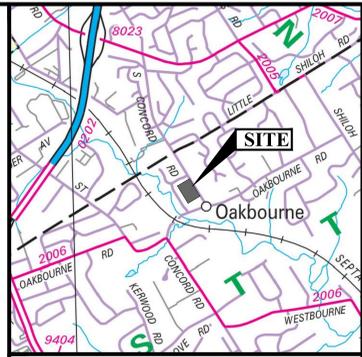




PRELIMINARY/FINAL LAND DEVELOPMENT FOR SAWMILL COURT

914-924 S. CONCORD ROAD, WEST CHESTER, PENNSYLVANIA, 19382
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA



LOCATION MAP
SCALE 1" = 300'

REVIEWED BY THE PLANNING COMMISSION OF WESTTOWN TWP., CHESTER CO., PA., THIS DAY OF _____, 20____.

APPROVED BY THE BOARD OF SUPERVISORS OF WESTTOWN TWP., CHESTER CO., PA., THIS DAY OF _____, 20____.

REVIEWED BY THE PLANNING COMMISSION OF CHESTER COUNTY, PENNSYLVANIA THIS DAY OF _____, 20____.

(SECRETARY)
CCPC CASE # 20-02-21-16633

REVIEWED BY THE EAST WESTTOWN TOWNSHIP ENGINEER:

(ENGINEER) _____ (DATE) _____

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ ON THE DAY OF _____, 20____.

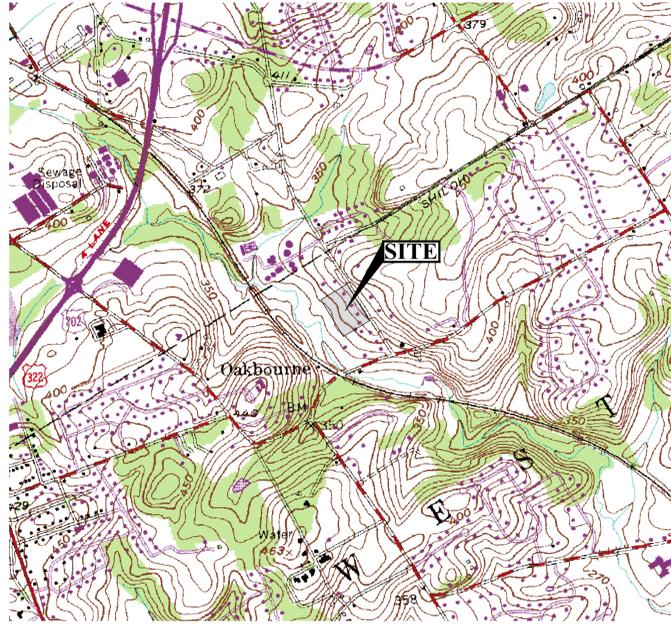
(DEPUTY) RECORDER OF DEEDS _____

EXISTING CONDITIONS NOTES:

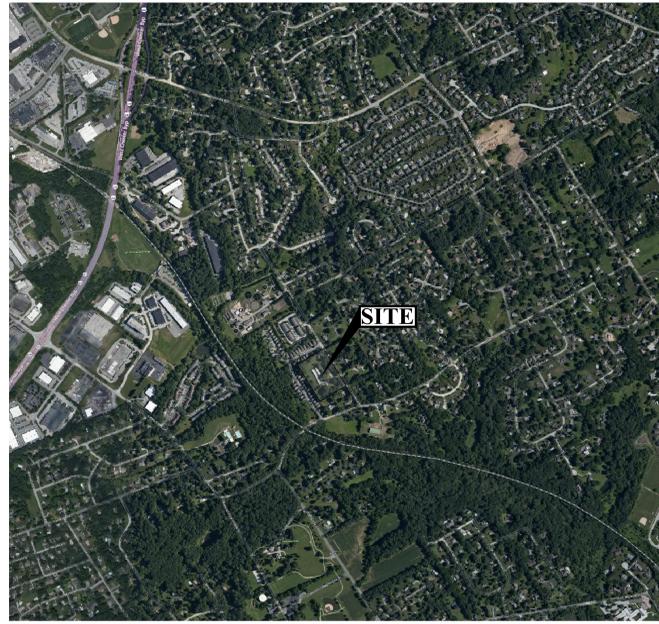
- BOUNDARY INFORMATION SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
- TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL - 2 FEET.
- ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 25, 2020. BENCHMARK EXISTING MANHOLE LOCATED AT THE INTERSECTION PICKET WAY AND SOUTH CONCORD ROAD. ELEVATION 376.81.
- SOURCE OF THE EXISTING DRAINAGE EASEMENT AT THE SOUTH OF THE PROPERTY IS THE STORMWATER EASEMENT AGREEMENT RECORDED IN DB 4680 P.0251.
- SOURCE OF THE EXISTING DRAINAGE EASEMENT ALONG THE REAR OF TRELIS LANE LOT AND ACROSS 933 TRELIS LANE IS AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
- DATA FOR OFF-SITE STORM SEWER PIPES TAKEN FROM AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
- THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42020210G, EFFECTIVE SEPTEMBER 29, 2017.
- SOLIS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- SITE GEOLOGY IS CHARACTERIZED AS FELSIC AND INTERMEDIATE GNEISS (FGH).
- THIS SITE IS LOCATED IN THE M-U MULTI-USE ZONING DISTRICT.
- THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
- THERE ARE NO WETLANDS LOCATED ON THIS SITE.
- THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED. THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T2WF.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

GENERAL NOTES:

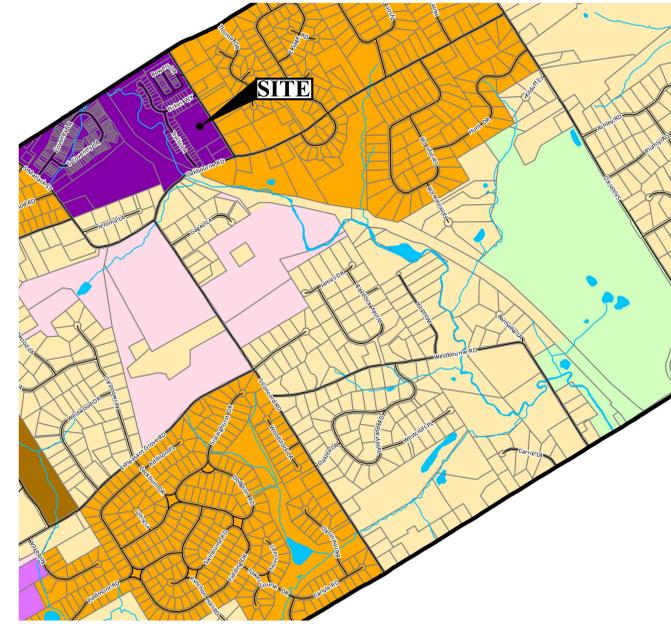
- THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHALL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP SALDO AND PER AQUA PA STANDARDS AND SPECIFICATIONS.
- SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOOSHEN SEWER AUTHORITY WWTP.
- ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE WESTTOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS.
- THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH.
- THERE ARE NO WETLANDS WITHIN SITE LIMITS.
- THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
- THE RIGHT-OF-WAY OF SAWMILL COURT WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE RIGHT-OF-WAY.
- THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE BOARD OF SUPERVISORS DETERMINES THAT THE RIGHT-OF-WAY IS NEEDED.
- THE SANITARY SEWER EXTENSION PROPOSED AS A PART OF THIS PROJECT WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE FACILITIES.
- LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY LAMPS ON EACH INDIVIDUAL PROPERTY OWNERS LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCENT LIGHTS ARE SHOWN AT EACH DRIVEWAY. THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DISK TO DAWN SENSOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOME OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
- THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN TOWNSHIP TO ALLOW CONSTRUCTION OF CONNECTOR SIDEWALKS IN THE NORTHEAST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS SIDEWALKS ARE EXTENDED TO THESE CORNERS OF THE ADJACENT PARCELS.



USGS MAP
1" = 1000'



AERIAL MAP
1" = 1000'



ZONING MAP
1" = 1000'

OFFER OF DEDICATION: SOUTH CONCORD ROAD R.O.W.

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREET RIGHT-OF-WAY, SHOWN AND NOT HERETOFORE DEDICATED, IS HEREBY CONTINUALLY OFFERED FOR DEDICATION TO THE PUBLIC USE.

HUNTRISE BUILDERS, LLC

SHEET LIST

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITION & DEMO PLAN
3	TITLE PLAN
4	SITE PLAN
5	GRADING AND UTILITY PLAN
6	DRIVEWAY GRADING BLOWUP
7	CONSERVATION PLAN
8	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
9	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS & NOTES 'A'
10	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS & NOTES 'B'
11	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN & PROFILE
12	POST CONSTRUCTION STORMWATER MANAGEMENT OFF-ROAD PROFILES
13	EROSION & SEDIMENT CONTROL PLAN
14	EROSION & SEDIMENT CONTROL NOTES
15	EROSION & SEDIMENT CONTROL DETAILS
16	TREE PROTECTION, LANDSCAPING & LIGHTING PLAN
17	OPEN SPACE MANAGEMENT PLAN
18	CONSTRUCTION DETAILS 'A'
19	CONSTRUCTION DETAILS 'B'
20	CONSTRUCTION DETAILS 'C'

INDIVIDUAL LOT ZONING CHART

M-U MULTI-USE ZONING DISTRICT - TWIN USE UNDER R-3 IN ACCORDANCE WITH 170-802.E.

	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20
MINIMUM LOT AREA	4,800 S.F.	5,497 S.F.	5,653 S.F.	6,141 S.F.	6,128 S.F.	6,207 S.F.	6,543 S.F.	6,504 S.F.	6,048 S.F.	6,061 S.F.	6,548 S.F.	6,514 S.F.	6,176 S.F.	6,127 S.F.	6,138 S.F.	5,683 S.F.	5,389 S.F.	7,441 S.F.	7,397 S.F.	7,441 S.F.	7,397 S.F.
EASEMENT AREA	0 S.F.	0 S.F.	0 S.F.	0 S.F.	317 S.F.	1,125 S.F.	1,122 S.F.	0 S.F.	0 S.F.	1,120 S.F.	1,120 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	879 S.F.	0 S.F.	882 S.F.	0 S.F.	0 S.F.	0 S.F.
NET LOT AREA	5,497 S.F.	5,653 S.F.	6,141 S.F.	6,128 S.F.	5,890 S.F.	5,418 S.F.	5,382 S.F.	6,048 S.F.	6,061 S.F.	5,428 S.F.	5,394 S.F.	6,176 S.F.	6,127 S.F.	6,138 S.F.	5,683 S.F.	5,389 S.F.	6,562 S.F.	7,397 S.F.	6,559 S.F.	7,397 S.F.	7,397 S.F.
AREA OF STEEP SLOPES	0 S.F.	0 S.F.	141 S.F.	12 S.F.	1,175 S.F.	4,715 S.F.	5,418 S.F.	5,382 S.F.	6,048 S.F.	5,426 S.F.	5,428 S.F.	5,394 S.F.	6,176 S.F.	6,127 S.F.	6,138 S.F.	5,683 S.F.	5,389 S.F.	6,562 S.F.	7,360 S.F.	5,961 S.F.	6,912 S.F.
MAX. BUILDING HEIGHT	38'-0"	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'	< 38'
MIN. WIDTH @ BUILDING LINE	50 FT.	51.86 FT.	50.00 FT.	50.00 FT.	50.00 FT.	50.00 FT.	50.01 FT.	50.63 FT.	50.00 FT.	50.63 FT.	51.92 FT.	51.92 FT.	51.92 FT.	51.92 FT.	50.38 FT.	50.84 FT.	56.83 FT.	55.20 FT.	56.83 FT.	55.20 FT.	
MAX. BUILDING COVERAGE	30%	29.27%	28.46%	26.20%	26.25%	27.31%	29.72%	29.89%	26.60%	26.54%	29.64%	29.82%	26.05%	26.26%	26.20%	28.31%	29.85%	29.25%	25.95%	29.27%	25.95%
MAX. IMPERVIOUS COVERAGE ¹	60%	48.54%	47.34%	43.61%	43.70%	45.47%	49.44%	49.76%	44.28%	44.18%	49.34%	49.65%	43.36%	43.71%	43.61%	46.96%	49.51%	46.36%	41.12%	46.38%	41.12%
MIN. SIDE YARD SETBACK	10 FT.	15.00 FT.	15.21 FT.	16.02 FT.	16.02 FT.	16.02 FT.	16.03 FT.	16.60 FT.	15.80 FT.	15.80 FT.	16.60 FT.	16.60 FT.	16.00 FT.	16.02 FT.	15.38 FT.	14.00 FT.	23.2 FT.	24.00 FT.	24.0 FT.	23.2 FT.	
MIN. REAR YARD SETBACK	30 FT.	35.0 FT.	35.0 FT.	35.00 FT.	35.00 FT.	35.10 FT.	38.32 FT.	37.3 FT.	35.00 FT.	35.00 FT.	37.92 FT.	37.48 FT.	35.21 FT.	35.00 FT.	35.00 FT.	35.0 FT.	49.0 FT.	49.0 FT.	50.0 FT.	50.0 FT.	
MIN. FRONT YARD DEPTH	25 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	25.0 FT.	

¹ IMPERVIOUS COVERAGES SHOWN INCLUDE 150 SF. PER LOT OF ADDITIONAL FUTURE COVERAGE.

PERMITS REQUIRED:

- THE FOLLOWING PERMITS ARE REQUIRED FROM THE WESTTOWN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:
 - CHESTER COUNTY CONSERVATION DISTRICT (NPDSES) (PAC150263 - 08/10/2021)
 - PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (SEWAGE FACILITIES PLANNING MODULE EXEMPTION - 06/28/2021)
 - AQUA PA - WATER LINE EXTENSION

WAIVERS GRANTED:

- THE FOLLOWING WAIVERS FROM THE WESTTOWN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WERE GRANTED BY THE WESTTOWN TOWNSHIP SUPERVISORS AT THE SEPTEMBER 7, 2021 MEETING:
 - A WAIVER FROM §144-311(B)(2) TO ALLOW THE USE OF HDPE PIPE WITHIN RIGHTS-OF-WAY OF STREETS.
 - A WAIVER FROM §149-700 TO ALLOW THE SUBMISSION OF COMBINED PRELIMINARY/FINAL LAND DEVELOPMENT PLANS.
 - A WAIVER FROM §149-93(B) TO ALLOW BLOCK LENGTHS OF 208 FEET AND 185 FEET.
 - A WAIVER FROM §149-915(K)(2) TO WAIVE THE REQUIREMENT FOR A TURN AROUND AREA IN THE DRIVEWAYS.
 - A PARTIAL WAIVER FROM §149-924(D)(2)(b) TO ALLOW PLANTING OF 120 TREES INSTEAD OF THE REQUIRED 268 TREES ON SITE AND PROVIDE FOR THE REMAINDER OF THE REQUIRED COMPENSATORY TREES THROUGH A FEE-IN-LIEU PER §149-924(D)(2)(C)(1)(b) IN THE AMOUNT OF \$44,600.
 - A WAIVER FROM §149-924(D)(2)(d) TO ALLOW PLANTING COMPENSATORY TREES WITH A MINIMUM CALIPER OF 2 3/8 INCH RATHER THAN 3 1/8 INCH.
 - A WAIVER FROM §149-925(B)(1) TO ALLOW PLANTING DECIDUOUS TREES WITH A MINIMUM CALIPER OF 2 1/2 INCH RATHER THAN 3 3/8 INCH.

APPLICANT / OWNER:

HUNTRISE BUILDERS, LLC
ATTN: WAYNE MEGILL, CO-MANAGER
200 KINNETT PIKE, SUITE 207
CHAUDRON, PA 19317
(610) 399-1235

SITE ADDRESS:
914-924 S. CONCORD RD.
WESTTOWN TWP., CHESTER COUNTY, PA
PARCEL NO. 67-482 / D.B. 10352 / PG. 1364

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Pennsylvania One Call System
PA, act 172 of 1986 requires
three working days notice
Serial Numbers
20201921658

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerly Blvd.
West Chester, PA 19382
www.InlandDesign.net

Phone: (484) 947-2928
Fax: (484) 947-2946
Info@InlandDesign.net

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC, certifies that the accuracy of the location for existing utility and safety structures shown on the plan, as shown on Inland Design, LLC, guarantees that all utility structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

JOE D. COMANDA
ENGINEER
PE#070740

No.	Date:	Description:
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCDC COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPS
7	09/01/2021	REVISED PER TOWNSHIP REVIEWS
8	09/13/2021	PLANS FOR RECORDING

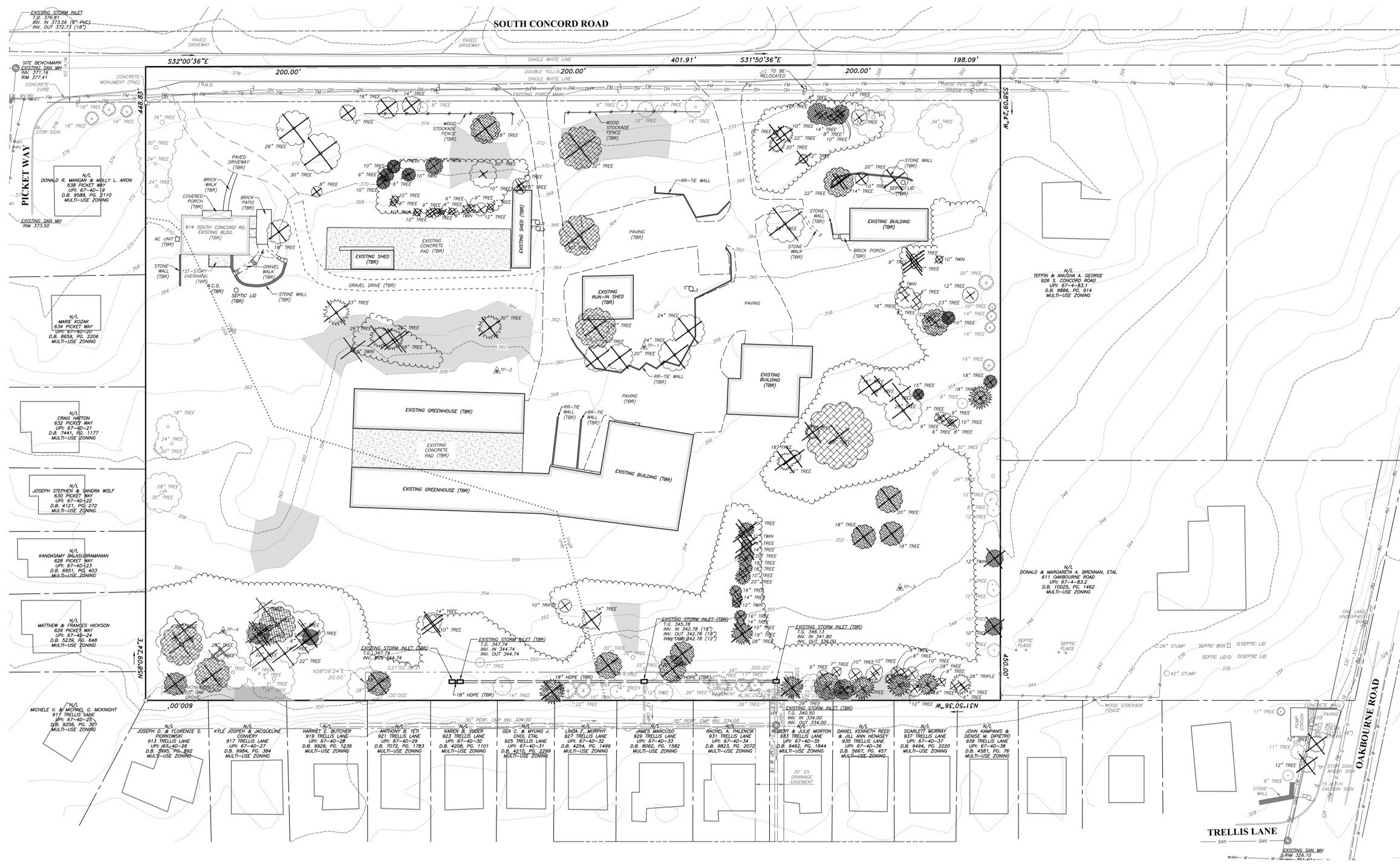
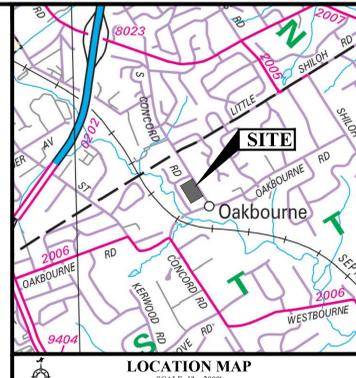
**PRELIMINARY/FINAL
LAND DEVELOPMENT**

GRAPHIC SCALE
1000 500 0 500 1000 2000 4000
(IN FEET)
1 Inch = 100'

Date: 12/07/2020
Scale: 1" = 1000'
Drawn by: TMW
Checked by: JDC
Project No: 11541

**COVER SHEET
FOR
SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA**

**SHEET
1
OF 20**



- EXISTING CONDITIONS NOTES:**
- BOUNDARY INFORMATION SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
 - TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL - 2 FEET.
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 - SOURCE OF THE EXISTING DRAINAGE EASEMENT ALONG THE REAR OF TRELIS LANE LOT AND ACROSS 933 TRELIS LANE IS AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDYWINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
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 - THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER C000C000, EFFECTIVE SEPTEMBER 28, 2017.
 - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
 - SITE GEOLOGY IS CHARACTERIZED AS FLSIC AND INTERMEDIATE GNEISS (FGH).
 - THIS SITE IS LOCATED IN THE M4 MULTI-USE ZONING DISTRICT.
 - THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
 - THERE ARE NO WETLANDS LOCATED ON THIS SITE.
 - THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED. THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T5/MF.
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

- LEGEND**
- PROPERTY BOUNDARY
 - PROPERTY BOUNDARY TO BE REMOVED
 - ADJOINING PROPERTY LINE
 - EXISTING RIGHT OF WAY LINE
 - EXISTING EASEMENT LINE
 - EXISTING 2' CONTOUR W/ ELEVATION
 - EXISTING 10' CONTOUR W/ ELEVATION
 - EXISTING CONCRETE
 - EXISTING BRUSHLINE
 - EXISTING TREELINE
 - EXISTING TREE SYMBOLS
 - EXISTING LIGHT
 - EXISTING UTILITY POLE
 - EXISTING WELL
 - EXISTING WATER VALVE
 - EXISTING SIGN
 - EXISTING FENCE LINE
 - SOILS LINE AND DESCRIPTION
 - PRECAUTIONARY SLOPS 15% - 25%
 - PROHIBITIVE SLOPS 25% - UP
 - EXISTING STORM STRUCTURES & PIPE
 - EXISTING ROAD CENTERLINE
 - EXISTING CURB LINE
 - EXISTING ROAD/PAVING
 - EXISTING DRIVEWAY
 - EXISTING STONE DRIVE
 - EXISTING SANITARY LATERAL
 - EXISTING SANITARY FORCE MAIN
 - EXISTING WATER LINE
 - EXISTING ELECTRIC LINE
 - EXISTING GAS LINE
 - EXISTING TELEPHONE LINE
 - EXISTING TELEPHONE LINE TO BE REMOVED
 - EXISTING TREES TO BE REMOVED
 - NON VIABLE TREE PER ARBORIST REPORT (TO BE REMOVED)

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
Urb	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2c	A
UgB	URBAN LAND-DORRTHENTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

APPLICANT / OWNER:
 HUNTRE BUILDERS, LLC
 ATTN: WAYNE MEGILL, CO-MANAGER
 330 KENNETH PIKE, SUITE 207
 CHADDSDALE, PA 19317
 (610) 399-1235
 SITE ADDRESS:
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 WESTTOWN TWP., CHESTER COUNTY, PA
 PARCEL NO. 67-4-82 | D.B. 10352 | PG. 1364

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 Civil Engineers, Surveyors & Land Development Consultants
 16 Hagerty Blvd. West Chester, PA 19382
 Phone: (484) 947-2928 Fax: (484) 947-2946
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REVISIONS

No.	Date	Description
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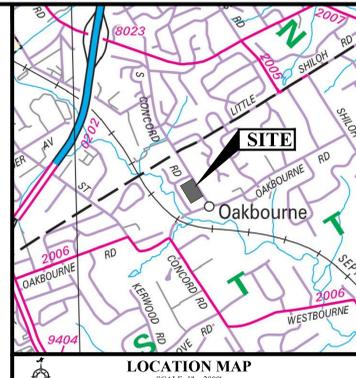
PRELIMINARY/FINAL LAND DEVELOPMENT

GRAPHIC SCALE
 0 15 30 60 120
 (IN FEET)
 1 inch = 30'

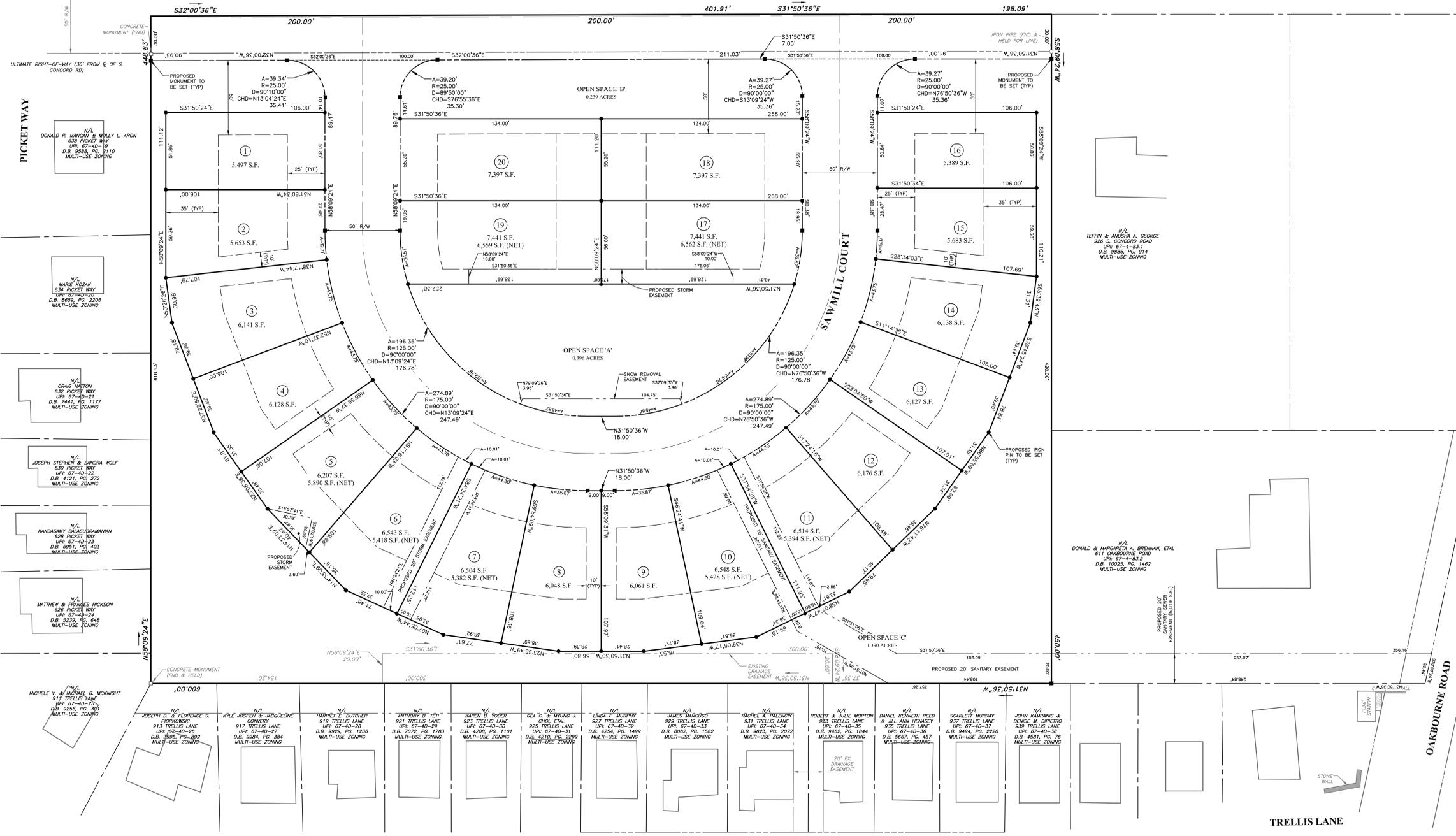
Date: 12/07/2020
 Scale: 1" = 30'
 Drawn by: TMW
 Checked by: JDC
 Project No: 11541

EXISTING CONDITION & DEMOLITION PLAN FOR SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, 19382 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET 2 OF 20



SOUTH CONCORD ROAD



LEGEND table defining symbols for property boundaries, easements, and monuments.

TITLE NOTES section containing two numbered paragraphs regarding easements and property maintenance.

M-U MULTI-USE ZONING DISTRICT TWIN USE UNDER R-3 IN ACCORDANCE WITH 170-802.E.

Table comparing zoning requirements for minimum tract area, maximum density, and other metrics between existing and proposed conditions.

OPEN SPACE table with columns for description, area in S.F., and area in acres.

APPLICANT / OWNER: HUNTRISE BUILDERS, LLC, ATTN: WAYNE MEGILL, CO-MANAGER, 330 KENNETH PIKE, SUITE 207, CHADDYS FORD, PA 19317

SOILS DESCRIPTION table with columns for symbol, description, slope, available water capacity, drainage class, depth to s.h.w.t., depth to bedrock, capability unit, and hydrologic soil group.

Professional seal and contact information for Inland Design, including address at 16 Hagerty Blvd, West Chester, PA 19382.

Inland Design logo and contact information: Phone: (484) 947-2928, Fax: (484) 947-2946, Email: info@InlandDesign.net

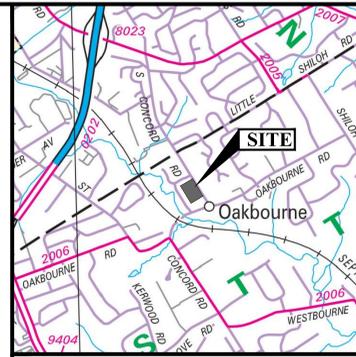
Revision table with columns for No., Date, and Description of changes to the preliminary/final land development plan.

PRELIMINARY/FINAL LAND DEVELOPMENT title block with a graphic scale in feet and inches.

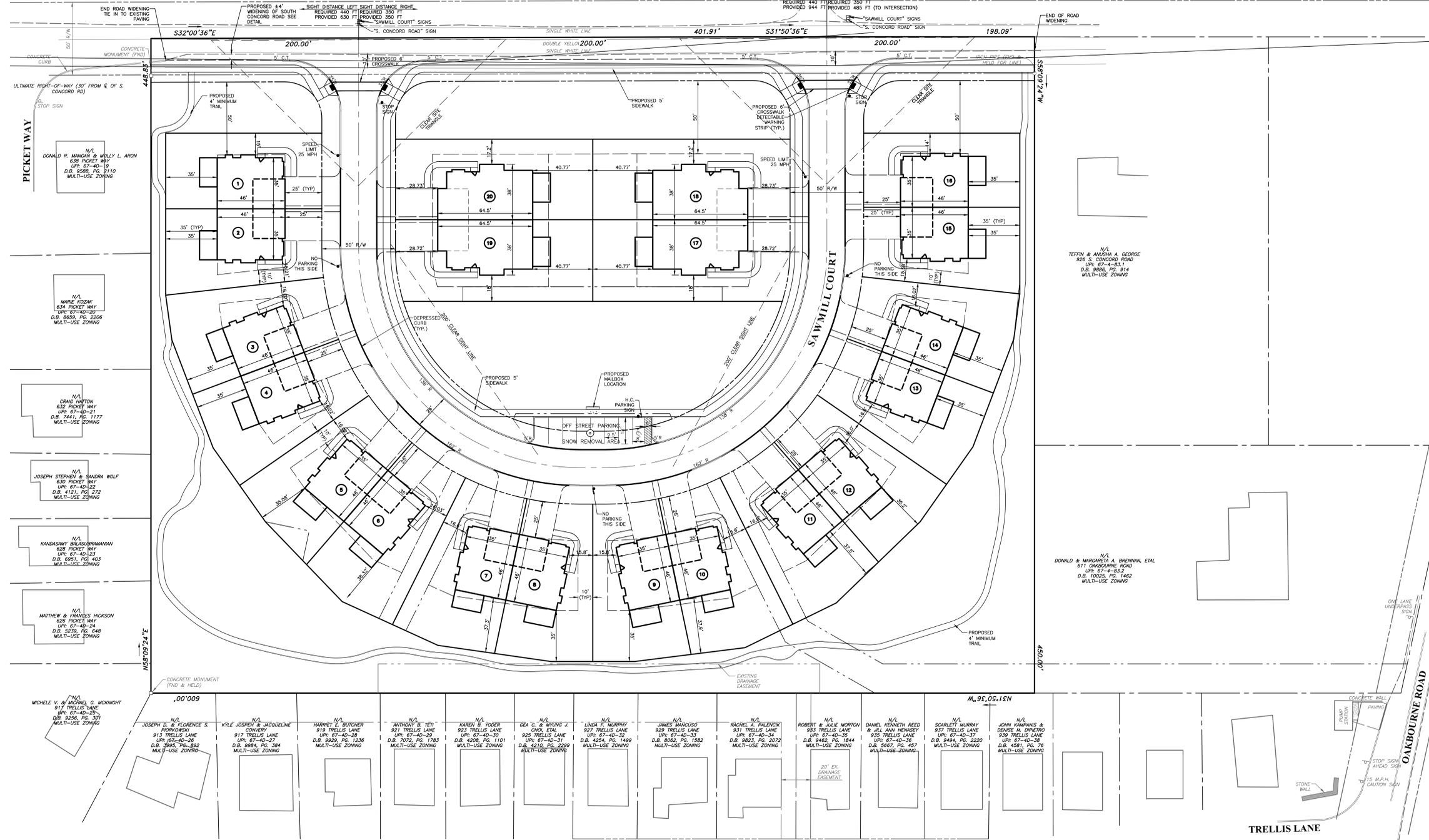
Project information including date (12/07/2020), scale (1" = 30'), and project number (11541).

