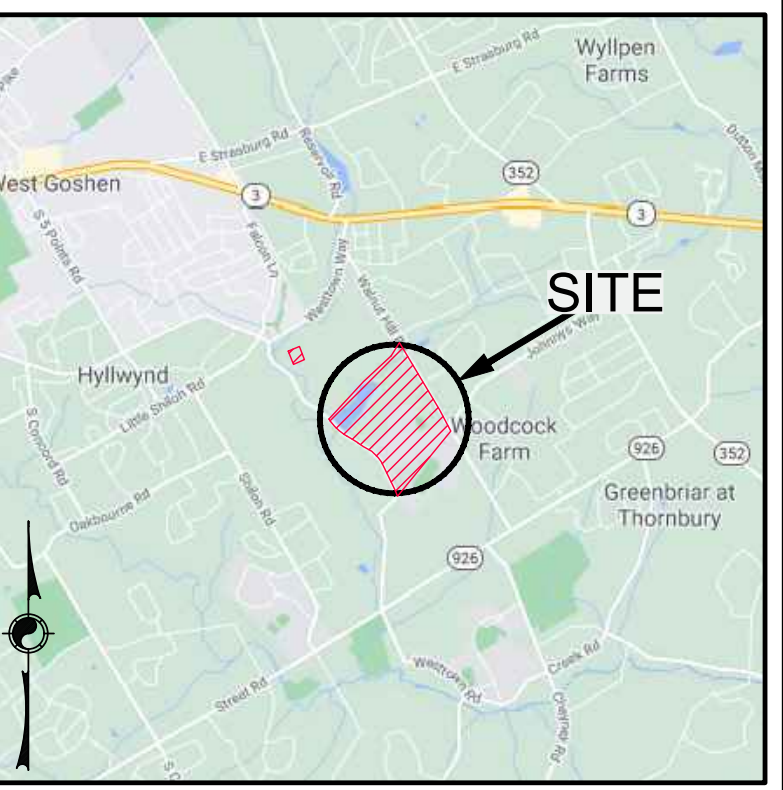
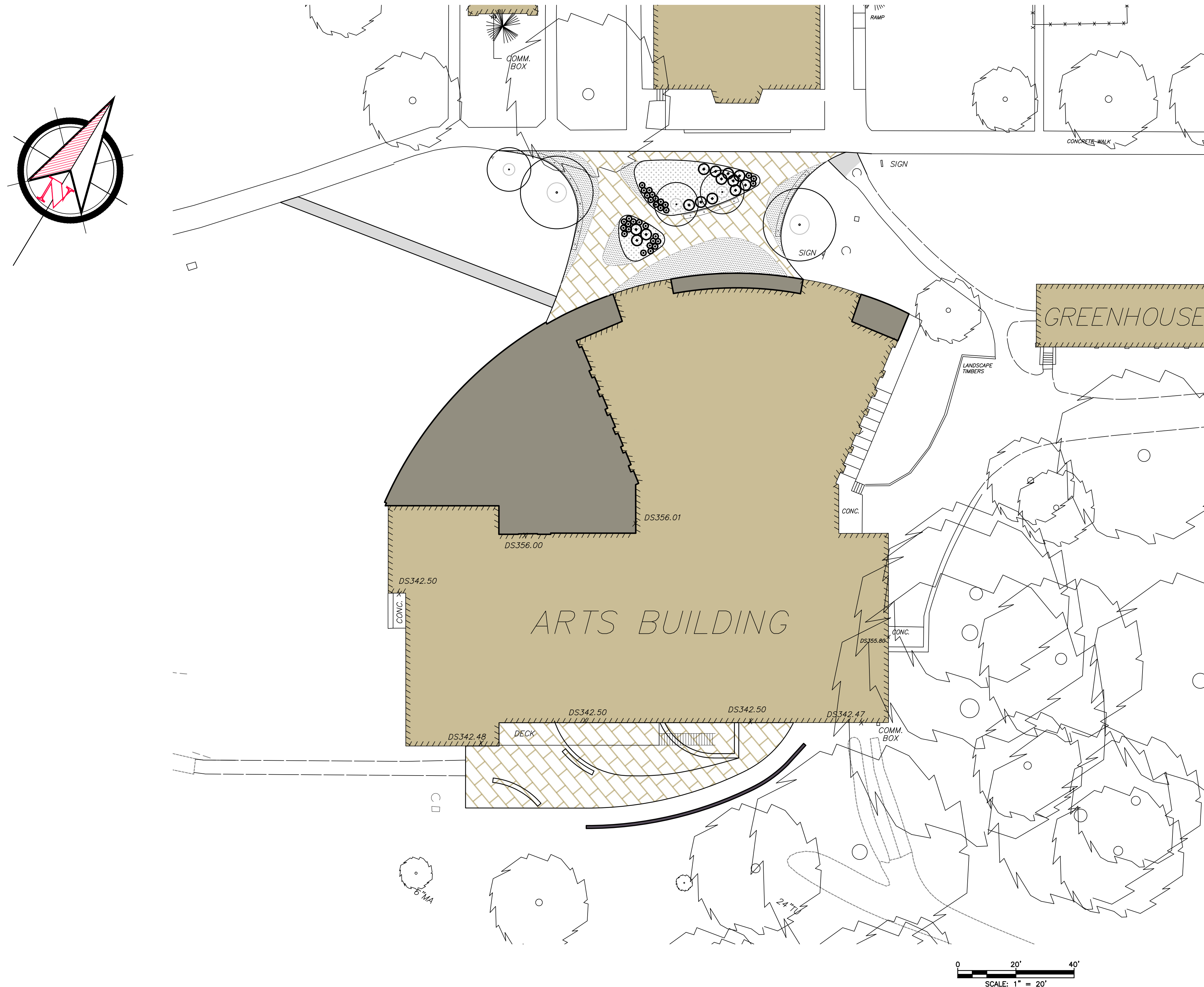


WESTTOWN SCHOOL CENTER FOR THE LIVING ARTS

PRELIMINARY / FINAL LAND DEVELOPMENT PLANS



LOCATION MAP
SCALE: 1" = 1 MILE



PLAN SHEET INDEX:		PLAN DATE	REV DATE
SHEET-01:	ILLUSTRATIVE SITE PLAN	11/15/2022	03/28/2023
SHEET-02:	RECORD PLAN	11/15/2022	03/28/2023
SHEET-03:	CONSERVATION/VICINITY PLAN	11/15/2022	03/28/2023
SHEET-04:	EXISTING CONDITIONS/ DEMOLITION PLAN	11/15/2022	03/28/2023
SHEET-05:	STORMWATER MANAGEMENT PLAN	11/15/2022	03/28/2023
SHEET-06:	EROSION & SEDIMENT CONTROL PLAN	11/15/2022	03/28/2023
SHEET-07:	CONSTRUCTION DETAILS	11/15/2022	03/28/2023
SHEET-08.1:	LIGHTING PLAN	11/15/2022	03/28/2023
SHEET-08.2:	LIGHTING PLAN	11/15/2022	03/28/2023
SHEET-L-101:	LAYOUT & MATERIAL PLAN	10/28/2022	02/10/2023
SHEET-L-102:	PLANTING PLAN	10/28/2022	02/10/2023
SHEET-L-401:	ENLARGEMENT PLANS	10/28/2022	02/10/2023
SHEET-L-501:	LANDSCAPE DETAILS	10/28/2022	02/10/2023
SHEET-L-502:	LANDSCAPE DETAILS	10/28/2022	02/10/2023



FINAL PLAN PER TWP ENG REVIEW 03/28/23 PER TWP ENG REVIEW 03/28/23 COMMENTS DATE		PRELIMINARY/FINAL LAND DEVELOPMENT PLANS WESTTOWN SCHOOL - CENTER FOR THE LIVING ARTS ILLUSTRATIVE SITE PLAN WESTTOWN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA			
		OWNER/APPLICANT WESTTOWN SCHOOL 975 WESTTOWN ROAD WEST CHESTER, PA 19382	1000 CONSHOHOCKEN ROAD, SUITE 202 CONSHOHOCKEN, PA 19428 PH: 610-234-2469 apexdeg.com	MICHAEL J. BOWKER, PE PA ENGINEER PE061543	DRAWN: DWM REVIEWED: MJB DATE: 11-15-22 SCALE: 1" = 20' FILE NO.: 2022-292 SHEET NO.: 1 OF 8

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© APEX DESIGN + ENGINEERING GROUP, LLC
PROJECT: WESTTOWN_SCHOOL_CENTRAL_PENNSYLVANIA_202202

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ADJOINER LIST:

- N/F WESTTOWN SCHOOL
JOHNNYS WAY
TAX PARCEL 67-02-00274-80-0
DEED BOOK 9407 PAGE 491
- N/F WESTTOWN SCHOOL
1400 JOHNNYS WAY
TAX PARCEL 67-02-00620-00-0
DEED BOOK 9407 PAGE 491
- N/F WILLIAM D KROUT
903 SHADY GROVE WAY
TAX PARCEL 67-02-00610-10-0
DEED BOOK 850 PAGE 219
- N/F MARC & ELIZABETH MILLER
905 SHADY GROVE WAY
TAX PARCEL 67-02-00610-00-0
DEED BOOK 7760 PAGE 716
- N/F BRYAN COLLINS & MEGAN MCGOLDRICK
911 SHADY GROVE WAY
TAX PARCEL 67-02-00010-00-0
DEED BOOK 8729 PAGE 1921
- N/F JASON P & KRISTINE C LISI
915 SHADY GROVE WAY
TAX PARCEL 67-02-00800-10-0
DEED BOOK 6782 PAGE 2306
- N/F JOSEPH M FIORAVANTI
917 SHADY GROVE WAY
TAX PARCEL 67-02-00190-00-0
DEED BOOK 6591 PAGE 2190
- N/F JOSEPH M & ANNE E BURNS
919 SHADY GROVE WAY
TAX PARCEL 67-02-00180-00-0
DEED BOOK 9251 PAGE 1037

ADJOINER LIST:

- N/F CHADD H & COURTNEY E CRIDDLE
1400 CARROLL BROWN WAY
TAX PARCEL 67-02-00274-70-0
DEED BOOK 6602 PAGE 553
- N/F SUSANNE M HANSON
1401 CARROLL BROWN WAY
TAX PARCEL 67-02-00270-40-0
DEED BOOK 7930 PAGE 1248
- N/F FRANK J & HAZEL M TROILO
WALNUT HILL ROAD
TAX PARCEL 67-02-00270-30-0
DEED BOOK M35 PAGE 583
- N/F FRANK J & HAZEL TROILO
509 WALNUT HILL ROAD
TAX PARCEL 67-02-00270-20-0
DEED BOOK E35 PAGE 271
- N/F FRANK J & HAZEL M TROILO
WALNUT HILL ROAD
TAX PARCEL 67-02-00270-10-0
DEED BOOK G35 PAGE 208
- N/F PENNWOOD CIVIC ASSOCIATION
WALNUT HILL ROAD
TAX PARCEL 67-02-00270-00-0
DEED BOOK H33 PAGE 540
- N/F MARY CUMMINGS
1400 PONDS EDGE ROAD
TAX PARCEL 67-02-00300-00-0
DEED BOOK 8451 PAGE 581

BEFORE THE ZONING HEARING BOARD OF THE TOWNSHIP OF WESTTOWN CHESTER COUNTY, PENNSYLVANIA ORDER

IN RE: APPLICATION OF WESTTOWN SCHOOL

HEARING WAS HELD AT THE STOKES ASSEMBLY HALL AT THE WESTTOWN TOWNSHIP MUNICIPAL BUILDING, 1039 WILMINGTON PIKE ON THURSDAY, MARCH 31, 2022, BEGINNING AT 6:31 P.M.

