BAG HIS HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET.	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	DAMAGED FILTER BAGS SHOULD BE REPLACED.	
RIPRAP APRONS AND LEVEL SPREADERS	DISPLACED RIPRAP SHALL BE REPLACED IMMEDIATELY. AREAS UNDERCUT BY EROSION SHALL BE REPAIRED AND RESEEDED IMMEDIATELY.	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	SEDIMENT DEPOSITS SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE CONCRETE LEVEL SPREADER.	
SEDIMENT BASINS AND TRAPS	SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE BASIN SHALL BE RESTORED TO ITS ORIGINAL DIMENSIONS. EMBANKMENTS, SPILLWAYS AND OUTLETS SHALL BE INSPECTED FOR EROSION, PIPING AND SETTLEMENT AND REPAIRS MADE IMMEDIATELY.	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	TRASH AND OTHER DEBRIS SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY	
CONCRETE WASHOUT	DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACHED 75% CAPACITY.	ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY.	PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.	

## SECTION 102.22(a) - PERMANENT SITE STABILIZATION UPON FINAL COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF ACTIVITY, THE SITE SHALL IMMEDIATELY HAVE TOPSOIL RESTORED, REPLACED. OR MENDED, BE SEEDED, MULCHED OR OTHERWISE PERMANENTLY STABILIZED AND PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION.

- E&S BMPS SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER APPROVED BMP. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND
- SEDIMENT CONTROL BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT PCSM BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS MUST BE STABILIZED IMMEDIATELY. AREAS WHICH AREA TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO
- BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH
- GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. 6. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE O/RP SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH OR PROTECTIVE BLANKETING MUST BE APPLIED AT SPECIFIED RATES. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REDISTURBED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY STABILIZATION SPECIFICATIONS. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT
- STABILIZATION SPECIFICATIONS. . UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS. MEASURES AND SPECIFICATIONS FOR LONG TERM PROTECTION USE DURING EARTHMOVING:
- PERMANENT SEEDING AREAS NOT PAVED SHALL BE PLANTED WITH PERMANENT SEED MIXTURE AND MULCHED. SEEDBED PREPARATION AND SEEDING METHODS: (1) LIME - AGRICULTURAL GRADE LIMESTONE A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE: LIME = 6 TONS PER ACRE (240 LBS. PER 1,000 S.F.)
- (2) FERTILIZER COMMERCIAL TYPE 10 10 20 A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE: FERTILIZER = 1,000 LBS. PER ACRE (25 LBS. PER 1,000 S.F.) IF TEMPORARY SEEDING IS NECESSARY, DIVIDE THE FERTILIZER AND LIME RECOMMENDATIONS NOTED ABOVE IN HALF. APPLY THE FOLLOWING AS PART OF THE TEMPORARY SEEDING: LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)
- FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.) APPLY THE REMAINDER AT THE TIME OF FINAL SEEDING AT THE FOLLOWING RATE: LIME = 5.0 TONS PER ACRE (200 LBS. PER 1,000 S.F.) FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
- T IS RECOMMENDED THAT THE PENN STATE UNIVERSITY "AGRONOMY GUIDE" BE CONSULTED. THE FOLLOWING MIXTURE WILL MEET THE REQUIREMENTS OF CHAPTER 102. (A) ANNUAL RYEGRASS IS TO BE SEEDED WITH ALL PERMANENT SEED MIXES AS COVER/NURSE CROP. SEEDING RATE = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.) (B) TURF LAWN AND MOWED AREAS (SUNNY): 60% KENTUCKY BLUEGRASS 20% CHEWINGS FESCUE
- 20% PERENNIAL RYEGRASS SEEDING RATE = 170 LBS. PER ACRE (4 LBS. PER 1,000 S.F.) PLANTING DATES = 4/1 - 5/31 AND 8/6 - 10/15 (C) NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%) EXAMPLE TO DETERMINE HOW MUCH SEED TO PLANT: CALCULATE PLS%: FOR 85% PURE SEED WITH 72% GERMINATION: 85 X 72 / 100 = 61% PLS DIVIDE THE PLS% INTO ONE HUNDRED (100): 100 / 61 = 1.63.
- THUS, FOR EVERY 1 POUND OF SEED MIXTURE SPECIFIED, 1.63 LBS SHOULD BE APPLIED. ALL AREAS THAT ARE SEEDED SHALL BE MULCHED. MULCH IS A LOOSE LAYER 3/4" TO 1" DEEP OF CLEAN STRAW OR HAY. STRAW OR HAY MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING
- STRAW/HAY = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.) ) EROSION CONTROL BLANKET ALL SLOPES 3:1 OR STEEPER, AS WELL AS ALL DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER (WITH 100 FEET FOR HQ OR EV WATERS) MUST BE STABILIZED WITH EROSION CONTROL BLANKET
- FILITY LINE TRENCH EXCAVATION CONSTRUCTION REQUIREMENTS LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES
- THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING, SITE RESTORATION,
- AND STABILIZATION OPERATION 3. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY
- 4. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER WILL BE PUMPED TO
- THE SEDIMENT BASINS 5. AT THE END OF EVERY WORKDAY OR PRIOR TO RAIN EVENTS THE ENTIRE DISTURBED AREA MUST BE STABILIZED ACCORDING TO TEMPORARY SITE STABILIZATION SPECIFICATIONS.



PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

## SECTION 102.4(b)(5)(x) - MAINTENANCE AND INSPECTION PROGRAM

MAINTENANCE PROGRAM WHICH PROVIDES FOR OPERATION AND MAINTENANCE OF BMPS AND THE INSPECTION OF BMPS ON A WEEKLY BASIS AND AFTER EACH MEASURABLE STORMWATER EVENT, INCLUDING THE REPAIR OR REPLACEMENT OF BMPS TO ENSURE EFFECTIVE AND EFFICIENT OPERATION. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS, ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK. INCLUDING CLEAN OUT, REPAIR

REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPS IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO COMPLETE A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPAIR. OR REPLACEMENT AND MAINTENANCE ACTIVITIES. A LOG SHOWING DATES THAT BMPS WERE INSPECTED, AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED, SHALL BE MAINTAINED ON-SITE AND BE MADE AVAILABLE TO THE REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOOD PLAINS OR DRAINAGE