TITLE PLAN FOR SAWMILL COURT FOR 914-924 S. CONCORD ROAD, WEST CHESTER, PENNSYLVANIA, 19382.

SHEET 3 OF 20 label.



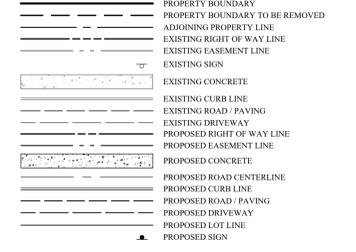
SOUTH CONCORD ROAD



GENERAL NOTES:

1. THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
2. THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHALL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP ALDO AND PER AQUA PA STANDARDS AND SPECIFICATIONS.
3. SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOSHEN SEWER AUTHORITY WWTP.
4. ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP.
5. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE WESTTOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS.
6. THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH.
7. THERE ARE NO WELLS AND/OR OTHER SITE LIMITS.
8. THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
9. THE RIGHT-OF-WAY OF SAWMILL COURT WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE RIGHT-OF-WAY.
10. THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE BOARD OF SUPERVISORS DETERMINES THAT THE RIGHT-OF-WAY IS NEEDED.
11. THE SANITARY SEWER EXTENSION PROPOSED AS A PART OF THIS PROJECT WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE FACILITIES.
12. LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY LAMPS ON EACH INDIVIDUAL PROPERTY OWNERS LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCENT LIGHTS ARE SHOWN AT EACH DRIVEWAY. THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DISK TO DAWN SENSOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOMEOWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
13. THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
14. THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN TOWNSHIP TO ALLOW CONSTRUCTION OF CONNECTOR SIDEWALKS IN THE NORTHEAST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS SIDEWALKS ARE EXTENDED TO THESE CORNERS OF THE ADJACENT PARCELS.

LEGEND



TRAFFIC NOTES:

1. PER ITE TRIP GENERATION DATA, THE ANTICIPATED TRAFFIC IMPACT FROM THIS SITE IS 191 TRIPS PER DAY (9.57 TRIPS PER DWELLING UNIT). NO ADDITIONAL TRAFFIC STUDY IS PROPOSED FOR THIS DEVELOPMENT.
2. FOUR PARKING SPOTS ARE PROPOSED FOR EACH UNIT (2 IN THE GARAGE AND 2 IN THE DRIVEWAYS).
3. 9 ADDITIONAL SPOTS ARE DESIGNATED AS GUEST/OVERFLOW PARKING IN THE AREA OF THE SNOW REMOVAL EASEMENT.
4. PARKING ALONG SAWMILL COURT IS TO BE LIMITED TO THE INTERNAL SIDE OF THE PROPOSED ROAD. THIS IS TO BE DOCUMENTED IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
5. THE SPEED LIMIT FOR SAWMILL COURT WILL BE POSTED AT 25 MPH.
6. SIDEWALK IS PROPOSED ALONG THE EASTERN SIDE OF SAWMILL COURT AND ALONG THE SOUTH CONCORD ROAD FRONTAGE.

M-U MULTI-USE ZONING DISTRICT TWIN USE UNDER R-3 IN ACCORDANCE WITH 170-802.E.

	TWIN DWELLING SECTION TABLE	PROPOSED
MINIMUM TRACT AREA	5 ACRES	5.84 ACRES (TO LEGAL R/W)
MAXIMUM DENSITY	4 DU/ACRE	3.25 DU/ACRE
MINIMUM LOT AREA	4,800 S.F.	~4,800 S.F.
MAXIMUM BUILDING HEIGHT	38'	<38'
MINIMUM WIDTH @ BUILDING LINE	50'	50'
MAXIMUM BUILDING COVERAGE	30%	<30%
MAXIMUM IMPERVIOUS COVERAGE	60%	<60%
MINIMUM SIDE YARD SETBACK	10'	10'
MINIMUM REAR YARD SETBACK	30'	30'
MINIMUM FRONT YARD DEPTH	25'	25'
MINIMUM COMMON OPEN SPACE	30%	30%

INDIVIDUAL LOT IMPERVIOUS CHART

	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20
HOUSE	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.
CONCRETE	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.	169 S.F.
DECK	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.
DRIVE	500 S.F.	500 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	510 S.F.	500 S.F.	500 S.F.	575 S.F.	575 S.F.	575 S.F.	575 S.F.
FUTURE	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.
TOTAL	2,668 S.F.	2,668 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,668 S.F.	2,668 S.F.	3,042 S.F.	3,042 S.F.	3,042 S.F.	3,042 S.F.

APPLICANT / OWNER:

RUNFIRE BUILDERS, LLC
 ATTN: WAYNE MEGILL, CO-MANAGER
 330 KENNETT PIKE, SUITE 207
 CHADDERS FORD, PA 19317
 (610) 399-1235

SITE ADDRESS:
 914-924 S. CONCORD RD.
 WESTTOWN TWP., CHESTER COUNTY, PA
 PARCEL NO. 67-4-82 | D.B. 10352 | PG. 1364

INLAND DESIGN
 Civil Engineers, Surveyors & Land Development Consultants
 16 Hagerty Blvd.
 West Chester, PA 19382
 Phone: (484) 947-2928
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JOSEPH D. COMANDA
 ENGINEER / SURVEYOR
 PENNSYLVANIA

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCD COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPs
7	09/01/2021	REVISED FOR FINAL PLANS
8	09/13/2021	PLANS FOR RECORDING

PRELIMINARY/FINAL LAND DEVELOPMENT

GRAPHIC SCALE
 0 15 30 60 120
 (IN FEET)
 1 inch = 30'

Date: 12/07/2020
 Scale: 1" = 30'
 Drawn by: TMW
 Checked by: JDC
 Project No: 11541

SITE PLAN FOR SAWMILL COURT
 914-924 S. CONCORD ROAD
 WEST CHESTER, PENNSYLVANIA, 19382
 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET 4 OF 20



LEGEND

- EXISTING LIGHT
- EXISTING UTILITY POLE
- EXISTING WELLY
- EXISTING WATER VALVE
- EXISTING SIGN
- EXISTING FENCE LINE
- TEST PIT LOCATION
- EXISTING RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING 2' CONTOUR W ELEVATION
- EXISTING 10' CONTOUR W ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING BRUSHLINE
- EXISTING TREELINE
- EXISTING TREE SYMBOLS
- PROPERTY BOUNDARY
- PROPERTY BOUNDARY TO BE REMOVED
- ADJOINING PROPERTY LINE
- FLOOD PLAIN LINE
- SOILS LINE AND DESCRIPTION
- PROHIBITIVE SLOPES 15% - 25%
- PROHIBITIVE SLOPES 25% - UP
- WETLAND AREA
- EXISTING STORM STRUCTURES & PIPE
- EXISTING SANITARY STRUCTURES & PIPE
- EXISTING ROAD CENTERLINE
- EXISTING CURB LINE
- EXISTING ROAD PAVING
- EXISTING DRIVEWAY
- EXISTING STONE DRIVE
- EXISTING SANITARY LATERAL
- EXISTING SANITARY FORCE MAIN
- EXISTING WATER LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING IRON PIN
- PROPOSED MONUMENT
- PROPOSED RIGHT OF WAY LINE
- PROPOSED EASEMENT LINE
- PROPOSED 10' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONCRETE
- PROPOSED TREELINE
- PROPOSED UTILITY POLE
- PROPOSED WATER VALVE
- PROPOSED SIGN
- PROPOSED FENCE LINE
- PROPOSED STORM STRUCTURES & PIPE
- PROPOSED SANITARY STRUCTURES & PIPE
- PROPOSED ROAD CENTERLINE
- PROPOSED DRIVEWAY
- PROPOSED WATER LINE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE
- PROPOSED TELEPHONE LINE

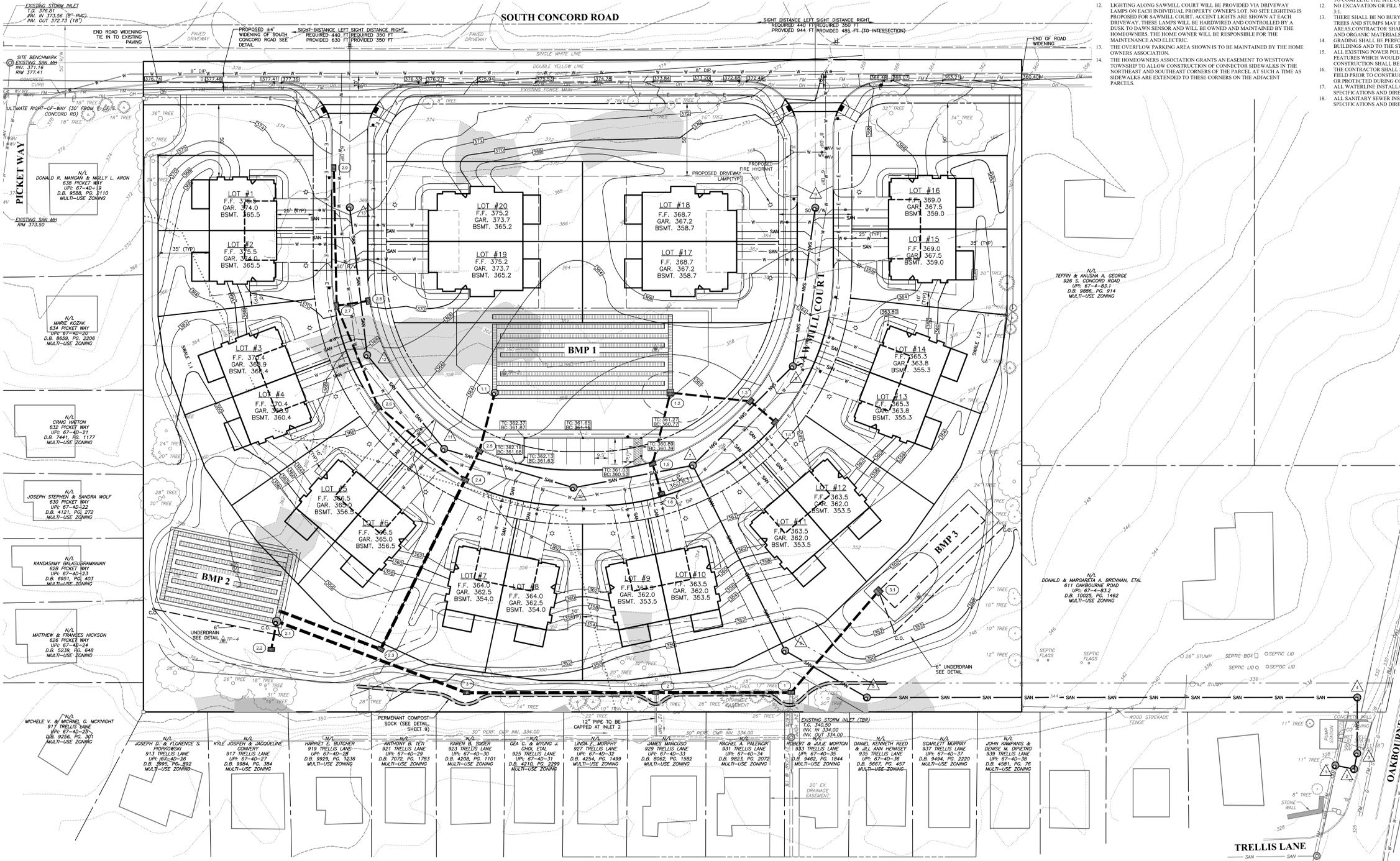
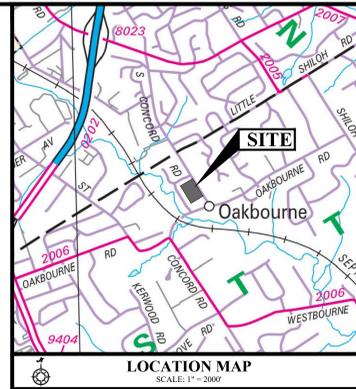
- PROPOSED SANITARY STRUCTURES & PIPE
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB LINE
- PROPOSED DRIVEWAY
- PROPOSED SANITARY LATERAL
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GENERAL NOTES:

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CONSTRUCTION NOTES:

- ALL INLETS TO HAVE 6" WELLS DRILLED INTO BOTTOM OF STRUCTURE.
- FOR THE PURPOSES OF THESE PLANS AND GENERAL NOTES, "SITE CONSTRUCTION" SHALL BE CONSIDERED TO MEAN STORMWATER MANAGEMENT FACILITIES, SITE IMPROVEMENTS AND RELATED CONSTRUCTION.
- ALL SITE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE PDOT PUB. 408, 2001A AND LATEST ADDENDUM THERETO. CONTRACTOR SHALL PROVIDE A PROPOSED CERTIFICATION THAT ALL MATERIAL INCORPORATED INTO THE PROJECT MEET PDOT SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES APPLICABLE TO THIS TYPE OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DISTANCES, GRADES, QUANTITIES AND ELEVATIONS. POTENTIAL PROBLEMS WHICH MIGHT BE OBSERVED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. WORK IN THE AREA SHALL CEASE UNTIL A RESOLUTION OF THE POTENTIAL PROBLEM HAS BEEN DETERMINED.
- ALL MATERIALS TO BE PROPERLY DISPOSED.
- ALL OTHER MATERIAL TO BE REMOVED FROM SITE BY CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ALL BORROW MATERIAL REQUIRED FOR CONSTRUCTION WHICH IS NOT AVAILABLE ON SITE.
- FILL MATERIAL SHALL BE COMPACTED TO NO LESS THAN 97% OF THE MAXIMUM DRY WEIGHT DENSITY (STANDARD PROCTER).
- "RUBBERIZED JOINT SEAL" AS PER PENNDOT PUBLICATION 408.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT MARKINGS, EROSION AND SEDIMENTATION CONTROL, AND TRAFFIC MAINTENANCE AND PROTECTION IN ACCORDANCE WITH PENNDOT PUBLICATION 213.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PAVING FOR THE REMOVAL AND/OR RELOCATION OF UTILITIES OR OTHER OBSTRUCTIONS IN ORDER TO COMPLETE THE SITE CONSTRUCTION.
- NO EXCAVATION OR FILL MATERIAL SHALL BE GRADED TO A SLOPE GREATER THAN 3:1.
- THERE SHALL BE NO BURYING OF TREES, STUMPS OR CONSTRUCTION MATERIALS. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND DISPOSED OF IN OPEN SPACE AREAS. CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE CONSTRUCTION AND ORGANIC MATERIALS TO MINIMIZE WASTE.
- GRADING SHALL BE PERFORMED TO SECURE PROPER DRAINAGE AWAY FROM ALL BUILDINGS AND TO THE STORMWATER COLLECTION AND MANAGEMENT SYSTEM.
- ALL EXISTING POWER POLES, CURBS AND OTHER ABOVE GROUND PHYSICAL FEATURES WHICH WOULD INTERFERE WITH NORMAL USE OF PROPOSED CONSTRUCTION SHALL BE REMOVED AND RELOCATED AS REQUIRED.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY SERVICE LINES IN THE FIELD PRIOR TO CONSTRUCTION AND ENSURE THAT ALL UTILITIES ARE RELOCATED OR PROTECTED DURING CONSTRUCTION.
- ALL WATERLINE INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.
- ALL SANITARY SEWER INSTALLATION IS TO BE PERFORMED ACCORDING TO THE SPECIFICATIONS AND DIRECTIVES OF THE GOVERNING AUTHORITY.



STORM SEWER STRUCTURE TABLE

NUMBER	TYPE	DETAILS
1	M' INLET	T.G. = 346.67 SUMP = 336.00 INV IN = 340.25 (24") INV OUT = 343.17 (18")
1.1	TYPE 'C' MANHOLE OUTLET	RIM = 365.58 SUMP = 352.67 INV IN = 352.67 (18")
1.2	TYPE 'A' INLET	T.G. = 360.50 SUMP = 354.25 INV IN = 355.25 (15") INV OUT = 355.25 (15")
1.3	TYPE 'C' INLET	T.G. = 361.37 SUMP = 357.95 INV IN = 357.75 (15") INV OUT = 357.95 (15")
1.4	TYPE 'C' INLET	T.G. = 361.37 SUMP = 357.95 INV IN = 357.75 (15") INV OUT = 357.95 (15")
1.5	TYPE 'M' INLET	T.G. = 360.39 SUMP = 356.50 INV IN = 356.70 (15") INV OUT = 356.50 (15")
1.6	TYPE 'M' INLET	T.G. = 360.40 SUMP = 356.92 INV IN = 356.92 (15")
2	TYPE 'M' INLET	T.G. = 345.78 SUMP = 341.73 INV IN = 341.93 (24") INV OUT = 341.73 (24")
2.1	TYPE '5' MANHOLE OUTLET	RIM = 355.00 SUMP = 348.70 INV IN = 350.53 (15") INV OUT = 346.70 (24")
2.2	TYPE 'M' INLET	T.G. = 354.50 SUMP = 349.75 INV IN = 350.75 (15")

STORM SEWER STRUCTURE TABLE

NUMBER	TYPE	DETAILS
2.3	TYPE 'M' INLET	T.G. = 354.50 SUMP = 348.93 INV IN = 350.13 (24") INV OUT = 349.93 (24")
2.4	TYPE 'C' INLET	T.G. = 362.50 SUMP = 351.59 INV IN = 351.89 (18") INV OUT = 358.88 (24")
2.5	TYPE 'C' INLET	T.G. = 362.50 SUMP = 352.11 INV IN = 352.31 (18") INV OUT = 351.59 (24")
2.6	TYPE 'C' INLET	T.G. = 365.61 SUMP = 361.22 INV IN = 361.89 (15") INV OUT = 361.22 (15")
2.7	TYPE 'C' INLET	T.G. = 369.89 SUMP = 365.81 INV IN = 366.03 (15") INV OUT = 364.51 (15")
2.8	TYPE 'C' INLET	T.G. = 369.89 SUMP = 366.03 INV IN = 366.03 (15")
2.9	TYPE 'C' INLET	T.G. = 375.14 SUMP = 369.55 INV IN = 369.55 (15")
3	TYPE 'M' INLET	T.G. = 347.74 SUMP = 344.00 INV IN = 344.25 (24") INV OUT = 344.00 (24")
3.1	TYPE '4' INLET	T.G. = 350.75 SUMP = 347.25 INV IN = 347.25 (8") INV OUT = 347.25 (8")

SANITARY SEWER STRUCTURE TABLE

NUMBER	DETAILS
1	RIM = 327.15 SUMP = 321.25 INV IN = 321.42 (8") INV OUT = 321.22 (8")
2	RIM = 326.95 SUMP = 322.07 INV IN = 322.27 (8") INV OUT = 322.07 (8")
3	RIM = 327.07 SUMP = 322.82 INV IN = 322.82 (8") INV OUT = 322.82 (8")
4	RIM = 332.26 SUMP = 324.95 INV IN = 325.15 (8") INV OUT = 324.95 (8")
5	RIM = 348.16 SUMP = 336.98 INV IN = 337.07 (8") INV OUT = 336.98 (8")
6	RIM = 348.66 SUMP = 341.05 INV IN = 341.25 (8") INV OUT = 341.05 (8")

SANITARY SEWER STRUCTURE TABLE

NUMBER	DETAILS
7	RIM = 360.72 SUMP = 347.80 INV IN = 348.00 (8") INV OUT = 347.80 (8")
8	RIM = 362.64 SUMP = 351.53 INV IN = 351.73 (8") INV OUT = 351.53 (8")
9	RIM = 367.59 SUMP = 355.50 INV IN = 355.50 (8")
10	RIM = 361.04 SUMP = 348.75 INV IN = 348.95 (8") INV OUT = 348.75 (8")
11	RIM = 365.54 SUMP = 349.86 INV IN = 350.06 (8") INV OUT = 349.86 (8")
12	RIM = 367.72 SUMP = 345.85 INV IN = 345.85 (8") INV OUT = 345.85 (8")

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
U ₁ B	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A
U ₂ B	URBAN LAND-DOROTHYS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Haverly Blvd., West Chester, PA 19382
Phone: (484) 947-2928
Fax: (484) 947-2946
Info@InLandDesign.net
www.InLandDesign.net

COMMONWEALTH OF PENNSYLVANIA
Professional Engineer
JOE D. COMANDA
PE070740

REVISIONS

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCDD COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPS
7	09/01/2021	REVISED FOR FINAL PLANS
8	09/13/2021	PLANS FOR RECORDING

PRELIMINARY/FINAL LAND DEVELOPMENT
GRAPHIC SCALE
0 15 30 60 120
(IN FEET)
1 Inch = 30'

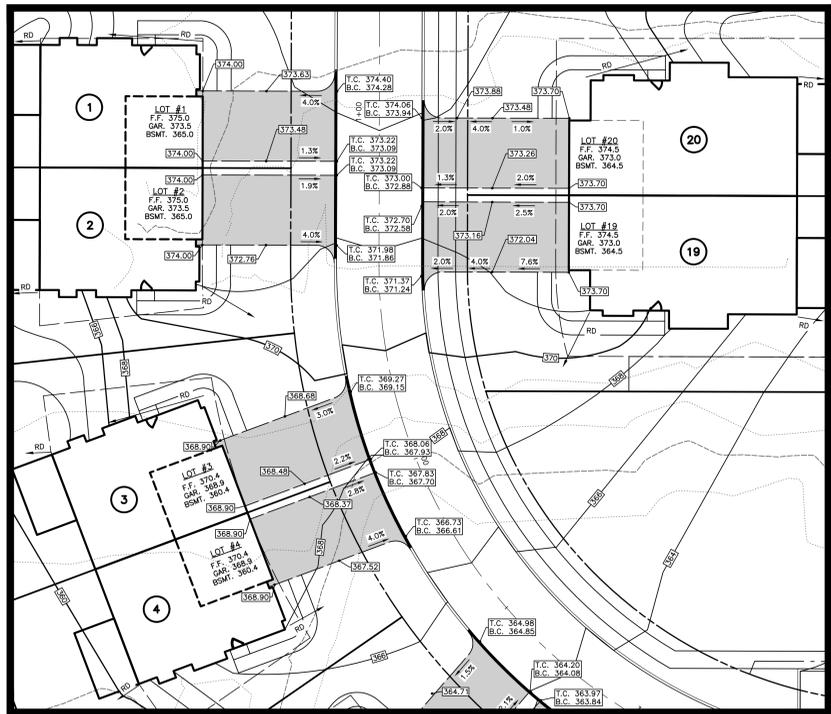
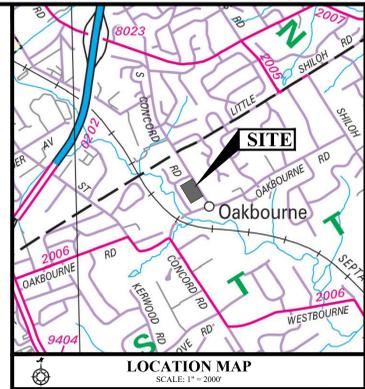
GRADING AND UTILITY PLAN FOR SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

APPLICANT / OWNER:
HUNTERS BUILDERS, LLC
ATTN: WAYNE MEGILL, CO-MANAGER
330 KENNETH PIKE, SUITE 307
CHADDS FORD, PA 19317
(610) 399-1235

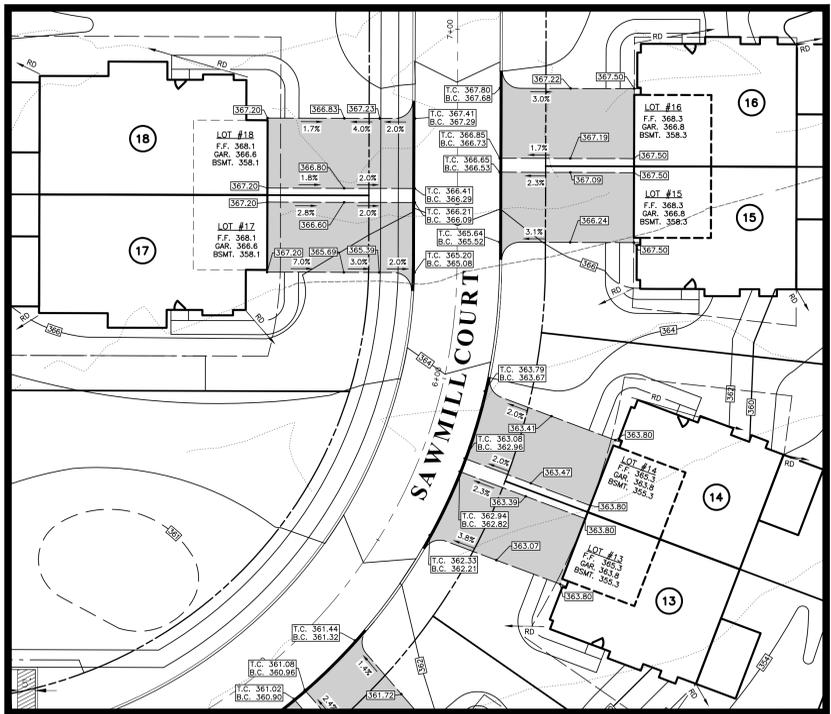
DATE: 12/07/2020
SCALE: 1" = 30'
DRAWN BY: TMW
CHECKED BY: JDC
PROJECT NO: 11541

SHEET 5 OF 20

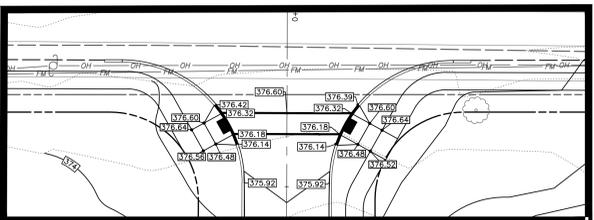
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LOTS 1-4, 19, & 20



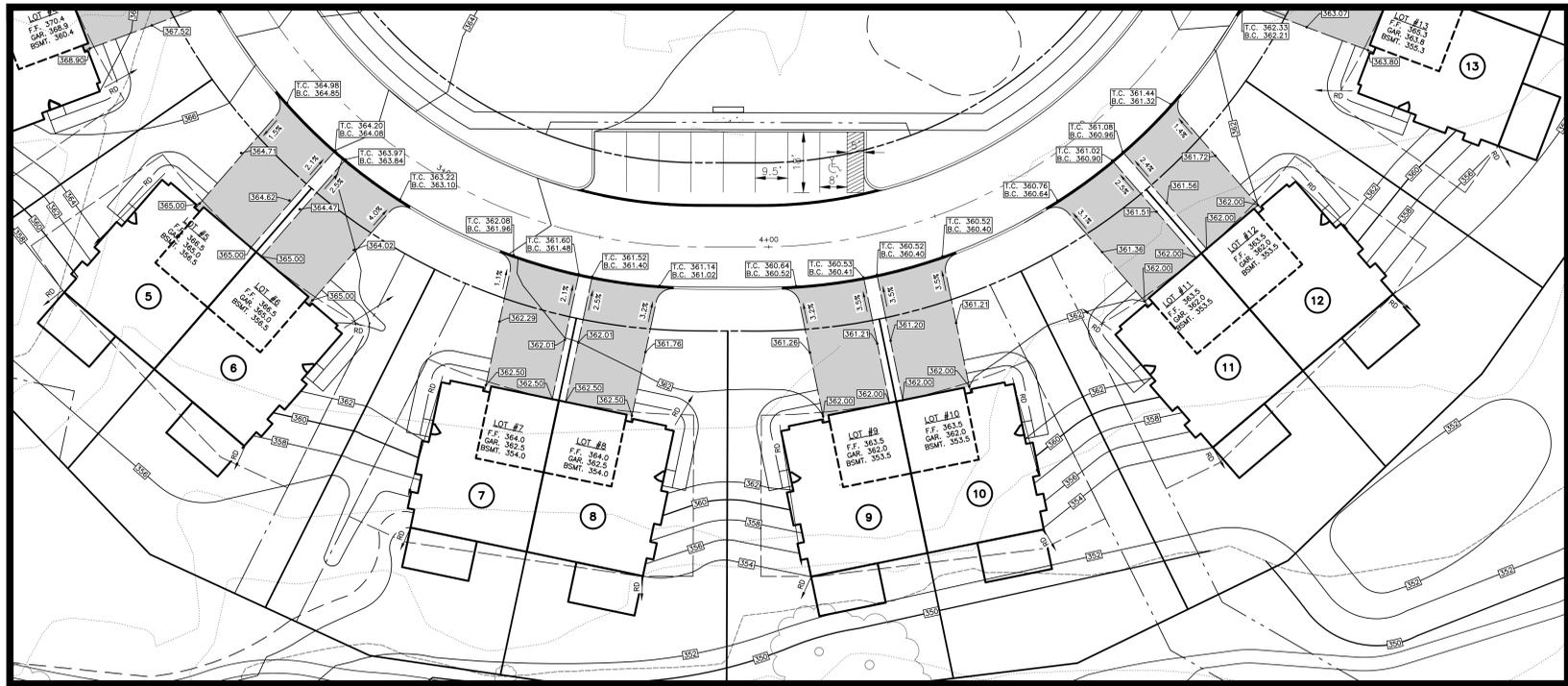
LOTS 13-18



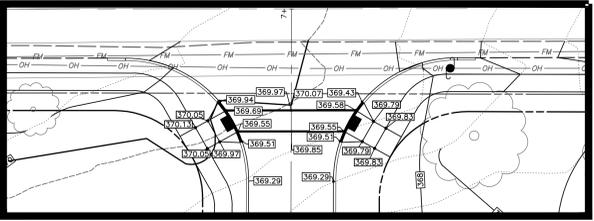
**NORTHERN PEDESTRIAN
CROSSING ON SAWMILL
COURT**

LEGEND

	PROPERTY BOUNDARY
	PROPERTY BOUNDARY TO BE REMOVED
	ADJOINING PROPERTY LINE
	FLOOD PLAIN LINE
	TEST PIT LOCATION
	EXISTING RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING 2' CONTOUR W/ ELEVATION
	EXISTING 10' CONTOUR W/ ELEVATION
	EXISTING SPOT ELEVATION
	EXISTING BRUSHLINE
	EXISTING TREE LINE
	EXISTING TREE SYMBOLS
	EXISTING LIGHT
	EXISTING UTILITY POLE
	EXISTING WELL
	EXISTING WATER VALVE
	EXISTING SIGN
	EXISTING FENCE LINE
	SOILS LINE AND DESCRIPTION
	PRECAUTIONARY SLOPES 15% - 25%
	PROHIBITIVE SLOPES 25% - UP
	WETLAND AREA
	EXISTING STORM STRUCTURES & PIPE
	EXISTING SANITARY STRUCTURES & PIPE
	EXISTING ROAD CENTERLINE
	EXISTING CURB LINE
	EXISTING ROAD PAVING
	EXISTING DRIVEWAY
	EXISTING STONE DRIVE
	EXISTING SANITARY LATERAL
	EXISTING SANITARY MAIN
	EXISTING WATER LINE
	EXISTING ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	PROPOSED IRON PIN
	PROPOSED MONUMENT
	PROPOSED RIGHT OF WAY LINE
	PROPOSED EASEMENT LINE
	PROPOSED 2' CONTOUR
	PROPOSED 10' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED CONCRETE
	PROPOSED TREE LINE
	PROPOSED UTILITY POLE
	PROPOSED WATER VALVE
	PROPOSED SIGN
	PROPOSED FENCE LINE
	PROPOSED STORM STRUCTURES & PIPE
	PROPOSED SANITARY STRUCTURES & PIPE
	PROPOSED ROAD CENTERLINE
	PROPOSED CURB LINE
	PROPOSED ROAD PAVING
	PROPOSED DRIVEWAY
	PROPOSED SANITARY LATERAL
	PROPOSED WATER LINE
	PROPOSED ELECTRIC LINE
	PROPOSED GAS LINE
	PROPOSED TELEPHONE LINE



LOTS 5-12



**SOUTHERN PEDESTRIAN
CROSSING ON SAWMILL
COURT**

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PENNSYLVANIA ONE CALL SYSTEM
PA, act 172 of 1986 requires
Signal Numbers
20201921658

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC. does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans. nor does Inland Design, LLC. guarantee that all subsurface structures are shown. The contractor shall verify the location and structure of all underground utilities and structures before the start of work.