NOW, THIS 31ST DAY OF MARCH 2022, UPON CONSIDERATION OF THE TESTIMONY ADDUCED AND THE EXHIBITS PRESENTED, THE APPLICATION FOR SPECIAL EXCEPTION FOR THE AREA WITHIN THE LAND OWNED BY THE APPLICANT AS DESIGNATED ON THE PLAN SUBMITTED FOR EDUCATIONAL AND RELIGIOUS USES SHALL BE AND HEREBY IS GRANTED IN AND ONLY IN ACCORDANCE WITH THE TESTIMONY ADDUCED AND EXHIBITS PRESENTED. PROVIDED, HOWEVER, NOTHING HEREIN CONTAINED SHALL BE CONSTRUED TO IN ANY MANNER LIMIT THE APPLICANT'S RIGHT TO FURTHER EXPAND BY MAKING OF PROPER APPLICATION ADDITIONAL BUILDINGS UNDER THE PERMITTED USE.

UPON COMPLIANCE WITH ALL OF THE FOREGOING AND THE MAKING OF PROPER APPLICATION AND PAYMENT OF PROPER FEES AND DEMONSTRATING COMPLIANCE WITH OTHER APPLICABLE ORDINANCES OF THE TOWNSHIP, THE ZONING OFFICER IS AUTHORIZED AND DIRECTED TO ISSUE THE NECESSARY PERMITS FOR THE DESIGNATION OF THE PREMISES AS APPLIED FOR AS FALLING WITHIN A PERMITTED SPECIAL EXCEPTION FOR EDUCATIONAL AND RELIGIOUS USE.

LINETYPE LEGEND

- EXISTING TRACT BOUNDARY LINE
- EXISTING RIGHT OF WAY
- ADJOINING PROPERTY LINE

WAIVER GRANTED:
THE FOLLOWING WAIVER FROM THE WESTTOWN TOWNSHIP SUBDIVISION OF LAND ORDINANCE (SOL) WAS GRANTED:

- \$149-700.A TO PERMIT A COMBINED PRELIMINARY AND FINAL LAND DEVELOPMENT APPLICATION AND APPROVAL.

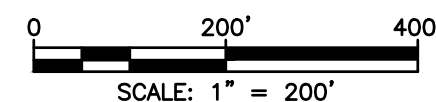
TAX PARCEL NUMBER:
67-02-00250-00-E

CCPC No.

PROCESSED AND REVIEWED. A report has been prepared by the Chester County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date.

For the Director
Chester County Planning Commission



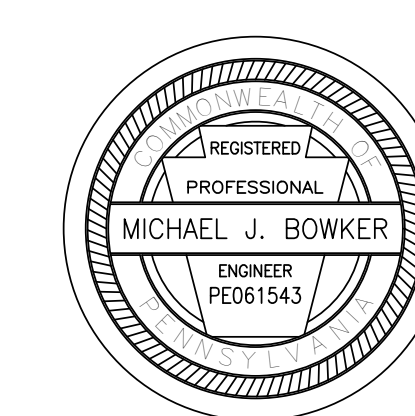
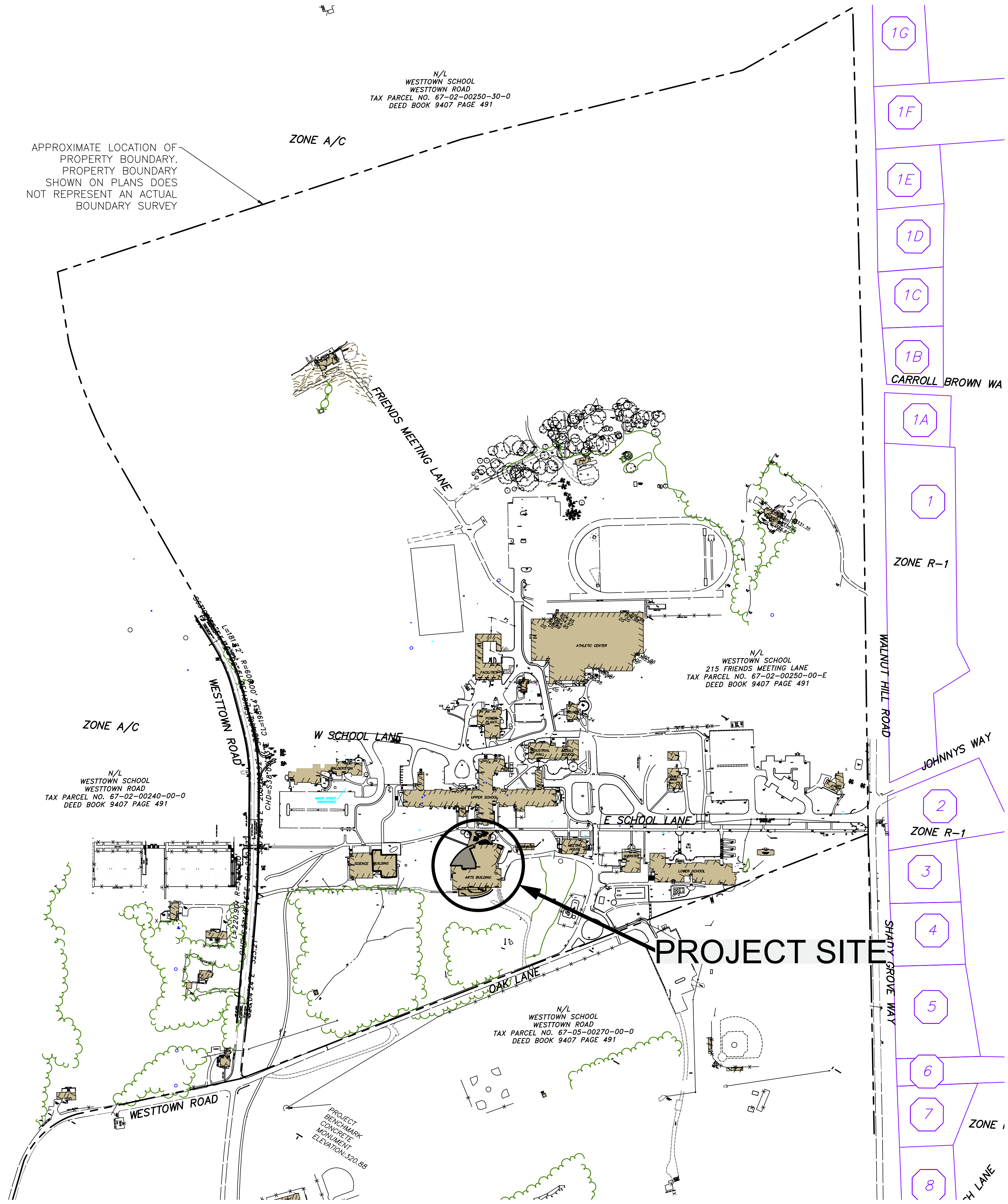
Stormwater Controls and BMPs Alteration Acknowledgement

The Stormwater BMPs (as shown on this plan) are permanent facilities and shall not be modified or removed unless prior approval is granted by Westtown Township. The property owner(s), his/her successor or assigns, shall be responsible for the perpetual maintenance of all grades and elevations of such facilities, and shall do nothing to alter or damage same or other basin structures and devices. Landowner herein grants a blanket perpetual easement for access to, on and over the areas of the Stormwater BMPs shown on this plan for the purpose of inspection, emergency maintenance and repairs of the said permanent facilities in the event Landowner fails to maintain the Stormwater BMPs in accordance with the plan.

Landowner: CHRIS BENBOW, HEAD OF SCHOOL

Date:

APPROXIMATE LOCATION OF PROPERTY BOUNDARY. PROPERTY BOUNDARY SHOWN ON PLANS DOES NOT REPRESENT AN ACTUAL BOUNDARY SURVEY



LAND DEVELOPMENT NO. _____
FILE NO. _____
TAX PARCEL NO. 67-02-00250-00-E

I HEREBY CERTIFY THAT WESTTOWN SCHOOL IS THE OWNER OF THESE LANDS, AND THAT IT HEREBY ADOPTS THIS PLAN AND DESIRES THIS PLAN TO BE RECORDED.

BY: CHRIS BENBOW
TITLE: HEAD OF SCHOOL

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____

ON THIS, THE _____ DAY OF _____, 2023, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED CHRIS BENBOW WHO ACKNOWLEDGED HIMSELF TO BE HEAD OF SCHOOL OF WESTTOWN SCHOOL, AND HE AS SUCH HEAD OF SCHOOL BEING AUTHORIZED TO DO SO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING THE NAME OF THE CORPORATION BY HIMSELF AS HEAD OF SCHOOL.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN

NOTARY PUBLIC

I HEREBY CERTIFY THAT THIS PLAN HAD BEEN MADE UNDER MY IMMEDIATE SUPERVISION, THAT THE MONUMENTS SHOWN EXIST OR SHALL BE LOCATED AND THAT ALL GEODETIC AND DIMENSIONAL DETAILS ARE CORRECT AND THAT THIS MAP COMPLIES WITH THE PROVISIONS OF THE MAP FILING LAW, THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THEREIN.

DATE _____ PROFESSIONAL ENGINEER _____

THIS IS TO CERTIFY THAT THIS PLAN HAS BEEN APPROVED BY WESTTOWN TOWNSHIP IN ACCORDANCE WITH THE CODE OF THE TOWNSHIP OF WESTTOWN-CHAPTER 149.

DATE _____ TOWNSHIP ENGINEER _____

THIS IS TO CERTIFY THAT THIS LAND DEVELOPMENT PLAN HAS BEEN APPROVED BY THE WESTTOWN TOWNSHIP BOARD OF SUPERVISORS ON: _____

DATE _____ TOWNSHIP SECRETARY _____

I, CHRIS BENBOW, HEAD OF SCHOOL, ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED, BY THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

I, MICHAEL J. BOWKER, P.E., HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE WESTTOWN TOWNSHIP CODE, CHAPTER 144, STORMWATER MANAGEMENT.

Michael J. Bowker
MICHAEL, J. BOWKER, P.E. 03/28/2023 DATE

PLANNING COMMISSION

Approved by the Westtown Township Planning Commission this _____ day of _____, 2023

Secretary
Westtown Township
Planning Commission

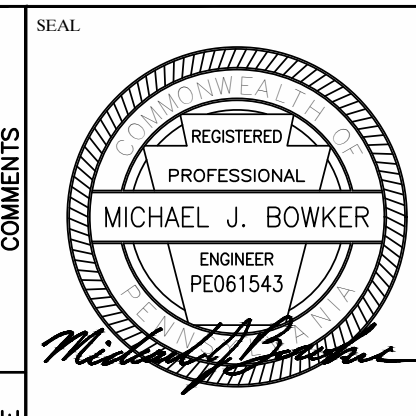
BOARD OF SUPERVISORS

Approved by the Board of Supervisors of Westtown Township on the _____ day of _____, 2023

Chairperson
Township Manager

RECORDER OF DEEDS

FINAL PLAN	03/28/23	REVIEW	DATE
PER TWP ENG REVIEW	03/28/23	PER TWP ENG REVIEW	03/28/23
PER TWP ENG REVIEW	03/28/23	PER TWP ENG REVIEW	03/28/23
COMMENTS			