## **SEQUENCE OF CONSTRUCTION:** ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE

FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES. THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE COUNTY CONSERVATION DISTRICT. THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON SITE PRE-CONSTRUCTION MEETING. THE PROFESSIONAL DESIGN ENGINEER, GEOTECHNICAL ENGINEER, SOILS PROFESSIONAL, AND/OR DESIGNEE MUST BE PRESENT ON-SITE FOR INSPECTIONS OF THE OVERALL FUNCTIONALITY OF THE STORMWATER BMPS AS WELL AS FOR THE SPECIFIC STAGES DESIGNATED AS CRITICAI

- 1. DELINEATE LIMITS OF DISTURBANCE AS SHOWN ON THE PLAN. FENCE OFF AREAS OF PROPOSED INFILTRATION FACILITIES WITH CONSTRUCTION FENCING TO PROTECT THEM FROM CONSTRUCTION ACTIVITIES
- 2. INSTALL ROCK CONSTRUCTION ENTRANCE AND SILT SOCKS ALONG THE PROJECT BOUNDARY AS SHOWN ON THE PLAN AND ACCORDING TO THE DETAILS 3. ACCESS TO THE EXISTING HOUSE AT 914 SOUTH CONCORD ROAD IS TO BE KEPT OPEN AND
- THE EXISTING STRUCTURE IS TO BE MAINTAINED DURING THE EARLY STAGES OF CONSTRUCTION. 4. INSTALL SILT SOCK SEDIMENT TRAPS 1 & 2. INSTALL CLEANOUT STAKES AND MARK THE CLEANOUT ELEVATION ON THE STAKE. WHEN ACCUMULATED SEDIMENT HAS REACHED
- THE CLEANOUT ELEVATION THE SEDIMENT MUST BE REMOVED AND THE TRAP RETURNED TO ITS ORIGINAL DIMENSIONS. 5. BEGIN DEMOLITION OF EXISTING BELOW GRADE STRUCTURES ON SITE. REMOVE TREES TO BE REMOVED
- 6. CLEAR AND GRUB AREA OF DISTURBANCE. STOCKPILE SOIL IN DESIGNATED AREAS. 7. BEGIN CONSTRUCTION OF HOUSES ON LOTS 17-20 UTILIZING THE INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION AND STANDARD CONSTRUCTION DETAIL 10-1. STABILIZED ACCESS MUST BE MAINTAINED OR ESTABLISHED PRIOR TO FOUNDATION AND DWELLING CONSTRUCTION.
- 8. <u>CRITICAL STAGE:</u> INSTALL BMP 1, BMP 2, & BMP 3 (INFILTRATION BEDS) ALONG WITH OUTLET STRUCTURES AND OUTLET PIPES ACCORDING TO INDIVIDUAL INFILTRATION BMP SEQUENCE OF CONSTRUCTION STOCKPILE SOILS FOR USE IN SITE GRADING IMMEDIATELY BLOCK ALL TRIBUTARY INLETS. REPAIR/RE-INSTALL SEDIMENT TRAP 1 WHERE DISTURBED DURING THIS CONSTRUCTION. 9. ROUGH GRADE SAWMILL COURT AND LOT AREAS. INSTALL SWALES 1.1 AND 1.2 AND 9. INFILTRATION BED FILTER FABRIC AND STONE SHALL BE KEPT CLEAN OF SOIL SEDIMENT
- IMMEDIATELY STABILIZE. 10. INSTALL SANITARY SEWER LINES FROM MH 1 TO MH 13. WHERE THE SANITARY SEWER LINE PASSES THROUGH SEDIMENT TRAP 1, THE SECTION OF COMPOST FILTER SOCK REMOVED IS TO BE REPLACED WITH A ROCK FILTER OUTLET
- 11. INSTALL WATER LINE ALONG SOUTH CONCORD ROAD AND SAWMILL COURT. 12. INSTALL ALL UTILITY LINES WITHIN RIGHT OF WAY AND UTILITY EASEMENTS. INSTALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT AND TRIBUTARY TO BMP 2 AND IMMEDIATELY BLOCK ALL INLETS.
- 13. INSTALL COMBINED STORM SEWER/UNDERDRAIN FROM INLET 3 TO INLET 1 AND TIE IN OUTLET PIPES FROM BMP 2 AND BMP 3. IMMEDIATELY INSTALL INLET PROTECTION ON INLETS.
- 14. TEMPORARILY STABILIZE ALL LOT AREAS. 15. INSTALL CURB, BASE AND BINDER COURSE ON SAWMILL COURT. INSTALL WIDENING ALONG SOUTH CONCORD ROAD.
- 16. ONCE SAWMILL COURT BASE COURSE IS INSTALLED, REMOVE INLET BLOCKS AND INSTALL INLET PROTECTION ON ALL INLETS. 17. BEGIN CONSTRUCTION OF BUILDINGS ON ALL REMAINING LOTS ACCORDING TO INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION AND STANDARD CONSTRUCTION DETAIL
- 18. AS EACH SET OF TWINS IS COMPLETED, INSTALL PERMANENT STABILIZATION ON YARD
- 19. ONCE TRIBUTARY AREAS HAVE BEEN STABILIZED, REMOVE SEDIMENT TRAPS 1 AND 2 AND FINAL GRADE THESE AREAS. IMMEDIATELY STABILIZE ALL DISTURBED AREAS.
- 20. INSTALL PERMANENT SEEDING AND MULCH ON ALL DISTURBED AREAS IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS SHOWN ON THE PLAN. INSTALL LANDSCAPING AS SHOWN ON THE PLAN AND IN THE DETAIL. 21. INSTALL WEARING COURSE ON SAWMILL COURT AND ANY REMAINING DRIVEWAYS.
- 22. INSTALL PERMANENT COMPOST SOCK BELOW INLETS 1-3. 23. ONCE ALL AREAS HAVE BEEN PERMANENTLY STABILIZED (DETERMINED BY MINIMUM 70% ESTABLISHED GRASS COVER), REMOVE ALL REMAINING EROSION CONTROLS MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION
- 24. ANY SUBSTANTIAL CHANGES TO THE LOCATION OF BUILDINGS, STORMWATER MANAGEMENT BMPS, OR EROSION AND SEDIMENTATION CONTROLS SHALL BE REVIEWED FOR ADEQUACY BY THE COUNTY CONSERVATION DISTRICT PRIOR TO CONSTRUCTION. 25. IN ORDER TO CLOSE THE PROJECT, THE APPLICANT MUST SUBMIT A COMPLETED NOTICE
- OF TERMINATION (NOT).