PARCEL NO. 67-4-82 | D.B. 10352 | PG. 1364

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Haverly Blvd., West Chester, PA 19382
Phone: (484) 947-2928
Fax: (484) 947-2946
Info@InlandDesign.net

JOEL D. COMANDA
REGISTERED PROFESSIONAL ENGINEER
No. 0070740
PENNSYLVANIA

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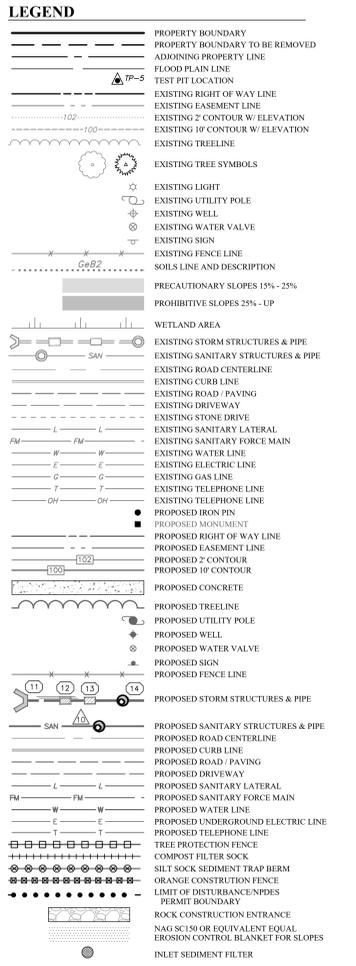
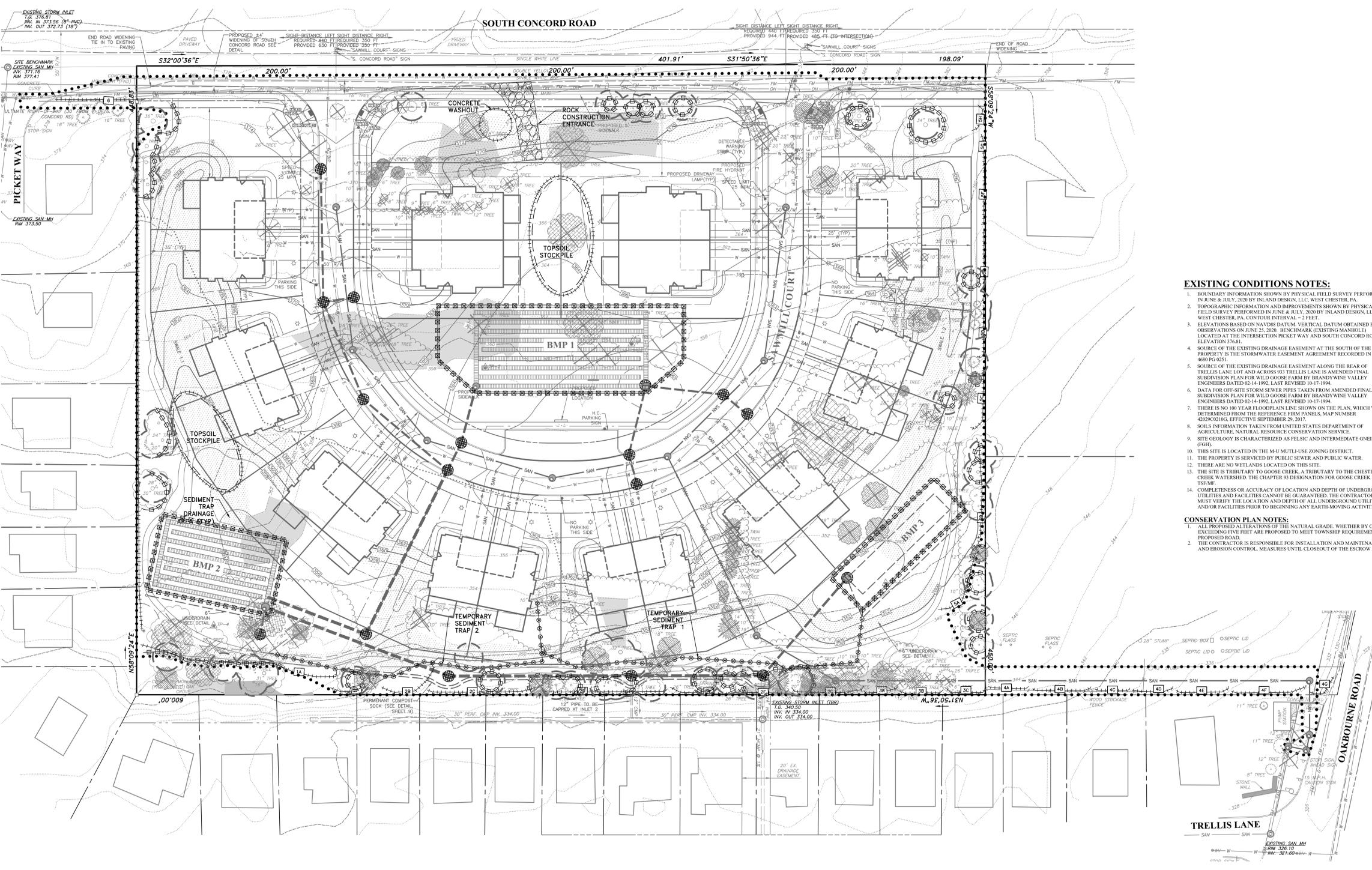
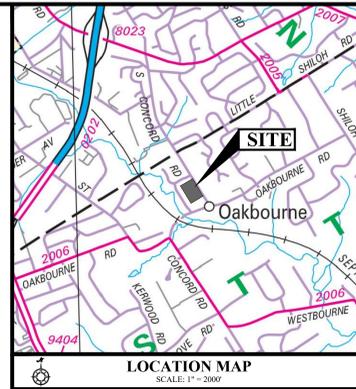
**PRELIMINARY/FINAL
LAND DEVELOPMENT**

GRAPHIC SCALE
0 10 20 30 40 50 60
(IN FEET)
1 inch = 20'

Date: 12/07/2020
Scale: 1" = 20'
Drawn by: TMW
Checked by: JDC
Project No. 11541

**DRIVEWAY GRADING BLOWUP
FOR
SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA**

**SHEET
6
OF 20**



EXISTING CONDITIONS NOTES:

- BOUNDARY INFORMATION SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY 2001 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
- TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY 2001 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL - 2 FEET.
- ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 25, 2008. BENCHMARK (EXISTING MANSION) LOCATED AT THE INTERSECTION PICKET WAY AND SOUTH CONCORD ROAD. ELEVATION 376.81.
- SOURCE OF THE EXISTING DRAINAGE EASEMENT AT THE SOUTH OF THE PROPERTY IS THE STORMWATER EASEMENT AGREEMENT RECORDED IN DB 4800 FO 0251.
- SOURCE OF THE EXISTING DRAINAGE EASEMENT ALONG THE REAR OF TRELIS LANE LOT AND ACROSS 933 TRELIS LANE IS AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992, LAST REVISED 10-17-1994.
- DATA FOR OFF-SITE STORM SEWER PIPES TAKEN FROM AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992, LAST REVISED 10-17-1994.
- THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 4200C0210G, EFFECTIVE SEPTEMBER 29, 2017.
- SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- SITE GEOLOGY IS CHARACTERIZED AS FELSIC AND INTERMEDIATE GNEISS (FGH).
- THIS SITE IS LOCATED IN THE M-41 MULTI-USE ZONING DISTRICT.
- THE PROPERTY IS SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
- THERE ARE NO WETLANDS LOCATED ON THIS SITE.
- THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED. THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T51M.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

CONSERVATION PLAN NOTES:

- ALL PROPOSED ALTERATIONS OF THE NATURAL GRADE, WHETHER BY CUT OR BY FILL, EXCEEDING FIVE FEET ARE PROPOSED TO MEET TOWNSHIP REQUIREMENTS OF THE PROPOSED ROAD.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL SOIL AND EROSION CONTROL MEASURES UNTIL CLOSURE OF THE ESCROW ACCOUNT.

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
U ₁ B	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A
U ₁ gB	URBAN LAND-DOROTHYS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

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JOE D. COMANDA
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 No. 070740
 PENNSYLVANIA

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PRELIMINARY/FINAL LAND DEVELOPMENT

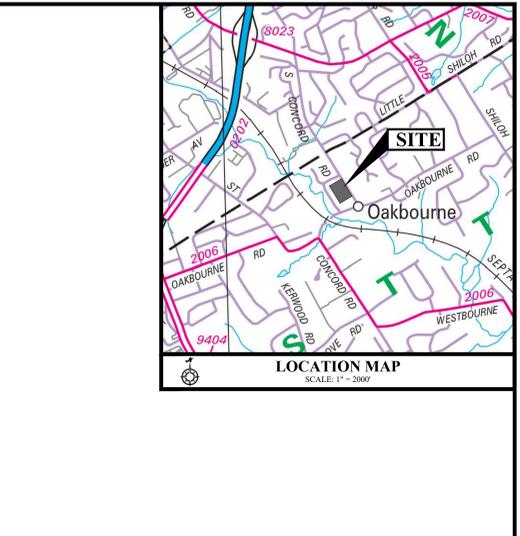
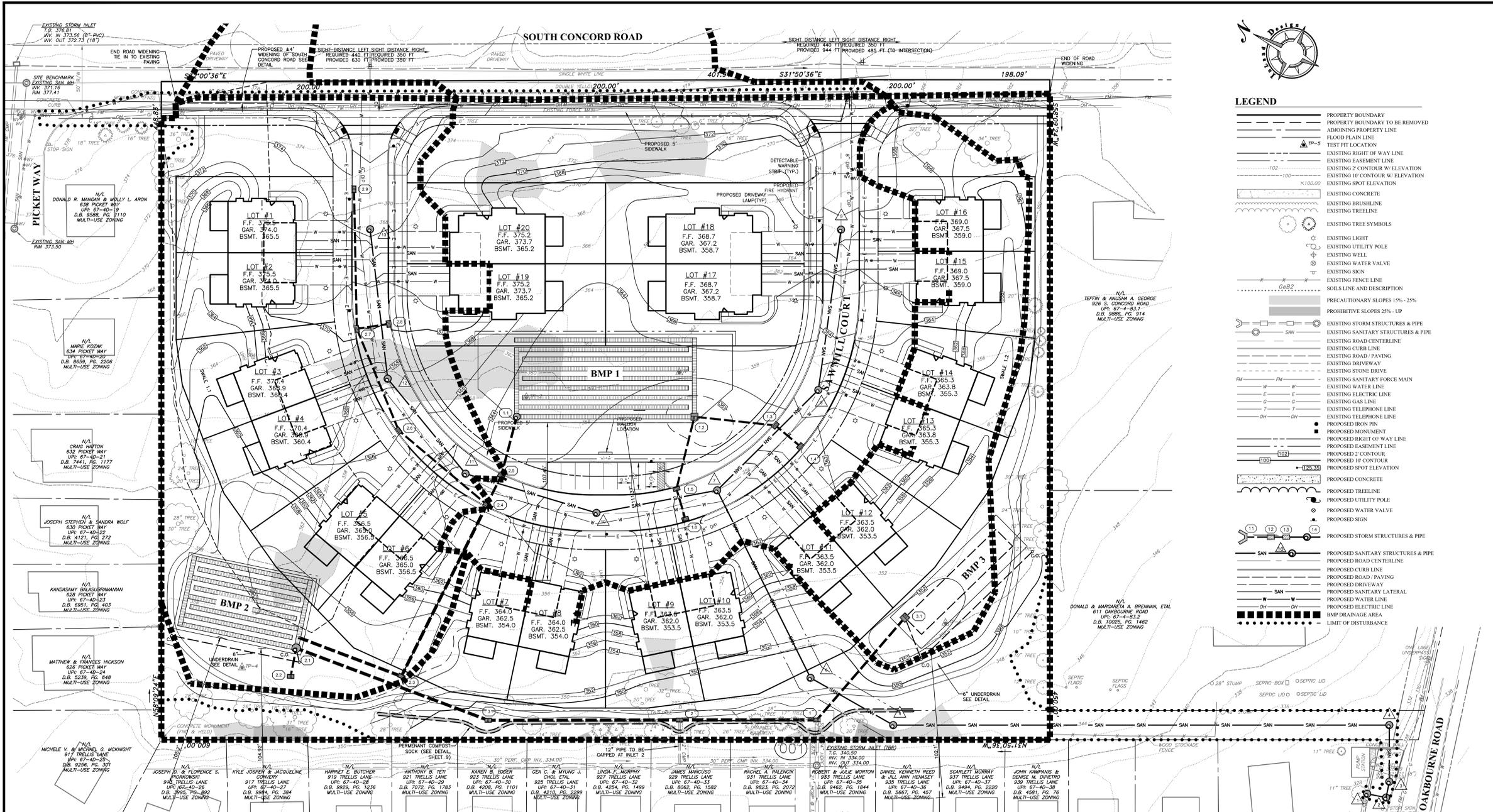
GRAPHIC SCALE
 0 15 30 60 120
 (IN FEET)
 1 inch = 30'

Date: 12/07/2020
 Scale: 1" = 30'
 Drawn by: TMW
 Checked by: JDC
 Project No: 11541

CONSERVATION PLAN FOR SAWMILL COURT
 914-924 S. CONCORD ROAD
 WEST CHESTER, PENNSYLVANIA, 19382
 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET 7 OF 20

APPLICANT / OWNER:
 HUNTRESS BUILDERS, LLC
 ATTN: WAYNE MEGILL, CO-MANAGER
 330 KENNETT PKE, SUITE 307
 CHADDS FORD, PA 19317
 (610) 399-1235
 SITE ADDRESS:
 914-924 S. CONCORD RD
 WESTTOWN TWP., CHESTER COUNTY, PA
 PARCEL NO. 67-4-82 | D.B. 10352 | PG. 1564



- LEGEND**
- PROPERTY BOUNDARY
 - PROPERTY BOUNDARY TO BE REMOVED
 - ADJOINING PROPERTY LINE
 - FLOOD PLAIN LINE
 - TEST PIT LOCATION
 - EXISTING RIGHT OF WAY LINE
 - EXISTING 2' CONTOUR W/ ELEVATION
 - EXISTING 10' CONTOUR W/ ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING CONCRETE
 - EXISTING BRUSHLINE
 - EXISTING TREELINE
 - EXISTING TREE SYMBOLS
 - EXISTING LIGHT
 - EXISTING UTILITY POLE
 - EXISTING WELL
 - EXISTING WATER VALVE
 - EXISTING SIGN
 - EXISTING FENCE LINE
 - EXISTING TELEPHONE LINE
 - EXISTING TELEPHONE LINE
 - PROPOSED IRON PIN
 - PROPOSED EASEMENT LINE
 - PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PROPOSED SPOT ELEVATION
 - PROPOSED CONCRETE
 - PROPOSED TREELINE
 - PROPOSED UTILITY POLE
 - PROPOSED WATER VALVE
 - PROPOSED SIGN
 - PROPOSED STORM STRUCTURES & PIPE
 - PROPOSED SANITARY STRUCTURES & PIPE
 - EXISTING ROAD CENTERLINE
 - EXISTING CURB LINE
 - EXISTING ROAD / PAVING
 - EXISTING DRIVEWAY
 - EXISTING STONE DRIVE
 - EXISTING SANITARY FORCE MAIN
 - EXISTING WATER LINE
 - EXISTING ELECTRIC LINE
 - EXISTING GAS LINE
 - EXISTING TELEPHONE LINE
 - EXISTING TELEPHONE LINE
 - PROPOSED SANITARY STRUCTURES & PIPE
 - EXISTING ROAD CENTERLINE
 - PROPOSED CURB LINE
 - PROPOSED ROAD / PAVING
 - PROPOSED DRIVEWAY
 - PROPOSED SANITARY LATERAL
 - PROPOSED WATER LINE
 - PROPOSED ELECTRIC LINE
 - BMP DRAINAGE AREA
 - LIMIT OF DISTURBANCE

- PCSWM PLAN NOTES**
- FOR CORRESPONDING CALCULATIONS SEE POST CONSTRUCTION STORM WATER MANAGEMENT REPORT FOR SAWMILL COURT DATED 12/07/2020, LAST REVISED 06/21/21.
 - FOR EROSION CONTROL PLAN SEE "EROSION CONTROL PLAN FOR SAWMILL COURT" DATED 12/07/2020, LAST REVISED 06/21/21.
 - A BENEFIT EASEMENT IS HEREBY GRANTED GIVING WESTTOWN TOWNSHIP THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM ANY REQUIRED PCSW BMP MAINTENANCE WHICH HAS NOT BEEN PERFORMED IN A TIMELY MANNER. THE HOMEOWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE MUNICIPALITY.
 - IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED BMP OPERATIONS AND MAINTENANCE PLAN OR ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED BMP OPERATIONS AND MAINTENANCE PLAN, UNLESS AN EXCEPTION IS GRANTED IN WRITING BY THE TOWNSHIP.
 - THIS PLAN ALSO SERVES AS THE OPERATION & MAINTENANCE PLAN FOR THIS PROPERTY AND WILL BE RECORDED.
 - THE APPLICANT, HIS SUCCESSOR, OR ASSIGNS SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL MAINTENANCE AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.
 - AN AS-BUILT PLAN OF THE PROPOSED BMPs SHALL BE SUBMITTED TO THE MUNICIPALITY IN ACCORDANCE WITH THE STORMWATER ORDINANCE.
 - THE APPLICANT ACKNOWLEDGES THAT PER MUNICIPAL ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS OAM PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS OAM PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
 - PCSW REPORTING AND RECORDKEEPING: THE PCSW PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.
 - DURING SITE CONSTRUCTION, ALL INFILTRATION PRACTICE COMPONENTS SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL. INFILTRATION AREAS SHALL ALSO BE PROTECTED FROM EXTRACTION SHALL NOT BE RE-USE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.
 - THE HOMEOWNERS ASSOCIATION SHALL HAVE THE RESPONSIBILITY TO PERFORM THE PERPETUAL MAINTENANCE OF THE PERMANENT STORM WATER BMPs, OUTLET STRUCTURES AND PIPES WHICH ARE LOCATED ON THIS PROPERTY. NO CHANGES SHALL BE MADE TO THE STRUCTURES, PIPES OR FINISH GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE TOWNSHIP. THE TOWNSHIP HAS THE RIGHT TO ENTER THE LOT TO PERFORM ANY REQUIRED MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED OR CARRIED OUT IN A TIMELY MANNER. THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP. THE TOWNSHIP SHALL LIEN THE PROPERTY FOR SAID COSTS UNTIL THE TOWNSHIP HAS BEEN REIMBURSED IN FULL.
 - ROOF DRAINS ARE TO BE DISCHARGED INTO AND TO PROMOTE INFILTRATION OF RUNOFF.
 - ROOF DRAINS IN THE REAR OF ALL HOMES ARE TO BE DISCHARGED AS SHOWN ON SHEET 6. ROOF DRAINS IN THE FRONT OF THE PROPOSED HOMES ARE TO BE DISCHARGED AS SHOWN ON SHEET 6.
 - THE ROOF DRAINS IN THE REAR OF ALL HOMES ARE TO BE DIRECTED TO THE REAR YARDS. IN NO CASE ARE THE ROOF DRAINS TO DISCHARGE OVER THE DRIVEWAYS.

- PCSWM CHECKLIST NOTES:**
- 102.80(b)(1) THIS PLAN PRESERVES THE INTEGRITY OF STREAM CHANNELS AND MAINTAINS AND PROTECTS THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.
 - 102.80(b)(2) THIS PLAN PREVENTS ANY INCREASE IN THE RATE OF STORMWATER RUNOFF.
 - 102.80(b)(3) THIS PLAN MINIMIZES ANY INCREASE IN STORMWATER RUNOFF VOLUME.
 - 102.80(b)(4) THE PROPOSED PROJECT SITE LAYOUT WAS COMPLETED TO MINIMIZE THE AMOUNT OF IMPERVIOUS AREA PROPOSED FOR THE SITE.
 - 102.80(b)(5) THE PCSW PLAN PREPARED FOR THIS PROJECT MAXIMIZES THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION. THE PROPOSED IMPROVEMENTS HAVE BEEN SITUATED TO AVOID DISTURBANCE TO EXISTING DRAINAGE FEATURES AND THE PROPOSED SITE DISTURBANCE HAS BEEN KEPT TO A MINIMUM. FENCING WILL BE INSTALLED TO PROTECT EXISTING DISTURBANCE AND WILL PROTECT EXISTING VEGETATION, NOT TO BE DISTURBED, DURING SITE DEVELOPMENT.
 - 102.80(b)(6) THE SITE LAYOUT WAS DESIGNED TO MINIMIZE THE AMOUNT OF LAND TO BE CLEARED FOR THE SITE IMPROVEMENTS. SITE GRADING WAS MINIMIZED BY WORKING WITH THE EXISTING TOPOGRAPHY AS MUCH AS POSSIBLE TO LIMIT THE AMOUNT AND STEEPNESS OF THE PROPOSED SITE GRADING.
 - 102.80(b)(7) THE PCSW PLAN WILL MINIMIZE SOIL COMPACTION ON THE PROJECT SITE, ESPECIALLY IN THE AREAS OF THE STORMWATER MANAGEMENT INFILTRATION AREAS, USING PRECAUTIONARY FENCING DURING CONSTRUCTION. THE FENCING WILL BE PLACED PRIOR TO SITE CONSTRUCTION AND WILL REMAIN IN PLACE THROUGH CONSTRUCTION TO PROTECT THE AREAS FROM CONSTRUCTION VEHICLE AND STORAGE OF CONSTRUCTION MATERIALS DURING SITE DEVELOPMENT.
 - 102.80(b)(8) THE PCSW PLAN HAS BEEN PREPARED USING THE STRUCTURAL BMPs AND NONSTRUCTURAL BMPs TO PREVENT AND/OR MINIMIZE CHANGES IN STORMWATER RUNOFF.
 - 102.80(b)(9) EXISTING GROUND COVER ON THE PROJECT SITE IS MAINTAINED.
 - 102.80(b)(10) THE SITE BOUNDARY IS EQUAL TO THE PROPERTY BOUNDARY FOR THE SITE AND ANY OFF-SITE AREAS WITHIN THE LIMITS OF DISTURBANCE THAT ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL OFF-SITE FACILITIES SUCH AS UTILITIES AND ROADWAY IMPROVEMENTS.
 - 102.80(b)(5) THE RECEIVING STREAM FROM THIS SITE IS GOOSE CREEK, A TRIBUTARY OF CHESTER CREEK WITH A DESIGNATED CHESAPEAKE USE OF THE FISH STOCKING FISHERY AND W/ (MIGRATORY FISHES). THERE ARE NO HIGH QUALITY OR EXCEPTIONAL VALUE WATERSHEDS WITHIN THE PERMIT BOUNDARY.
 - 102.80(b)(5) THERE ARE NO DESIGNATED WETLANDS LOCATED WITHIN THE PERMIT BOUNDARY.
 - 102.80(b)(6) BMP 1, BMP 2, & BMP 3 ARE DESIGNED USING FENCE-TANK MODULES AS SHOWN IN THE DETAILS.
 - 102.80(b)(9) THIS PLAN IS CONSISTENT WITH EROSION & SEDIMENT CONTROL PLAN IN RELATION TO PROPOSED CONTOURS, IMPROVEMENTS, SOILS, WETLANDS, FLOODWAYS, STRIPES, DISCHARGE LOCATIONS, ETC.
 - 102.80(b)(9) THE PLAN IS CONSISTENT WITH DIMENSIONS AND ELEVATIONS USED IN SUPPORTING CALCULATIONS.
 - 102.80(b)(11) ANTICIPATED WASTE INCLUDES GRASS CLIPPINGS, TREES, BRUSH AND SITE RELATED REFUSE. THERE IS A PROPOSED DUMPSTER TO HANDLE ALL SITE WASTES.
 - 102.80(b)(11) ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEPS SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET. SEQ. 21.1 ET. SEQ. AND 287.1 ET. SEQ. AND/OR ANY ADDITIONAL LOCAL, STATE, OR FEDERAL REGULATIONS, NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURIED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
 - 102.80(b)(12) NO KNOWN POTENTIAL POLLUTION PROBLEMS DUE TO GEOLOGIC CONDITIONS EXIST ON THIS SITE.
 - 102.80(b)(14) THERE IS NO STREAM OR WATERWAY WITHIN THIS PROJECT BOUNDARY AND THEREFORE NO RIPARIAN BUFFER IS REQUIRED.

ENGINEER'S CERTIFICATION:
 I, JOEL D. COMANDA, ON THIS DATE SEPTEMBER 13, 2021, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE WESTTOWN TOWNSHIP CODE, CHAPTER 144, STORMWATER MANAGEMENT.

JOEL D. COMANDA, P.E.
 REGISTERED PROFESSIONAL ENGINEER
 PENNSYLVANIA
 ENGINEER #070740

STORM SEWER STRUCTURE TABLE

NUMBER	TYPE	DETAILS
1	"M" INLET	T.G. = 346.67 SUMP = 336.00 INV IN = 340.25 (24") INV OUT = 343.17 (18")
1.1	"4" MANHOLE OUTLET	RIM = 365.58 SUMP = 352.67 INV OUT = 352.67 (18")
1.2	"4" INLET	T.G. = 360.50 SUMP = 354.25 INV IN = 355.25 (15") INV OUT = 355.25 (15")
1.3	"C" INLET	T.G. = 361.37 SUMP = 357.53 INV IN = 357.73 (15") INV OUT = 357.53 (15")
1.4	"C" INLET	T.G. = 361.37 SUMP = 357.95 INV IN = 357.95 (15") INV OUT = 357.95 (15")
1.5	"M" INLET	T.G. = 360.39 SUMP = 356.55 INV IN = 356.70 (15") INV OUT = 356.50 (15")
1.6	"M" INLET	T.G. = 360.40 SUMP = 356.69 INV IN = 356.92 (15") INV OUT = 356.92 (15")
2	"M" INLET	T.G. = 345.78 SUMP = 341.73 INV IN = 341.93 (24") INV OUT = 341.73 (24")
2.1	"4" MANHOLE OUTLET	RIM = 355.00 SUMP = 346.70 INV IN = 350.53 (15") INV OUT = 346.70 (24")
2.2	"M" INLET	T.G. = 354.50 SUMP = 349.75 INV IN = 350.75 (15") INV OUT = 349.75 (15")

BMP FAILURE NOTES (PER PROTOCOL 2 OF THE BMP MANUAL)

- THE TERM "FAILURE" FOR THE PROPOSED SUBSURFACE INFILTRATION BED SHALL BE DEFINED AS:
- THE LOSS OF FUNCTIONALITY OF THE PROPOSED OUTLET STRUCTURE OR DISCHARGE PIPE
 - THE LOSS OF STRUCTURAL INTEGRITY OF THE STONE AND PIPES
 - THE ACCUMULATION OF SEDIMENT, TRASH OR DEBRIS IN PERIMETER DRAINAGE STRUCTURES
 - STANDING WATER IS OBSERVED IN THE BASIN AFTER 72 HOURS
- THE PERMITTEE SHALL MAKE THE NECESSARY REPAIRS TO THE OUTLET STRUCTURE, DISCHARGE PIPING, STONE AND PERFORATED PIPE AS NEEDED. IF STANDING WATER IS OBSERVED AFTER 72 HOURS, CONSULT ENGINEER FOR REMEDIATION OF THE UNDERGROUND BED.
- THE TERM "FAILURE" FOR THE PROPOSED WATER QUALITY INLETS (FILTER INSERTS) SHALL BE DEFINED AS:
- DISCOVER EVIDENCE OF DAMAGED FILTER MEDIA
 - DISCOVER EVIDENCE OF THE FILTER MEDIA'S INABILITY TO SUPPORT ACCUMULATED SEDIMENT OR DEBRIS.
- THE PERMITTEE SHALL REPAIR BMP FAILURE BY REPLACING THE FILTER MEDIA IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- THE TERM "FAILURE" FOR THE PROPOSED LANDSCAPE RESTORATION SHALL BE DEFINED AS:
- THE INABILITY OF THE CROSS-SECTION AREA TO SUPPORT SURFACE VEGETATION.
- THE PERMITTEE SHALL CONSULT A LANDSCAPE PROFESSIONAL FOR REMEDIATION OF THE FAILURE.

PROPOSED IMPERVIOUS COVERAGE

LOTS	54,976 S.F.
RIGHT-OF-WAY	31,380 S.F.
OPEN SPACE TRAIL	6,480 S.F.
TOTAL PROPOSED IMPERVIOUS	92,676 S.F.

INDIVIDUAL LOT IMPERVIOUS CHART

	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20
HOUSE	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.	1,609 S.F.
CONCRETE	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.	109 S.F.
DECK	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.	240 S.F.
DRIVE	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.	500 S.F.
FUTURE	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.	150 S.F.
TOTAL	2,668 S.F.	2,668 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,678 S.F.	2,668 S.F.	2,668 S.F.	2,668 S.F.	2,668 S.F.	2,668 S.F.	2,668 S.F.

SOIL TEST PIT DATA

TEST PIT	(R/NR)	GROUND LEVEL (ELEV.)	TEST DEPTH (IN)	VALID DEPTH RANGE (IN)	LIMITING ZONE DEPTH (IN)
TP 1	0.25	362.00	80	80-110	>110
TP 2	0.25	358.00	48	48-60	>112
TP 3	1.25	358.00	24	24-33	>95
TP 4	2.50	354.50	60	60-82	>104

SOIL DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY (ABOUT 6 INCHES)	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
UdB	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2c	A
Udgb	URBAN LAND-UDORTHENTS	0% - 8%	MODERATE (ABOUT 6 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7c	C

TOTAL PROJECT SITE AREA: 6.19 AC
 THE NPDES PROJECT SITE BOUNDARY INCLUDES THE PROPERTY BOUNDARY ALONG WITH ANY DISTURBED AREAS LOCATED OFF-SITE FOR UTILITY OR ROADWAY IMPROVEMENTS.

DISTURBED AREA: 6.03 AC

INLAND DESIGN
 Civil Engineers, Surveyors & Land Development Consultants
 16 Haggerty Blvd.
 West Chester, PA 19382
 Phone: (484) 947-2928
 Fax: (484) 947-2946
 Info@InlandDesign.net
 www.InlandDesign.net

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PROFESSIONAL SEAL
 PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
 JOEL D. COMANDA
 No. 070740

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
 FOR
SAWMILL COURT
 914-924 S. CONCORD ROAD
 WEST CHESTER, PENNSYLVANIA, 19382
 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

DATE: 12/07/2020
SCALE: 1" = 30'
DRAWN BY: TMW
CHECKED BY: JDC
PROJECT NO.: 11541

SHEET
8
OF 20

1150011541DwgSheets/Preliminary Twp Submittal/08-PCSW PLAN.dwg

PRELIMINARY/FINAL LAND DEVELOPMENT

No.	Date:	Description:
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCCD COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPs
7	09/01/2021	REVISED FOR FINAL PLANS
8	09/13/2021	PLANS FOR RECORDING

GRAPHIC SCALE
 0 15 30 60 120
 (IN FEET)
 1 inch = 30'

OWNER STATEMENT:
 I HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED AND APPROVED BY THE MUNICIPALITY, AND A REVISED EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT AND/OR THE MUNICIPALITY AS APPLICABLE FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT / OWNER:
 HUNTRICE BUILDERS, LLC
 ATTN: WAYNE MEGILL, CO-MANAGER
 390 HUNTRICE RD, SUITE 307
 CHADDS FORD, PA 19317
 (610) 399-1235
 SITE ADDRESS:
 914-924 S CONCORD RD
 WESTTOWN TWP, CHESTER COUNTY, PA
 PARCEL NO. 67-48-2 | D.B. 10352 | PG. 1564

OWNER:
 (DATE)

LONG TERM BMP OPERATIONS AND MAINTENANCE PROCEDURES:

THE RESPONSIBLE PARTIES SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, OPERATION AND MAINTENANCE OF POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. ALL INSPECTIONS OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMPs SHALL BE PERFORMED BY THE APPOINTED REPRESENTATIVE OF THE RESPONSIBLE PARTIES. IF ANY DEFICIENT CONDITIONS ARE FOUND DURING THE INSPECTION A PLAN FOR ADDRESSING THEM SHALL BE PREPARED WITHIN TWO MONTHS AND THE PLAN SHALL BE CARRIED OUT WITHIN SIX MONTHS. THE RESPONSIBLE PARTIES SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL INSPECTIONS, MAINTENANCE, AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.

UNTIL THE SITE IS STABILIZED AND DURING CONSTRUCTION ACTIVITIES, ALL BMPs MUST BE MAINTAINED PROPERLY BY THE CONTRACTOR. ALL PERMANENT MAINTENANCE PROCEDURES SHALL BE PERFORMED BY THE APPROPRIATE RESPONSIBLE PARTIES.

DISSIPAL
MATERIAL REMOVED FROM THE BMPs THAT SERVE "HOT SPOTS" SUCH AS FUELING STATIONS THAT RECEIVE A LARGE AMOUNT OF DEBRIS SHOULD BE HANDLED ACCORDING TO DEP REGULATIONS FOR THAT TYPE OF SOLID WASTE, SUCH AS A LANDFILL THAT IS APPROVED BY DEP TO ACCEPT SOLID WASTE. BMPs THAT PRIMARILY CATCH SEDIMENT AND DETRITUS FROM AREAS SUCH AS LAWNS MAY REUSE THE WASTE ON SITE.

- BMP #4.1 SUBSURFACE INFILTRATION BEDS - BEDS SHALL BE INSPECTED QUARTERLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENTS (> 1 INCH RAINFALL DEPTH) TO ENSURE THAT THEY ARE WORKING PROPERLY AND THAT DEBRIS AND/OR SEDIMENT HAS NOT ENTERED THE SYSTEM.
- IF THE INSPECTION REVEALS THAT THE INFILTRATION BED HAS BEEN DAMAGED, THE SYSTEM SHALL BE REPAIRED OR REPLACED.
 - ACCUMULATED SILT AND DEBRIS THAT HAS DEPOSITED IN THE BOTTOM OF ALL INLETS WITHIN THE SYSTEM WILL BE REMOVED ON A QUARTERLY BASIS.
 - THE ISOLATION ROWS SHALL BE CLEANED USING A VACUUM TRUCK ON AN ANNUAL BASIS AND/OR AFTER MAJOR STORM EVENTS (GREATER THAN 3 INCHES).
 - INFLOW AND OUTFLOW POINTS INTO INFILTRATION SYSTEMS SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS.
 - ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.
 - ALL CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED.
 - THE OVERLYING VEGETATION OF SUBSURFACE INFILTRATION FEATURES SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
 - VEHICULAR ACCESS ON SUBSURFACE INFILTRATION AREAS SHOULD BE PROHIBITED, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS. IF ACCESS IS NEEDED, USE OF PERMEABLE, TIRE REINFORCEMENT SHOULD BE CONSIDERED.