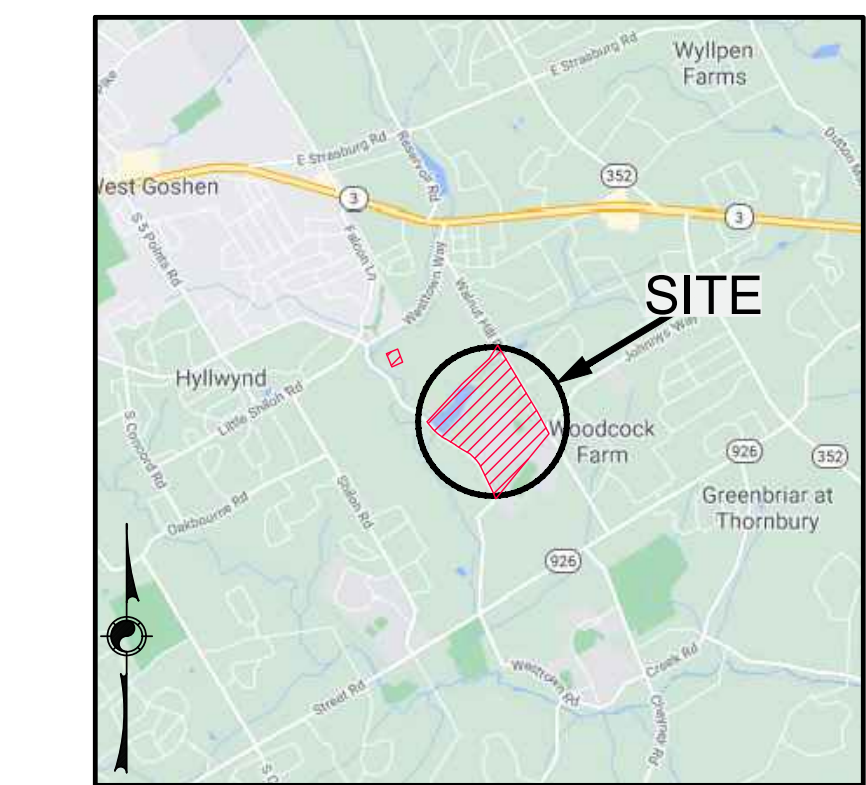
**PRELIMINARY/FINAL LAND DEVELOPMENT PLANS
WESTTOWN SCHOOL - CENTER FOR THE LIVING ARTS
RECORD PLAN**

WESTTOWN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA

OWNER/APPLICANT
WESTTOWN SCHOOL
975 WESTTOWN ROAD
WEST CHESTER, PA 19382

1000 CONSHOHOCKEN ROAD, SUITE 202
CONSHOHOCKEN, PA 19428
PH: 610-234-2408
apexdeg.com

DRAWN: DWM	REVIEWED: MJB	DATE: 11-15-22	SCALE: 1" = 200'	FILE NO.: 2022-292	SHEET NO.: 2 OF 8
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LOCATION MAP
SCALE: 1" = 1 MILE

ZONING DISTRICT A/C (AGRICULTURAL/CLUSTER RESIDENT DISTRICT)
LOT SIZE 2 ACRE MIN
WIDTH 100' MIN (AT BLDG LINE)
100' MIN (AT STREET LINE)
IMPERVIOUS COVERAGE 15% MAX
FRONT YARD 50' MIN
SIDE YARD 50' MIN
REAR YARD 50' MIN
BUILDING HEIGHT 38' MAX

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF THE TOWNSHIP OF WESTTOWN, LATEST EDITION.

TAX PARCEL NUMBER:
67-02-00250-00-E

BLOCK AND UNIT NUMBER:
BLOCK 02, UNIT 0025000E

SOURCE OF DEED:
BOOK 9407 PAGE 491

TOTAL AREA (TO THE TITLE LINE)
7,426,980 SF (170.5 ACRES)

SURVEY NOTES:
1. ELECTRONIC CAD FILE PROVIDED BY TRIMBLE SURVEYORS, 307 E LEXINGTON RD, LITITZ, PA 17543.

RECORD OWNER / SOURCE OF TITLE:
WESTTOWN SCHOOL
DEED BOOK 9407 PAGE 491
215 FRIENDS MEETING LANE
WEST CHESTER, PA 19382
BLOCK 02 UNIT 0025000E
PARCEL I.D. 67-02-00250-00-E
PHONE: 610-399-0123

GENERAL NOTES:
1. THE INTENT OF THIS PLAN SET IS TO ILLUSTRATE THE CONSTRUCTION OF A BUILDING ADDITION TO THE EXISTING ART CENTER BUILDING ON THE CAMPUS. OTHER IMPROVEMENTS INCLUDES THE CONSTRUCTION OF NEW WALKWAYS, AND THE ASSOCIATED GRADING AND STORMWATER MANAGEMENT IMPROVEMENTS.

2. THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.

3. PA. ONE CALL NUMBER FOR THIS SITE IS 20223112631.

4. THE NOTED SURVEY PLAN WAS COMPLETED WITHOUT THE AVAILABILITY OF A CURRENT TITLE REPORT AND SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE REPORT.

5. IN ACCORDANCE WITH FEMA PANEL NUMBER 42029C0215G EFFECTIVE DATE SEPTEMBER 29, 2017 PORTIONS OF THE PROPERTY ARE LOCATED IN ZONE X, SPECIAL FLOOD HAZARD AREAS WITH BASE FLOOD ELEVATIONS. THE PORTIONS OF THE PROPERTY WITHIN THE PROPOSED PROJECT AREA ARE LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD.

6. THIS SITE IS CURRENTLY SERVED BY AN ON SITE WELL AND PUBLIC SEWER.

7. NO PRECAUTIONARY SLOPE AREAS, PROHIBITIVE SLOPE AREAS, OR FLOODPLAIN AREAS ARE LOCATED WITHIN THE PROPOSED PROJECT SITE AREA.

8. PROJECT BENCHMARK - CONCRETE MONUMENT ELEV. 320.89

9. STORMWATER REPORT AND CALCULATIONS ARE IN ACCORDANCE WITH 8144-304 AS PREPARED BY APEX ENGINEERING GROUP DATED NOVEMBER 11, 2022, AND LAST REVISED JANUARY 23, 2023.

10. THIS PROJECT WILL NOT RESULT IN AN INCREASE OF EMPLOYEES OR OTHER USERS OF THE SCHOOL.

Serial Number: 20223112631
CALL BEFORE YOU DIG!
YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER ITS ON PRIVATE OR PUBLIC LAND.
Pennsylvania One Call System, Inc.
1-800-242-1776

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© APEX DESIGN & ENGINEERING GROUP, LLC
PROJECT: WMAPEX15024100220230106122202

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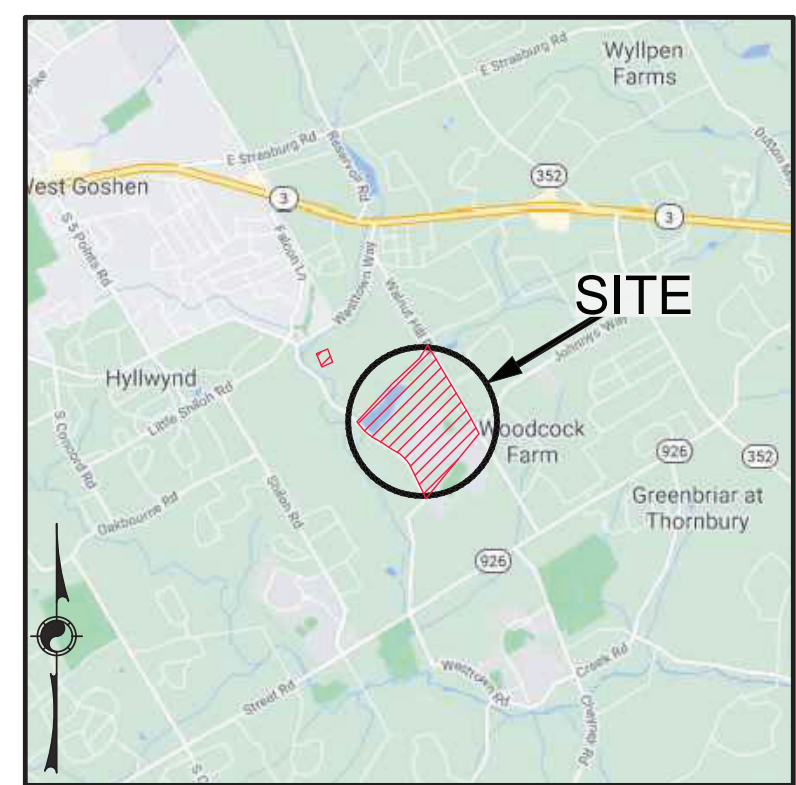
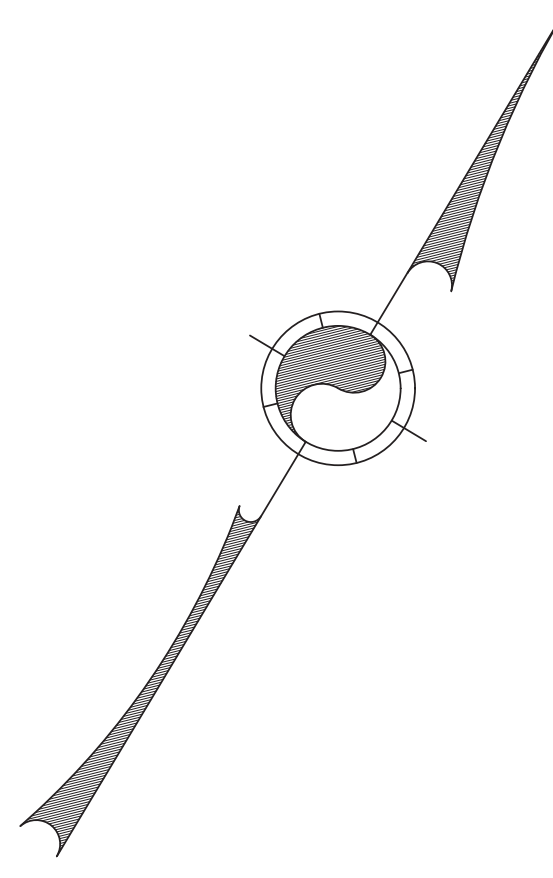
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SYMBOL LEGEND

⊙	IRON PIN FOUND
□	CONCRETE MONUMENT FOUND
⊕	MARBLE MONUMENT FOUND
AC	EXISTING AIR CONDITIONER
GV	EXISTING GAS VALVE
GM	EXISTING GAS METER
EM	EXISTING ELECTRIC METER
CO	EXISTING CLEANOUT
RO	ROOF OVERHANG
⊙	EXISTING TREE
UP	EXISTING UTILITY POLE
x100.00	EXISTING SPOT ELEVATION
xDS 100.00	EXISTING DOOR SILL ELEVATION

LINE TYPE LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING RIGHT OF WAY
---	EXISTING BUILDING SETBACK
-X-X-	EXISTING FENCE
---	EXISTING EASEMENT
---	EXISTING TREE LINE
-378-	EXISTING 1' CONTOUR
-380-	EXISTING 5' CONTOUR
	EXISTING OVERHEAD ELECTRIC
E	EXISTING ELECTRIC LINE
G	EXISTING GAS LINE
T/C	EXISTING TELECOM LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY LINE
---	EXISTING STORM PIPES
---	FEMA FLOODPLAIN BOUNDARY



LOCATION MAP
SCALE: 1" = 1 MILE

ZONING DISTRICT A/C-(AGRICULTURAL/CLUSTER RESIDENT DISTRICT)

LOT SIZE	2 ACRE MIN
WIDTH	200' MIN (AT BLDG LINE)
	100' MIN (AT STREET LINE)
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FRONT YARD	50' MIN
SIDE YARD	50' MIN
REAR YARD	50' MIN
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TAX PARCEL NUMBER:
67-02-00250-00-E

BLOCK AND UNIT NUMBER:
BLOCK 02, UNIT 0025000E

SOURCE OF DEED:
BOOK 9407 PAGE 491

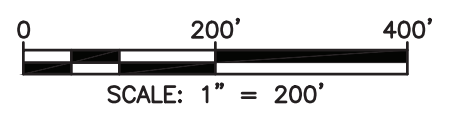
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7,426,980 SF (170.5 ACRES)

SURVEY NOTES:
1. ELECTRONIC CAD FILE PROVIDED BY TRIMBLE SURVEYORS, 307 E LEXINGTON RD, LITITZ, PA 17543.