## **CLEAN FILL NOTE**

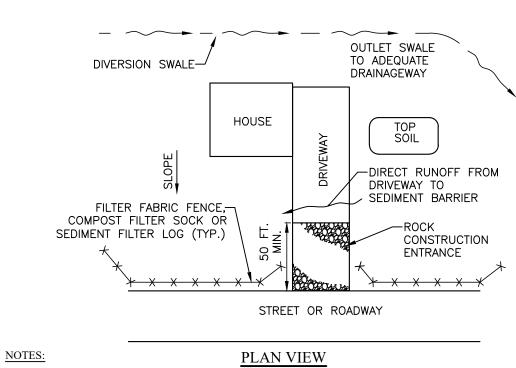
CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPERATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE). CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF

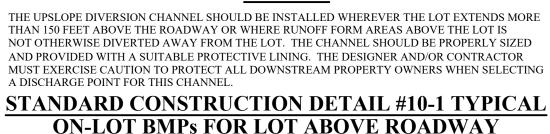
A REGULATED SUBSTANCE STILL OUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1a ABD FP-1b FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL"

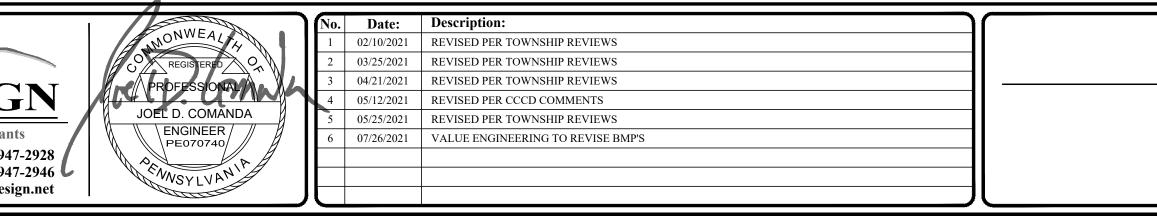
ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.

ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES EVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL ASSESSMENST OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY MANAGEMENT OF FILL"

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENTS MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM







TOGETHER

4. BEGIN HOUSE CONSTRUCTION. 5. INSTALL UTILITIES.

## **INFILTRATION BED CONSTRUCTION SEQUENCE (CRITICAL STAGE):** 1. STAKE OUT THE LIMITS OF THE BED TO BE INSTALLED.

2. PROTECT INFILTRATION BED AREAS FROM COMPACTION DURING CONSTRUCTION. EXCAVATE UNDERGROUND INFILTRATION BED TO THE PROPOSED BOTTOM. EXCAVATION SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB THE SOIL STRUCTURE OF THE INFILTRATION ZONE, INSTALL 12" FILTER SOCK ALONG THE UPSLOPE PERIMETER OF THE EXCAVATED AREA TO PREVENT RUNOFF FROM UNSTABILIZED AREAS FROM ENTERING THE INFILTRATION AREA. IF UNFAVORABLE CONDITIONS, SUCH AS GROUNDWATER AND/OR BEDROCK, ARE ENCOUNTERED DURING INSTALLATION OF THE INFILTRATION SYSTEM. CONSTRUCTION SHALL CEASE AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED. AN ALTERNATIVE SYSTEM SUITABLE TO THE FIELD CONDITIONS SHALL BE DESIGNED AND APPROVED BY THE MUNICIPALITY AND THE CONSERVATION DISTRICT PRIOR TO FURTHER INSTALLATION BY THE CONTRACTOR. 4. PLACE FILTER FABRIC IN THE EXCAVATION AND TACK IT UP TO THE SIDES. ALLOW SUFFICIENT

FABRIC TO OVERLAP THE TOP OF THE BED. NOTE: INFILTRATION BED FILTER FABRIC AND STONE SHALL BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION BEDS. APPROPRIATE MEASURES (I.E., CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, BED, ETC. AN OR REPLACEMENT OF THE FABRIC AND STONE). PIECES OF FILTER FABRIC SHALL BE INSTALLED WITH A 12"

OVERLAP 12" ON ALL SEAMS. PLACE CLEAN STONE IN THE BOTTOM OF THE BED AND EVENLY DISTRIBUTE ON THE BOTTOM CARE SHALL BE TAKEN TO ENSURE THAT THE FILTER FABRIC IN THE BED IS NOT TORN DURING INSTALLATION. ALL STONE SHALL BE UNIFORMLY GRADED, CLEAN WASHED AGGREGATE. THE STONE SHALL BE CHECKED AND APPROVED BY THE DESIGN OR SITE ENGINEER BEFORE INSTALLATION INTO SEEPAGE BEDS TO ENSURE THAT IT IS CLEAN WASHED STONE.

6. INSTALL THE INLETS AND DISTRIBUTION PIPE AS SHOWN ON THE DETAIL. COMPLETE BACKFILLING OF STONE IN THE BEDS TO THE LEVEL OF THE INFLOW PIPES. PROVIDE OPENING IN THE FILTER FABRIC FOR THE INFLOW PIPES. PLACE ADDITIONAL STONE UP TO THE ELEVATION OF THE OUTFLOW PIPE

7. COMPLETE PLACEMENT OF THE STONE IN THE INFILTRATION BED. OVERLAP FILTER FABRIC ON TOP OF THE INFILTRATION BED. BACKFILL OVER THE INFILTRATION AREA WITH SOIL TO FINISHED GRADE STABILIZE AREA OVER UNDERGROUND BED WITH PERMANENT MEASURES. AS STATED ON THE EROSION AND SEDIMENT CONTROL PLAN. INSTALL WATERTIGHT COVERS ON INLETS UNTIL THE DISTURBED AREA IS STABILIZED TO PREVENT CONTAMINATION OF STONE WITHIN THE RECHARGE BEDS

THE INSTALLATION OF THE INFILTRATION BED SHALL BE DONE DURING NON-RAINY PERIODS TO PREVENT SEDIMENT DEPOSITION AND CLOGGING OF THE SOIL STRUCTURE. IF RAIN BEGINS AFTER THE EXCAVATION THE INFILTRATION BED HAS BEEN COMPLETED, FILTER FABRIC SHALL BE PLACED ON THE BED AREA. THE FILTER FABRIC SHALL BE REMOVED AND REPLACED IF SEDIMENT ACCUMULATES IN THE BED AREA.

DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION BEDS, APPROPRIATE MEASURES (I.E., CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, BED, ETC. AN OR REPLACEMENT OF THE FABRIC AND STONE)

10. ALL INLETS SHALL BE GIVEN A FINAL INSPECTION AFTER THE SITE HAS BEEN STABILIZED TO ENSURE THEY ARE FREE OF SEDIMENT

## INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION:

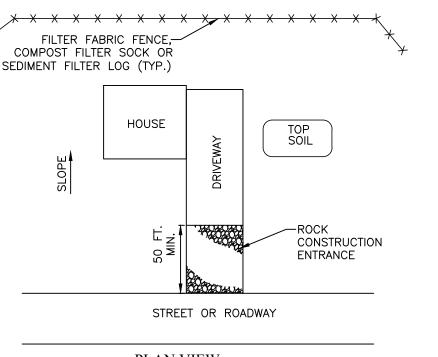
ALL EARTH DISTURBANCE ACTIVITIES FOR THE INDIVIDUAL LOTS SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE AND THE INDIVIDUAL LOT CONTROL DETAILS PROVIDED. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. THIS SEQUENCE ASSUMES THAT OVERALL EROSION CONTROLS ARE INSTALLED. BECAUSE LOTS ARE TWINS, EACH PAIR OF TWINS WILL BE CONSTRUCTED

1. INSTALL SILT SOCK AND ROCK CONSTRUCTION ENTRANCE FOR INDIVIDUAL LOT . 2. BEGIN CONSTRUCTION OF FOUNDATION.

3. INSTALL STONE BASE FOR DRIVEWAY

6. ONCE HOUSE IS ENCLOSED, SPREAD TOPSOIL AND SEED.

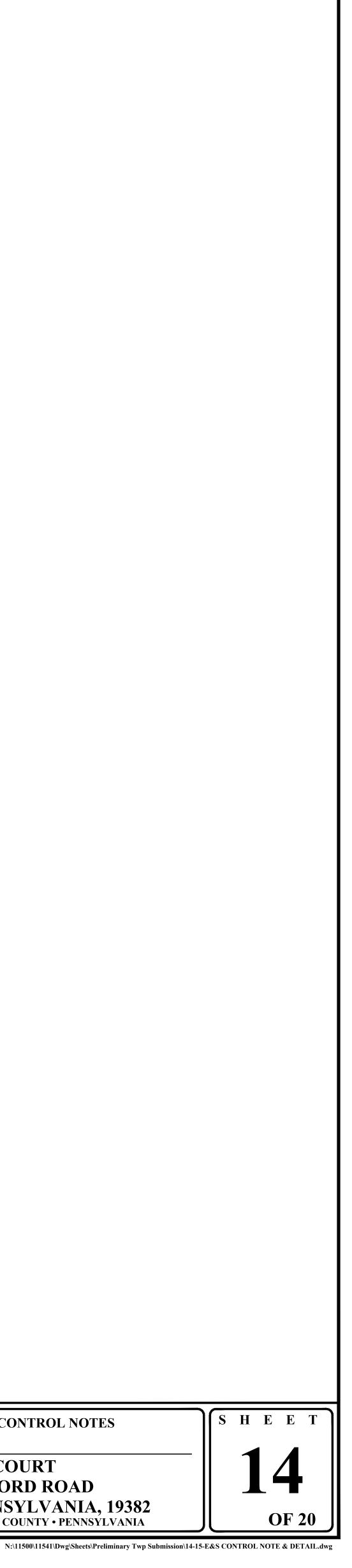
7. REMOVE ALL REMAINING EROSION CONTROLS MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROLS MEASURES.