- GRASS LINED SWALES -** SWALES SHALL BE INSPECTED QUARTERLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENTS (> 1 INCH RAINFALL DEPTH) TO ENSURE THAT THEY ARE WORKING PROPERLY AND THAT THE VEGETATED COVER IS > 80%. THE VEGETATION ON THE SOCK SHOULD BE CUT BACK QUARTERLY OR AS NEEDED.
- IF THE INSPECTION REVEALS THAT THE SWALE HAS BEEN DAMAGED, THE SWALE SHALL BE REPAIRED OR REPLACED.
 - ACCUMULATED LEAVES AND DEBRIS THAT HAS DEPOSITED IN THE BOTTOM OF ALL SWALES WILL BE REMOVED ON A QUARTERLY BASIS.
 - THE OVERLYING VEGETATION ON SWALES SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
- PERMANENT COMPOST SOCK -** COMPOST SOCK SHALL BE INSPECTED QUARTERLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENTS (> 1 INCH RAINFALL DEPTH) TO ENSURE THAT IT IS WORKING PROPERLY AND THAT THE VEGETATED COVER IS > 80%. THE VEGETATION ON THE SOCK SHOULD BE CUT BACK QUARTERLY OR AS NEEDED.
- IF THE INSPECTION REVEALS THAT THE COMPOST SOCK HAS BEEN DAMAGED OR THE VEGETATIVE COVER IS < 80%, THE SOCK SHALL BE REPAIRED OR REPLACED.

ALL INSPECTIONS OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMPs SHALL BE PERFORMED BY THE APPOINTED REPRESENTATIVE OF THE RESPONSIBLE PARTIES. IF ANY DEFICIENT CONDITIONS ARE FOUND DURING THE INSPECTION A PLAN FOR ADDRESSING THEM SHALL BE PREPARED WITHIN ONE MONTHS AND THE PLAN SHALL BE CARRIED OUT WITHIN TWO MONTHS. THE RESPONSIBLE PARTIES SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL MAINTENANCE AND REPAIRS OF ALL BMPs, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.

SEQUENCE OF CONSTRUCTION:

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL NOTIFY ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO THE COUNTY CONSERVATION DISTRICT, THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON-SITE PRE-CONSTRUCTION MEETING. THE PROFESSIONAL DESIGN ENGINEER, GEOTECHNICAL ENGINEER, SOILS PROFESSIONAL, AND/OR DESIGNER MUST BE PRESENT ON-SITE FOR INSPECTIONS OF THE OVERALL FUNCTIONALITY OF THE STORMWATER BMPs AS WELL AS FOR THE SPECIFIC STAGES DESIGNATED AS CRITICAL.
- DELINEATE LIMITS OF DISTURBANCE AS SHOWN ON THE PLAN. FENCE OFF AREAS OF PROPOSED INFILTRATION FACILITIES WITH CONSTRUCTION FENCING TO PROTECT THEM FROM CONSTRUCTION ACTIVITIES.
- INSTALL ROCK CONSTRUCTION ENTRANCE AND SILT SOCKS ALONG THE PROJECT BOUNDARY AS SHOWN ON THE PLAN AND ACCORDING TO THE DETAILS.
- ACCESS TO THE EXISTING HIGHWAY AT 91+40 SOUTH CONCORD ROAD IS TO BE KEPT OPEN AND THE EXISTING STRUCTURE IS TO BE MAINTAINED DURING THE EARLY STAGES OF CONSTRUCTION.
- INSTALL SILT SOCK SEDIMENT TRAPS 1 & 2. INSTALL CLEANOUT STAKES AND MARK THE CLEANOUT ELEVATION ON THE STAKE. WHEN ACCESSED, THE STAKE SHOULD BE REACHED THE CLEANOUT ELEVATION THE SEDIMENT MUST BE REMOVED AND THE TRAP RETURNED TO ITS ORIGINAL DIMENSIONS.
- BEGIN DEMOLITION OF EXISTING BELOW GRADE STRUCTURES ON SITE. REMOVE TREES TO BE REMOVED.
- CLEAR AND GRUB AREA OF DISTURBANCE. STOCKPILE SOIL IN DESIGNATED AREAS.
- BEGIN CONSTRUCTION OF HOUSES ON LOTS 17-20 UTILIZING THE INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION AND STANDARD CONSTRUCTION DETAIL 10-1. STABILIZED ACCESS MUST BE MAINTAINED OR ESTABLISHED PRIOR TO FOUNDATION AND DWELLING CONSTRUCTION.
- CRITICAL STAGE:** INSTALL BMP 1, BMP 2, & BMP 3 (INFILTRATION BEDS) ALONG WITH OUTLET STRUCTURES AND OUTLET PIPES ACCORDING TO INDIVIDUAL INFILTRATION BMP SEQUENCE OF CONSTRUCTION. STOCKPILE SOILS FOR USE IN SITE GRADING. IMMEDIATELY BLOCK ALL TRIBUTARY INLETS REPAIR-INSTALL SEDIMENT TRAP 1 WHERE DISTURBED DURING THIS CONSTRUCTION.
- ROUGH GRADE SAWMILL COURT AND LOT AREAS. INSTALL SWALES 1.1 AND 1.2 AND IMMEDIATELY STABILIZE.
- INSTALL SANITARY SEWER LINES FROM M11 TO M11.1. WHERE THE SANITARY SEWER LINE PASSES THROUGH SEDIMENT TRAP 1, THE SECTION OF COMPOST FILTER SOCK REMOVED IS TO BE REPLACED WITH A ROCK FILTER OUTLET.
- INSTALL WATER LINE ALONG SOUTH CONCORD ROAD AND SAWMILL COURT.
- INSTALL ALL UTILITY LINES WITHIN RIGHT OF WAY AND UTILITY EASEMENTS. INSTALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT AND TRIBUTARY TO BMP 2 AND IMMEDIATELY BLOCK ALL INLETS.
- INSTALL COMBINED STORM SEWER UNDERDRAIN FROM INLET 3 TO INLET 1 AND THE IN OUTLET PIPES FROM BMP 2 AND BMP 3. IMMEDIATELY INSTALL INLET PROTECTION ON INLETS.
- TEMPORARILY STABILIZE ALL LOT AREAS.
- INSTALL CURB, BASE AND BINDER COURSE ON SAWMILL COURT. INSTALL WIDENING ALONG SOUTH CONCORD ROAD.
- ONCE SAWMILL COURT BASE COURSE IS INSTALLED, REMOVE INLET BLOCKS AND INSTALL INLET PROTECTION ON ALL INLETS.
- BEGIN CONSTRUCTION OF BUILDINGS ON ALL REMAINING LOTS ACCORDING TO INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION AND STANDARD CONSTRUCTION DETAIL 10-2.
- AS EACH SET OF TWINS IS COMPLETED, INSTALL PERMANENT STABILIZATION ON YARD AREAS.
- ONCE TRIBUTARY AREAS HAVE BEEN STABILIZED, REMOVE SEDIMENT TRAPS 1 AND 2 AND FINAL GRADE THESE AREAS. IMMEDIATELY STABILIZE ALL DISTURBED AREAS.
- INSTALL PERMANENT SEEDING AND MULCH ON ALL DISTURBED AREAS IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS SHOWN ON THE PLAN. INSTALL LANDSCAPING AS SHOWN ON THE PLAN AND IN THE DETAIL.
- INSTALL WEARING COURSE ON SAWMILL COURT AND ANY REMAINING DRIVEWAYS.
- INSTALL PERMANENT COMPOST SOCK BELOW INLETS 1-3.
- ONCE ALL AREAS HAVE BEEN PERMANENTLY STABILIZED (DETERMINED BY MINIMUM 70% ESTABLISHED GRASS COVER), REMOVE ALL REMAINING EROSION CONTROLS MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROLS MEASURES.
- ANY SUBSTANTIAL CHANGES TO THE LOCATION OF BUILDINGS, STORMWATER MANAGEMENT BMPs, OR EROSION AND SEDIMENTATION CONTROLS SHALL BE REVIEWED FOR ADEQUACY BY THE COUNTY CONSERVATION DISTRICT PRIOR TO CONSTRUCTION.
- IN ORDER TO CLOSE THE PROJECT, THE APPLICANT MUST SUBMIT A COMPLETED NOTICE OF TERMINATION (NOT).

INFILTRATION BED NOTES:

- DURING SITE CONSTRUCTION, THE INFILTRATION BED SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL AND SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW. THE INFILTRATION BED SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.
- IT IS RECOMMENDED THAT A SOILS ENGINEER OR REPRESENTATIVE THEREOF IS PRESENT ON-SITE DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM IN ORDER TO ENSURE THE SYSTEMS ARE CONSTRUCTED AS DESIGNED AND TO OVERSEE THE EXCAVATION OF THE FINE GRAINS SOILS. GIVEN THE LOCALIZED INVESTIGATIONS, IT IS PARAMOUNT THAT THE ENTIRE FACILITY BOTTOM BE VERIFIED TO BE SITUATED WITHIN THE CORRECT INFILTRATION STRATUM.
- THE CONTRACTOR IS TO ENSURE THAT THERE IS NO PRECIPITATION IN THE FORECAST FOR THE DURATION OF THE INFILTRATION BED CONSTRUCTION. APPROPRIATE PERMANENT MEASURES, AS SHOWN ON THE PLAN, SHALL BE IMPLEMENTED TO PROTECT THE INFILTRATION BED FROM SEDIMENT LADEN RUNOFF ENTERING IT.
- THE FOLLOWING PROCEDURES AND MATERIALS SHALL BE REQUIRED DURING THE CONSTRUCTION OF THE INFILTRATION BED:
 - EXCAVATION FOR THE INFILTRATION BED SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE BED.
 - THE BOTTOM OF THE BED SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
 - ALL STONE IN THE RECHARGE BEDS IS TO BE CLEAN WASHED AASHTO #57 STONE OR CLEAN WASHED AASHTO #3 STONE.
 - THE TOP AND SIDES OF THE INFILTRATION BED SHALL BE COVERED WITH DRAINAGE FABRIC. FABRIC SHALL BE CLASS 1 NON-WOVEN FABRIC ACCEPTABLE TO THE MUNICIPAL ENGINEER.
 - STORMWATER SHALL BE DISTRIBUTED THROUGHOUT THE ENTIRE INFILTRATION BED AND PROVISIONS FOR THE COLLECTION OF DEBRIS SHALL BE PROVIDED AS SHOWN ON THE PLAN.

PCSWM O&M RESPONSIBLE PARTY:

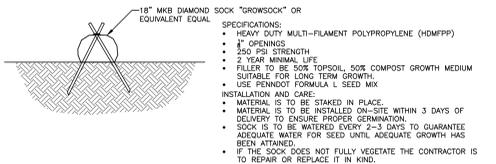
- UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSWM BMPs ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.
- FOR ANY PROPERTY CONTAINING A PCSWM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSWM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSWM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSWM BMPs AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSWM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEES, AND PROVIDE PROPER FILING WITH THE NOTICE OF TERMINATION UNDER § 102.70(b)(5) (RELATING TO PERMIT TERMINATION).
- THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSWM BMPs OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT.
- A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSWM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSWM BMPs LOCATED ON THE PROPERTY.

INFILTRATION BED CONSTRUCTION SEQUENCE (CRITICAL STAGE):

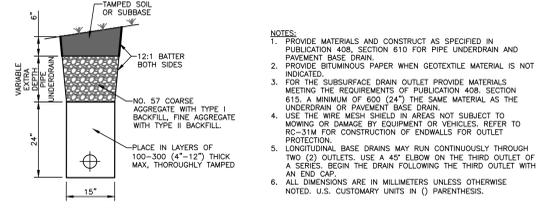
- STAKE OUT THE LIMITS OF THE BED TO BE INSTALLED.
- PROTECT INFILTRATION BED AREAS FROM COMPACTION DURING CONSTRUCTION.
- EXCAVATE UNDERGROUND INFILTRATION BED TO THE PROPOSED BOTTOM. EXCAVATION SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB THE SOIL STRUCTURE OF THE INFILTRATION ZONE. INSTALL 12" FILTER SOCK ALONG THE UPSLOPE PERIMETER OF THE EXCAVATED AREA TO PREVENT RUNOFF FROM UNSTABILIZED AREAS FROM ENTERING THE INFILTRATION AREA. IF UNFAVORABLE CONDITIONS, SUCH AS GROUNDWATER AND/OR BEDROCK, ARE ENCOUNTERED DURING INSTALLATION OF THE INFILTRATION SYSTEM, CONSTRUCTION SHALL CEASE AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED. AN ALTERNATE SYSTEM SUITABLE TO THE FIELD CONDITIONS SHALL BE DESIGNED AND APPROVED BY THE MUNICIPALITY AND THE CONSERVATION DISTRICT PRIOR TO FURTHER INSTALLATION OF THE CONTRACTOR.
- PLACE FILTER FABRIC IN THE EXCAVATION AND TACK IT UP TO THE SIDES. ALLOW SUFFICIENT FABRIC TO OVERLAP THE TOP OF THE BED.
NOTE: INFILTRATION BED FILTER FABRIC AND STONE SHALL BE KEPT CLEAN OF SOIL SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION BEDS, APPROPRIATE MEASURES (I.E., CLEANING THE SOIL SEDIMENT FROM THE FABRIC, STONE, BED, ETC. AN OR REPLACEMENT OF THE FABRIC AND STONE), PIECES OF FILTER FABRIC SHALL BE INSTALLED WITH A 12" OVERLAP 12" ON ALL SEAMS.
- PLACE CLEAN STONE IN THE BOTTOM OF THE BED AND EVENLY DISTRIBUTE ON THE BOTTOM. CARE SHALL BE TAKEN TO ENSURE THAT THE FILTER FABRIC IN THE BED IS NOT TORN DURING INSTALLATION. ALL STONE SHALL BE UNIFORMLY GRADED, CLEAN WASHED AGGREGATE. DRAINAGE FABRIC SHALL BE CHECKED AND APPROVED BY THE DESIGN OR SITE ENGINEER BEFORE INSTALLATION INTO SEEPAGE BEDS TO ENSURE THAT IT IS CLEAN WASHED STONE.
- INSTALL THE INLETS AND DISTRIBUTION PIPE AS SHOWN ON THE DETAIL. COMPLETE BACKFILLING OF STONE IN THE BEDS TO THE LEVEL OF THE INFLOW PIPES. PROVIDE OPENING IN THE FILTER FABRIC FOR THE INFLOW PIPES. PLACE ADDITIONAL STONE UP TO THE ELEVATION OF THE OUTFLOW PIPE.
- COMPLETE PLACEMENT OF THE STONE IN THE INFILTRATION BED. OVERLAP FILTER FABRIC ON TOP OF THE INFILTRATION BED. BACKFILL OVER THE INFILTRATION AREA WITH SOIL TO FINISHED GRADE. STABILIZE AREA OVER UNDERGROUND BED WITH PERMANENT MEASURES AS STATED ON THE EROSION AND SEDIMENT CONTROL PLAN. INSTALL WATERTIGHT COVERS ON INLETS UNTIL THE DISTURBED AREA IS STABILIZED TO PREVENT CONTAMINATION OF STONE WITHIN THE RECHARGE BEDS.
- THE INSTALLATION OF THE INFILTRATION BED SHALL BE DONE DURING NON-RAINY PERIODS TO PREVENT SEDIMENT DEPOSITION AND CLOGGING OF THE SOIL STRUCTURE. IF RAIN BEGINS AFTER THE EXCAVATION THE INFILTRATION BED HAS BEEN COMPLETED, FILTER FABRIC SHALL BE PLACED ON THE BED AREA. THE FILTER FABRIC SHALL BE REMOVED AND REPLACED IF SEDIMENT ACCUMULATES IN THE BED AREA.
- INFILTRATION BED FILTER FABRIC AND STONE SHALL BE KEPT CLEAN OF SOIL SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION BEDS, APPROPRIATE MEASURES (I.E., CLEANING THE SOIL SEDIMENT FROM THE FABRIC, STONE, BED, ETC. AN OR REPLACEMENT OF THE FABRIC AND STONE).
- ALL INLETS SHALL BE GIVEN A FINAL INSPECTION AFTER THE SITE HAS BEEN STABILIZED TO ENSURE THEY ARE FREE OF SEDIMENT.

INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION:

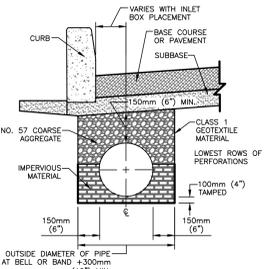
- ALL EARTH DISTURBANCE ACTIVITIES FOR THE INDIVIDUAL LOTS SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE AND THE INDIVIDUAL LOT CONTROL DETAILS PROVIDED. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. THIS SEQUENCE ASSUMES THAT OVERALL EROSION CONTROLS ARE INSTALLED, BECAUSE LOTS ARE TWINS, EACH PAIR OF TWINS WILL BE CONSTRUCTED TOGETHER.
- INSTALL SILT SOCK AND ROCK CONSTRUCTION ENTRANCE FOR INDIVIDUAL LOT.
 - BEGIN CONSTRUCTION OF FOUNDATION.
 - INSTALL STONE BASE FOR DRIVEWAY.
 - BEGIN HOUSE CONSTRUCTION.
 - INSTALL UTILITIES.
 - ONCE HOUSE IS ENCLOSED, SPREAD TOPSOIL AND SEED.
 - REMOVE ALL REMAINING EROSION CONTROLS MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROLS MEASURES.



PERMANENT COMPOST SOCK DETAIL
(NOT TO SCALE)

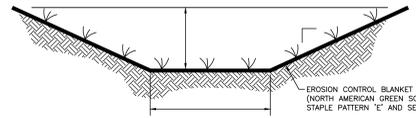


STANDARD UNDERDRAIN DETAIL RC-30M
(NOT TO SCALE)



COMBINATION STORM SEWER AND UNDERDRAIN

NOTE: PLACE NO. 57 COARSE AGGREGATE, TAMPED IN LAYERS 150MM (6") THICK, STARTING AT THE LOWEST ROWS OF PERFORATIONS ON THE START OR OPEN JOINT. PLACE GROUPS OF PERFORATIONS OR THE OPEN JOINT (S PIPE CURVATURE) SYMMETRICALLY ABOUT THE VERTICAL CENTER LINE.



GRASS LINED SWALE DETAIL
(NOT TO SCALE)

GRASS LINED SWALE TABLE

SWALE #	W	D	V	H
1.1	15 FT.	0.75 FT.	1	20
1.2	4 FT.	0.75 FT.	1	4

INLAND DESIGN, LLC
16 Hagerty Blvd.
West Chester, PA 19382
www.InLandDesign.net

PARCEL NO. 67-4-82 | D.B. 10352 | PG. 1364

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
Phone: (484) 947-2928
Fax: (484) 947-2946
Info@InLandDesign.net

JOEL D. COMANDA
REGISTERED PROFESSIONAL ENGINEER
No. Date: Description:
1 02/10/2021 REVISED PER TOWNSHIP REVIEWS
2 03/25/2021 REVISED PER TOWNSHIP REVIEWS
3 04/21/2021 REVISED PER TOWNSHIP REVIEWS
4 05/12/2021 REVISED PER CCCD COMMENTS
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6 07/26/2021 VALUE ENGINEERING TO REVISE BMPs
7 09/01/2021 REVISED FOR FINAL PLANS
8 09/13/2021 PLANS FOR RECORDING

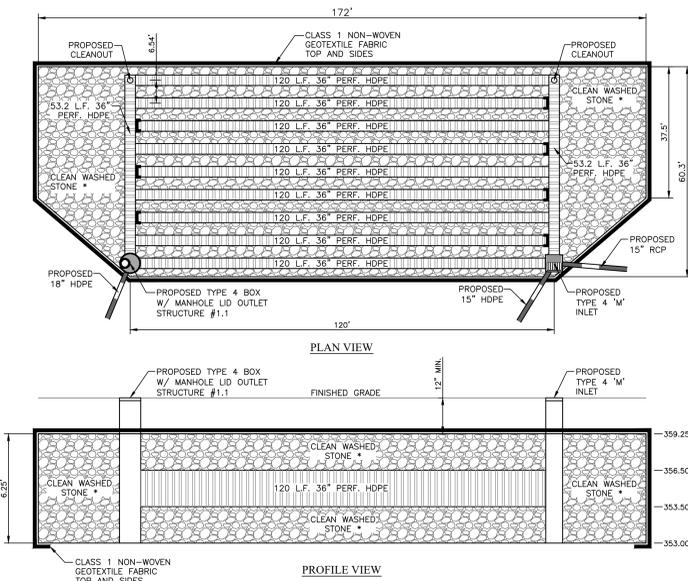
PRELIMINARY/FINAL LAND DEVELOPMENT

Date: 12/07/2020
Scale: AS NOTED
Drawn by: TMW
Checked by: JDC
Project No: 11541

PCSWM DETAILS & NOTES 'A'
FOR
SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
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S H E E T
9
OF 20

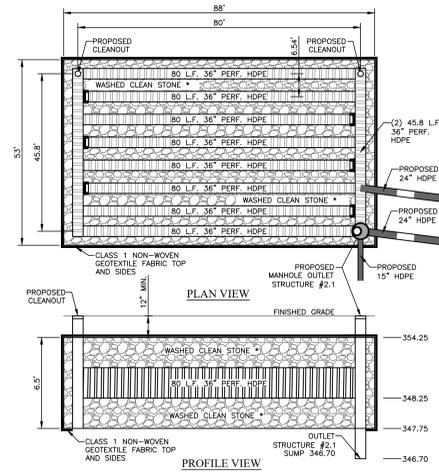
BMP 1



BMP 1 DETAIL
(NOT TO SCALE)

* CONTRACTOR TO USE CLEAN WASHED STONE, EITHER AASHITO #57 OR #3 STONE

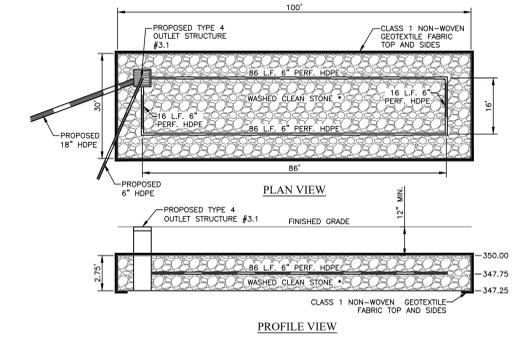
BMP 2



BMP 2 DETAIL
(NOT TO SCALE)

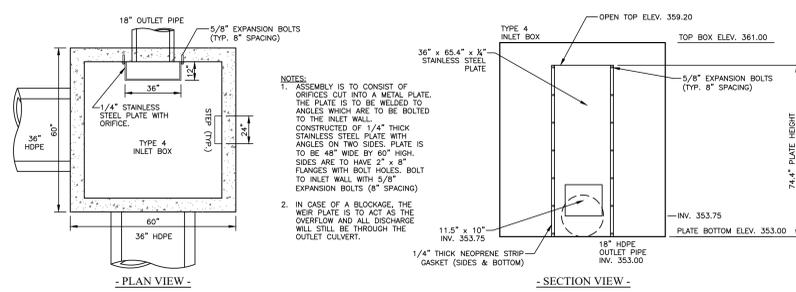
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BMP 3

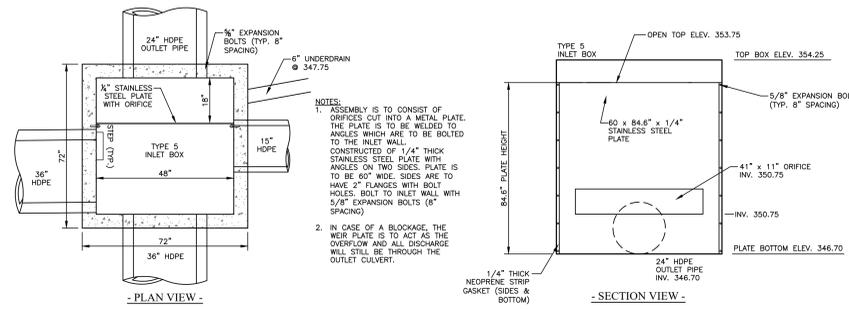


BMP 3 DETAIL
(NOT TO SCALE)

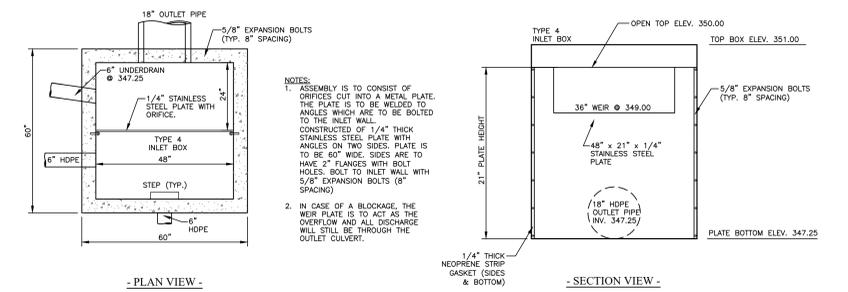
* CONTRACTOR TO USE CLEAN WASHED STONE, EITHER AASHITO #57 OR #3 STONE



BMP #1
TYPE 4 PRECAST CONCRETE BOX
ORIFICE PLATE DETAIL

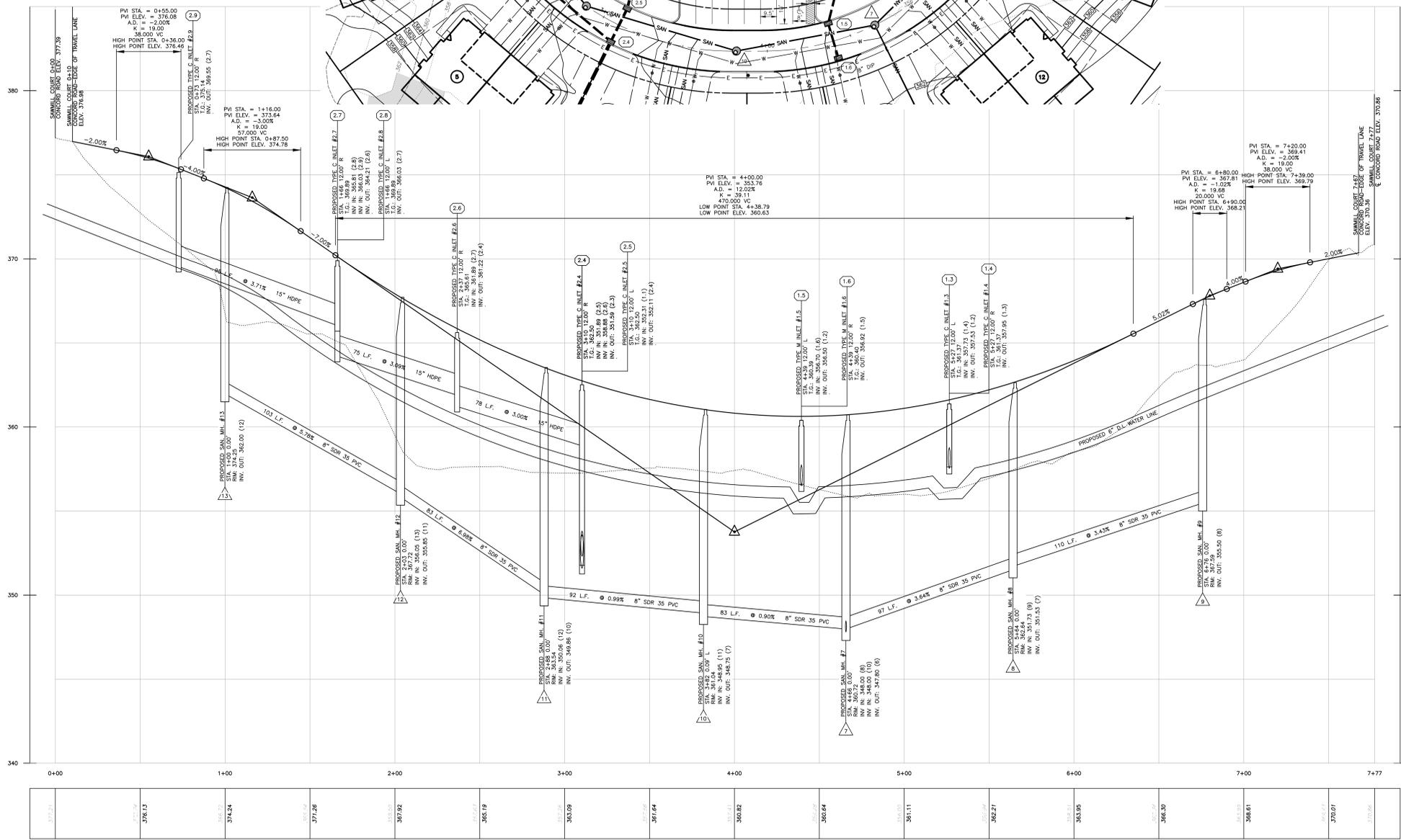
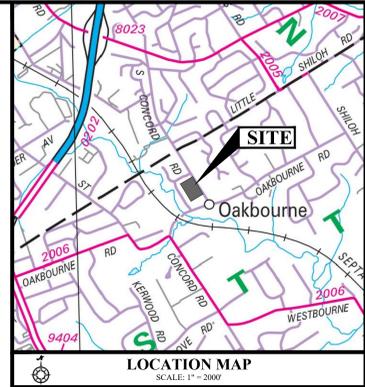
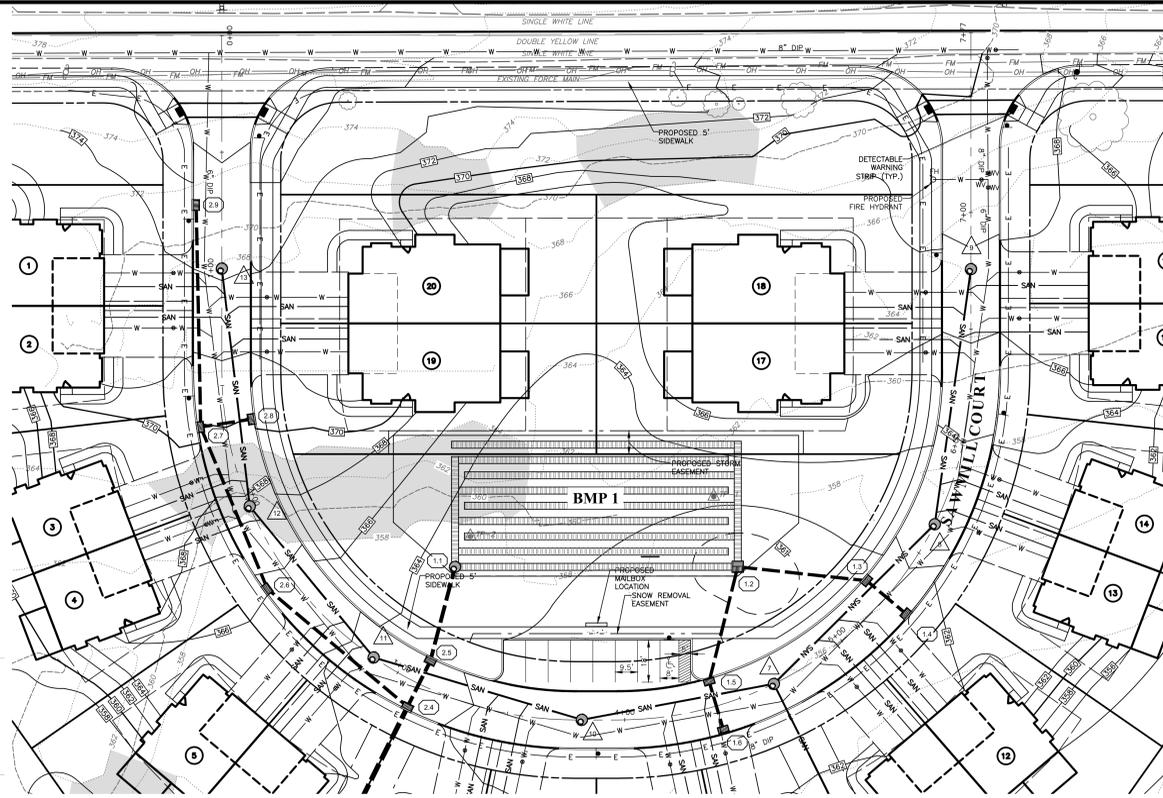


BMP #2
TYPE 5 PRECAST CONCRETE BOX
ORIFICE PLATE DETAIL



BMP #3
TYPE 4 PRECAST CONCRETE BOX
ORIFICE PLATE DETAIL

No.	Date	Description
1	02/10/2020	REVISED PER TOWNSHIP REVIEWS
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8	09/13/2021	PLANS FOR RECORDING