EXISTING IMPERVIOUS COVERAGE WITHIN PROJECT SITE AREA:

ART SCHOOL CENTER	18,677 SF
WALKWAYS	9,797 SF
WALLS	125 SF
TOTAL	28,599 SF

- GENERAL NOTES:**
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Serial Number: 20223112631

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811
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1-800-242-1776

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PROJECTS: MINAPEX_0002_000200_000000000000

REV	DATE	BY	CHKD	COMMENTS
1	03/28/23			FINAL PLAN
2	03/14/23			PER TWP ENG REVIEW
3	01/27/23			PER TWP ENG REVIEW

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS
WESTTOWN SCHOOL - CENTER FOR THE LIVING ARTS
CONSERVATION / VICINITY PLAN
WESTTOWN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA

OWNER/APPLICANT
WESTTOWN SCHOOL
975 WESTTOWN ROAD
WEST CHESTER, PA 19382

1000 CONSHOHOCKEN ROAD, SUITE 202
CONSHOHOCKEN, PA 19428
PH: 610-234-2469
apexdeg.com

APEX
DESIGN + ENGINEERING GROUP

MICHAEL J. BOWKER, PE
PA ENGINEER PER1543

UTILITY CALL	20223112631	DRAWN	DWM	REVIEWED	MJB	DATE	11-15-22	SCALE	1" = 200'	FILE NO.	2022-292	SHEET NO.	3 OF 8
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TREE IDENTIFICATION

AP	APPLE	LO	LOCUST
AR	ARBORVITAE	MA	MAGNOLIA
AS	ASH	MP	MAPLE
BE	BEECH	MJ	MULBERRY
BR	BIRCH	OA	OAK
CA	CRABAPPLE	OC	OCCIDENTALIS
CE	CEDAR	PA	PAULONIA
CH	CHERRY	PL	POPLAR
CN	CHESTNUT	PN	PINE
CW	COTTONWOOD	PR	PEAR
DC	DOGWOOD	RW	REDWOOD
GK	GINKGO	SA	SASSAFRASS
HA	HACKBERRY	SG	SWEET GUM
HC	HORSE CHESTNUT	SP	SPRUCE
HK	HICKORY	SU	SUMMACK
HL	HOLLY	SY	SYCAMORE
HM	HEMLOCK	WN	WALNUT
LA	LARCH	WO	WILLOW
LN	LINDEN	YE	YEW

SYMBOL LEGEND

○	IRON PIN FOUND
□	CONCRETE MONUMENT FOUND
◇	MARBLE MONUMENT FOUND
△	EXISTING AIR CONDITIONER
○	EXISTING GAS VALVE
○	EXISTING GAS METER
○	EXISTING ELECTRIC METER
○	EXISTING CLEANOUT
○	ROOF OVERHANG
○	EXISTING TREE
○	EXISTING UTILITY POLE
x100.00	EXISTING SPOT ELEVATION
xDS 100.00	EXISTING DOOR SILL ELEVATION

LINETYPE LEGEND

---	EXISTING SOILS
---	EXISTING TREE LINE
---	EXISTING 2" CONTOUR
---	EXISTING 10' CONTOUR
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	EXISTING TELECOM LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY LINE
---	EXISTING STEAM AND CONDENSATE LINE
---	EXISTING STORM PIPES
---	IMPERVIOUS TO BE REMOVED
---	EXISTING BUILDING AREA
X	EXISTING TREE TO BE REMOVED
---	SLOPES > 25%
---	SLOPES 15% - 25%

SOILS INFORMATION

SYMBOL	NAME	%SLOPE	HYDROLOGIC GROUP	DEPTH TO SH	DEPTH TO WATER BEDROCK
GgB	GLENELG SILT LOAM	3 TO 8 PERCENT SLOPES	B	6.6+	6.6+
MaA	MANOR LOAM	0 TO 3 PERCENT SLOPES	B	6.6+	6.6+
MaB	MANOR LOAM	3 TO 8 PERCENT SLOPES	B	6.6+	6.6+

NOTES: IF THE PROPOSED EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND MAINTAINED PROPERLY, NO UNFORESEEN SOIL LIMITATIONS OR PROBLEMS ARE LIKELY. NEVERTHELESS, IF A PROBLEM DOES DEVELOP, THE DEVELOPER MUST TEMPORARILY SEED AND MULCH THE DISTURBED AREA. SUITABLE TOPSOIL SHALL BE IMPORTED TO SITE IF INADEQUATE QUANTITIES OF SUITABLE TOPSOIL EXIST ON SITE. ADEQUACY OF SOIL TO BE DETERMINED BY SITE GEOTECHNICAL ENGINEER IN CONJUNCTION WITH THE LANDSCAPE ARCHITECT. SOIL AMENDMENTS SHALL BE ADDED AS REQUIRED. ALL UNSUITABLE MATERIAL SHALL BE DISPOSED OF PROPERLY. SITE GEOTECHNICAL ENGINEER SHALL ALSO BE CONSULTED DURING WINTER GRADING OPERATIONS.

Serial Number: 20223112631

CALL BEFORE YOU DIG!

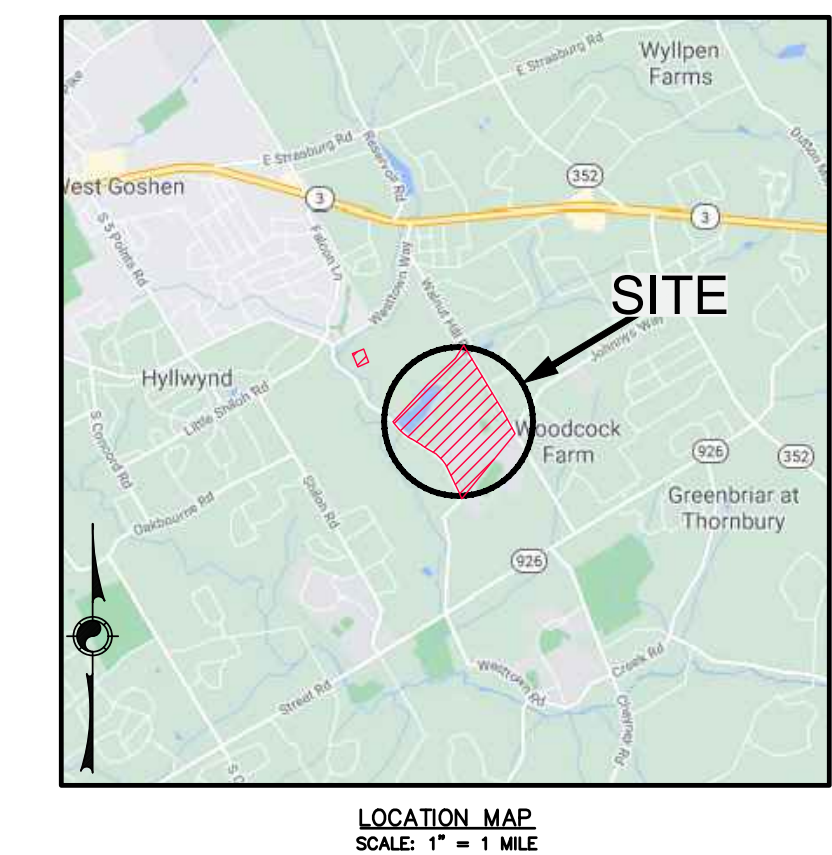
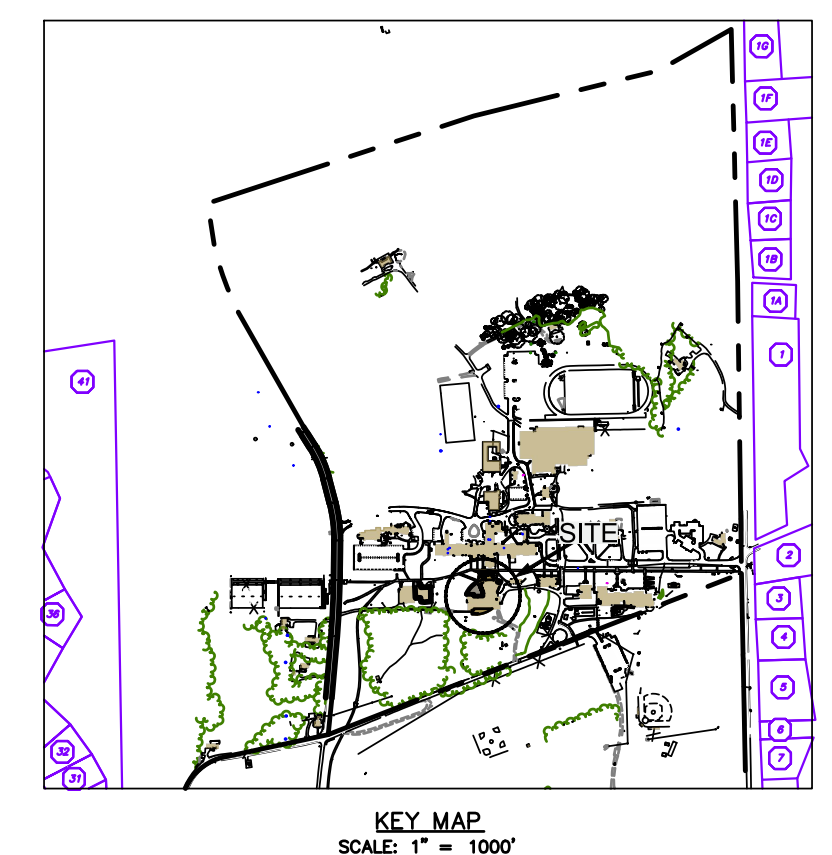
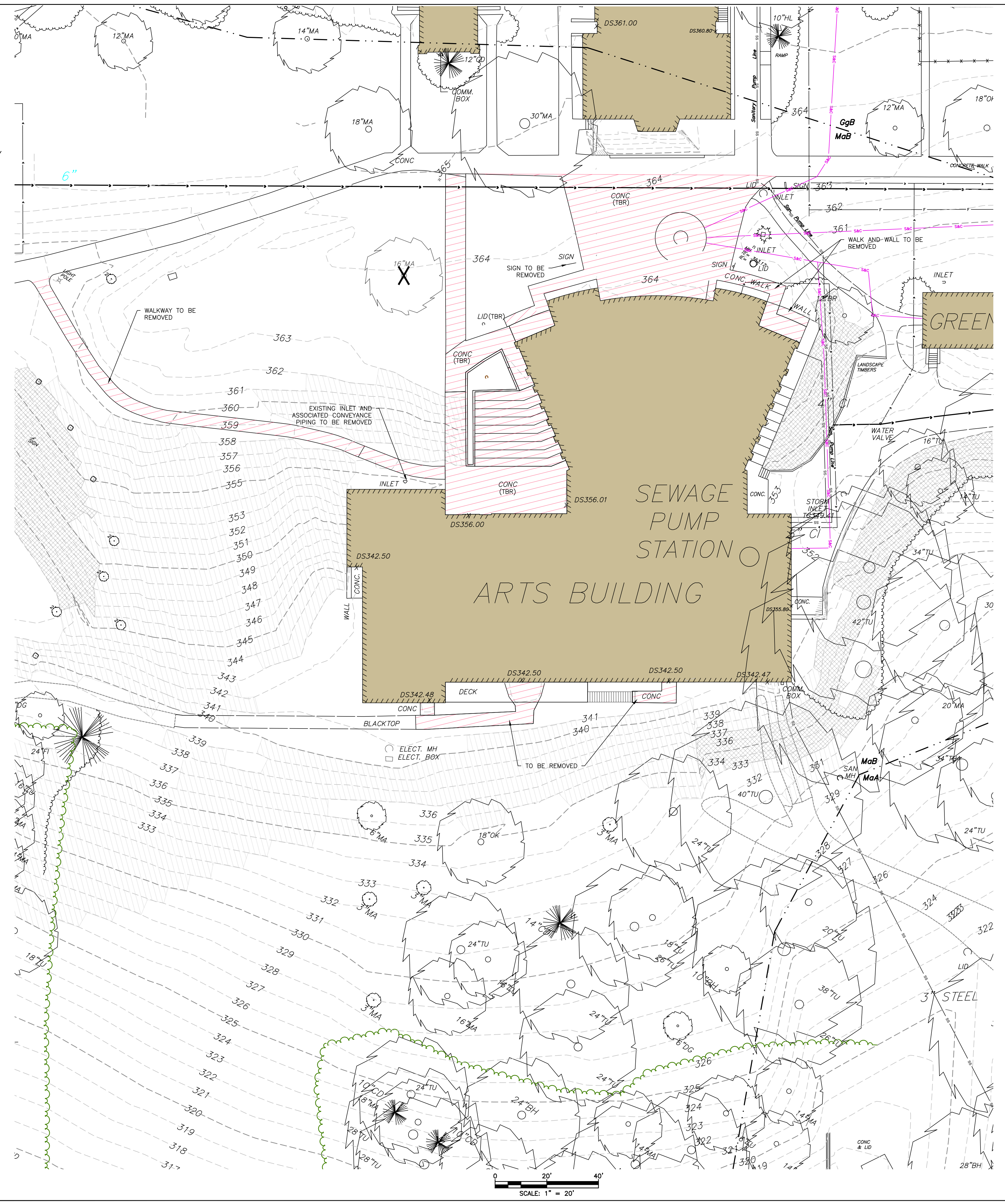
BEFORE ANY EXCAVATION WHETHER ITS ON PRIVATE OR PUBLIC LAND.