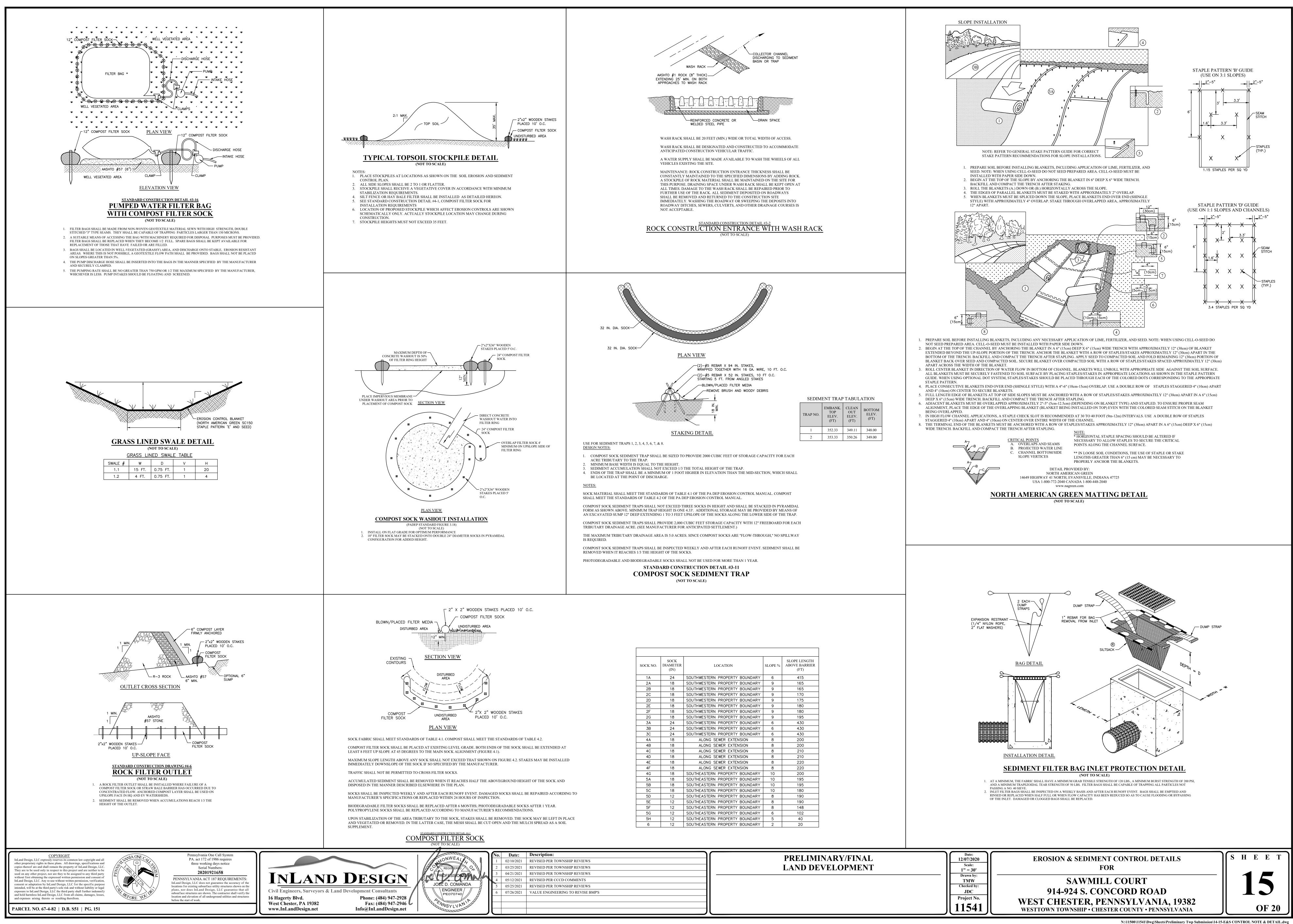


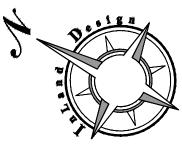
PLAN VIEW THE AREA DOWNSLOPE OF THE FILTER FENCE/COMPOST SOCK BARRIER/SEDIMENT FILTER LOG MAY NOT BE UNDER DEVELOPMENT OR OTHERWISE DISTURBED. **STANDARD CONSTRUCTION DETAIL #10-2 TYPICAL** 

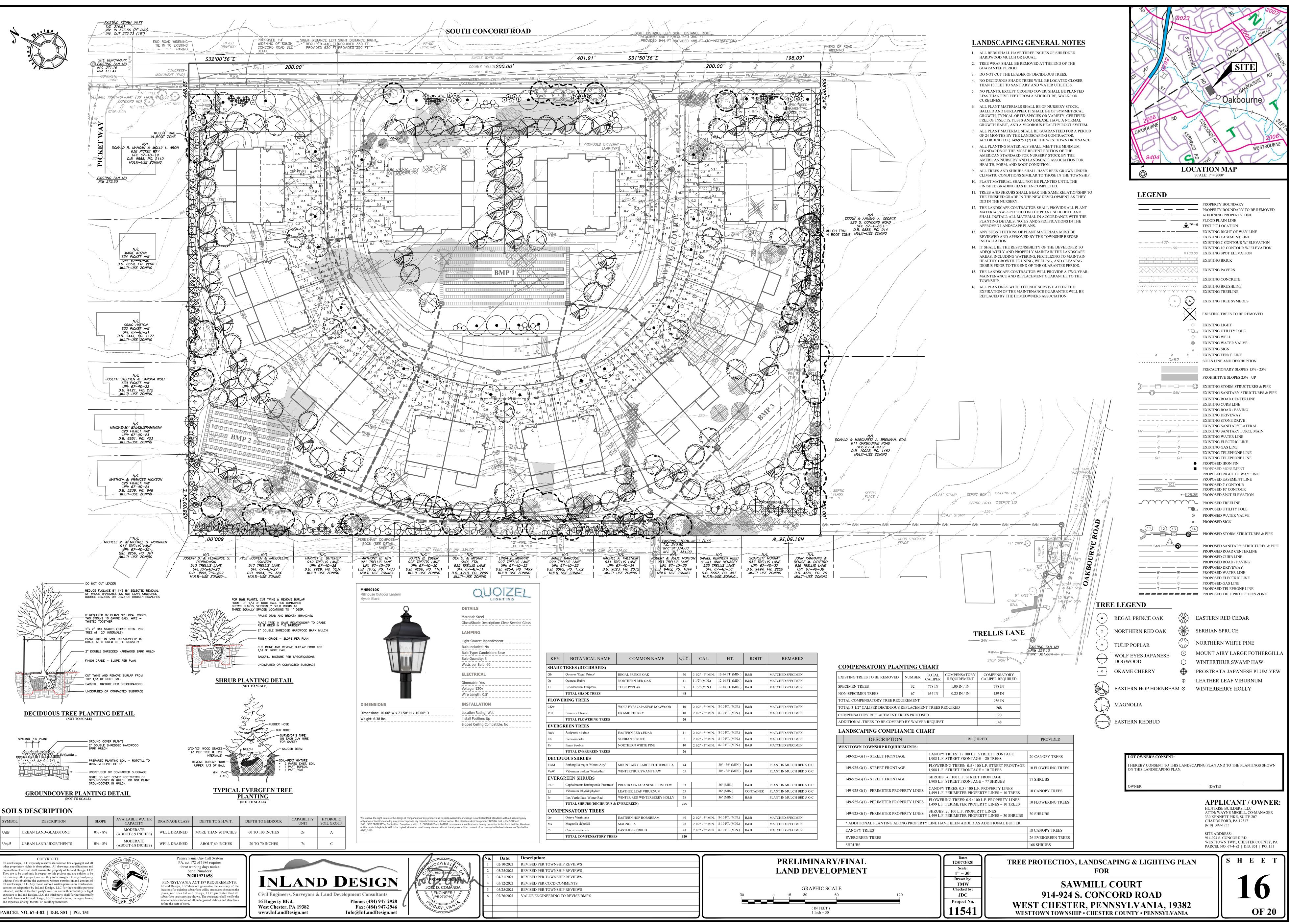
**ON-LOT BMPs FOR LOT BELOW ROADWAY** (NOT TO SCALE)

PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: AS NOTED	EROSION & SEDIMENT CONTROL NO FOR
	Drawn by: TMW Checked by: JDC Project No. 11541	SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANL WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNS









PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

YMBOL

UrlB

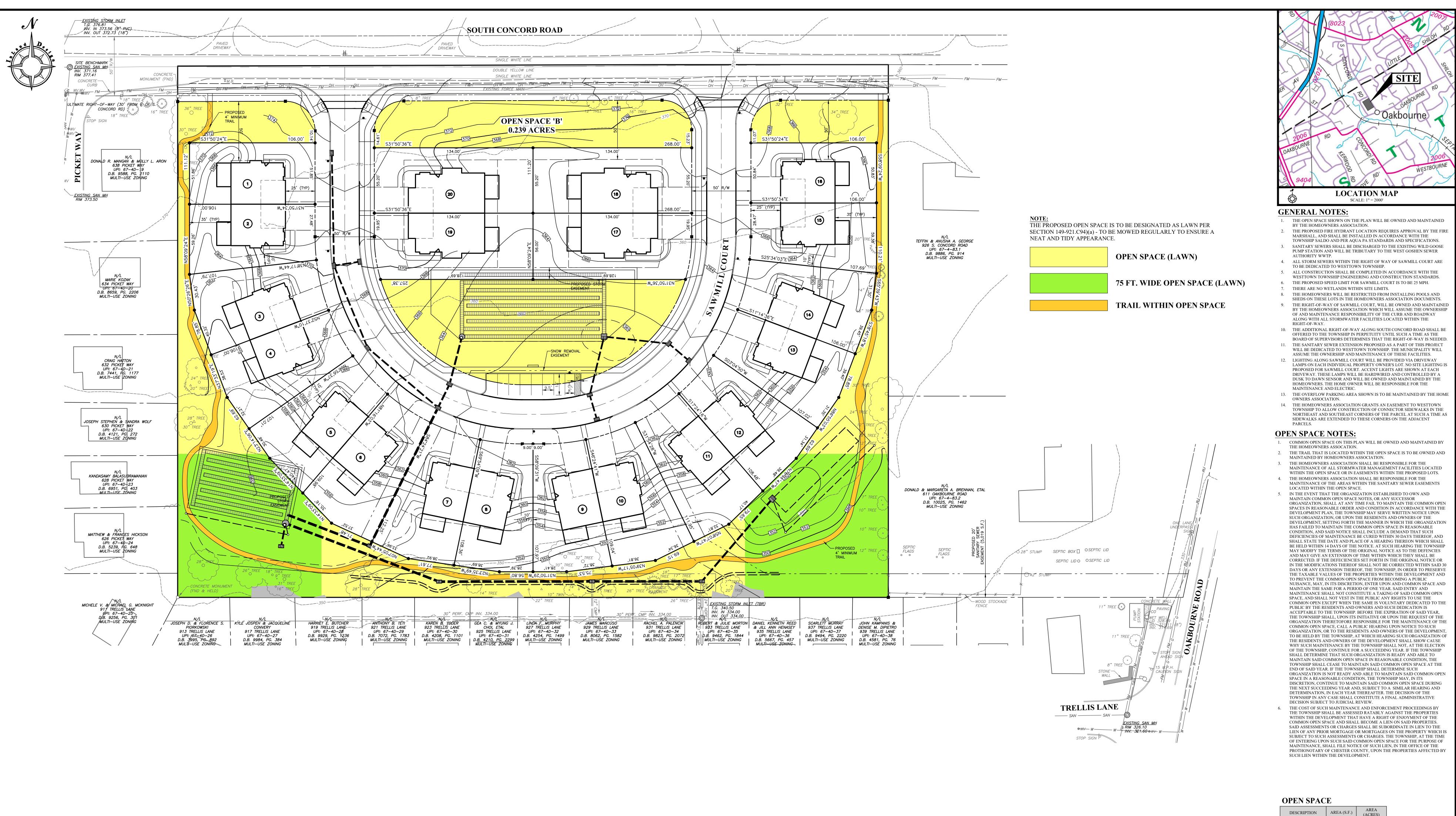
UugB

IONS
10 000 11/ 01 500 11 10 000 5

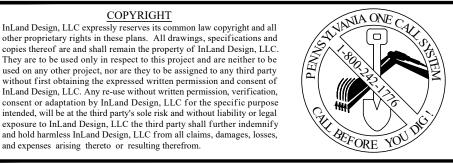
QL	JO	IZE
	LIGH	I N G

	erial: Steel s/Shade Description: Clear Seeded Glas
LAN	<b>APING</b>
Ligh	t Source: Incandescent
Bulb	Included: No
Bulb	Type: Candelabra Base
Bulb	Quantity: 3
Wat	ts per Bulb: 60
ELE	CTRICAL
Dim	mable: Yes
Volta	age: 120v
Wire	Length: 0.5'
INS	TALLATION

N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\16 TREE PROTECTION & LANDSCAPE PLAN.dwg



other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of InLand Design, LLC. They are to be used only in respect to this project and are neither to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of InLand Design, LLC. Any re-use without written permission, verification, consent or adaptation by InLand Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to InLand Design, LLC the third party shall further indemnify and hold harmless InLand Design, LLC from all claims, damages, losses, and expenses arising thereto or resulting therefrom.



PA. act 172 of 1986 requires three working days notice Serial Numbers: 20201921658 PENNSYLVANIA ACT 187 REQUIREMENTS: InLand Design, LLC does not guarantee the accuracy of the locations for existing subsurface utility structures shown on the plans, nor does InLand Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

Pennsylvania One Call System



PARCEL NO. 67-4-82 | D.B. S51 | PG. 151

		-				
	Merco I	No.	Date:	Description:		
	NONWEAL	1	02/10/2021	REVISED PER TOWNSHIP REVIEWS		
		2	03/25/2021	REVISED PER TOWNSHIP REVIEWS		
		3	04/21/2021	REVISED PER TOWNSHIP REVIEWS		
IGN	PROFESSIONAL	4	05/12/2021	REVISED PER CCCD COMMENTS		
	JOEL D. COMANDA	5	05/25/2021	REVISED PER TOWNSHIP REVIEWS		
sultants	ENGINEER PE070740	6	07/26/2021	VALUE ENGINEERING TO REVISE BMP'S	30	
84) 947-2928						
34) 947-2946	C NWSYLVAN !!					
dDesign.net	Martin Star				l	

OPEN SPACE A OPEN SPACE B OPEN SPACE C TOTAL OPEN SPA

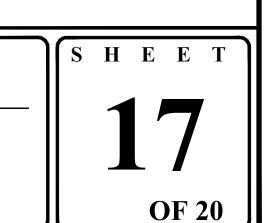
TOTAL OPEN SPA % OF GROSS LOT % OF NET LOT A OPEN SPACE IN F OR SLOPE >25%

PRELIMINARY/FINAL LAND DEVELOPMENT	Date:     12/07/2020     Scale:     1'' = 30'     D	OPEN SPACE MANAGEMENT PLAN FOR
GRAPHIC SCALE	Drawn by: TMW Checked by: JDC Project No.	SAWMILL COURT 914-924 S. CONCORD ROAD
( IN FEET ) 1 Inch = 30'	11541	WEST CHESTER, PENNSYLVANIA, westtown township • chester county • pennsyl

DN	AREA (S.F.)	AREA (ACRES)
	17,260 S.F.	0.396 AC.
	10,432 S.F.	0.239 AC.
	60,545 S.F.	1.390 AC.
PACE	88,237 S.F.	2.0250 AC.