- LEGEND**
- PROPERTY BOUNDARY
 - PROPERTY BOUNDARY TO BE REMOVED
 - ADJOINING PROPERTY LINE
 - FLOOD PLAN LINE
 - EST PIT LOCATION
 - EXISTING RIGHT OF WAY LINE
 - EXISTING EASEMENT LINE
 - EXISTING 2' CONTOUR W/ ELEVATION
 - EXISTING 10' CONTOUR W/ ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING BRICK
 - EXISTING PAVERS
 - EXISTING CONCRETE
 - EXISTING BRUSHLINE
 - EXISTING TREELINE
 - EXISTING TREE SYMBOLS
 - EXISTING LIGHT
 - EXISTING UTILITY POLE
 - EXISTING WELL
 - EXISTING WATER VALVE
 - EXISTING SIGN
 - EXISTING FENCE LINE
 - SOILS LINE AND DESCRIPTION
 - PRECAUTIONARY SLOPES 15% - 25%
 - PROHIBITIVE SLOPES 25% - UP
 - WETLAND AREA
 - EXISTING STORM STRUCTURES & PIPE
 - EXISTING SANITARY STRUCTURES & PIPE
 - EXISTING ROAD CENTERLINE
 - EXISTING CURB LINE
 - EXISTING ROAD PAVING
 - EXISTING DRIVEWAY
 - EXISTING STONE DRIVE
 - EXISTING SANITARY LATERAL
 - EXISTING SANITARY FORCE MAIN
 - EXISTING WATER LINE
 - EXISTING ELECTRIC LINE
 - EXISTING GAS LINE
 - EXISTING TELEPHONE LINE
 - EXISTING TELEPHONE LINE
 - PROPOSED IRON PIN
 - PROPOSED MONUMENT
 - PROPOSED RIGHT OF WAY LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PROPOSED SPOT ELEVATION
 - PROPOSED CONCRETE
 - PROPOSED TREELINE
 - PROPOSED UTILITY POLE
 - PROPOSED SIGN
 - PROPOSED WATER VALVE
 - PROPOSED SIGN
 - PROPOSED FENCE LINE
 - PROPOSED STORM STRUCTURES & PIPE
 - PROPOSED SANITARY STRUCTURES & PIPE
 - PROPOSED ROAD CENTERLINE
 - PROPOSED CURB LINE
 - PROPOSED ROAD PAVING
 - PROPOSED DRIVEWAY
 - PROPOSED WALL
 - PROPOSED SANITARY LATERAL
 - PROPOSED SANITARY FORCE MAIN
 - PROPOSED WATER LINE
 - PROPOSED ELECTRIC LINE
 - PROPOSED GAS LINE
 - PROPOSED TELEPHONE LINE

SAWMILL COURT PROFILE
SCALE: (H) 1"=30' (V) 1"=3'

APPLICANT / OWNER:
HUNTRESS BUILDERS, LLC
ATTN: WAYNE MEGILL, CO-MANAGER
330 KENNETH PIKE, SUITE 207
CHADDS FORD, PA 19317
(610) 399-1235
SITE ADDRESS:
914-924 S. CONCORD RD.
WESTTOWN TWP., CHESTER COUNTY, PA
PARCEL NO. 67-4-82 | D.B. 10352 | PG. 1564

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Pennsylvania One Call System
PA, act 172 of 1986 requires three working days notice
Serial Numbers:
20201921658
PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans. nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerty Blvd.
West Chester, PA 19382
www.InlandDesign.net
Phone: (484) 947-2928
Fax: (484) 947-2946
Info@InlandDesign.net

JOSEPH D. COMANDA
ENGINEER
PE#079740
PENNSYLVANIA

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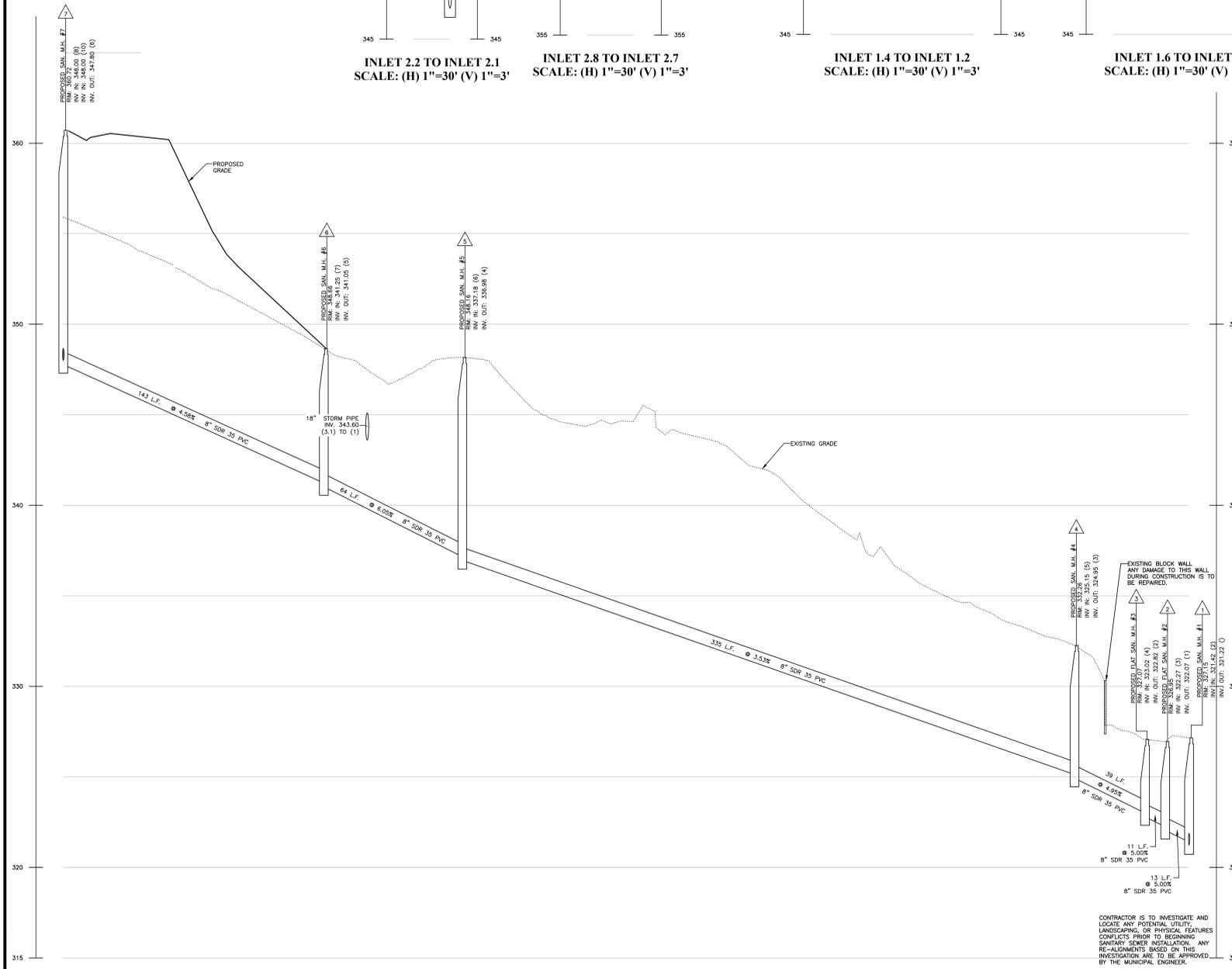
PRELIMINARY/FINAL LAND DEVELOPMENT

GRAPHIC SCALE
0 15 30 60 120
(IN FEET)
1 inch = 30'

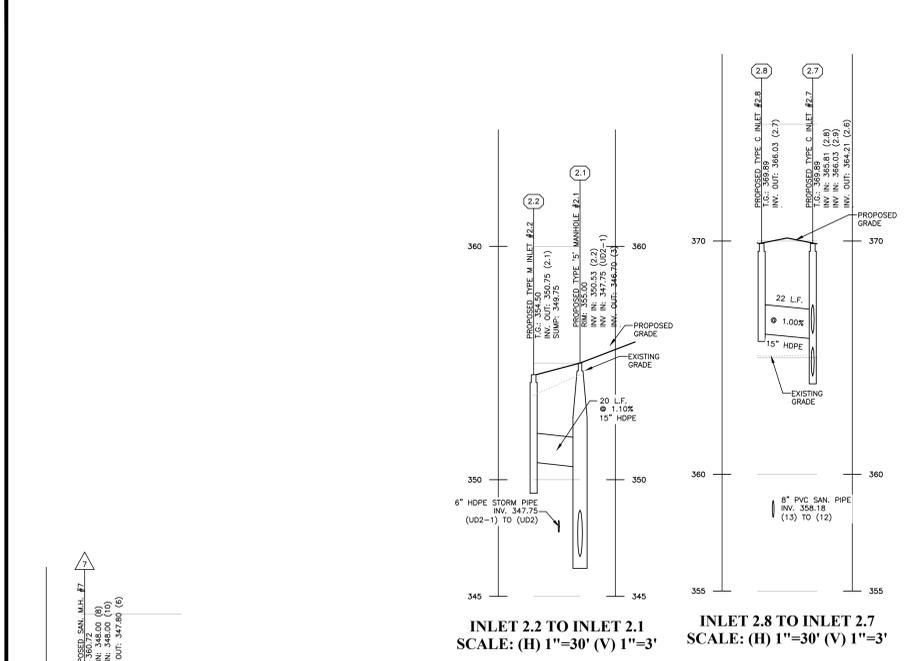
Date: 12/07/2020
Scale: 1" = 30'
Drawn by: TMW
Checked by: JDC
Project No: 11541

PCSWM PLAN & PROFILE FOR SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
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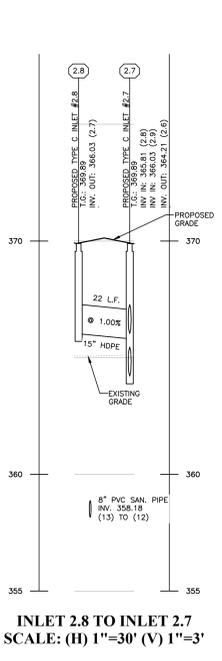
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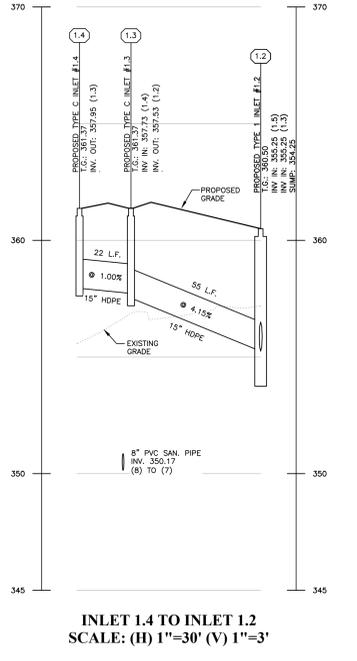
SANITARY PROFILE MH 5 TO PUMP STATION WET WELL
SCALE: (H) 1"=30' (V) 1"=3'



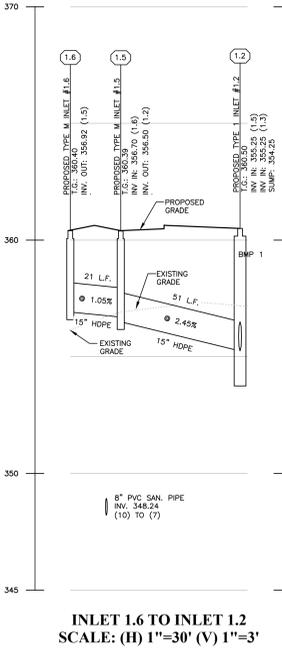
INLET 2.2 TO INLET 2.1
SCALE: (H) 1"=30' (V) 1"=3'



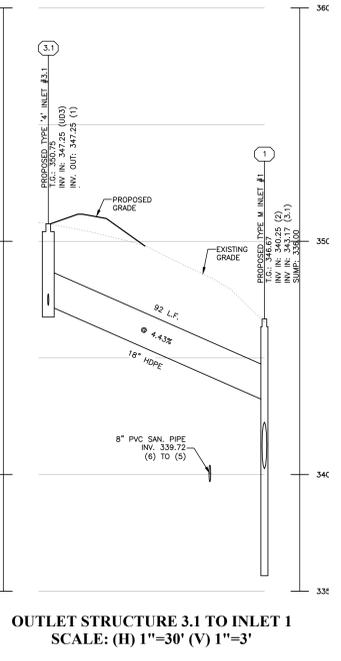
INLET 2.8 TO INLET 2.7
SCALE: (H) 1"=30' (V) 1"=3'



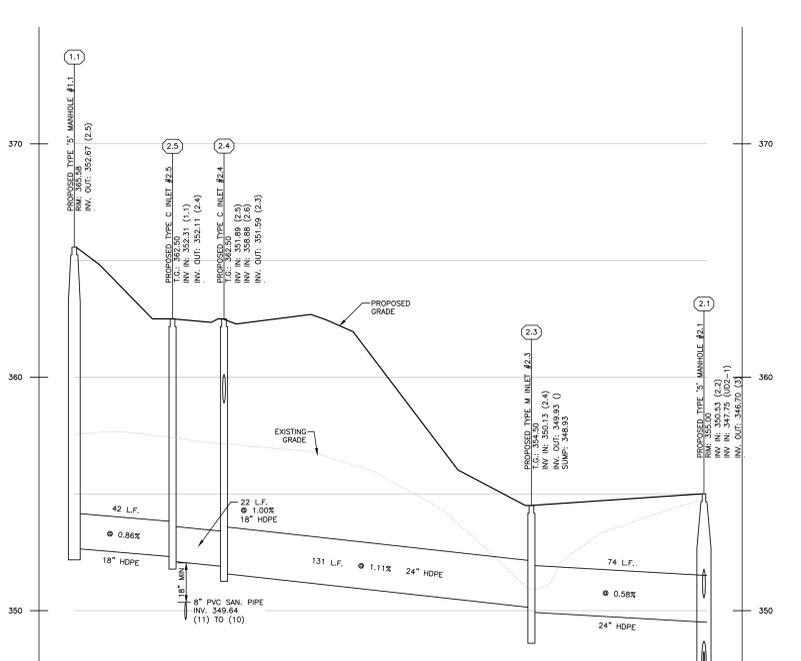
INLET 1.4 TO INLET 1.2
SCALE: (H) 1"=30' (V) 1"=3'



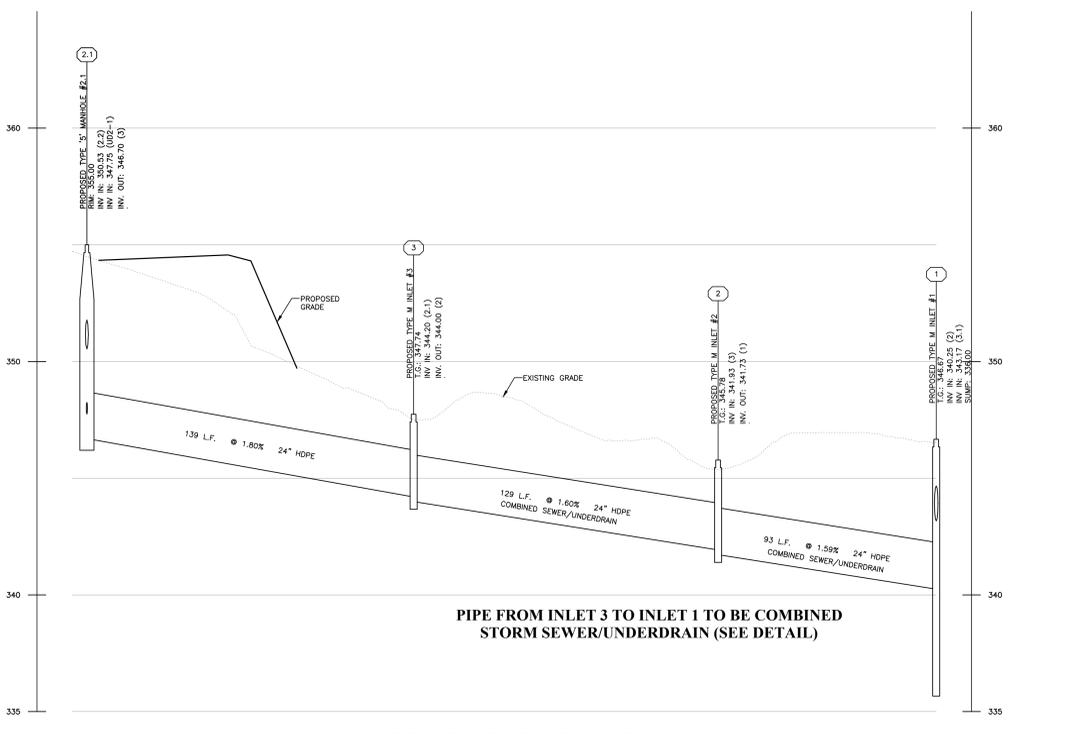
INLET 1.6 TO INLET 1.2
SCALE: (H) 1"=30' (V) 1"=3'



OUTLET STRUCTURE 3.1 TO INLET 1
SCALE: (H) 1"=30' (V) 1"=3'



OUTLET STRUCTURE 1.1 TO BMP 2
SCALE: (H) 1"=30' (V) 1"=3'



PIPE FROM INLET 3 TO INLET 1 TO BE COMBINED STORM SEWER/UNDERDRAIN (SEE DETAIL)
SCALE: (H) 1"=30' (V) 1"=3'

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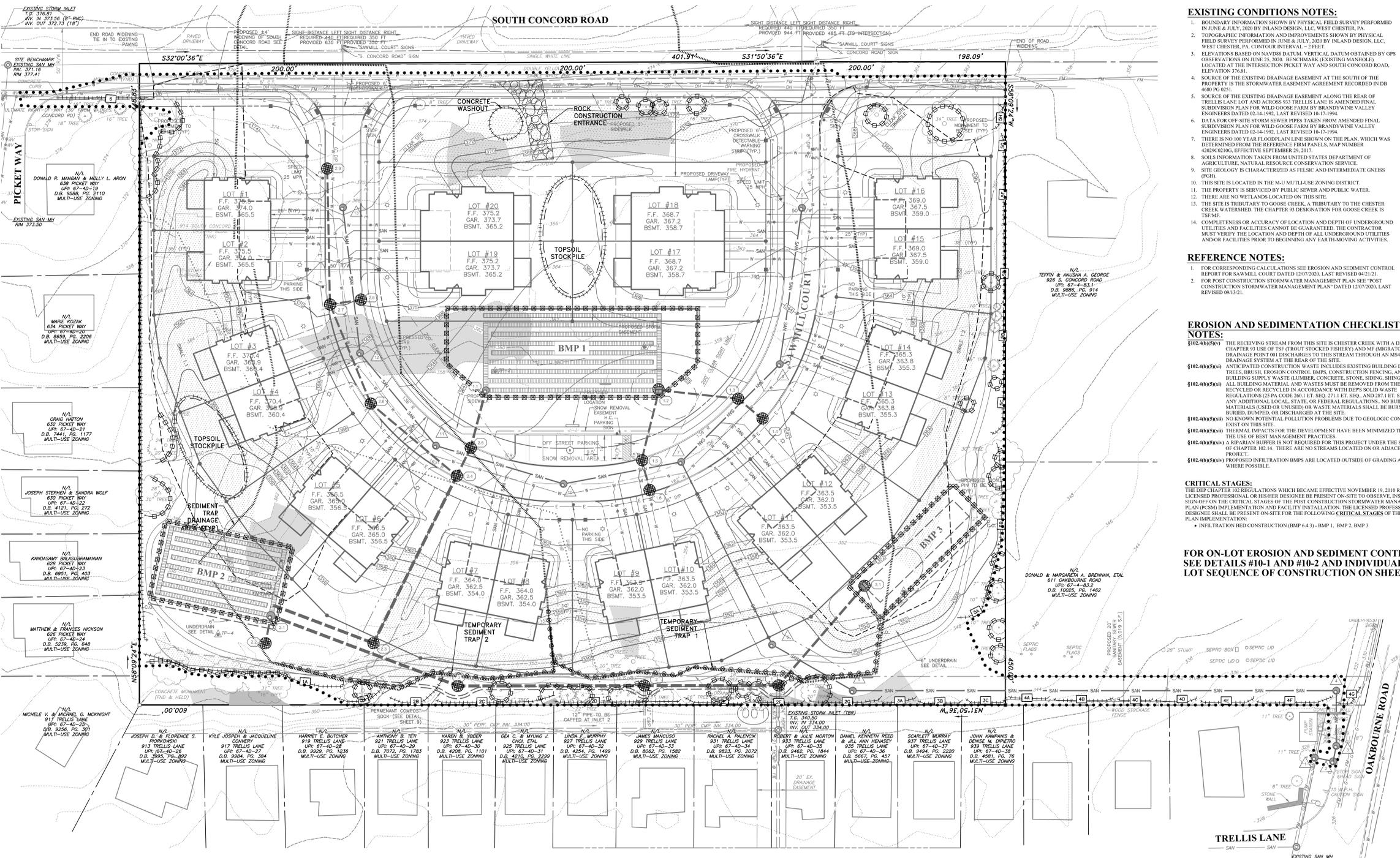
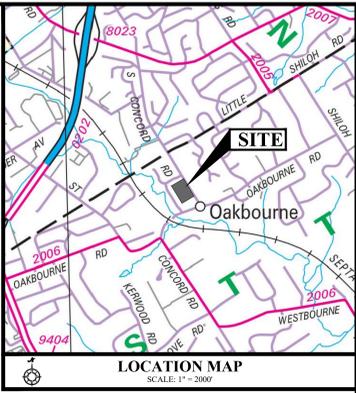
PRELIMINARY/FINAL LAND DEVELOPMENT

GRAPHIC SCALE
1 inch = 30'

Date: 12/07/2020
Scale: 1" = 30'
Drawn by: TMW
Checked by: JDC
Project No. 11541

PCSWM OFF-ROAD PROFILES FOR SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
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SHEET 12 OF 20



EXISTING CONDITIONS NOTES:

- 1. BOUNDARY INFORMATION SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA.
- 2. TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN JUNE & JULY, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL - 2 FEET.
- 3. ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON JUNE 25, 2020. BENCHMARK (EXISTING MANHOLE) LOCATED AT THE INTERSECTION PICKET WAY AND SOUTH CONCORD ROAD. ELEVATION 376.81.
- 4. SOURCE OF THE EXISTING DRAINAGE EASEMENT AT THE SOUTH OF THE PROPERTY IS THE STORMWATER EASEMENT AGREEMENT RECORDED IN DB #400/PO.025.
- 5. SOURCE OF THE EXISTING DRAINAGE EASEMENT ALONG THE REAR OF TRELIS LANE LOT AND ACROSS 933 TRELIS LANE IS AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
- 6. DATA FOR OFF-SITE STORM SEWER PIPES TAKEN FROM AMENDED FINAL SUBDIVISION PLAN FOR WILD GOOSE FARM BY BRANDY WINE VALLEY ENGINEERS DATED 02-14-1992. LAST REVISED 10-17-1994.
- 7. THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 4202C0206, EFFECTIVE SEPTEMBER 29, 2017.
- 8. SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- 9. SITE GEOLOGY IS CHARACTERIZED AS FELSIC AND INTERMEDIATE GNEISS (FGD).
- 10. THIS SITE IS LOCATED IN THE M4U MULTIPLE USE ZONING DISTRICT.
- 11. THE PROPERTY IS SERVED BY PUBLIC SEWER AND PUBLIC WATER.
- 12. THERE ARE NO WETLANDS LOCATED ON THIS SITE.
- 13. THE SITE IS TRIBUTARY TO GOOSE CREEK, A TRIBUTARY TO THE CHESTER CREEK WATERSHED THE CHAPTER 93 DESIGNATION FOR GOOSE CREEK IS T25M.
- 14. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.

REFERENCE NOTES:

- 1. FOR CORRESPONDING CALCULATIONS SEE EROSION AND SEDIMENT CONTROL REPORT FOR SAWMILL COURT DATED 12/07/2020. LAST REVISED 09/15/21.
- 2. FOR POST CONSTRUCTION STORMWATER MANAGEMENT PLAN SEE "POST CONSTRUCTION STORMWATER MANAGEMENT PLAN" DATED 12/07/2020. LAST REVISED 09/15/21.

EROSION AND SEDIMENTATION CHECKLIST NOTES:

- 102.40b(5)(v) THE RECEIVING STREAM FROM THIS SITE IS CHESTER CREEK WITH A DESIGNATED CHAPTER 93 USE OF TSF (CROFT STOCKED FISHERY) AND MF (MIGRATORY FISHES) DRAINAGE POINT 001 DISCHARGES TO THIS STREAM THROUGH AN MS4 STORM DRAINAGE SYSTEM AT THE REAR OF THE SITE.
- 102.40b(5)(vi) ANTICIPATED CONSTRUCTION WASTE INCLUDES EXISTING BUILDING DEMOLITION, TREES, BRUSH, EROSION CONTROL BMPs, CONSTRUCTION FENCING, AND BUILDING SUPPLY WASTE (LUMBER, CONCRETE, STONE, SIDING, SHINGLES, ETC.).
- 102.40b(5)(vii) ALL BUILDING MATERIAL AND WASTE MUST BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ. 271.1 ET SEQ. AND 281.1 ET SEQ. AND/OR ANY ADDITIONAL LOCAL, STATE, OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 102.40b(5)(viii) NO KNOWN POTENTIAL POLLUTION PROBLEMS DUE TO GEOLOGIC CONDITIONS EXIST ON THIS SITE.
- 102.40b(5)(ix) THERE HAS BEEN NO DEVELOPMENT HAVING BEEN MINIMIZED THROUGH THE USE OF BEST MANAGEMENT PRACTICES.
- 102.40b(5)(x) A RIPARIAN BUFFER IS NOT REQUIRED FOR THIS PROJECT UNDER THE STANDARDS OF CHAPTER 102.14. THERE ARE NO STREAMS LOCATED OR ADJACENT TO THIS PROJECT.
- 102.40b(5)(xi) PROPOSED INFILTRATION BMPs ARE LOCATED OUTSIDE OF GRADING AREAS WHERE POSSIBLE.

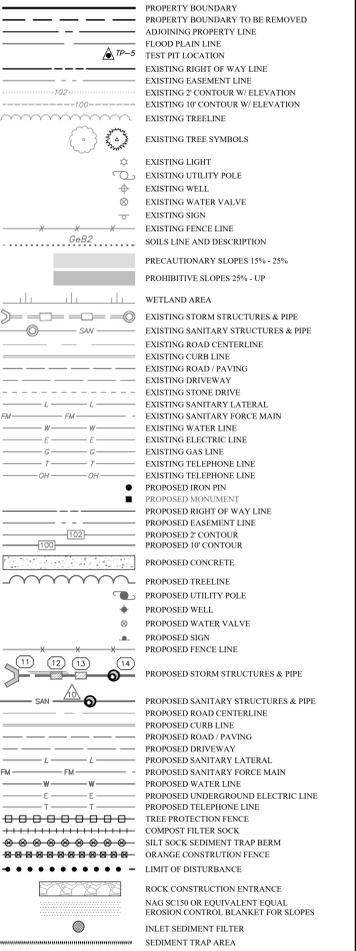
CRITICAL STAGES:

THE DEP CHAPTER 102 REGULATIONS WHICH BECAME EFFECTIVE NOVEMBER 19, 2010 REQUIRE A LICENSED PROFESSIONAL OR HIS/HER DESIGNEE BE PRESENT ON-SITE TO OBSERVE, INSPECT AND SIGN-OFF ON THE CRITICAL STAGES OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION AND FACILITY INSTALLATION. THE LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON-SITE FOR THE FOLLOWING CRITICAL STAGES OF THE PCSM PLAN IMPLEMENTATION:

- INFILTRATION BED CONSTRUCTION (BMP #6.4.3), BMP 1, BMP 2, BMP 3

FOR ON-LOT EROSION AND SEDIMENT CONTROLS SEE DETAILS #10-1 AND #10-2 AND INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION ON SHEET 14

LEGEND



TOTAL PROJECT SITE AREA: 6.19 AC

THE NPDES PROJECT SITE BOUNDARY INCLUDES THE PROPERTY BOUNDARY ALONG WITH ANY DISTURBED AREAS LOCATED OFF-SITE FOR UTILITY OR ROADWAY IMPROVEMENTS.

DISTURBED AREA: 6.03 AC

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
U ₁ B	URBAN LAND-GLADSTONE	0% - 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 TO 100 INCHES	2e	A
U ₁ gB	URBAN LAND-DORTMUNTS	0% - 8%	MODERATE (ABOUT 6.8 INCHES)	WELL DRAINED	ABOUT 60 INCHES	20 TO 70 INCHES	7s	C

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PENNSYLVANIA ONE CALL SYSTEM
PA, act 172 of 1986 requires three working days notice
Social Number:
20201921658
PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC and its employees warrant the accuracy of the location for existing utility and facility structures shown on the plans, see above for the third party's sole risk and without liability or legal exposure to Inland Design, LLC. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerty Blvd. West Chester, PA 19382
Phone: (484) 947-2928 Fax: (484) 947-2946
www.InlandDesign.net Info@InlandDesign.net

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
JOEL D. COMANDA
PE#070740

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCDC COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPs
7	09/01/2021	REVISED FOR FINAL PLANS
8	09/13/2021	PLANS FOR RECORDING

PRELIMINARY/FINAL LAND DEVELOPMENT

GRAPHIC SCALE
0 15 30 60 120
(IN FEET)
1 inch = 30'

Date: 12/07/2020
Scale: 1" = 30'
Drawn by: TMW
Checked by: JDC
Project No: 11541

EROSION & SEDIMENT CONTROL PLAN
FOR
SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET
13
OF 20

STANDARD E&S PLAN NOTES

- ALL EARTH DISTURBANCE, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PC&M PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA LOCAL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
- AREAS TO BE FILLED ARE TO BE GRADED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBSTRUCTIONAL MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS BEYOND THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATIONS(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. TOPSOIL SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 3 FEET. STOCKPILE SLOPES SHALL BE 2:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S WASTE MANAGEMENT REGULATIONS AT 29 PA. CODE 58.01 ET SEQ. 271.1, AND 287 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURNED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FARM F&O MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS (SPECIFY LOT NUMBERS) ONTO (SPECIFY ROAD NAMES).
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND REINTELLING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS TO THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE AT THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVED, OR SWIFT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BURST, ROOTS, SOIL, OR OTHER FOREIGN OR OBSTRUCTIONAL MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE MANKATED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS DURING NON-RAINING MONTHS. MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM ANNUAL PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION, CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- PERMANENT STABILIZATION SHALL BE STABILIZED IN ACCORDANCE WITH TEMPORARY STABILIZATION SPECIFICATIONS UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DESTROYED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS. SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LOADED RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES BEING IMPOSED BY THE DEPARTMENT AS DEFINED IN SECTION 60 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$1000 PER DAY IN CIVIL PENALTIES, UP TO \$1000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN Misdemeanor OR CRIMINAL PENALTIES FOR EACH VIOLATION.

SEEDING, MULCHING AND SODDING:

SEEDING, MULCHING AND SODDING WILL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MONTGOMERY COUNTY CONSERVATION DISTRICT. ALL SLOPES STEEPER THAN 3:1 AND ALL SWALLS WILL BE STABILIZED WITH EITHER SOIL OR PERMANENT SEEDING AND MULCH ANCHORED IN PLACE WITH AN EROSION CONTROL BLANKET (NORTH AMERICAN GREENS 75 OR EQUAL). NO PROPOSED SLOPES WILL BE STEEPER THAN 2:1. ALL DISTURBED AREAS WILL BE STABILIZED IMMEDIATELY WITH EITHER TEMPORARY OR PERMANENT SEEDING AND MULCH. HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF AT LEAST 3 TONS PER ACRE. ALL SEEDED AREAS AND ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND FOLLOWING EACH RAIN UNTIL PERMANENT COVER IS ESTABLISHED.

SHOUL UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALE, CRUSHED STONE AND/OR OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1 DEPARTMENT OF ENVIRONMENTAL PROTECTION; SUBPART C. PROTECTION OF NATURAL RESOURCES; ARTICLE III, WATER RESOURCES; CHAPTER 102, EROSION CONTROL.

A COPY OF THESE EROSION AND SEDIMENT CONTROL PLANS MUST BE POSTED AT THE CONSTRUCTION SITE IN ACCORDANCE WITH STATE LAW.

NOTE:
SEDIMENT BARRIERS (I.E., COMPOST FILTER SOCKS) SHALL BE INSTALLED BELOW ALL AREAS DISTURBED FOR THE ESTABLISHMENT OF LAWNS AND SHALL BE MAINTAINED UNTIL THE LAWN HAS BEEN PERMANENTLY STABILIZED.

SECTION 102.22(b) - TEMPORARY SITE STABILIZATION

UPON FINAL COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDDED, MULCHED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENT PENDING FUTURE EARTH DISTURBANCE ACTIVITIES:

- E&S BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- ANY DISTURBED AREA THAT IS NOT AT FINAL GRADE OR WHERE THERE HAS BEEN A CESSATION OF EARTHMOVING ACTIVITY SHALL BE PLANTED WITH A TEMPORARY SEED MIX AND MULCHED. AREAS THAT ARE TO BE EXPOSED FOR MORE THAN ONE YEAR SHALL BE SEEDDED WITH PERMANENT SEED MIX AND MULCHED. SEEDING PREPARATION AND SEEDING METHODS:
 - LIME - AGRICULTURAL GRADE LIMESTONE
 - A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:
 - LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)
 - FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20

A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE: FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
- TEMPORARY SEED MIXTURE:
 - ANNUAL RYEGRASS IS A QUICK GERMINATING SPECIES OF GRASS WHICH CAN BE SEEDDED DURING MOST TIME PERIODS. IF YOU PLAN TO LEAVE THE PROJECT DISTURBED AND INACTIVE FOR MORE THAN TWENTY (20) DAYS, TEMPORARY SEEDING SHALL BE APPLIED IMMEDIATELY. IF THE SITE IS TO REMAIN INACTIVE FOR ONE YEAR OR MORE, A PERMANENT SEED MIX IS NECESSARY. ANNUAL RYEGRASS = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
- MULCH
 - ALL AREAS THAT ARE SEEDDED SHALL BE MULCHED. MULCHING MAY BE USED AS A TEMPORARY STABILIZATION IN SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCH IS A LOOSE LAYER 1" DEEP OF CLEAN STRAW OR HAY. STRAW OR HAY MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKLED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE: STRAW/HAY = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)

SECTION 102.4(b)(5)(x) - MAINTENANCE AND INSPECTION PROGRAM

MAINTENANCE PROGRAM WHICH PROVIDES FOR OPERATION AND MAINTENANCE OF BMPs AND THE INSPECTION OF BMPs ON A WEEKLY BASIS AND AFTER EACH RAINFALL EVENT, INCLUDING THE REPAIR OR REPLACEMENT OF BMPs TO ENSURE EFFECTIVE AND EFFICIENT OPERATION.