811

Pennsylvania One Call System, Inc
1-800-242-1776

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APEX DESIGN & ENGINEERING GROUP, LLC
PROJECT: WESTTOWN SCHOOL CENTER FOR THE LIVING ARTS



- GENERAL NOTES:**
- THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.
 - PA. ONE CALL NUMBER FOR THIS SITE IS 20223112631.
 - THE NOTED SURVEY PLAN WAS COMPLETED WITHOUT THE AVAILABILITY OF A CURRENT TITLE REPORT AND SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE REPORT.
 - IN ACCORDANCE WITH FEMA PANEL NUMBER 42029C0215G EFFECTIVE DATE SEPTEMBER 23, 2017 PORTIONS OF THE PROPERTY ARE LOCATED IN ZONE AE, SPECIAL FLOOD HAZARD AREAS WITH BASE FLOOD ELEVATIONS. THE PORTIONS OF THE PROPERTY WITHIN THE PROPOSED PROJECT AREA ARE LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD.
 - THIS SITE IS CURRENTLY SERVED BY AN ON SITE WELL AND PUBLIC SEWER.
 - PROJECT BENCHMARK - CONCRETE MONUMENT ELEV 320.88.

- TREE PROTECTION NOTES:**
- WHERE EXISTING GROUND LEVELS ARE CHANGED, DRAINAGE TILE WILL BE PLACED AT THE OLD SOIL LEVEL AND OPEN INTO A WELL BUILT AROUND THE BASE OF THE TREE. SUCH WELL MAY BE LEFT OPEN OR CAN BE FILLED WITH COARSE STONES OR GRAVEL. TILES MAY BE INSTALLED IN A RADIATING PATTERN OR LAID IN PARALLEL LINES.
 - THOSE TREES WHICH HAVE BEEN DELINEATED ON THE PLAN AND ARE WITHIN 25 FEET OF A PROPOSED BUILDING EXCAVATION OR OTHER LOCATIONS DEEMED APPROPRIATE BY THE TOWNSHIP ENGINEER SHALL BE PROTECTED BY INSTALLING AND MAINTAINING A FENCE AT THE DRIP LINE.
 - NO BOARDS OR OTHER MATERIAL SHALL BE NAILED TO TREES DURING CONSTRUCTION.
 - HEAVY EQUIPMENT OPERATORS SHALL AVOID DAMAGING EXISTING TREE TRUNKS AND ROOTS. FEEDER ROOTS SHALL NOT BE CUT CLOSER THAN 25 FEET FROM TREE TRUNKS.
 - TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING CONSTRUCTION SHALL BE PROTECTED FROM FURTHER DAMAGE AND TREATED IMMEDIATELY. TREE LIMBS DAMAGED SHALL BE PROPERLY PRUNED AND TREATED IMMEDIATELY.
 - THE OPERATION OF HEAVY EQUIPMENT OVER ROOT SYSTEMS OF SUCH TREES SHALL BE MINIMIZED IN ORDER TO PREVENT SOIL COMPACTION.
 - DAMAGED TREES SHALL BE FERTILIZED TO AID IN THEIR RECOVERY.
 - CONSTRUCTION DEBRIS SHALL NOT BE DISPOSED OF NEAR OR AROUND THE BASES OF SUCH TREES.

- TREES TO BE REMOVED:**
- 1 TOTAL TREES PROPOSED TO BE REMOVED.
 - 16" MA
- NO REPLACEMENT TREES REQUIRED.

ZONING DISTRICT A/C (AGRICULTURAL/CLUSTER RESIDENT DISTRICT)

LOT SIZE 2 ACRE MIN
WIDTH 200' MIN (AT BLDG LINE)
100' MIN (AT STREET LINE)
IMPERVIOUS COVERAGE 15% MAX
FRONT YARD 50' MIN
SIDE YARD 50' MIN
REAR YARD 50' MIN
BUILDING HEIGHT 38' MAX

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF THE TOWNSHIP OF WESTTOWN, LATEST EDITION.

TAX PARCEL NUMBER:
67-02-00250-00-E

BLOCK AND UNIT NUMBER:
BLOCK 02, UNIT 0025000E

SOURCE OF DEED:
BOOK 9407 PAGE 491

TOTAL AREA (TO THE TITLE LINE)
7,426,980 SF (170.5 ACRES)

SURVEY NOTES:

- ELECTRONIC CAD FILE PROVIDED BY TRIMBLE SURVEYORS, 307 E LEXINGTON RD, LITITZ, PA 17543.

EXISTING IMPERVIOUS COVERAGE WITHIN PROJECT SITE AREA:

ART SCHOOL CENTER	18,677 SF
WALKWAYS	9,797 SF
WALLS	125 SF
TOTAL	28,599 SF

<p>FINAL PLAN REVIEW</p> <p>PER TWP ENG REVIEW</p> <p>PER TWP ENG REVIEW</p> <p>DATE</p>			<p>PRELIMINARY/FINAL LAND DEVELOPMENT PLANS</p> <p>WESTTOWN SCHOOL - CENTER FOR THE LIVING ARTS</p> <p>EXISTING CONDITIONS/DEMOLITION PLAN</p> <p>WESTTOWN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA</p>				
<p>03/28/23</p> <p>03/28/23</p> <p>01/21/23</p> <p>01/21/23</p>			<p>OWNER/APPLICANT</p> <p>WESTTOWN SCHOOL</p> <p>975 WESTTOWN ROAD</p> <p>WEST CHESTER, PA 19382</p>				
<p>UTILITY ONE CALL</p> <p>20220681829</p>		<p>DRAWN</p> <p>DWM</p>	<p>REVIEWED</p> <p>MJB</p>	<p>DATE</p> <p>11-15-22</p>	<p>SCALE</p> <p>1" = 20'</p>	<p>FILE NO.</p> <p>2022-292</p>	<p>SHEET NO.</p> <p>4 OF 8</p>

MAINTENANCE OF PERMANENT STORMWATER MANAGEMENT FACILITIES
 A. THE RESPONSIBILITY FOR THE INSTALLATION AND MAINTENANCE AND OPERATION DURING CONSTRUCTION OF THE PERMANENT STORMWATER MANAGEMENT SYSTEMS AND OTHER FACILITIES SHALL BE THE OBLIGATION OF THE CONTRACTOR.

B. THE RESPONSIBILITY FOR THE CONTINUED MAINTENANCE AND OPERATION OF THE PERMANENT STORMWATER MANAGEMENT SYSTEMS AND OTHER FACILITIES SHALL BE THE OBLIGATION OF THE PROPERTY OWNER.

C. EFFECTIVE STORMWATER MANAGEMENT SHALL REQUIRE MAINTENANCE AND OPERATION OF DRAINAGE INFRASTRUCTURE FOR PURPOSES OF MAINTAINING FLOW TO PREVENT FLOODING OR EROSION CONDITIONS. ALL STORMWATER FACILITY REPAIRS SHALL BE PERFORMED IN A MANNER THAT DOES NOT EXACERBATE EXISTING STORMWATER PROBLEMS.

1. THE RECHARGE FACILITY MUST BE INSPECTED FOR ROUTINE MAINTENANCE A MINIMUM OF TWO TIMES A YEAR, ONCE IN THE EARLY SPRING AND ONCE IN THE FALL AFTER THE MAJORITY OF THE LEAVES HAVE FALLEN.

2. VISUAL OBSERVATION OF THE GROUND SURFACE TO DETECT PONDING OF WATER OR GROUND SETTLEMENTS THAT WOULD PREVENT RUNOFF FROM ENTERING INLETS AS DESIGNED MUST BE MADE. THE DRAINAGE AREAS DESIGNED FOR THE SYSTEM MUST BE MAINTAINED. IF NECESSARY, ADJUSTMENTS TO THE GRADING OR INLETS MUST BE MADE TO ENSURE THAT THE SYSTEM IS FUNCTIONING AS DESIGNED. SMALL SINKHOLES CAN BE REPAIRED EARLY BY FILLING WITH TOPSOIL AND MAY BE THE RESULT OF SETTLEMENT OF THE SOILS. LARGER SINKHOLES OR SINKHOLES THAT REAPPEAR IN THE SAME LOCATION MAY INDICATE A BREACH IN THE GEOTEXTILE LINER, INLET BOX STRUCTURE, PIPE CONNECTION, OR BREAK IN A STORM CONVEYANCE LINE. THESE TYPES OF SINKHOLES MUST BE EXCAVATED AND THE FAILURE IDENTIFIED AND REPAIRED IMMEDIATELY IN ORDER TO PREVENT SOIL FROM ENTERING THE SEEPAGE BED AND CLOGGING IT OR REDUCING THE CAPACITY OF THE BASIN FOR RECHARGE OF RUNOFF.

3. ALL SEDIMENT TRAPS AND INLETS MUST BE VISUALLY INSPECTED SEVERAL TIMES PERIODICALLY THROUGHOUT THE YEAR FOR ACCUMULATED SOIL AND DEBRIS. INLET GRATES MUST BE KEPT FREE OF LEAVES, STICKS, MULCH, AND OTHER LAWN DEBRIS OR TRASH THAT WOULD PREVENT INFLOW RUNOFF. SUMP IN SEDIMENT TRAPS OR INLET BOTTOMS MUST HAVE ACCUMULATED SEDIMENT REMOVED TO ENSURE DESIGN CAPACITY SUFFICIENT TO TRAP SEDIMENT AND DEBRIS FROM ENTERING ANY SEEPAGE BED. ANY WEEP HOLES IN THE BOTTOM OF THE INLETS OR SEDIMENT TRAP SHOULD BE CLEARED TO ALLOW WATER TO SEEP OUT.

4. ONCE A YEAR FOLLOWING A STORM EVENT, THE SEEPAGE BED MUST BE INSPECTED TO DETERMINE IF IT IS DRAINING WITHIN THE REQUIRED TIME PERIOD (USUALLY TWENTY-FOUR HOURS). THE INSPECTION PORT SHALL BE OPENED AT LEAST TWENTY-FOUR HOURS FOLLOWING A STORM AND THE LEVEL OF WATER IN THE BED NOTED. VENTED CLEAN-OUTS MUST BE CHECKED TO ENSURE OPENINGS ARE CLEAR. ADJUSTMENTS TO THE CLEANOUTS MUST BE MADE IF SOIL OR OTHER LAWN DEBRIS IS OBSERVED TO BE ENTERING THE SYSTEM. IF IT IS DETERMINED THAT THE SYSTEM WILL NOT RECHARGE THE STORMWATER RUNOFF AS DESIGNED, THE SYSTEM WILL NEED TO BE REPAIRED OR REPLACED. THE TOWNSHIP SHALL BE CONTACTED FOR APPROVAL OF ANY MODIFICATION OR REPLACEMENT OF THE SYSTEM.