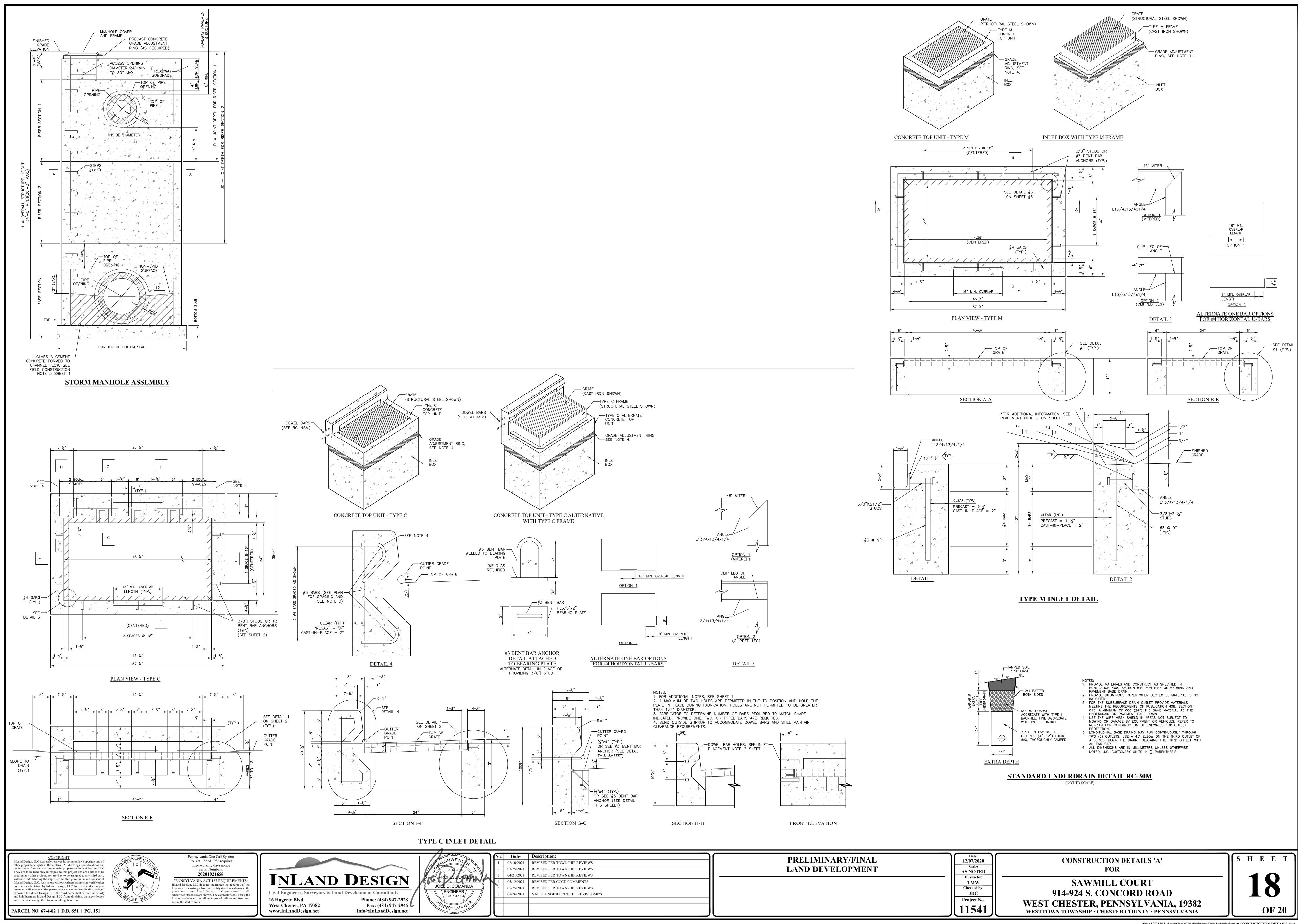
## **OPEN SPACE REQUIREMENTS**

DESCRIPTION	REQUIRED	PROVIDED
L OPEN SPACE AREA	N/A	88,237 SF.
GROSS LOT AREA	30%	34.69%
NET LOT AREA	NA	41.05%
SPACE IN FLOODPLAIN OPE >25%	< 40%	0.7% (649 S.F.)