- MAINTENANCE OF ALL E&S BMPs SHALL BE RESPONSIBILITY OF THE PROPERTY OWNER.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL BMPs AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND REINTELLING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO DOCUMENT EACH INSPECTION AND ALL BMP REPAIR OR REPLACEMENT AND MAINTENANCE ACTIVITIES. A LOG SHOWING DATES THAT BMPs WERE INSPECTED, AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON-SITE AND BE MADE AVAILABLE TO THE REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOOD PLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- REFER TO THE SPECIFIC E&S DETAILS FOR ADDITIONAL INFORMATION REGARDING INSTALLATION.

GENERAL E&S BMP INSPECTION & MAINTENANCE SCHEDULE

E&S BMP	MAINTENANCE ACTIVITY	INSPECTION SCHEDULE	ADDITIONAL SPECIFICATIONS
ROCK CONSTRUCTION ENTRANCE	MAINTAIN THICKNESS TO SPECIFIED DIMENSIONS REMOVE SEDIMENT DEPOSITION ON PUBLIC ROADWAY/SIDEWALKS IMMEDIATELY UPON DISCOVERY	INSPECT DAILY	IN HAZARDOUS SITUATIONS WHEN MUD CAUSES SLACK CONDITIONS ON TRAVEL ROADWAYS, PRESSURE WASHING SHALL BE PERFORMED TO THE SATURATION OF THE TOWNSHIP. ALL SEDIMENT-LADEN WATER GENERATED BY PRESSURE WASHING SHALL BE COLLECTED AND FILTERED THROUGH AN ADEQUATE FILTER CONTROL, SUCH AS WATER FILTER BAG, PRIOR TO DISCHARGE TO SEWER OR WATER.
PUMPED WATER FILTER BAG	REPLACE BAGS WHEN THEY BECOME FULL OF SEDIMENT	INSPECT BAGS DAILY	IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.
SUPER SILT AND FINE FILTER BAG (18"x30")	SEDIMENT SHALL BE REMOVED AS REQUIRED TO MAINTAIN BAG'S HALF FULL WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOPING OR BACKFLOW OF THE INLET.	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	IF ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY. ADHERE TO ALL MANUFACTURERS RECOMMENDATIONS FOR REPLACING FILTER FABRIC FENCE TO WEATHERING.
ROCK FILTER OUTLET	ALL UNBROUGHT OR BROKEN OF THE TOP ANCHOR SHALL BE REPAIRED IMMEDIATELY WITH COMPACTED BACKFILL MATERIAL.	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	ANY SECTION OF FILTER FABRIC FENCE THAT HAS BEEN UNBROUGHT OR TOPLED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.
COMPOST FILTER SOCK	SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	DAMAGED SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPAIRED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED IMMEDIATELY WITHIN 4 MONTHS. HYDROPHOBIC SOCKS AFTER 1 YEAR. ONLY POLYESTER SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
SEEDING AND MULCHING	SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND REGRADED AS NECESSARY. MULCHING SHALL BE COMPLETED.	PROPERTY MAINTAIN SEEDED AND MULCHED AREAS UNTIL THE PERMANENT MULCHING HAS BEEN COMPLETED.	REPAIR/REPLACE ACCORDING TO MANUFACTURER'S SPECIFICATIONS
EROSION CONTROL BLANKET	DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN A CALENDAR DAYS.	REFER TO TEMPORARY AND PERMANENT SPECIFICATIONS FOR ADDITIONAL DETAIL.	AFTER MULCHING WORK ON A SLOPE HAS BEEN SATISFACTORILY COMPLETED, IF SLOPE FAILURE OCCURS (ONE WHICH REQUIRES REVERSE SLOPE OR THE ESTABLISHMENT OF A NEW SLOPE) REPLACE THE MULCH AS DIRECTED.
INLET FILTER BAG	BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN THE BAG IS HALF FULL WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOPING OR BACKFLOW OF THE INLET.	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	DAMAGED FILTER BAGS SHOULD BE REPLACED.
RRIPR APPLONS	DISPLACED RRIPR SHALL BE REPLACED IMMEDIATELY.	INSPECT WEEKLY AND AFTER EACH MEASURABLE RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	SEDIMENT DEPOSITS SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE CONCRETE LEVEL SPREADER.
SEEDING AND MULCHING	AREAS INTERRUPT BY EROSION SHALL BE REPAIRED AND RESEEDED IMMEDIATELY.	REFER TO TEMPORARY AND PERMANENT SPECIFICATIONS FOR ADDITIONAL DETAIL.	TRASH AND OTHER DEBRIS SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY.
SEDIMENT BLANKET	SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE BASIN SHALL BE RESTORED TO ITS ORIGINAL DIMENSIONS.	INSPECT WEEKLY AND AFTER EACH RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	
CONCRETE WASHOUT	EMBANKMENTS, SPILLWAYS AND OUTLETS SHALL BE INSPECTED FOR EROSION, PILING AND SETTLEMENT AND REPAIRED IMMEDIATELY.	INSPECT WEEKLY AND AFTER EACH RAINFALL EVENT (I.E. AT LEAST 0.25 INCH)	
	DAMAGED OR LEAKING WASHOUTS SHOULD BE DECONTAMINATED IMMEDIATELY. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACHED 75% CAPACITY.	ALL CONCRETE WASHOUT PROPERTIES SHOULD BE INSPECTED DAILY.	PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

SECTION 102.22(a) - PERMANENT SITE STABILIZATION

UPON FINAL COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDDED, MULCHED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENT PENDING FUTURE EARTH DISTURBANCE ACTIVITIES:

- E&S BMPs SHALL REMAIN FUNCTIONAL UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER APPROVED BMP.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL OR VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSIDIARY CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT P&M BMPs. AREAS DESTROYED DURING REMOVAL OR CONVERSION OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- AREAS WHICH AREA TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES OR 12 INCHES ON COMPACTED SOILS PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATIONS(S) SHOWN ON THE PLAN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS DURING NON-GERMINATING PERIODS. MULCH OR PROTECTIVE BLANKETING MUST BE APPLIED AT SPECIFIED RATES. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REESTABLISHED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REESTABLISHED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT STABILIZATION SPECIFICATIONS.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- MAINTENANCE AND SPECIFICATIONS FOR LONG TERM PROTECTION USE DURING EARTHMOVING, PERMANENT SEEDING - AREAS NOT PAVED SHALL BE PLANTED WITH PERMANENT SEED MIX AND MULCHED. SEEDING PREPARATION AND SEEDING METHODS:
 - LIME - AGRICULTURAL GRADE LIMESTONE
 - A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY LIME AT THE FOLLOWING RATE:
 - LIME = 4 TONS PER ACRE (240 LBS. PER 1,000 S.F.)
 - FERTILIZER - COMMERCIAL TYPE 10 - 10 - 20

A SOIL TEST FROM A REPUTABLE LABORATORY IS RECOMMENDED. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY FERTILIZER AT THE FOLLOWING RATE: FERTILIZER = 1,000 LBS. PER ACRE (25 LBS. PER 1,000 S.F.)

IF TEMPORARY SEEDING IS NECESSARY, DIVIDE THE FERTILIZER AND LIME RECOMMENDATIONS NOTED ABOVE BY HALF. APPLY THE FOLLOWING AS PART OF THE TEMPORARY SEEDING:

 - LIME = 1.0 TON PER ACRE (40 LBS. PER 1,000 S.F.)
 - FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)

APPLY THE FOLLOWING AT THE TIME OF FINAL SEEDING AT THE FOLLOWING RATE:

 - LIME = 5.0 TONS PER ACRE (240 LBS. PER 1,000 S.F.)
 - FERTILIZER = 500 LBS. PER ACRE (12.5 LBS. PER 1,000 S.F.)
- PERMANENT SEED MIXTURE:
 - IT IS RECOMMENDED THAT THE PENN STATE UNIVERSITY "AGRONOMY GUIDE" BE CONSULTED. THE FOLLOWING MIXTURE WILL MEET THE REQUIREMENTS OF CHAPTER 102 (A) ANNUAL RYEGRASS IS TO BE SEEDDED WITH ALL PERMANENT SEED MIXES. ANNUAL RYEGRASS (CRP) SEEDING RATE = 40 LBS. PER ACRE (1 LB. PER 1,000 S.F.)
 - (b) TURF LAWN AND MOVER AREAS (GENUINE):
 - 60% KENTUCKY BLUEGRASS
 - 20% CHEWINGS FESCUE
 - 20% PERENNIAL RYEGRASS
 - SEEDING RATE = 70 LBS. PER ACRE (4 LBS. PER 1,000 S.F.)
 - PLANTING DATES - 4:1 - 5:31 AND 8:0 - 8:31
 - (c) NOTE: ALL MIXTURES GIVEN ABOVE ARE FOR PURE LIVE SEED 100% (PLS 100%)
- EXAMPLE TO DETERMINE HOW MUCH SEED TO PLANT:
 - CALCULATE PL5% FOR 85% PURE SEED WITH 72% GERMINATION: 85 X 72 / 100 = 61% PLS
 - DIVIDE THE PLS% INTO ONE HUNDRED (100 / 61 = 1.64)
 - THIS, FOR EVERY 1 POUND OF SEED MIXTURE SPECIFIED, 1.63 LBS MUST BE APPLIED.
- MULCH
 - ALL AREAS THAT ARE SEEDDED SHALL BE MULCHED. MULCH IS A LOOSE LAYER 1" TO 1" DEEP OF CLEAN STRAW OR HAY. STRAW OR HAY MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN, AND SHALL BE ANCHORED OR TACKLED IMMEDIATELY AFTER APPLICATION. NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON SLOPES 3:1 AND STEEPER. MULCH SHALL BE APPLIED AT THE FOLLOWING RATE: STRAW/HAY = 3 TONS PER ACRE (140 LBS. PER 1,000 S.F.)
- EROSION CONTROL BLANKET
 - ALL AREAS THAT ARE SEEDDED, AS WELL AS ALL DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER (WITH 100 FEET FOR HQ OR EV WATER) MUST BE STABILIZED WITH EROSION CONTROL BLANKET.

UTILITY LINE TRENCH EXCAVATION CONSTRUCTION REQUIREMENTS

- LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING. SITE RESTORATION AND STABILIZATION OPERATION.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER WILL BE PUMPED TO THE SEDIMENT BASIN.
- AT THE END OF EVERY WORKDAY OR PRIOR TO RAIN EVENTS THE ENTIRE DISTURBED AREA MUST BE STABILIZED ACCORDING TO TEMPORARY SITE STABILIZATION SPECIFICATIONS.

SEQUENCE OF CONSTRUCTION:

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO THE COUNTY CONSERVATION DISTRICT, THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON-SITE PRE-CONSTRUCTION MEETING.
- THE PROFESSIONAL DESIGN ENGINEER, GEOTECHNICAL ENGINEER, SOILS PROFESSIONAL, AND/OR DESIGNER MUST BE PRESENT ON-SITE FOR INSPECTIONS OF THE OVERALL FUNCTIONALITY OF THE STORMWATER BMPs AS WELL AS FOR THE SPECIFIC STAGES DESIGNATED AS CRITICAL.
- DELINEATE LIMITS OF DISTURBANCE AS SHOWN ON THE PLAN. FENCE OFF AREAS FROM PROPOSED INLET FACILITIES WITH CONSTRUCTION FENCING TO PROTECT THEM FROM LIMITS OF ACTIVITIES.
- INSTALL ROCK CONSTRUCTION ENTRANCE AND SILT SOCKS ALONG THE PROTECT BOUNDARY AS SHOWN ON THE PLAN AND ACCORDING TO THE DETAILS.
- ACCESS TO THE EXISTING HORSE #14 SOUTH CONCORD ROAD IS TO BE KEPT OPEN AND THE EXISTING STRUCTURE IS TO BE MAINTAINED DURING THE EARLY STAGES OF CONSTRUCTION.
- INSTALL SILT SOCK SEDIMENT TRAPS 1 & 2. INSTALL CLEANOUT STAKES AND MARK THE CLEANOUT ELEVATION ON THE STAKE. WHEN ACCUMULATED SEDIMENT HAS REACHED THE CLEANOUT ELEVATION THE SEDIMENT MUST BE REMOVED AND THE TRAP RETURNED TO ITS ORIGINAL DESIGN.
- BEGIN DEMOLITION OF EXISTING BELOW GRADE STRUCTURES ON SITE. REMOVE TREES TO BE REMOVED.
- CLEAR AND GRUB AREA OF DISTURBANCE. STOCKPILE SOIL IN DESIGNATED AREAS.
- BEGIN CONSTRUCTION OF HORSES ON LOTS 17-20 UTILIZING THE INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION AND STANDARD CONSTRUCTION DETAIL #10. STABILIZED ACCESS MUST BE MAINTAINED OR ESTABLISHED PRIOR TO FOUNDATION AND DWELLING CONSTRUCTION.
- CRITICAL STAGE: INSTALL BMP 1, BMP 2, BMP 1 (INFILTRATION BEDS) ALONG WITH OUTLET STRUCTURES AND OUTLET PIPES ACCORDING TO INDIVIDUAL INFILTRATION BMP SEQUENCE OF CONSTRUCTION. STOCKPILE SOILS FOR USE IN SITE GRADING.
- CRITICAL STAGE: INSTALL BMP 1, BMP 2, BMP 1 (INFILTRATION BEDS) ALONG WITH OUTLET STRUCTURES AND OUTLET PIPES ACCORDING TO INDIVIDUAL INFILTRATION BMP SEQUENCE OF CONSTRUCTION. STOCKPILE SOILS FOR USE IN SITE GRADING.
- ROUGH GRADE SAWMILL COURT AND LOT AREAS. INSTALL SWALES 1, 1 AND 1, 2 AND IMMEDIATELY BACKFILL WITH STABILIZED SOIL. REPAIR/REPLACE SEDIMENT TRAP WHERE DISTURBED DURING THIS CONSTRUCTION.
- ROUGH GRADE SAWMILL COURT AND LOT AREAS. INSTALL SWALES 1, 1 AND 1, 2 AND IMMEDIATELY BACKFILL WITH STABILIZED SOIL. REPAIR/REPLACE SEDIMENT TRAP WHERE DISTURBED DURING THIS CONSTRUCTION.
- INSTALL SANITARY SEWER LINES FROM MI 1 TO MI 1.3. WHERE THE SANITARY SEWER LINE PASSES THROUGH SEDIMENT TRAP 1, THE SECTION OF COMPOST FILTER SOCK REMOVED IS TO BE REPLACED WITH A ROCK FILTER OUTLET.
- INSTALL WATER LINE ALONG SOUTH CONCORD ROAD AND SAWMILL COURT.
- INSTALL ALL UTILITY LINES WITHIN RIGHT OF WAY AND UTILITY EASEMENTS. INSTALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT AND TRIBUTARY TO BMP 2 AND IMMEDIATELY BLOCK ALL INLETS.
- INSTALL WATER LINE ALONG SOUTH CONCORD ROAD FROM MI 1.3 TO INLET 1 AND THE IN OUTLET PIPES FROM BMP 2 AND BMP 3. IMMEDIATELY INSTALL INLET PROTECTION ON INLETS.
- TEMPORARILY STABILIZE ALL LOT AREAS.
- INSTALL CURB BASE AND FINISH COURSE ON SAWMILL COURT. INSTALL WIDENING ALONG SOUTH CONCORD ROAD.
- ONCE SAWMILL COURT BASE COURSE IS INSTALLED, REMOVE INLET BLOCKS AND INSTALL INLET PROTECTION ON ALL INLETS.
- BEGIN CONSTRUCTION OF BUILDINGS ON ALL REMAINING LOTS ACCORDING TO INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION AND STANDARD CONSTRUCTION DETAIL #10-2.
- AS EACH SET OF TWINS IS COMPLETED, INSTALL PERMANENT STABILIZATION ON YARD AREAS.
- ONCE TRIBUTARY AREAS HAVE BEEN STABILIZED, REMOVE SEDIMENT TRAPS 1 AND 2 AND FINAL GRADE THESE AREAS. IMMEDIATELY STABILIZE ALL DISTURBED AREAS.
- INSTALL PERMANENT SEEDING AND MULCH ON ALL DISTURBED AREAS IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS SHOWN ON THE PLAN. INSTALL LANDSCAPING AS SHOWN ON THE PLAN AND IN THE DETAIL.
- INSTALL WEARING COURSE ON SAWMILL COURT AND ANY REMAINING DRIVEWAYS.
- INSTALL PERMANENT COMPOST SOCK BELOW INLETS 1-3.
- ONCE ALL AREAS HAVE BEEN PERMANENTLY STABILIZED (DETERMINED BY MINIMUM 70% ESTABLISHED GRASS COVER, REMOVE ALL REMAINING EROSION CONTROL MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROL MEASURES.
- ANY SUBSTANTIAL CHANGES TO THE LOCATION OF BUILDINGS, STORMWATER MANAGEMENT BMPs, OR EROSION AND SEDIMENTATION CONTROLS SHALL BE REVIEWED FOR ADEQUACY BY THE COUNTY CONSERVATION DISTRICT PRIOR TO CONSTRUCTION.
- IN ORDER TO CLOSE THE PROJECT, THE APPLICANT MUST SUBMIT A COMPLETED NOTICE OF TERMINATION (NOT).

INDIVIDUAL LOT SEQUENCE OF CONSTRUCTION:

- ALL EARTH DISTURBANCE ACTIVITIES FOR THE INDIVIDUAL LOTS SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE AND THE INDIVIDUAL LOT CONSTRUCTION DETAILS PROVIDED. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. THIS SEQUENCE ASSUMES THAT OVERALL EROSION CONTROLS ARE INSTALLED. BECAUSE LOTS ARE TWINS EACH PAIR OF TWINS WILL BE CONSTRUCTED TOGETHER.
- INSTALL SILT SOCK AND ROCK CONSTRUCTION ENTRANCE FOR INDIVIDUAL LOT.
- BEGIN CONSTRUCTION OF FOUNDATION.
- INSTALL STONE BASE FOR DRIVEWAY.
- BEGIN HOUSE CONSTRUCTION.
- INSTALL UTILITIES.
- ONCE HOUSE IS ENCLOSED, SPREAD TOPSOIL AND SEED.
- REMOVE ALL REMAINING EROSION CONTROL MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROLS MEASURES.
- BEGIN CONSTRUCTION OF FOUNDATION.
- INSTALL STONE BASE FOR DRIVEWAY.
- BEGIN HOUSE CONSTRUCTION.
- INSTALL UTILITIES.
- ONCE HOUSE IS ENCLOSED, SPREAD TOPSOIL AND SEED.
- REMOVE ALL REMAINING EROSION CONTROL MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROLS MEASURES.
- INSTALL WEARING COURSE ON SAWMILL COURT AND ANY REMAINING DRIVEWAYS.
- INSTALL PERMANENT COMPOST SOCK BELOW INLETS 1-3.
- ONCE ALL AREAS HAVE BEEN PERMANENTLY STABILIZED (DETERMINED BY MINIMUM 70% ESTABLISHED GRASS COVER, REMOVE ALL REMAINING EROSION CONTROL MEASURES AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE EROSION CONTROL MEASURES.
- ANY SUBSTANTIAL CHANGES TO THE LOCATION OF BUILDINGS, STORMWATER MANAGEMENT BMPs, OR EROSION AND SEDIMENTATION CONTROLS SHALL BE REVIEWED FOR ADEQUACY BY THE COUNTY CONSERVATION DISTRICT PRIOR TO CONSTRUCTION.
- IN ORDER TO CLOSE THE PROJECT, THE APPLICANT MUST SUBMIT A COMPLETED NOTICE OF TERMINATION (NOT).

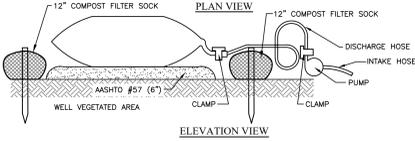
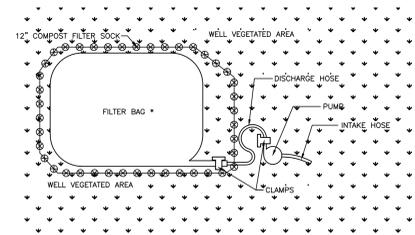
CLEAN FILL NOTE
CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DISCOMPOSABLE, INERT, SOLID MATERIAL, THE TERM INCLUDES SOIL, ROCK, STONE, DRIED/AGED MATERIAL, USED ASPHALT AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.

CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFY AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1 AND FP-1 FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-01 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO VALIDATE THE MATERIAL AS CLEAN FILL. FORM FP-01 MUST BE RETAINED BY THE OWNER OF THE PROPERTY REACTIVATING THE FILL. A COPY OF FORM FP-01 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.

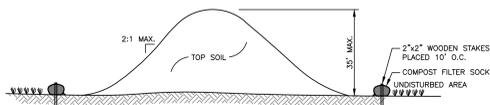
ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING BUT NOT LIMITED TO VISUAL PROPERTY INSPECTIONS, FIELD ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANDBORN MAPS, ENVIRONMENTAL ASSESSMENT OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS INSPECTION AND/OR REVIEW OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MAY BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 28, 31, 41, 51, 61, 71, 81, 91, 101, 111, 121, 131, 141, 151, 161, 171, 181, 191, 201, 211, 221, 231, 241, 251, 261, 271, 281, 291, 301, 311, 321, 331, 341, 351, 361, 371, 381, 391, 401, 411, 421, 431, 441, 451, 461, 471, 481, 491, 501, 511, 521, 531, 541, 551, 561, 571, 581, 591, 601, 611, 621, 631, 641, 651, 661, 671, 681, 691,



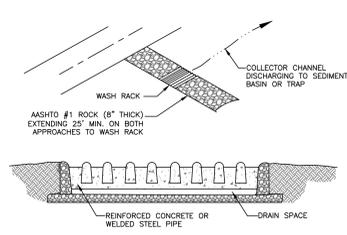
STANDARD CONSTRUCTION DETAIL #4-16
PUMPED WATER FILTER BAG WITH COMPOST FILTER SOCK (NOT TO SCALE)

1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
3. BAGS SHALL BE LOCATED IN WELL-VEGETATED GRASSY AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
5. THE PUMPING RATE SHALL NOT BE GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.



TYPICAL TOPSOIL STOCKPILE DETAIL (NOT TO SCALE)

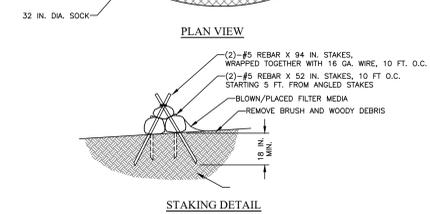
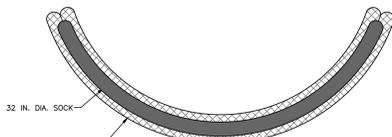
- NOTES:
1. PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 2. ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.
 3. STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
 4. SILT FENCE OR HAY BALE FILTER SHALL BE INSTALLED AS DETAILED HEREON.
 5. SEE STANDARD CONSTRUCTION DETAIL #4-1, COMPOST FILTER SOCK FOR INSTALLATION REQUIREMENTS.
 6. LOCATION OF PROPOSED STOCKPILE WHICH AFFECTS EROSION CONTROLS ARE SHOWN SCHEMATICALLY ONLY. ACTUAL STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
 7. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.



WASH RACK SHALL BE 20 FEET (MIN) WIDE OR TOTAL WIDTH OF ACCESS. WASH RACK SHALL BE DESIGNATED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC. A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXISTING THE SITE.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. DRAINING SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, AND OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-2
ROCK CONSTRUCTION ENTRANCE WITH WASH RACK (NOT TO SCALE)



TRAP NO.	EMBANK TOP ELEV. (FT)	CLEAN OUT ELEV. (FT)	BOTTOM ELEV. (FT)
1	352.33	349.11	348.00
2	353.33	350.26	349.00

- USE FOR SEDIMENT TRAPS 1, 2, 3, 4, 5, 6, 7, & 8.
- DESIGN NOTES:
1. COMPOST SOCK SEDIMENT TRAP SHALL BE SIZED TO PROVIDE 2000 CUBIC FEET OF STORAGE CAPACITY FOR EACH ACRE TRIBUTARY TO THE TRAP.
 2. MINIMUM BASE WIDTH IS EQUAL TO THE HEIGHT.
 3. SEDIMENT ACCUMULATION SHALL NOT EXCEED 1/3 THE TOTAL HEIGHT OF THE TRAP.
 4. ENDS OF THE TRAP SHALL BE A MINIMUM OF 1 FOOT HIGHER IN ELEVATION THAN THE MID-SECTION, WHICH SHALL BE LOCATED AT THE POINT OF DISCHARGE.

NOTES:

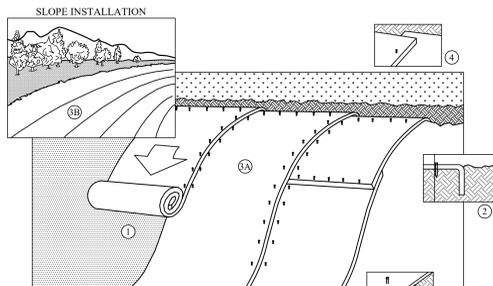
SOCK MATERIAL SHALL MEET THE STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SOCK SEDIMENT TRAPS SHALL NOT EXCEED THREE SOCKS IN HEIGHT AND SHALL BE STACKED IN PYRAMIDAL FORM AS SHOWN ABOVE. MINIMUM TRAP HEIGHT IS ONE 4:3. ADDITIONAL STORAGE MAY BE PROVIDED BY MEANS OF AN EXCAVATED SUMP 12" DEEP EXTENDING 1 TO 3 FEET UPSLOPE OF THE SOCKS ALONG THE LOWER SIDE OF THE TRAP. COMPOST SOCK SEDIMENT TRAPS SHALL PROVIDE 2000 CUBIC FEET STORAGE CAPACITY WITH 12" FREEBOARD FOR EACH TRIBUTARY DRAINAGE ACRE. (SEE MANUFACTURER FOR ANTICIPATED SETTLEMENT.) THE MAXIMUM TRIBUTARY DRAINAGE AREA IS 5.0 ACRES. SINCE COMPOST SOCKS ARE "FLOW-THROUGH," NO SPILLWAY IS REQUIRED.

COMPOST SOCK SEDIMENT TRAPS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 THE HEIGHT OF THE SOCKS.

PHOTODEGRADABLE AND BIODEGRADABLE SOCKS SHALL NOT BE USED FOR MORE THAN 1 YEAR.

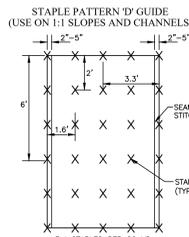
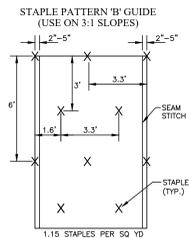
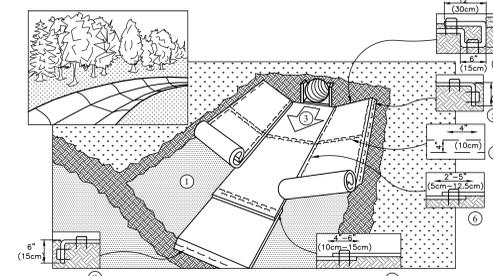
STANDARD CONSTRUCTION DETAIL #3-11
COMPOST SOCK SEDIMENT TRAP (NOT TO SCALE)

SOCK NO.	SOCK DIAMETER (IN)	LOCATION	SLOPE %	SLOPE LENGTH ABOVE BARRIER (FT)
1A	24	SOUTHWESTERN PROPERTY BOUNDARY	6	415
2A	18	SOUTHWESTERN PROPERTY BOUNDARY	9	165
2B	18	SOUTHWESTERN PROPERTY BOUNDARY	9	165
2C	18	SOUTHWESTERN PROPERTY BOUNDARY	9	170
2D	18	SOUTHWESTERN PROPERTY BOUNDARY	9	175
2E	18	SOUTHWESTERN PROPERTY BOUNDARY	9	180
2F	18	SOUTHWESTERN PROPERTY BOUNDARY	9	180
2G	18	SOUTHWESTERN PROPERTY BOUNDARY	9	195
3A	24	SOUTHWESTERN PROPERTY BOUNDARY	6	430
3B	24	SOUTHWESTERN PROPERTY BOUNDARY	6	430
3C	24	SOUTHWESTERN PROPERTY BOUNDARY	6	430
4A	18	ALONG SEWER EXTENSION	8	200
4B	18	ALONG SEWER EXTENSION	8	200
4C	18	ALONG SEWER EXTENSION	8	210
4D	18	ALONG SEWER EXTENSION	8	210
4E	18	ALONG SEWER EXTENSION	8	220
4F	18	ALONG SEWER EXTENSION	8	220
4G	18	SOUTHEASTERN PROPERTY BOUNDARY	10	200
5A	18	SOUTHEASTERN PROPERTY BOUNDARY	10	195
5B	18	SOUTHEASTERN PROPERTY BOUNDARY	10	195
5C	18	SOUTHEASTERN PROPERTY BOUNDARY	10	180
5D	12	SOUTHEASTERN PROPERTY BOUNDARY	8	190
5E	12	SOUTHEASTERN PROPERTY BOUNDARY	8	190
5F	12	SOUTHEASTERN PROPERTY BOUNDARY	8	148
5G	12	SOUTHEASTERN PROPERTY BOUNDARY	6	102
5H	12	SOUTHEASTERN PROPERTY BOUNDARY	5	40
6	12	SOUTHEASTERN PROPERTY BOUNDARY	2	20

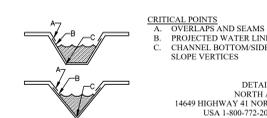


NOTE: REFER TO GENERAL STAKE PATTERN GUIDE FOR CORRECT STAKE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAKING.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAKED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAKE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

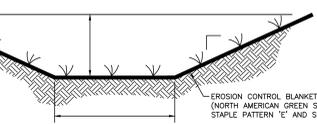


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" (150mm) DEEP X 4" (100mm) WIDE TRENCH WITH APPROXIMATELY 12" (300mm) OF BLANKET EXTENDED BEYOND THE UPSLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (300mm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (300mm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (300mm) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" (100mm-150mm) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (100mm) APART AND 4" (100mm) ON CENTER TO SECURE BLANKETS.
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (300mm) APART IN A 6" (150mm) DEEP X 4" (100mm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2'-2" (600mm-1250mm) (DEPENDENT ON BLANKET TYPE) AND STAPLED. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9m-12m) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (100mm) APART AND 4" (100mm) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (300mm) APART IN A 6" (150mm) DEEP X 6" (150mm) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.



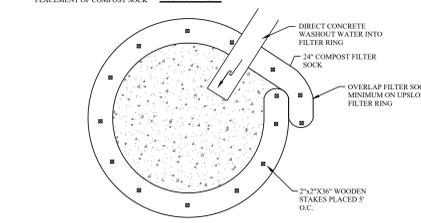
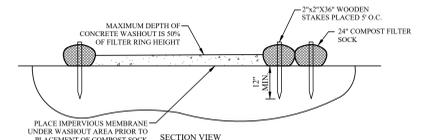
DETAIL PROVIDED BY:
NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH EVANSVILLE, INDIANA 47757
USA 1-800-772-2000 CANADA 1-800-488-2040
www.nagreen.com

NORTH AMERICAN GREEN MATTING DETAIL (NOT TO SCALE)



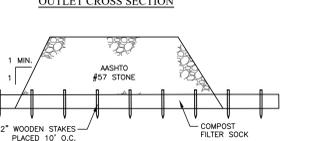
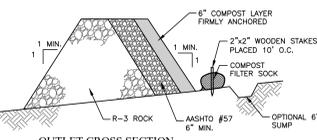
GRASS LINED SWALE DETAIL (NOT TO SCALE)

SWALE #	W	D	V	H
1.1	15 FT.	0.75 FT.	1	20
1.2	4 FT.	0.75 FT.	1	4



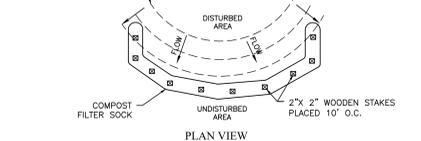
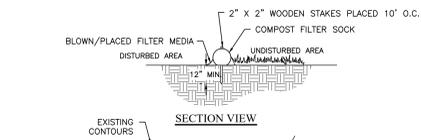
COMPOST SOCK WASHOUT INSTALLATION (BASED STANDARD FIGURE 3.18) (NOT TO SCALE)

1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. 18" FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR AERIED HEIGHT.



STANDARD CONSTRUCTION DRAWING #4-6
ROCK FILTER OUTLET (NOT TO SCALE)

1. A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A COMPOST FILTER SOCK OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORS COMPOST FILTER LAYER SHALL BE USED ON UPSLOPE FACE IN AND BY WATERWAYS.
2. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.



SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL. GRADE BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1).

MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN IN FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK (NOT TO SCALE)

INLAND DESIGN, LLC
16 Hagerty Blvd., West Chester, PA 19382
www.InLandDesign.net

20210921658

PA. act 172 of 1986 requires three working days notice

20210921658

PENNSYLVANIA ACT 187 REQUIREMENTS: Inland Design, LLC, Any person without written permission, verification, consent or authorization by Inland Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to Inland Design, LLC. Inland Design, LLC, the third party shall verify the location and elevation of all underground utilities and structures and expense arising thereon or resulting therefrom.