5. ANY CLEAN-OUT, INLET, OR LEVEL SPREADER THAT HAS BEEN DAMAGED BY LAWN EQUIPMENT MUST BE REPLACED OR REPAIRED. CLEAN-OUTS SHALL BE MAINTAINED AT GRADE. THE CONFIGURATION MUST NOT ALLOW SOIL OR OTHER DEBRIS TO CLOG THE COLLECTION PIPE. ALL COLLECTION PIPES MUST BE CHECKED ANNUALLY TO ENSURE THEY ARE FLOWING FREELY. IF THE COLLECTION PIPES BECOME CLOGGED, JET CLEANING MUST BE PERFORMED AT THE CLEAN-OUTS. ADDITIONAL PROTECTION MUST BE MADE AT THE SEDIMENT TRAP DURING JET CLEANING TO ENSURE THAT DEBRIS IS NOT TRANSMITTED TO THE SEEPAGE BED.

6. THE OUTLET PIPE OR CONNECTION OF THE OUTLET OF THE BASIN MUST BE CHECKED TO ENSURE THAT IT IS PERMITTING FREE FLOW OF WATER OUT OF THE BASIN. ALSO, THE CONVEYANCE PIPE TO PROPOSED LEVEL SPREADER SHALL BE INSPECTED AND REPAIRED AS REQUIRED.

7. TREES SHALL NOT BE PLANTED OR PERMITTED TO GROW IN THE VICINITY OF SEEPAGE BEDS OR STRUCTURES TO ENSURE THAT TREE ROOTS DO NOT PUNCTURE THE FILTER FABRIC OF THE SEEPAGE BED OR DAMAGE ANY STORMWATER COLLECTION/CONVEYANCE STRUCTURE.

8. ROOF GUTTER SYSTEMS THAT ARE INTEGRAL WITH THE SEEPAGE BED MUST BE FUNCTIONAL. REPAIRS TO GUTTERS THAT BECOME SEPARATED, SAG, OR OTHERWISE DO NOT FUNCTION AS DESIGNED MUST BE MADE.

9. PREVENTATIVE MAINTENANCE SHALL BE PERFORMED WHICH WOULD INCLUDE REMOVAL OF LEAVES FROM GUTTER SYSTEMS AND LAWN AREAS AS SOON AS POSSIBLE TO AVOID CONTAMINATION OR CLOGGING OF THE SYSTEM. LOCATING LANDSCAPE-MULCHED AREAS AWAY FROM CONCENTRATED RUNOFF AREAS OR SWALES THAT COULD WASH MULCH INTO INLETS IS RECOMMENDED.

PRO SERIES CHANNEL DRAINS

5" Pro Series Channel™ Drains

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
884	5" x 1 Meter Light Traffic Channel Kit with Light Gray Plastic Grates. Includes 1 End Outlet & 1 Cap	Light Gray	9	5.67	25N	5" wide light traffic Channel Drains Kits and Displays.
884MSDPL	5" Pro Series Channel Kit with Plastic Grate Display (9 kits)	Light Gray	1 box = 9 kits	51.03	25N	See related specifications for 500 Channel and 614 & 924 Grates.
884MSL	5" x 1 Meter Light Traffic Channel Kit with Galvanized Steel Grates. Includes 1 End Outlet & 1 Cap	Galvanized Steel	9	6.15	25N	Includes channel, grates, sockets, end cap and end cap outlet.
884MSLSDSP	5" Pro Series Channel Kit with Steel Grate Display (9 kits)	Galvanized Steel	1 box = 9 kits	56.35	25N	Includes channel, grates, sockets, end cap and end cap outlet.

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
826	5" x 20" Pedestrian Traffic Channel Gate	Light Gray	10	1.00	25N	5" wide UV-protected Structural Foam Polyethylene Pedestrian Traffic Channel Gate. Open surface area 4.98 square inches per foot. 24.20 GPM per foot.

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
814	5" x 20" Light Traffic Channel Gate	Light Gray	10	1.16	25N	5" wide Structural Foam Polyethylene Light Traffic Channel Gate with UV inhibitors. Open surface area 23.52 square inches per foot. 71.56 GPM per foot.
815	5" x 20" Light Traffic Channel Gate	Green	10	1.16	25N	
816	5" x 20" Light Traffic Channel Gate	Black	10	1.16	25N	
817	5" x 20" Light Traffic Channel Gate	Sand	10	1.16	25N	
818	5" x 20" Light Traffic Channel Gate	Brick Red	10	1.16	25N	
819	5" x 20" Light Traffic Channel Gate	White	10	1.16	25N	
824	5" x 20" Galvanized Steel Light Traffic Channel Gate	Galvanized Steel	10	1.14	25N	2 lb. Galvanized Steel Channel Gate. Open surface area 19.32 square inches per foot. 59.1 GPM per foot.

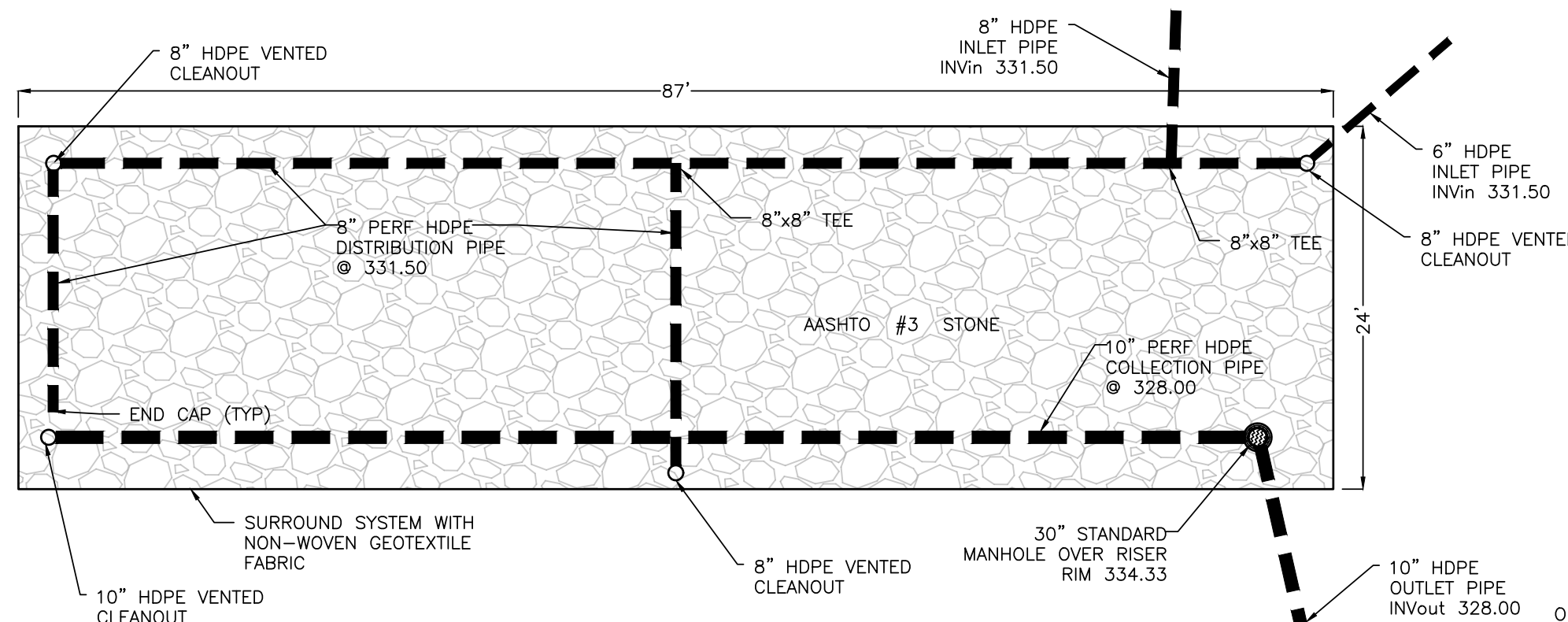
Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
828	5" x 20" Load Star Heavy Traffic Channel Gate	Gray	10	2.35	25N	5" wide UV-protected high-impact glass-reinforced nylon Heavy Traffic Channel Gate. Open surface area 15.52 square inches per foot. 48.70 GPM per foot.

Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
823	5" x 20" Ductile Channel Gate	Black	1	12.30	25N	5" wide heavy-duty Ductile Heavy Traffic Channel Gate. Open surface area 22.50 square inches per foot. 70.05 GPM per foot.

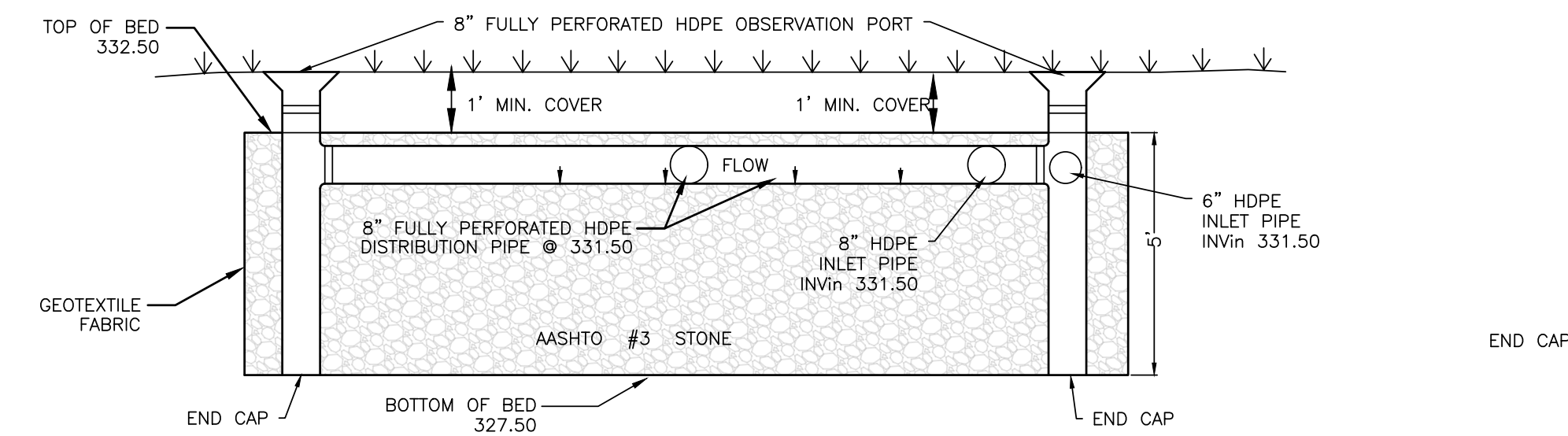
Part No.	Description	Color	Pkg. Qty.	Wt. Ea. (lbs.)	Product Class	Specifications
829	Stainless Steel Screens FH 46 x 15"	Steel	40	0.15	25PF	