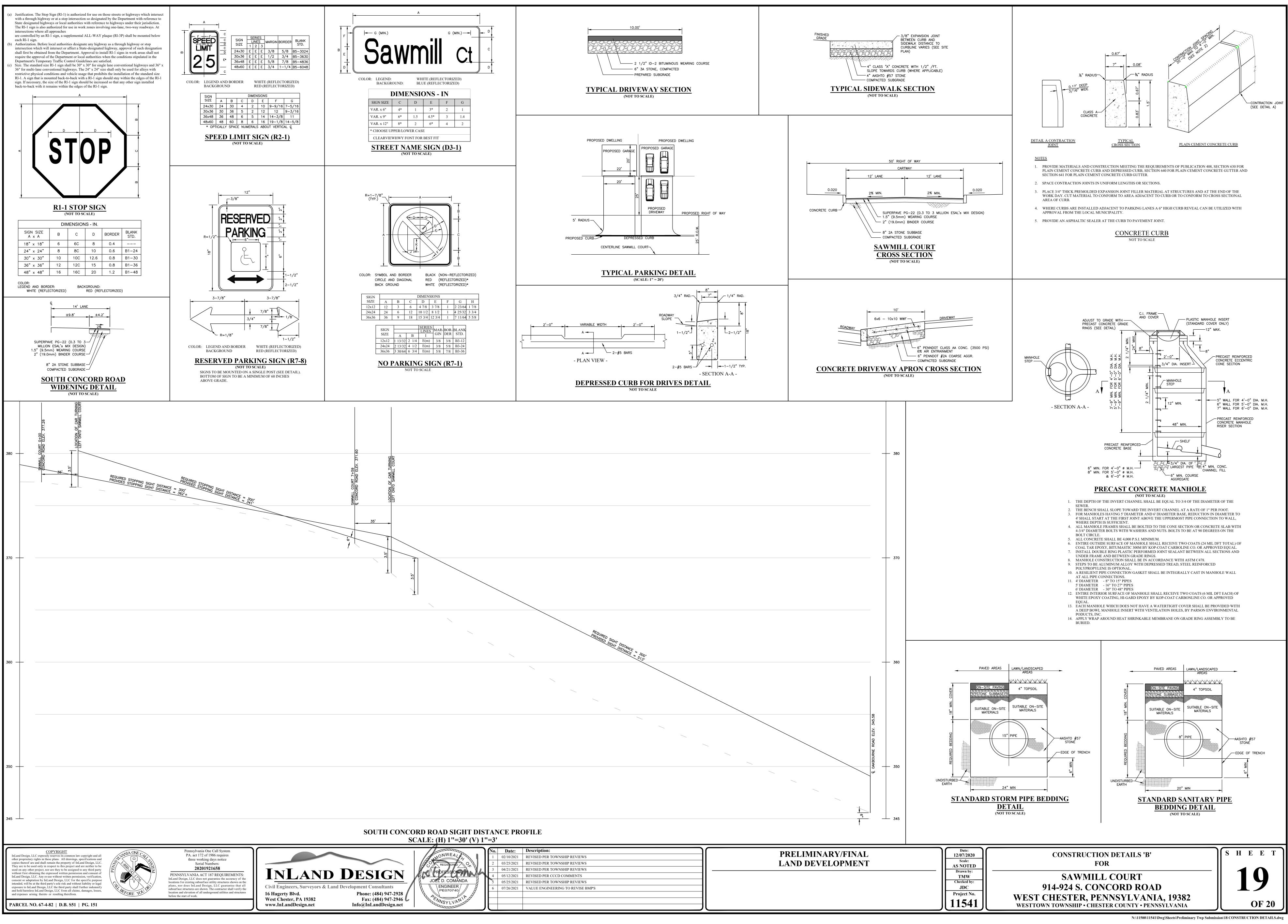


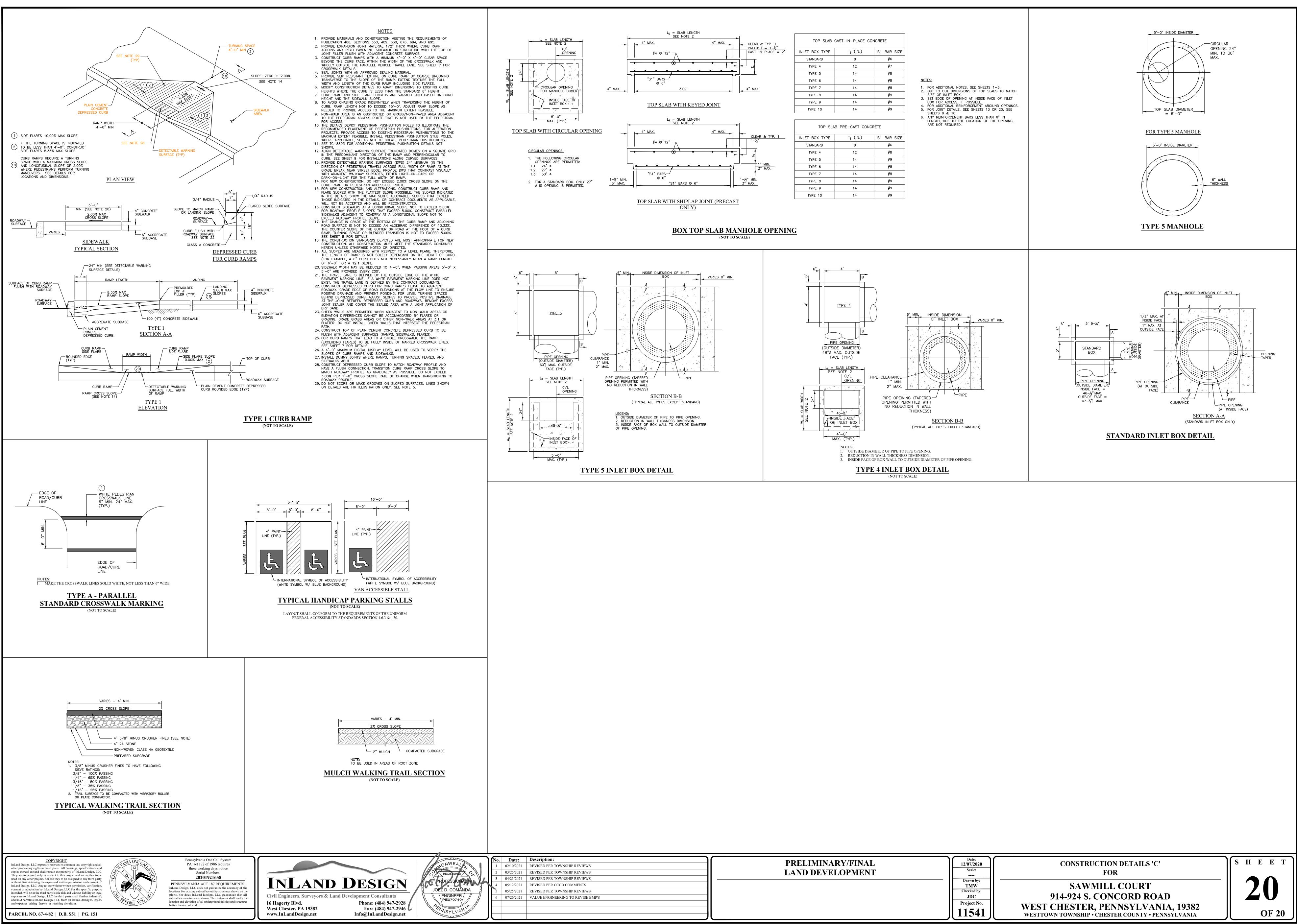


N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\17 OPEN SPACE MANAGEMENT PLAN.dwg



N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\18 CONSTRUCTION DETAILS.dwg





PRELIMINARY/FINAL LAND DEVELOPMENT	Date: 12/07/2020 Scale: 	CONSTRUCTION DETAILS 'C' FOR
	Drawn by: TMW Checked by:	SAWMILL COURT
	JDC Project No.	914-924 S. CONCORD ROA WEST CHESTER, PENNSYLVAN
	J[ 11541 J[	WESTTOWN TOWNSHIP • CHESTER COUNTY • PEN

N:\11500\11541\Dwg\Sheets\Preliminary Twp Submission\18 CONSTRUCTION DETAILS.dwg