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerty Blvd., West Chester, PA 19382
www.InLandDesign.net

Phone: (484) 947-2928
Fax: (484) 947-2946
Info@InLandDesign.net

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
JOEL D. COMANDA
PE#07040

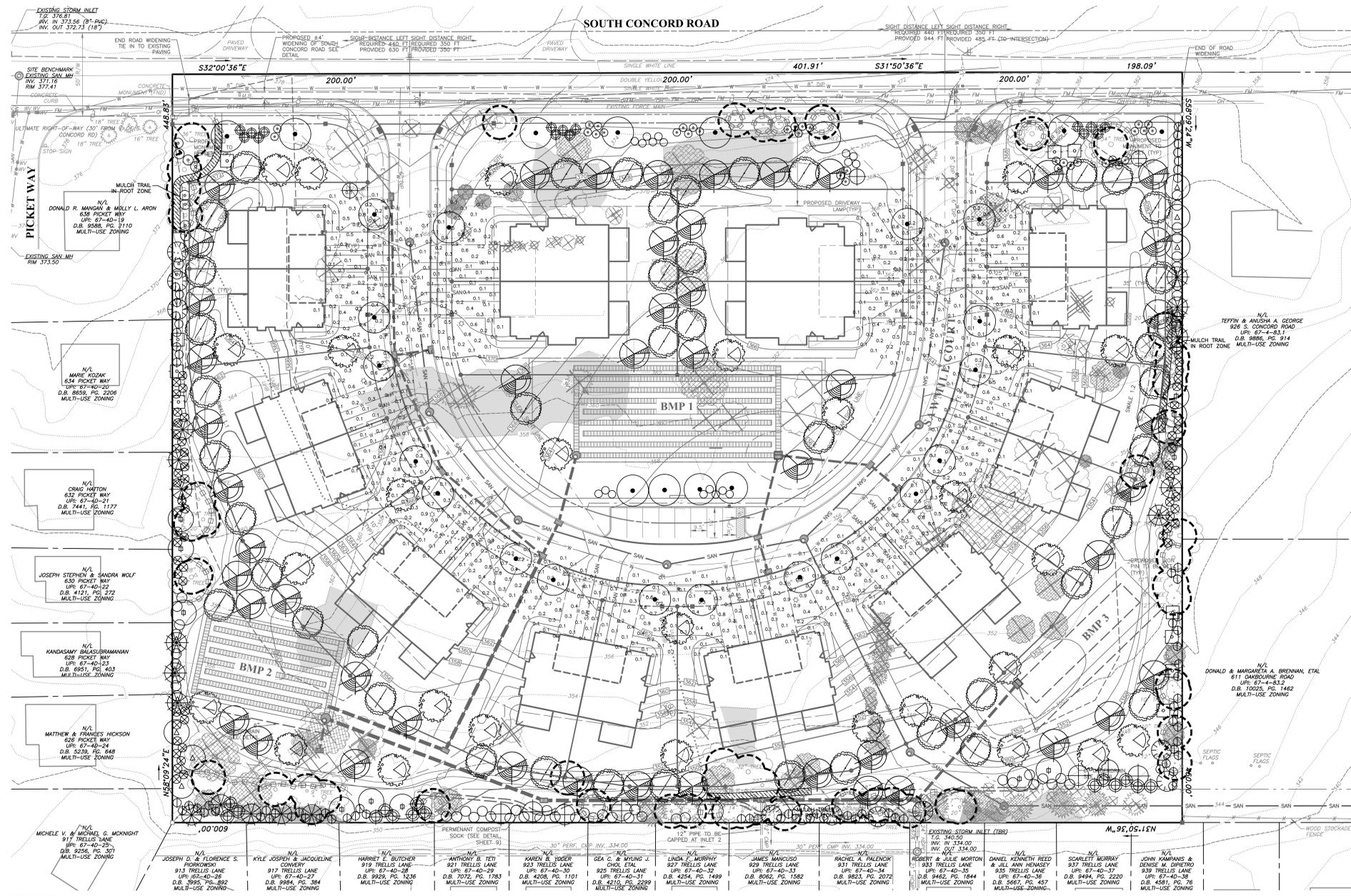
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2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
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6	07/26/2021	VALUE ENGINEERING TO REVISE Bmps
7	09/01/2021	REVISED FOR FINAL PLANS
8	09/13/2021	PLANS FOR RECORDING

PRELIMINARY/FINAL
LAND DEVELOPMENT

Date: 12/07/2020
Scale: 1" = 30'
Drawn by: TMW
Checked by: JDC
Project No: 11541

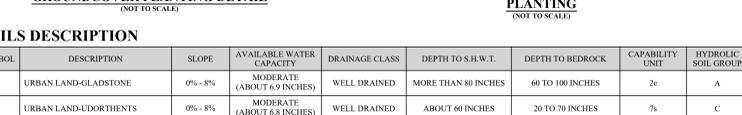
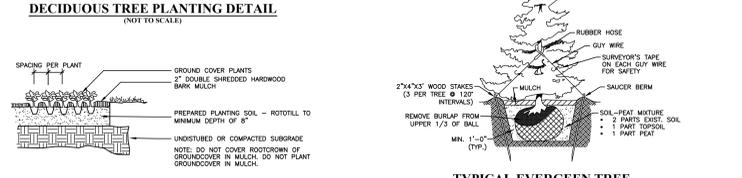
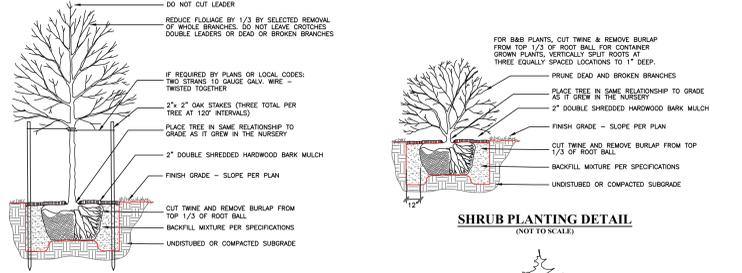
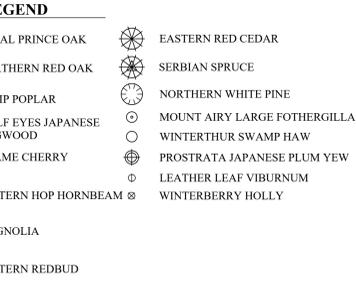
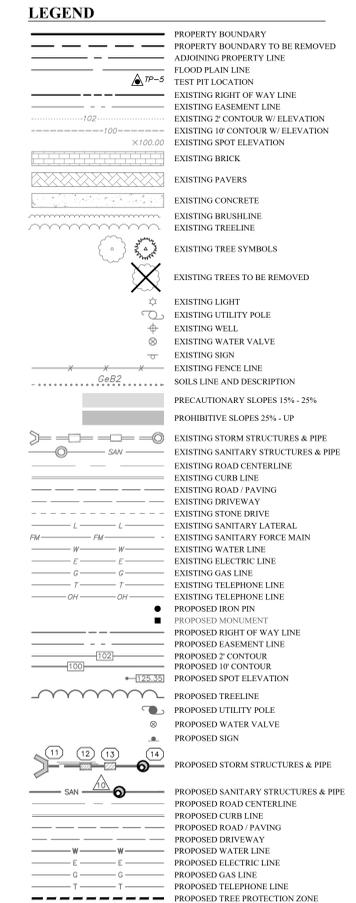
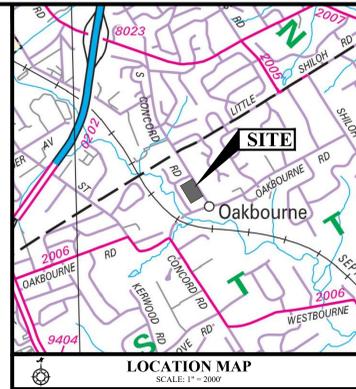
EROSION & SEDIMENT CONTROL DETAILS
FOR
SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET
15
OF 20



LANDSCAPING GENERAL NOTES

- ALL BEDS SHALL HAVE THREE INCHES OF SHREDED HARDWOOD MULCH OR EQUAL.
- TREE WRAP SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.
- DO NOT CUT THE LEADER OF DECIDUOUS TREES.
- NO DECIDUOUS SHADE TREES WILL BE LOCATED CLOSER THAN 10 FEET TO SANITARY AND WATER UTILITIES.
- NO PLANTS EXCEPT GRASS COVER SHALL BE PLANTED LESS THAN FIVE FEET FROM A STRUCTURE, WALKS OR CURB LINES.
- ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK, BALLED AND BURLAPPED IT SHALL BE OF SYMMETRICAL GROWTH, TYPICAL OF ITS SPECIES OR VARIETY, CERTIFIED FREE OF INSECTS, PESTS AND DISEASE, HAVE A NORMAL GROWTH HABIT, AND A VIGOROUS HEALTHY ROOT SYSTEM.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 24 MONTHS BY THE LANDSCAPING CONTRACTOR, ACCORDING TO 149-82.12 OF THE WESTTOWN ORDINANCE.
- ALL PLANTING MATERIALS SHALL MEET THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION FOR HEALTH, FORM, AND ROOT CONDITION.
- ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE TOWNSHIP.
- PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
- TREES AND SHRUBS SHALL BEAR THE SAME RELATIONSHIP TO THE FINISHED GRADE IN THE NEW DEVELOPMENT AS THEY DID IN THE NURSERY.
- THE LANDSCAPING CONTRACTOR SHALL PROVIDE ALL PLANT MATERIALS AS SPECIFIED IN THE PLANT SCHEDULE AND SHALL INSTALL ALL MATERIAL IN ACCORDANCE WITH THE PLANTING DETAILS, NOTES AND SPECIFICATIONS IN THE APPROVED LANDSCAPE PLANS.
- ANY SUBSTITUTIONS OF PLANT MATERIALS MUST BE REVIEWED AND APPROVED BY THE TOWNSHIP BEFORE INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPE AREAS, INCLUDING WATERING, FERTILIZING TO MAINTAIN HEALTHY GROWTH, PRUNING, WEEDING, AND CLEANING DEBRIS PRIOR TO THE END OF THE GUARANTEE PERIOD.
- THE LANDSCAPING CONTRACTOR WILL PROVIDE A TWO-YEAR MAINTENANCE AND REPLACEMENT GUARANTEE TO THE TOWNSHIP.
- ALL PLANTINGS WHICH DO NOT SURVIVE AFTER THE EXPIRATION OF THE MAINTENANCE GUARANTEE WILL BE REPLACED BY THE HOMEOWNERS ASSOCIATION.



KEY	BOTANICAL NAME	COMMON NAME	QTY.	CAL.	HT.	ROOT	REMARKS
SHADE TREES (DECIDUOUS)							
Qb	Quercus Regal Prince	REGAL PRINCE OAK	30	2 1/2" (MIN)		B&B	MATCHED SPECIMEN
Qr	Quercus Rubra	NORTHERN RED OAK	11	2 1/2" (MIN)		B&B	MATCHED SPECIMEN
Lt	Liriodendron Tulipifera	TULIP POPLAR	7	2 1/2" (MIN)		B&B	MATCHED SPECIMEN
FLORERING TREES							
EJW	Erythronium Japanese	WOLF EYES JAPANESE DOGWOOD	10	2 1/2" (MIN)		B&B	MATCHED SPECIMEN
PK	Prunus S Vitame	OKAME CHERRY	20	2 1/2" (MIN)		B&B	MATCHED SPECIMEN
TOTAL FLORERING TREES							
EVERGREEN TREES							
Ag	Juniperus virginiana	EASTERN RED CEDAR	11		8-10 FT. (MIN)	B&B	MATCHED SPECIMEN
Is	Pinus strobus	SERBIAN SPRUCE	5		8-10 FT. (MIN)	B&B	MATCHED SPECIMEN
Ps	Pinus strobus	NORTHERN WHITE PINE	10		8-10 FT. (MIN)	B&B	MATCHED SPECIMEN
TOTAL EVERGREEN TREES							
DECIDUOUS SHRUBS							
Pm	Prunella montana 'Moulin d'Or'	MOUNT AINSLEY FOTHERGILLA	44		24" (MIN)	B&B	PLANT IN MULCH BED 5' O.C.
Wm	Viburnum nudum 'Winterthur'	WINTERHUR SWAMP HAW	65		24" (MIN)	B&B	PLANT IN MULCH BED 5' O.C.
EVERGREEN SHRUBS							
CP	Calluna vulgaris 'Prostrata'	PROSTRATA JAPANESE PLUM YEW	33		24" (MIN)	B&B	PLANT IN MULCH BED 5' O.C.
Ll	Leucothoe cuneata	LEATHER LEAF VIBURNUM	75		24" (MIN)	CONTAINER	PLANT IN MULCH BED 5' O.C.
W	Wintery Holly	WINTER RED WINTERHUR HOLLY	58		24" (MIN)	B&B	PLANT IN MULCH BED 5' O.C.
TOTAL SHRUBS (DECIDUOUS & EVERGREEN)							
COMPENSATORY TREES							
Dr	Diospyros virginiana	EASTERN HOP HORNBEAM	49	2 1/2" (MIN)		B&B	MATCHED SPECIMEN
M	Magnolia acuminata	MAGNOLIA	28	2 1/2" (MIN)		B&B	MATCHED SPECIMEN
C	Cornus canadensis	EASTERN REDBUD	23	2 1/2" (MIN)		B&B	MATCHED SPECIMEN
TOTAL COMPENSATORY TREES							

EXISTING TREES TO BE REMOVED	NUMBER	TOTAL CALIPER	COMPENSATORY REQUIREMENT	COMPENSATORY CALIPER REQUIRED
SPECIMEN TREES	32	778 IN	1.00 IN / IN	778 IN
NON-SPECIMEN TREES	67	634 IN	0.25 IN / IN	159 IN
TOTAL COMPENSATORY TREE REQUIREMENT				
TOTAL 3.12" CALIPER DECIDUOUS REPLACEMENT TREES REQUIRED				
COMPENSATORY REPLACEMENT TREES PROPOSED				
ADDITIONAL COMPENSATORY TREES TO BE PAID FOR IN FEES-IN-LIEU OF				

DESCRIPTION	REQUIRED	PROVIDED
WESTTOWN TOWNSHIP REQUIREMENTS:		
149-925-G(1) - STREET FRONTAGE	CANOPY TREES: 1 / 100 L.F. STREET FRONTAGE 1,908 L.F. STREET FRONTAGE = 20 TREES	20 CANOPY TREES
149-925-G(1) - STREET FRONTAGE	FLOWERING TREES: 4.5 / 100 L.F. STREET FRONTAGE 1,908 L.F. STREET FRONTAGE = 10 TREES	10 FLOWERING TREES
149-925-G(1) - STREET FRONTAGE	SHRUBS: 4 / 100 L.F. STREET FRONTAGE 1,908 L.F. STREET FRONTAGE = 77 SHRUBS	77 SHRUBS
149-925-G(1) - PERIMETER PROPERTY LINES	CANOPY TREES: 0.5 / 100 L.F. PROPERTY LINES 1,499 L.F. PERIMETER PROPERTY LINES = 10 TREES	10 CANOPY TREES
149-925-G(1) - PERIMETER PROPERTY LINES	FLOWERING TREES: 0.5 / 100 L.F. PROPERTY LINES 1,499 L.F. PERIMETER PROPERTY LINES = 10 TREES	10 FLOWERING TREES
149-925-G(1) - PERIMETER PROPERTY LINES	SHRUBS: 2 / 100 L.F. PROPERTY LINES 1,499 L.F. PERIMETER PROPERTY LINES = 30 SHRUBS	30 SHRUBS
* ADDITIONAL PLANTING ALONG PROPERTY LINE HAVE BEEN ADDED AS ADDITIONAL BUFFER:		
CANOPY TREES	18 CANOPY TREES	
EVERGREEN TREES	26 EVERGREEN TREES	
SHRUBS	168 SHRUBS	

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Haverly Blvd.
West Chester, PA 19382
Phone: (484) 947-2928
Fax: (484) 947-2946
Info: InLandDesign.net

QUOIZEL LIGHTING
MHE910K
Milhouse Outdoor Lantern
Mystic Black

CONCRETE
JOSEPH D. COMANDA
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA

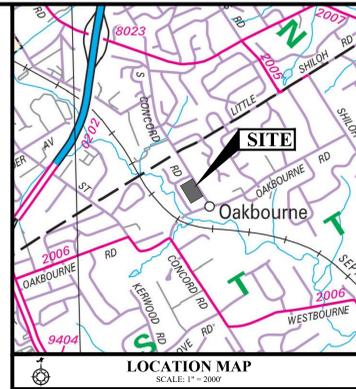
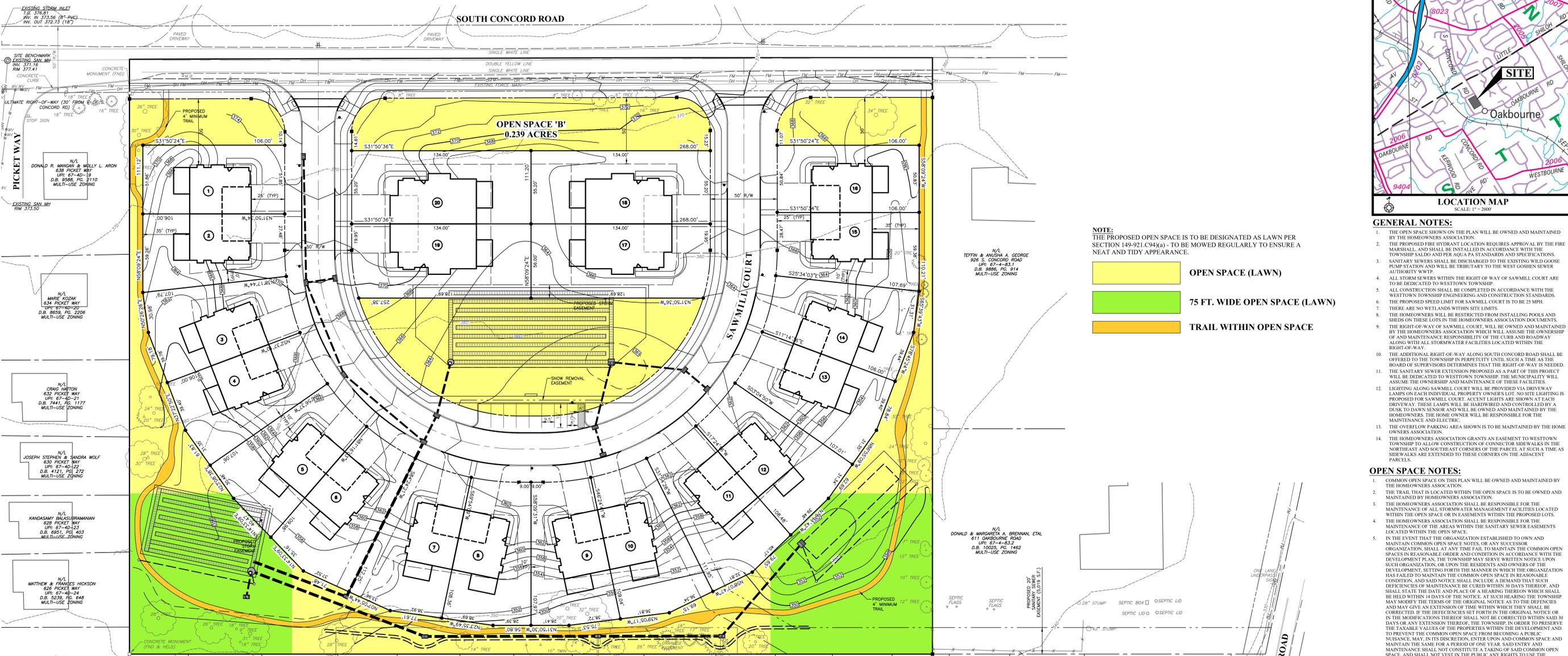
No.	Date	Description
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2	03/25/2023	REVISED PER TOWNSHIP REVIEWS
3	04/21/2023	REVISED PER TOWNSHIP REVIEWS
4	05/12/2023	REVISED PER CCCD COMMENTS
5	05/25/2023	REVISED PER TOWNSHIP REVIEWS
6	07/26/2023	VALUE ENGINEERING TO REVISE BMP'S
7	09/01/2023	REVISED FOR FINAL PLANS
8	09/13/2023	PLANS FOR RECORDING

PRELIMINARY/FINAL LAND DEVELOPMENT
GRAPHIC SCALE
1" = 30'

TREE PROTECTION, LANDSCAPING & LIGHTING PLAN FOR SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

APPLICANT / OWNER:
HUNTER BUILDERS, LLC
ATTN: WAYNE MCGILL, CO-MANAGER
330 KENNETH PIKE, SUITE 207
CHAUDRON, PA 19317
(610) 399-1235
SITE ADDRESS:
914-924 S. CONCORD RD.
WESTTOWN TWP., CHESTER COUNTY, PA
PARCEL NO. 67-4-82 | D.B. 10352 | PG. 1364

16 OF 20



- NOTE:**
THE PROPOSED OPEN SPACE IS TO BE DESIGNATED AS LAWN PER SECTION 149-92.034(a) - TO BE MOWED REGULARLY TO ENSURE A NEAT AND TIDY APPEARANCE.
- OPEN SPACE (LAWN)
 - 75 FT. WIDE OPEN SPACE (LAWN)
 - TRAIL WITHIN OPEN SPACE

- GENERAL NOTES:**
- THE OPEN SPACE SHOWN ON THE PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - THE PROPOSED FIRE HYDRANT LOCATION REQUIRES APPROVAL BY THE FIRE MARSHALL AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP SANS AND PER AQA PA STANDARDS AND SPECIFICATIONS.
 - SANITARY SEWERS SHALL BE DISCHARGED TO THE EXISTING WILD GOOSE PUMP STATION AND WILL BE TRIBUTARY TO THE WEST GOSHEN SEWER AUTHORITY WWTW.
 - ALL STORM SEWERS WITHIN THE RIGHT OF WAY OF SAWMILL COURT ARE TO BE DEDICATED TO WESTTOWN TOWNSHIP.
 - ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE WEST TOWN TOWNSHIP ENGINEERING AND CONSTRUCTION STANDARDS.
 - THE PROPOSED SPEED LIMIT FOR SAWMILL COURT IS TO BE 25 MPH.
 - THERE ARE NO WETLANDS WITHIN SITE LIMITS.
 - THE HOMEOWNERS WILL BE RESTRICTED FROM INSTALLING POOLS AND SHEDS ON THESE LOTS IN THE HOMEOWNERS ASSOCIATION DOCUMENTS.
 - THE RIGHT-OF-WAY OF SAWMILL COURT WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION WHICH WILL ASSUME THE OWNERSHIP OF AND MAINTENANCE RESPONSIBILITY OF THE CURB AND ROADWAY ALONG WITH ALL STORMWATER FACILITIES LOCATED WITHIN THE RIGHT-OF-WAY.
 - THE ADDITIONAL RIGHT-OF-WAY ALONG SOUTH CONCORD ROAD SHALL BE OFFERED TO THE TOWNSHIP IN PERPETUITY UNTIL SUCH A TIME AS THE BOARD OF SUPERVISORS AGREES THAT THE RIGHT-OF-WAY IS NEEDED.
 - THE SANITARY SEWER EXTENSION PROPOSED AS A PART OF THIS PROJECT WILL BE DEDICATED TO WESTTOWN TOWNSHIP. THE MUNICIPALITY WILL ASSUME THE OWNERSHIP AND MAINTENANCE OF THESE FACILITIES.
 - LIGHTING ALONG SAWMILL COURT WILL BE PROVIDED VIA DRIVEWAY LAMPS ON EACH INDIVIDUAL PROPERTY OWNER'S LOT. NO SITE LIGHTING IS PROPOSED FOR SAWMILL COURT. ACCENT LIGHTS ARE SHOWN AT EACH DRIVEWAY. THESE LAMPS WILL BE HARDWIRED AND CONTROLLED BY A DISK TO DAWN-SENSOR AND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS. THE HOME OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND ELECTRIC.
 - THE OVERFLOW PARKING AREA SHOWN IS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 - THE HOMEOWNERS ASSOCIATION GRANTS AN EASEMENT TO WESTTOWN TOWNSHIP TO ALLOW CONSTRUCTION OF CONNECTION SIDEWALKS IN THE NORTHEAST AND SOUTHEAST CORNERS OF THE PARCEL AT SUCH A TIME AS SIDEWALKS ARE EXTENDED TO THESE CORNERS ON THE ADJACENT PARCELS.

- OPEN SPACE NOTES:**
- COMMON OPEN SPACE ON THIS PLAN WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - THE TRAIL THAT IS LOCATED WITHIN THE OPEN SPACE IS TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
 - THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES LOCATED WITHIN THE OPEN SPACE OR IN EASEMENTS WITHIN THE PROPOSED LOTS.
 - THE HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE AREAS WITHIN THE SANITARY SEWER EASEMENTS LOCATED WITHIN THE OPEN SPACE.
 - IN THE EVENT THAT THE ORGANIZATION ESTABLISHED TO OWN AND MAINTAIN COMMON OPEN SPACE OR ANY SUCCESSOR ORGANIZATION, SHALL AT ANY TIME FAIL TO MAINTAIN THE COMMON OPEN SPACES IN REASONABLE ORDER AND CONDITION IN ACCORDANCE WITH THE DEVELOPMENT PLAN, THE TOWNSHIP MAY SERVE WRITTEN NOTICE UPON SUCH ORGANIZATION, OR UPON THE RESIDENTS AND OWNERS OF THE DEVELOPMENT, SETTING FORTH THE MANNER IN WHICH THE ORGANIZATION HAS FAILED TO MAINTAIN THE COMMON OPEN SPACE IN REASONABLE CONDITION, AND SAID NOTICE SHALL INCLUDE A DEMAND THAT SUCH DEFICIENCIES OF MAINTENANCE BE CURED WITHIN 30 DAYS THEREOF, AND SHALL STATE THE DATE AND PLACE OF A HEARING THEREON WHICH SHALL BE HELD WITHIN 14 DAYS OF THE NOTICE. AT SUCH HEARING THE TOWNSHIP MAY MODIFY THE TERMS OF THE ORIGINAL NOTICE AS TO THE DEFICIENCIES AND MAY GIVE AN EXTENSION OF TIME WITHIN WHICH THEY SHALL BE CORRECTED. IF THE DEFICIENCIES SET FORTH IN THE ORIGINAL NOTICE OR IN THE MODIFICATIONS THEREOF ARE NOT CORRECTED WITHIN SAID 30 DAYS OR ANY EXTENSION THEREOF, THE TOWNSHIP, IN ORDER TO PRESERVE THE TAXABLE VALUES OF THE PROPERTIES WITHIN THE DEVELOPMENT AND TO PREVENT THE COMMON OPEN SPACE FROM BECOMING A PUBLIC NUISANCE, MAY, IN ITS DISCRETION, ENTER UPON AND COMMON OPEN SPACE AND MAINTAIN THE SAME FOR A PERIOD OF ONE YEAR. SAID ENTRY AND MAINTENANCE SHALL NOT CONSTITUTE A TAKING OF SAID COMMON OPEN SPACE, AND SHALL NOT VEST IN THE PUBLIC ANY RIGHTS TO USE THE COMMON OPEN SPACE EXCEPT FOR THE SAME AS VOLUNTARILY DEDICATED TO THE PUBLIC BY THE RESIDENTS AND OWNERS AND SUCH DEDICATION IS ACCEPTABLE TO THE TOWNSHIP. BEFORE THE EXPIRATION OF SAID YEAR, THE TOWNSHIP SHALL, UPON ITS INITIATIVE OR UPON THE REQUEST OF THE ORGANIZATION THEREFOR, RESUBMIT THE MATTER FOR THE MAINTENANCE OF THE COMMON OPEN SPACE, CALL A PUBLIC HEARING UPON NOTICE TO SUCH ORGANIZATION, OR TO THE RESIDENTS AND OWNERS OF THE DEVELOPMENT, TO BE HELD BY THE TOWNSHIP, AT WHICH HEARING SUCH ORGANIZATION OF THE RESIDENTS AND OWNERS OF THE DEVELOPMENT SHALL SHOW CAUSE WHY SUCH MAINTENANCE BY THE TOWNSHIP SHALL NOT, AT THE DISCRETION OF THE TOWNSHIP, CONTINUE FOR A SUCCEEDING YEAR. IF THE TOWNSHIP SHALL DETERMINE THAT SUCH ORGANIZATION IS READY AND ABLE TO MAINTAIN SAID COMMON OPEN SPACE IN REASONABLE CONDITION, THE TOWNSHIP SHALL CEASE TO MAINTAIN SAID COMMON OPEN SPACE AT THE END OF SAID YEAR. IF THE TOWNSHIP SHALL DETERMINE SUCH ORGANIZATION IS NOT READY AND ABLE TO MAINTAIN SAID COMMON OPEN SPACE IN A REASONABLE CONDITION, THE TOWNSHIP MAY, IN ITS DISCRETION, CONTINUE TO MAINTAIN SAID COMMON OPEN SPACE DURING THE NEXT SUCCEEDING YEAR AND, SUBJECT TO A SIMILAR HEARING AND DETERMINATION, IN EACH YEAR THEREAFTER. THE DECISION OF THE TOWNSHIP IN ANY CASE SHALL CONSTITUTE A FINAL ADMINISTRATIVE DECISION SUBJECT TO JUDICIAL REVIEW.
 - THE COST OF SUCH MAINTENANCE AND ENFORCEMENT PROCEEDINGS BY THE TOWNSHIP SHALL BE ASSESSED RATABLY AGAINST THE PROPERTIES WITHIN THE DEVELOPMENT THAT HAVE A RIGHT OF ENJOYMENT OF THE COMMON OPEN SPACE AND SHALL BECOME A LIEN ON SAID PROPERTIES. SAID ASSESSMENTS OR CHARGES SHALL BE SUBORDINATE IN LIEN TO THE LIEN OF ANY PRIOR MORTGAGE OR MORTGAGES ON THE PROPERTY WHICH IS SUBJECT TO SUCH ASSESSMENTS OR CHARGES. THE TOWNSHIP, AT THE TIME OF ENTERING UPON SUCH SAID COMMON OPEN SPACE FOR THE PURPOSE OF MAINTENANCE, SHALL FILE NOTICE OF SUCH LIEN, IN THE OFFICE OF THE PROTHONOTARY OF CHESTER COUNTY, UPON THE PROPERTIES AFFECTED BY SUCH LIEN WITHIN THE DEVELOPMENT.

OPEN SPACE

DESCRIPTION	AREA (S.F.)	AREA (ACRES)
OPEN SPACE A	17,260 S.F.	0.39 AC.
OPEN SPACE B	10,432 S.F.	0.239 AC.
OPEN SPACE C	60,545 S.F.	1.390 AC.
TOTAL OPEN SPACE	88,237 S.F.	2.020 AC.

OPEN SPACE REQUIREMENTS

DESCRIPTION	REQUIRED	PROVIDED
TOTAL OPEN SPACE AREA	N/A	88,237 SF.
% OF GROSS LOT AREA	30%	34.69%
% OF NET LOT AREA	NA	41.05%
OPEN SPACE IN FLOODPLAIN OR SLOPE > 25%	< 40%	0.7% (649 S.F.)