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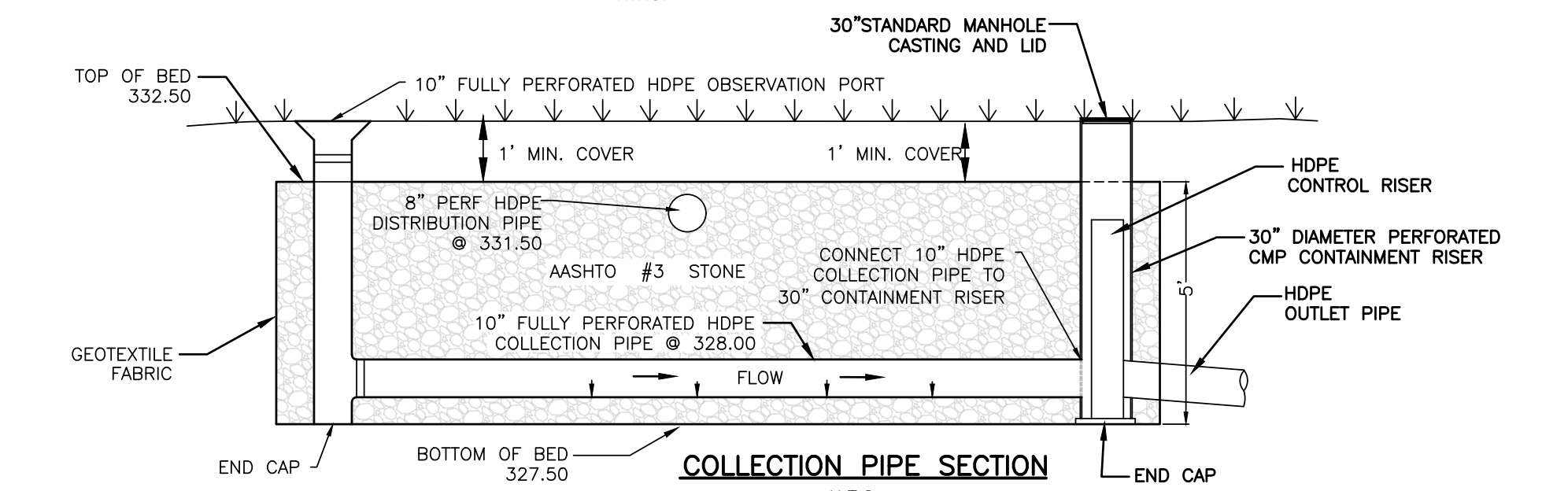
APEX DESIGN & ENGINEERING GROUP, INC.
 1000 CONSHOHOCKEN ROAD, SUITE 202
 CONSHOHOCKEN, PA 19382
 PH: 610-234-2468
 FAX: 610-234-2469
 WWW.APEXDESIGN.COM



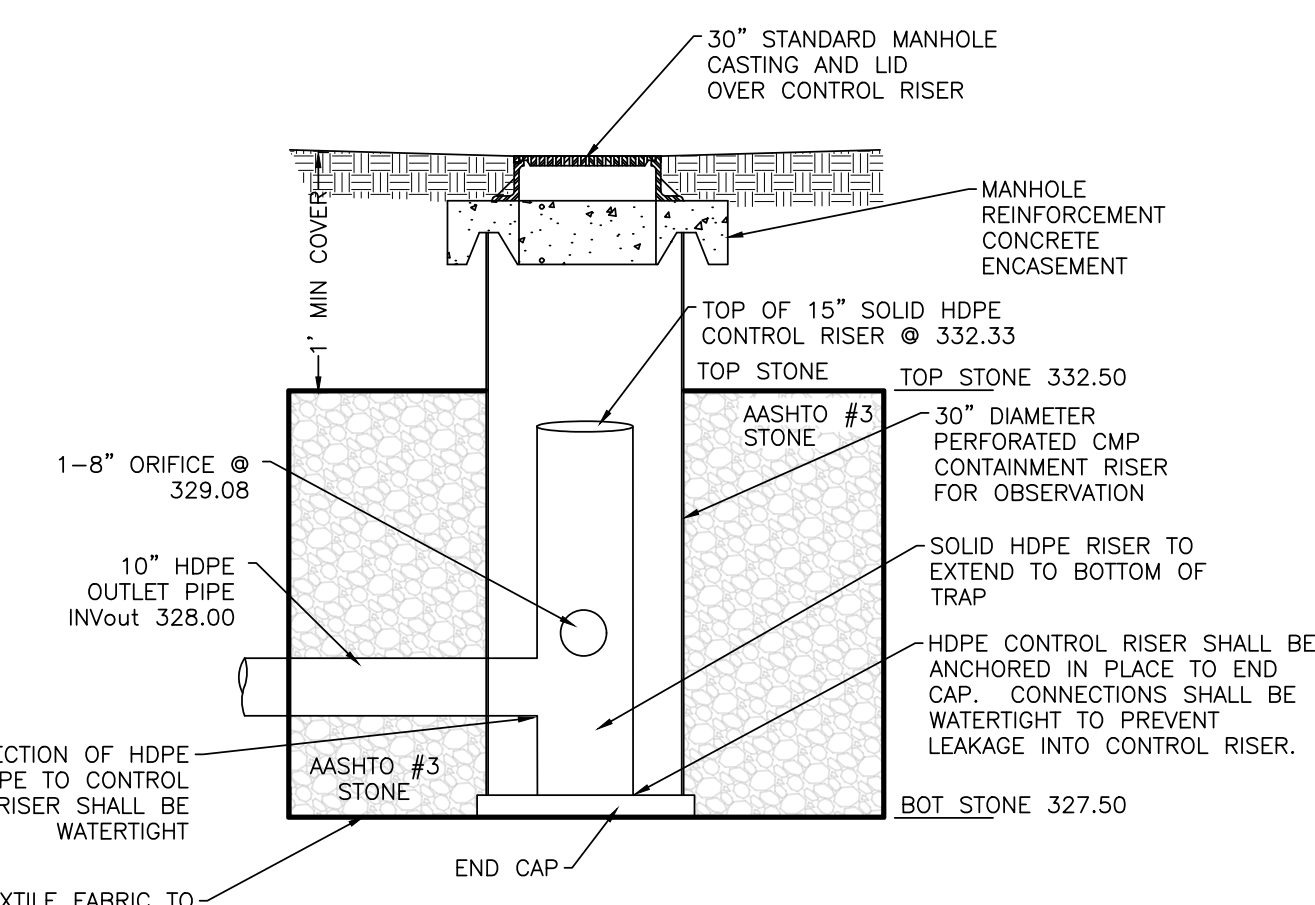
PCSM SYSTEM #1 PLAN VIEW
N.T.S.



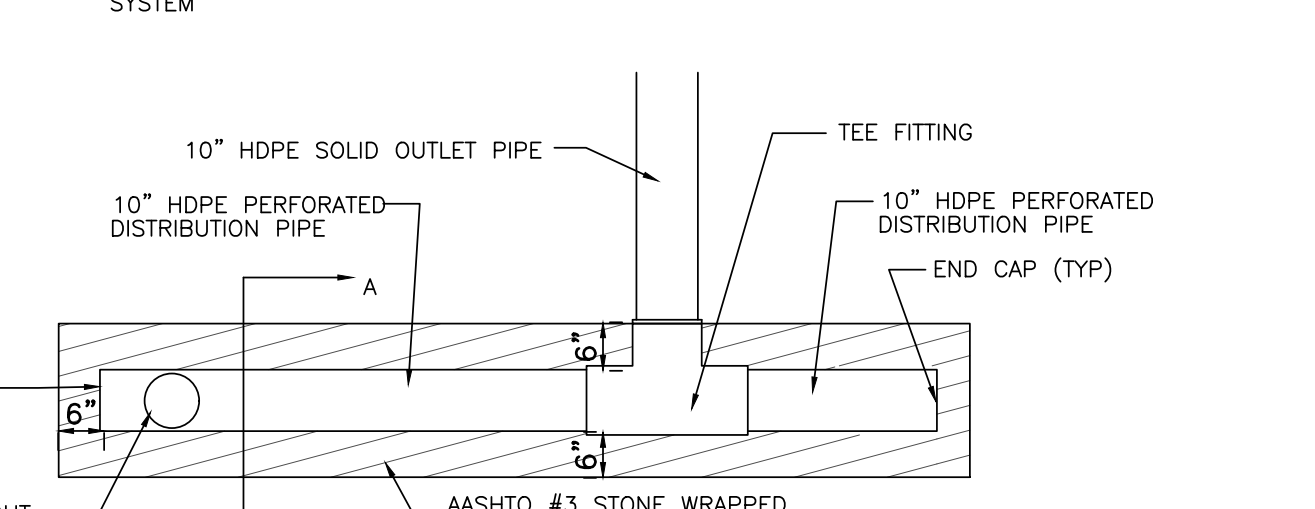
DISTRIBUTION PIPE SECTION
N.T.S.



COLLECTION PIPE SECTION
N.T.S.



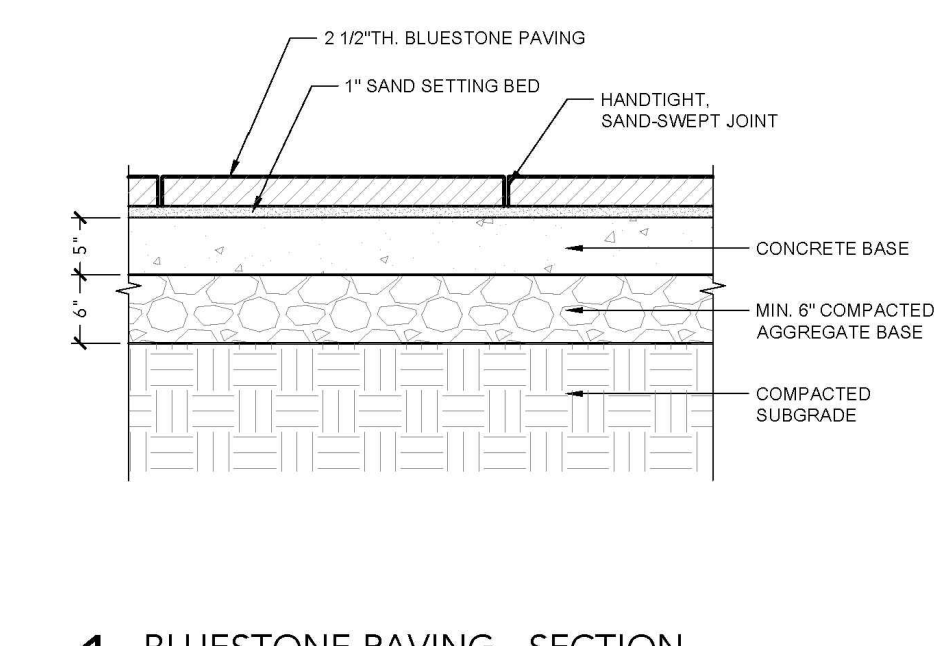
PCSM SYSTEM OUTLET STRUCTURE



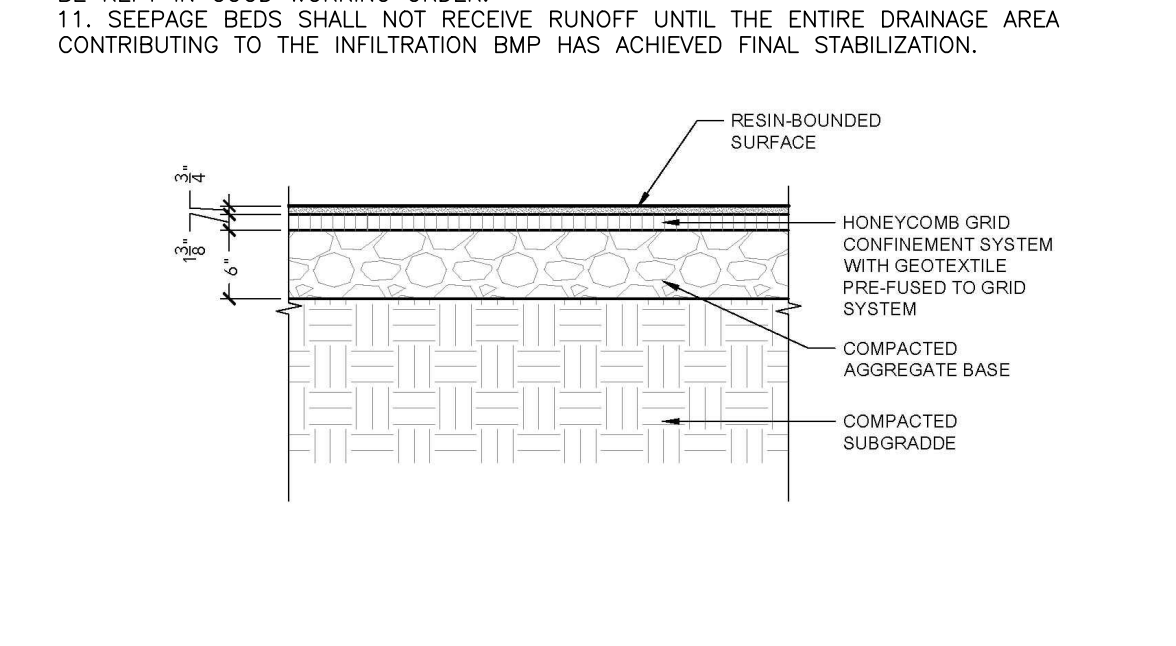
32 LF BUBBLE UP SPREADER DETAIL
N.T.S.