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Pennsylvania One Call System
PA, act 172 of 1986 requires
three working days notice
Social Numbers:
20201921658

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the location for existing utility or safety structures shown on the plans. See also the Act and the Act's regulations that all utility structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerly Blvd.
West Chester, PA 19382
www.InlandDesign.net

Phone: (484) 947-2928
Fax: (484) 947-2946
Info@InlandDesign.net

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCDC COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE BMPS
7	09/01/2021	REVISED FOR FINAL PLANS
8	09/13/2021	PLANS FOR RECORDING

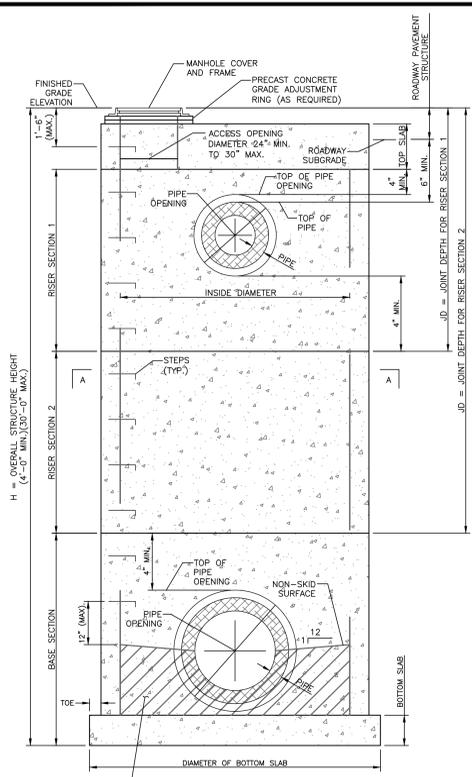
PRELIMINARY/FINAL LAND DEVELOPMENT

GRAPHIC SCALE
0 15 30 60 120
(IN FEET)
1 inch = 30'

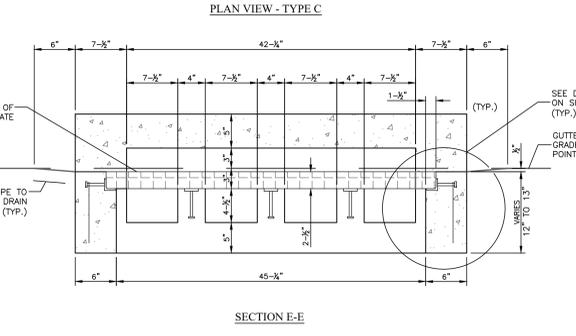
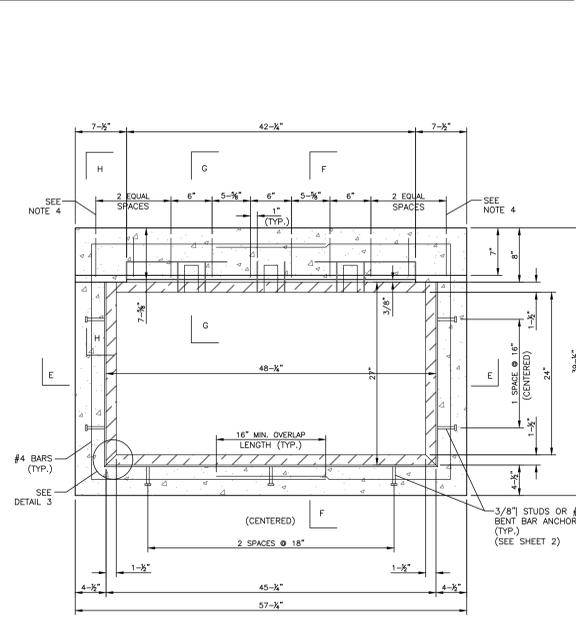
Date: 12/07/2020
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Drawn by: TMW
Checked by: JDC
Project No: 11541

OPEN SPACE MANAGEMENT PLAN FOR SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

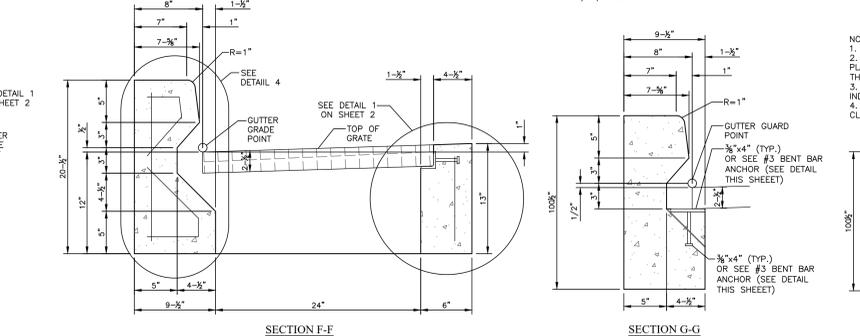
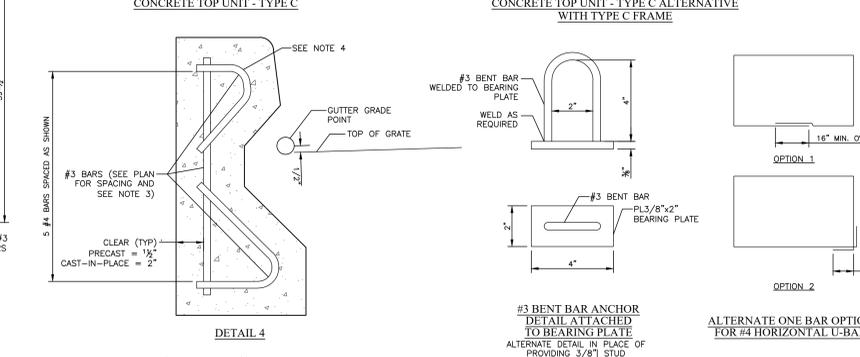
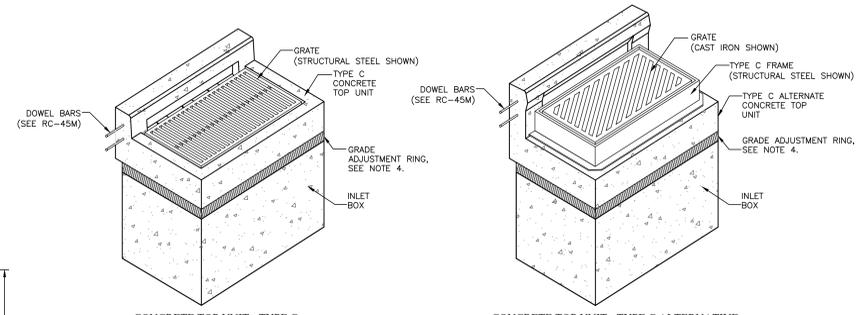
SHEET 17 OF 20



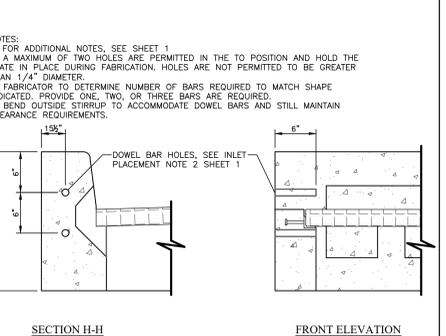
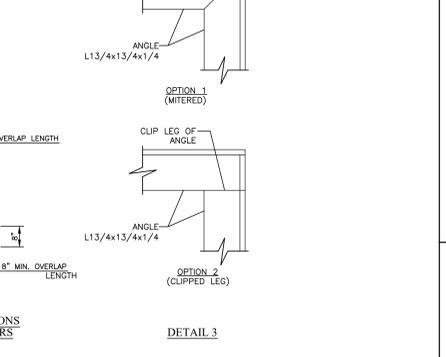
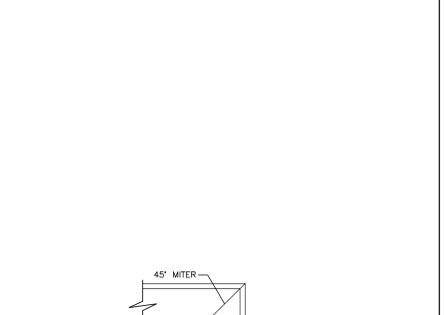
STORM MANHOLE ASSEMBLY



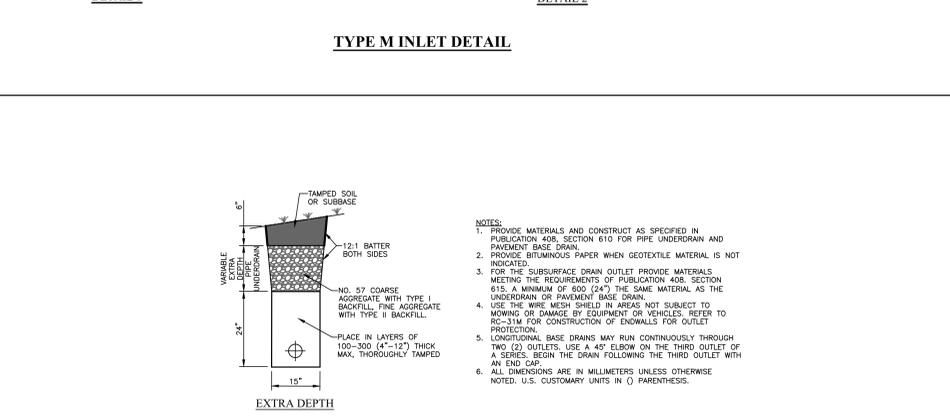
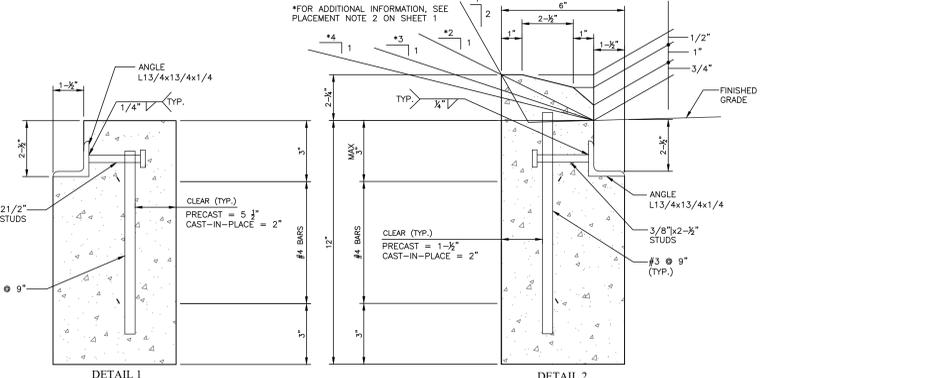
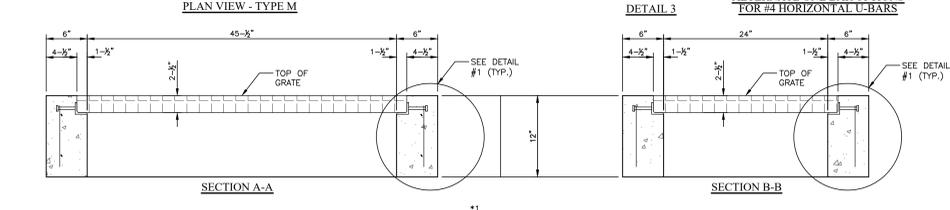
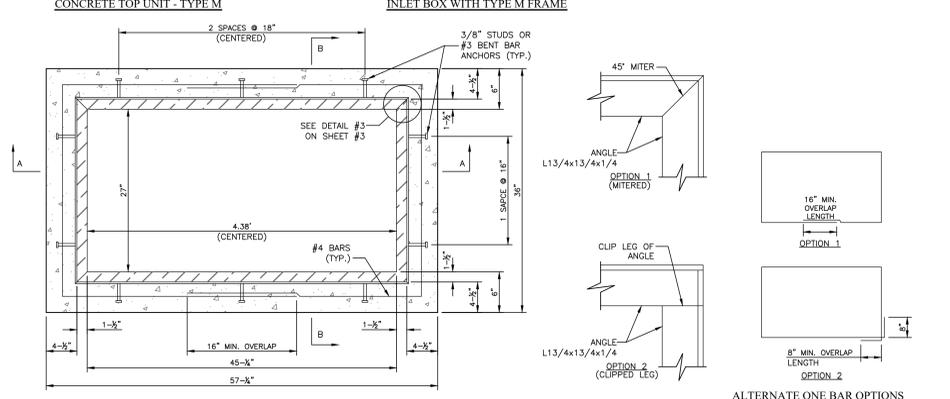
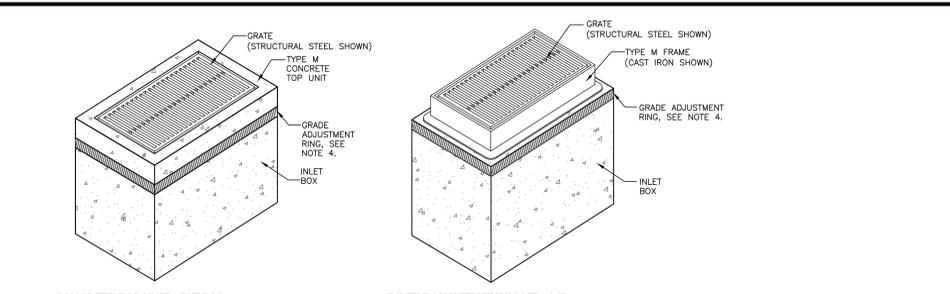
TYPE C INLET DETAIL



TYPE C INLET DETAIL



TYPE C INLET DETAIL



STANDARD UNDERDRAIN DETAIL RC-30M

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Civil Engineers, Surveyors & Land Development Consultants
16 Hagerty Blvd. West Chester, PA 19382
Phone: (484) 947-2928 Fax: (484) 947-2946
www.InlandDesign.net

COMMONWEALTH OF PENNSYLVANIA
Professional Engineer
JOE D. COMANDA
No. 0070740

No.	Date	Description
1	02/10/2020	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
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PRELIMINARY/FINAL LAND DEVELOPMENT

Date: 12/07/2020
Scale: AS NOTED
Drawn by: TMW
Checked by: JDC
Project No: 11541

CONSTRUCTION DETAILS 'A' FOR SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

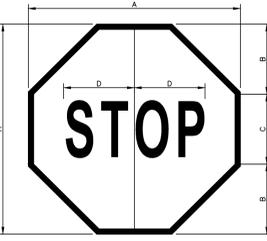
SHEET 18 OF 20

(a) Justification. The Stop Sign (R1-1) is authorized for use on those streets or highways which intersect with a through highway or at a stop intersection as designated by the Department with reference to State designated highways or local authorities with reference to highways under their jurisdiction. The R1-1 sign is also authorized for use in work zones involving one-lane, two-way roadways. At intersections where all approaches are controlled by an R1-1 sign, a supplemental ALL-WAY plaque (R1-3P) shall be mounted below each R1-1 sign.

(b) Authorization. Before local authorities designate any highway as a through highway or stop intersection which will intersect or affect a State-designated highway, approval of such designation shall first be obtained from the Department. Approval to install R1-1 signs in work zones shall not require the approval of the Department or local authorities when the conditions stipulated in the Department's Temporary Traffic Control Guidelines are satisfied.

(c) The standard size R1-1 sign shall be 30" x 30" for single lane conventional highways and 36" x 36" for multi-lane conventional highways. The 24" x 24" size shall only be used for alleys with restrictive physical conditions and vehicle usage that prohibits the installation of the standard size R1-1. A sign that is mounted back-to-back with a R1-1 sign should stay within the edges of the R1-1 sign. If necessary, the size of the R1-1 sign should be increased so that any other sign installed back-to-back with it remains within the edges of the R1-1 sign.

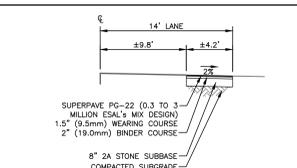
SIGN SIZE	DIMENSIONS						BLANK STD.
	A	B	C	D	E	F	
24x30	24	30	4	2	10	9-9/16	7-5/16
30x36	30	36	5	2	12	12	9-3/16
36x48	36	48	6	5	14	14-3/8	11
48x60	48	60	8	6	16	16-1/8	14-5/8



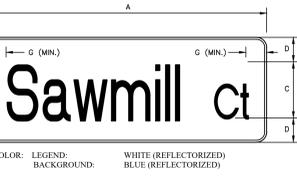
R1-1 STOP SIGN
(NOT TO SCALE)

SIGN SIZE	DIMENSIONS - IN.						BLANK STD.
	A x A	B	C	D	BORDER		
18" x 18"	6	6C	8	0.4	---	---	
24" x 24"	8	8C	10	0.6	B1-24		
30" x 30"	10	10C	12.6	0.8	B1-30		
36" x 36"	12	12C	15	0.8	B1-36		
48" x 48"	16	16C	20	1.2	B1-48		

COLOR: LEGEND AND BORDER: WHITE (REFLECTORIZED)
BACKGROUND: RED (REFLECTORIZED)



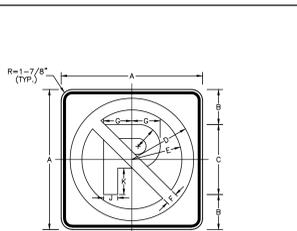
SOUTH CONCORD ROAD WIDENING DETAIL
(NOT TO SCALE)



Sawmill Ct
COLOR: LEGEND: WHITE (REFLECTORIZED)
BACKGROUND: BLUE (REFLECTORIZED)

SIGN SIZE	DIMENSIONS - IN.					
	A	B	C	D	E	F
VAR. x 6"	4"	1	3"	2	1	
VAR. x 9"	6"	1.5	4.5"	3	1.4	
VAR. x 12"	8"	2	6"	4	2	

STREET NAME SIGN (D3-1)
(NOT TO SCALE)

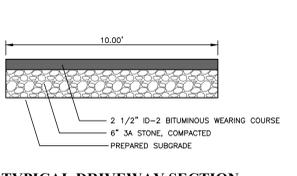


NO PARKING SIGN (R7-1)
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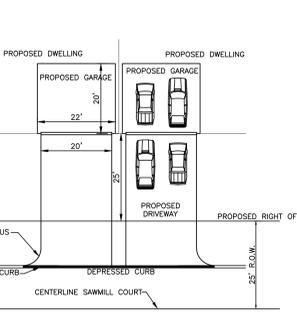
SIGN SIZE	DIMENSIONS							
	A	B	C	D	E	F	G	H
12x12	12	3	6	4.78	3.78	1	2.364	1.78
24x24	24	6	12	10.12	8.12	1	4.2532	3.34
36x36	36	9	18	15.34	12.34	1	7.1164	5.58

SIGN SIZE	SERIES				MAR-BOR-BLANK STD.
	A	B	C	D	
12x12	1	2	1	1	BB-12
24x24	2	3	2	2	BB-24
36x36	3	4	3	3	BB-36

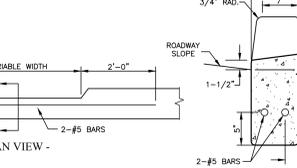
DEPRESSED CURB FOR DRIVES DETAIL
(NOT TO SCALE)



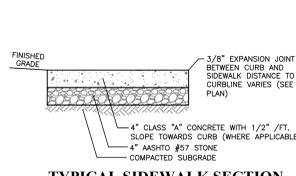
TYPICAL DRIVEWAY SECTION
(NOT TO SCALE)



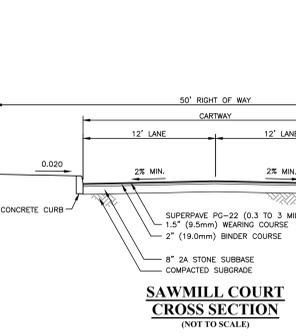
TYPICAL PARKING DETAIL
(SCALE: 1"=20')



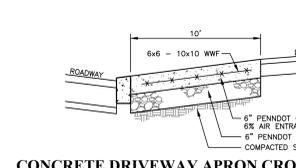
DEPRESSED CURB FOR DRIVES DETAIL
(NOT TO SCALE)



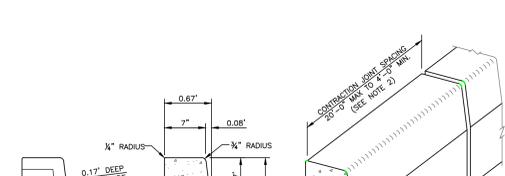
TYPICAL SIDEWALK SECTION
(NOT TO SCALE)



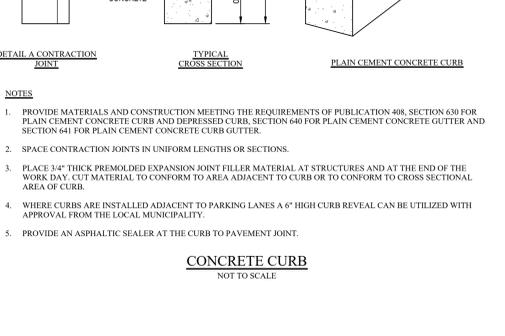
SAWMILL COURT CROSS SECTION
(NOT TO SCALE)



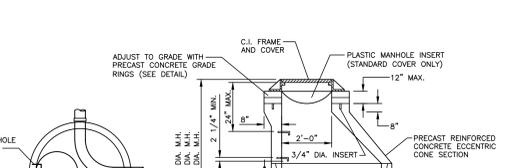
CONCRETE DRIVEWAY APRON CROSS SECTION
(NOT TO SCALE)



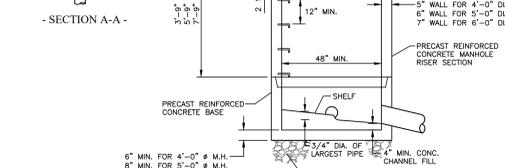
CONCRETE CURB
(NOT TO SCALE)



PRECAST CONCRETE MANHOLE
(NOT TO SCALE)



STANDARD STORM PIPE BEDDING DETAIL
(NOT TO SCALE)



STANDARD SANITARY PIPE BEDDING DETAIL
(NOT TO SCALE)

SOUTH CONCORD ROAD SIGHT DISTANCE PROFILE
SCALE: (H) 1"=30' (V) 1"=3'

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JOEL D. COMANDA
ENGINEER
PROF07040
PENNSYLVANIA

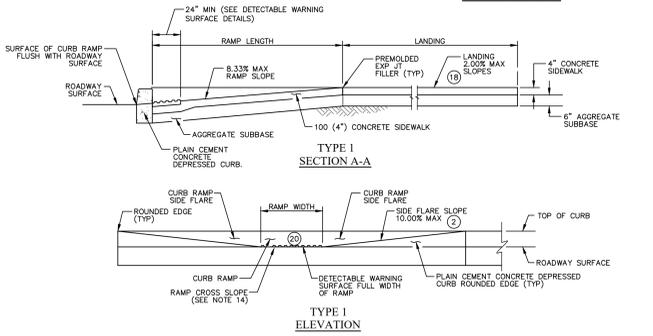
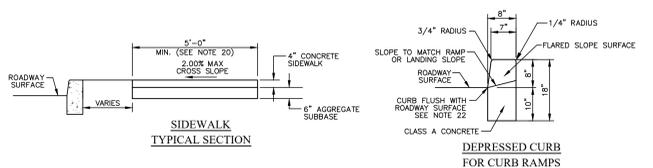
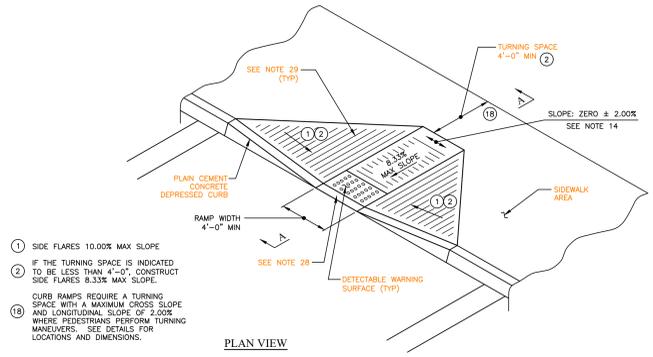
No.	Date:	Description:
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
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PRELIMINARY/FINAL LAND DEVELOPMENT

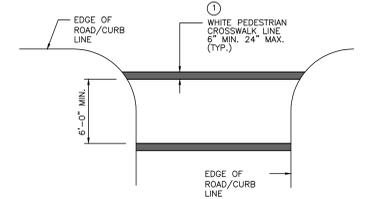
Date: 12/07/2020
Scale: AS NOTED
Drawn by: TMW
Checked by: JDC
Project No: 11541

CONSTRUCTION DETAILS 'B' FOR SAWMILL COURT
914-924 S. CONCORD ROAD
WEST CHESTER, PENNSYLVANIA, 19382
WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

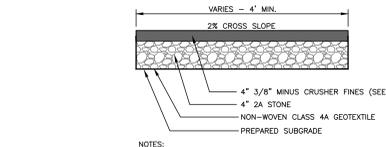
SHEET 19 OF 20



TYPE 1 CURB RAMP
(NOT TO SCALE)



TYPE A - PARALLEL STANDARD CROSSWALK MARKING
(NOT TO SCALE)

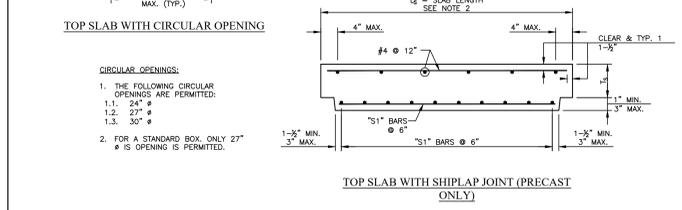
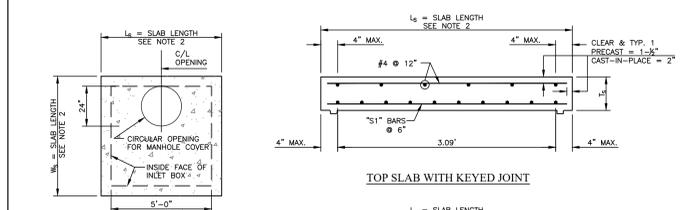


TYPICAL WALKING TRAIL SECTION
(NOT TO SCALE)

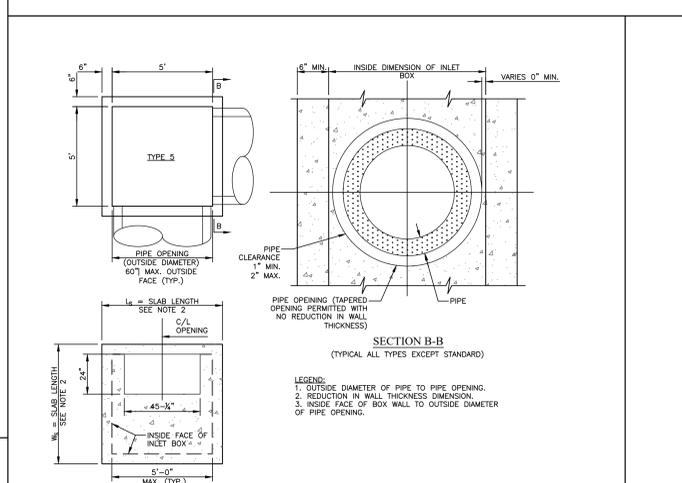


MULCH WALKING TRAIL SECTION
(NOT TO SCALE)

- NOTES**
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 650, 876, 894, AND 895.
 2. PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJACENT TO ANY RAMP, SIDEWALK, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
 3. CONSTRUCT CURB RAMP WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEYOND THE CURB FACE WITHIN THE WIDTH OF THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. SEE SHEET 7 FOR CROSSWALK DETAILS.
 4. SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
 5. PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING SIDE FLARES.
 6. MOODY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD CURB HEIGHT.
 7. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
 8. TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVELING THE HEIGHT OF CURB RAMP LENGTH NOT TO EXCEED 12'-0" ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT FEASIBLE.
 9. NON-WALK AREA IS AN OBSTRUCTED OR GRAVEL/PAVED AREA ADJACENT TO THE PEDESTRIAN ACCESS ROUTE THAT IS NOT USED BY THE PEDESTRIAN FOR ACCESS.
 10. THE DETAILS DEPICT PEDESTRIAN PUSHBUTTON POLES TO ILLUSTRATE THE RECOMMENDED PLACEMENT OF PEDESTRIAN PUSHBUTTONS. FOR ALTERNATION PROJECTS, PROVIDE ACCESS TO EXISTING PEDESTRIAN PUSHBUTTONS TO THE MAXIMUM EXTENT FEASIBLE. INSTALL PEDESTRIAN PUSHBUTTON STUB POLES, WHERE APPLICABLE, SO AS NOT TO CREATE PEDESTRIAN OBSTRUCTIONS.
 11. SEE TC-8803 FOR ADDITIONAL PEDESTRIAN PUSHBUTTON DETAILS NOT SHOWN.
 12. ALIGN DETECTABLE WARNING SURFACE TRUNCATED DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB. SEE SHEET 9 FOR INSTALLATIONS ALONG CURVED SURFACES.
 13. PROVIDE DETECTABLE WARNING SURFACES (DWS) 24" MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES. EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP.
 14. FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESSIBLE ROUTE.
 15. FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAX SLOPE ALLOWABLE. SLOPES THAT EXCEED THOSE INDICATED IN THE DETAILS OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
 16. CONSTRUCT SIDEWALKS AT A LONGITUDINAL SLOPE NOT TO EXCEED 5.00% FOR ROADWAY PROFILE SLOPES THAT EXCEED 5.00%, CONSTRUCT PARALLEL SIDEWALKS ADJACENT TO ROADWAY AT A LONGITUDINAL SLOPE NOT TO EXCEED ROADWAY PROFILE SLOPE.
 17. THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED AN ALGEBRAIC DIFFERENCE OF 13.33% THE COUNTER SLOPE OF THE CUTTER OR ROAD AT THE FOOT OF A CURB RAMP. TURNING SPACE OR BLENDED TRANSITION IS NOT TO EXCEED 5.00%. SEE SHEET 8 FOR DETAILS.
 18. THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
 19. ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDENT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 4" CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 4'-0" FOR A 12:1 SLOPE).
 20. SIDEWALK WIDTH MAY BE REDUCED TO 4'-0", WHEN PASSING AREAS 5'-0" X 5'-0" ARE PROVIDED EVERY 200'.
 21. THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST. THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
 22. CONSTRUCT DEPRESSURE CURB FOR CURB RAMP FLUSH TO ADJUST ROADWAY GRADE EDGE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT TURNING SPACES BEHIND DEPRESSURE CURB. ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE AT THE JOINT BETWEEN DEPRESSURE CURB AND ROADWAYS. REMOVE EXCESS JOINT SEALER AND COVER THE SEALED AREA WITH A LIGHT APPLICATION OF DRY SAND.
 23. CHEEK WALLS ARE PERMITTED WHEN ADJACENT TO NON-WALK AREAS OR ELEVATION DIFFERENCES CANNOT BE ACCOMMODATED BY FLARES OR GRADING. GRADE GRASS AREAS OR OTHER NON-WALK AREAS AT 3:1 OR FLATTER. DO NOT INSTALL CHEEK WALLS THAT INTERSECT THE PEDESTRIAN PATH.
 24. CONSTRUCT TOP OF PLAIN CEMENT CONCRETE DEPRESSURE CURB TO BE FLUSH WITH ADJACENT SURFACES (RAMPS, SIDEWALKS, FLARES).
 25. FOR CURB RAMP THAT LEAD TO A SINGLE CROSSWALK, THE RAMP (EXCLUDING FLARES) TO BE FULLY INSIDE OF MARKED CROSSWALK LINES. SEE SHEET 7 FOR DETAILS.
 26. A 4'-0" MAXIMUM DIGITAL DISPLAY LEVEL WILL BE USED TO VERIFY THE SLOPES OF CURB RAMP AND SIDEWALKS.
 27. INSTALL CURB JOINTS WHERE RAMPS, TURNING SPACES, FLARES, AND SIDEWALKS MEET.
 28. CONSTRUCT DEPRESSURE CURB TO MATCH ROADWAY PROFILE AND HAVE A FLUSH CONNECTION. TRANSITION CURB RAMP CROSS SLOPE TO MATCH ROADWAY PROFILE AS CLOSELY AS POSSIBLE. DO NOT EXCEED 3.00% PER 1'-0" CROSS SLOPE RATE OF CHANGE WHEN TRANSITIONING TO ROADWAY PROFILE.
 29. DO NOT SCORE OR MAKE GROOVES ON SLOPED SURFACES. LINES SHOWN ON DETAILS ARE FOR ILLUSTRATION ONLY. SEE NOTE 5.



BOX TOP SLAB MANHOLE OPENING
(NOT TO SCALE)



TYPE 5 INLET BOX DETAIL
TYPE 4 INLET BOX DETAIL
(NOT TO SCALE)

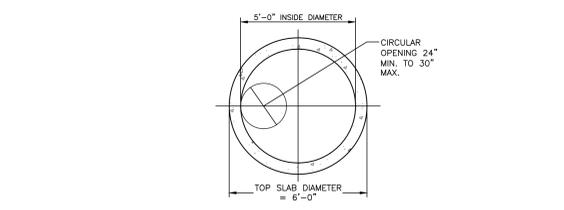
TOP SLAB CAST-IN-PLACE CONCRETE

INLET BOX TYPE	T _s (N.)	S1 BAR SIZE
STANDARD	8	#6
TYPE 4	12	#7
TYPE 5	14	#8
TYPE 6	14	#8
TYPE 7	14	#9
TYPE 8	14	#9
TYPE 9	14	#9
TYPE 10	14	#9

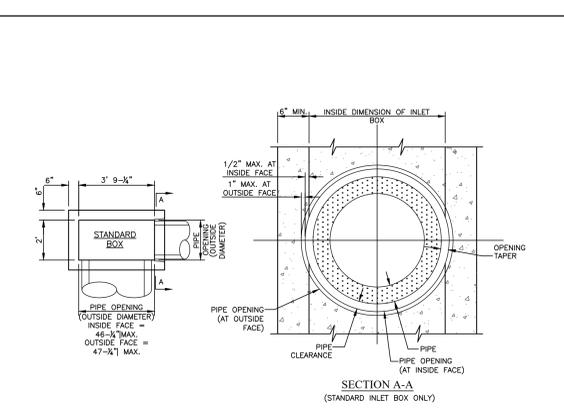
TOP SLAB PRE-CAST CONCRETE

INLET BOX TYPE	T _s (N.)	S1 BAR SIZE
STANDARD	8	#6
TYPE 4	12	#7
TYPE 5	14	#8
TYPE 6	14	#8
TYPE 7	14	#9
TYPE 8	14	#9
TYPE 9	14	#9
TYPE 10	14	#9

- NOTES:**
1. FOR ADDITIONAL NOTES, SEE SHEETS 1-3.
 2. OUT TO OUT DIMENSIONS OF TOP SLABS TO MATCH SIZE OF INLET BOX.
 3. SET EDGE OF OPENING AT INSIDE FACE OF INLET BOX FOR ACCESS, IF POSSIBLE.
 4. FOR ADDITIONAL REINFORCEMENT AROUND OPENINGS, SEE SHEETS 9 & 10.
 5. FOR JOINT DETAILS, SEE SHEETS 13 OR 20, SEE SHEETS 9 & 10.
 6. ANY REINFORCEMENT BARS LESS THAN 6" IN LENGTH, DUE TO THE LOCATION OF THE OPENING, ARE NOT REQUIRED.



TYPE 5 MANHOLE



STANDARD INLET BOX DETAIL

INLAND DESIGN, LLC
2021091658
16 Hagerty Blvd., West Chester, PA 19382
www.InlandDesign.net

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
Phone: (484) 947-2928
Fax: (484) 947-2946
Info@InlandDesign.net

No.	Date	Description
1	02/10/2021	REVISED PER TOWNSHIP REVIEWS
2	03/25/2021	REVISED PER TOWNSHIP REVIEWS
3	04/21/2021	REVISED PER TOWNSHIP REVIEWS
4	05/12/2021	REVISED PER CCCD COMMENTS
5	05/25/2021	REVISED PER TOWNSHIP REVIEWS
6	07/26/2021	VALUE ENGINEERING TO REVISE Bmps
7	09/01/2021	REVISED FOR FINAL PLANS
8	09/13/2021	PLANS FOR RECORDING

PRELIMINARY/FINAL LAND DEVELOPMENT

Date: 12/07/2020
Scale:
Drawn by: TMW
Checked by: JDC
Project No: 11541

CONSTRUCTION DETAILS 'C' FOR SAWMILL COURT 914-924 S. CONCORD ROAD WEST CHESTER, PENNSYLVANIA, 19382 WESTTOWN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET 20 OF 20