CONSTRUCTION NOTES:
 1. GEOTEXTILE FABRIC SHALL BE CLEAN NON-WOVEN GEOTEXTILE (PERMEABLE FILTER FABRIC) CLASS 1 AND SHALL BE IN ACCORDANCE WITH PADOT SPECIFICATION FROM 40B. THE TYPE AND/OR THICKNESS SHALL BE DUPONT TYPAR #3401, AMOCO PROPEX #4545 OR APPROVED EQUAL OR AS OTHERWISE INDICATED ON THE PLAN.
 2. ALL STONE USED FOR THE CONSTRUCTION OF THE INFILTRATION BMP SHALL BE UNIFORMLY GRADED, CLEAN, AND WASHED CRUSHED STONE AGGREGATE MEETING PENNDOT/AASHTO #3 SPECIFICATIONS.
 3. ALL PERSONS ENTERING ACTIVE TANKS, MANHOLES, INLETS, ETC. MUST COMPLY WITH OSHA REQUIREMENTS FOR ENTRY INTO CONFINED SPACES.
 4. RAIN WATER CONDUCTORS ARE TO COLLECT ALL ROOF RUNOFF AND CONVEY IT TO THE APPROPRIATE STORMWATER MANAGEMENT FACILITY.
 5. CLEANOUTS ARE REQUIRED AT ALL CHANGES IN DIRECTION OF THE ROOF DRAINS AND SANITARY SEWER LATERALS.
 6. ALL SEEPAGE BEDS SHALL BE INSTALLED WITH A MINIMUM SEPARATION DISTANCE OF 10 FEET FROM ALL BASEMENT WALLS.
 7. ALL CMP AND HMP SHALL BE ALUMINUM OR ALUMINIZED STEEL.
 8. ALL HDPE PIPE SHALL BE SMOOTH INTERIOR FLOW.
 9. ALL PVC PIPE SHALL BE SDR 35.
 10. ALL INLETS SHALL BE INSTALLED WITH A TWELVE (12") INCH SUMP CONDITION IN ORDER TO IMPROVE THE EFFICIENCY OF THE RUNOFF COLLECTION.
 11. THE RISER CONNECTIONS IN THE STORMWATER MANAGEMENT SYSTEM SHALL BE WATERTIGHT. REFER TO DETAILS.
 12. WHERE DRAINAGE SWALES ARE WITHIN 20' OF A BASEMENT, WATERPROOFING SHALL BE APPLIED TO THE BASEMENT.

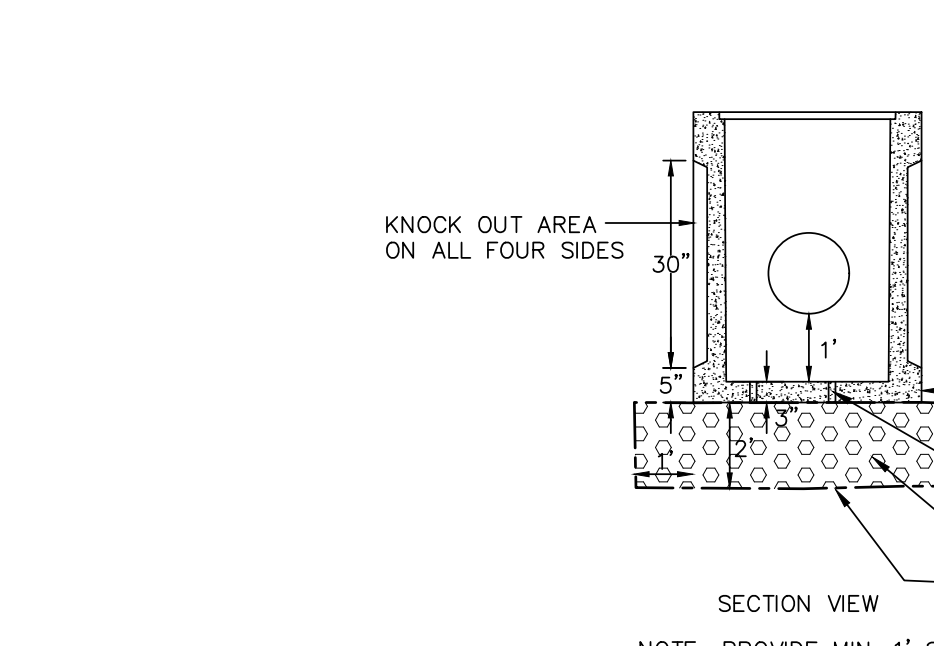
CONSTRUCTION SPECIFICATIONS FOR STORMWATER MANAGEMENT SYSTEMS
 1. ALTER AND REFINE THE GRADES AS NECESSARY TO BRING SUBGRADE TO REQUIRED GRADES AND SECTIONS AS SHOWN IN THE DRAWINGS.
 2. THE TYPE OF EQUIPMENT USED IN SUBGRADE PREPARATION CONSTRUCTION SHALL NOT CAUSE UNDESIRABLE SUBGRADE COMPACTION. TRAFFIC OVER SUBGRADE SHALL BE KEPT AT A MINIMUM.
 3. INSTALL POLYPROPYLENE NONWOVEN GEOTEXTILE FABRIC WHICH MEETS PADOT CLASS 1 SPECIFICATIONS (I.E., DUPONT TYPAR #3401, AMOCO PROPEX #4545, OR APPROVED EQUAL) ON BOTTOM OF BED AREAS AND TACK UP SIDES OF EXCAVATION. WHERE EDGES OF ROLL OVERLAP, THEY SHALL DO SO BY AT LEAST EIGHTEEN INCHES. ADEQUATE FABRIC SHALL BE LEFT ON THE ROLLS (NOT CUT FROM SIDE INSTALLATION) TO FACILITATE OVERTOPPING THE SYSTEM AT COMPLETION OF INSTALLATION.
 4. ALL STONE FOR THE CONSTRUCTION OF THE OF THE INFILTRATION BMP SHALL BE UNIFORMLY GRADED AND CLEAN, WASHED, AGGREGATE. THE STONE SHALL MEET PENNDOT/AASHTO #3 SPECIFICATIONS. STONE TO BE CHECKED BY THE DESIGN OR SITE ENGINEER PRIOR TO INSTALLATION.
 5. STONE BASE COURSE SHALL BE LAID OVER A DRY SUBGRADE TO A DEPTH SHOWN IN DRAWINGS. DO NOT ROLL OR COMPACT THE STONE BASE COURSE. KEEP THE BASE COURSE CLEAN FROM DEBRIS, CLAY AND ERODING SOIL. INSTALL TANKS AND PIPE AS SHOWN AND BACKFILL WITH STONE.
 6. COVER SYSTEM WITH REMAINING FABRIC, ALLOWING OPENINGS FOR ACCESS COVERS.
 7. SYSTEM TO BE TOTALLY ENCLOSED IN THE NON-WOVEN GEOTEXTILE FABRIC.
 8. INFILTRATION BMP FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS.
 9. THE BOTTOM OF ALL INFILTRATION BMP'S SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE.
 10. INFLOW AND OUTFLOW POINTS INTO THE INDIVIDUAL ON-LOT SYSTEMS SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS. ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.
 11. SEEPAGE BEDS SHALL NOT RECEIVE RUNOFF UNTIL THE ENTIRE DRAINAGE AREA CONTRIBUTING TO THE INFILTRATION BMP HAS ACHIEVED FINAL STABILIZATION.



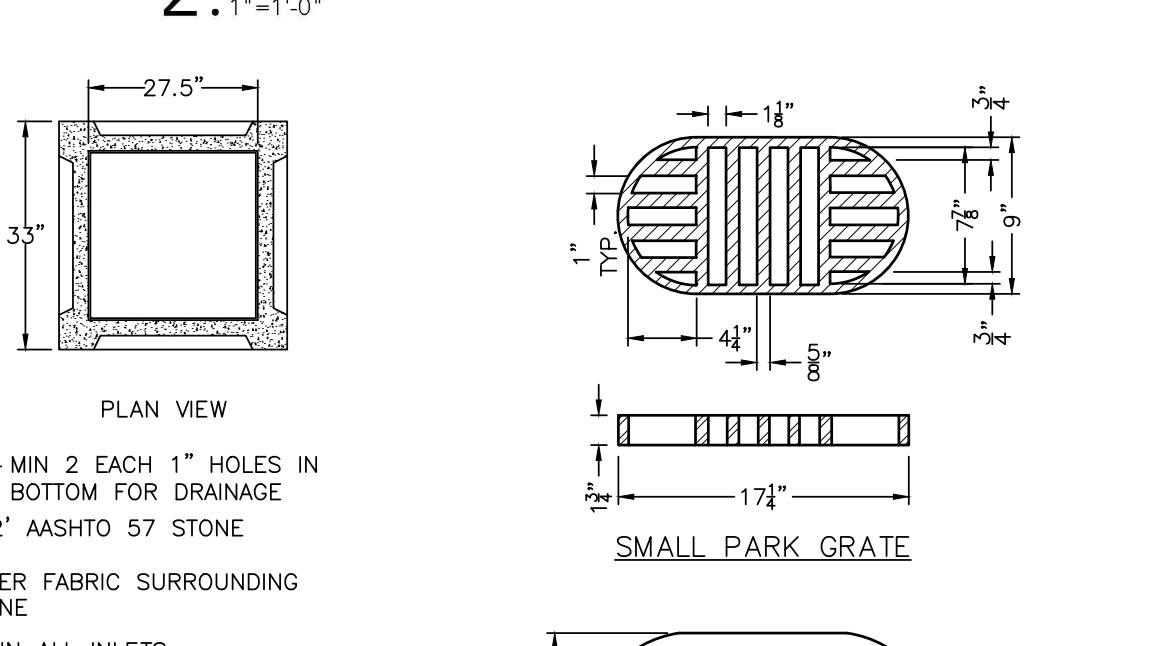
1. BLUESTONE PAVING - SECTION
1"=1'-0"



2. PERMEABLE BONDED AGGREGATE - SECTION
1"=1'-0"



SMALL PARK GRATE BOX
(NON-TRAFFIC BEARING)



SMALL PARK GRATE DETAIL
N.T.S.

NDS, INC.
 851 NORTH HARVARD AVE.
 LINDSAY, CA 93247
 TOLL FREE: 1-800-726-1994
 PHONE: (559) 562-9888
 FAX: (559) 562-4488
 www.ndspro.com

CHANNEL & TRENCH DRAINS

5' PRO SERIES INSTALLATION DETAIL - LOAD CLASS 'C' - 6" ENCASUREMENT REBAR SUSPENSION W/ ASPHALT

PRO SERIES CHANNEL DRAIN SYSTEM

5" PRO SERIES INSTALLATION DETAIL - LOAD CLASS 'C' - 6" ENCASUREMENT REBAR SUSPENSION W/ ASPHALT

SQUARE GUTTER INLET (FRAME AND GRATE)

MATERIAL: CAST IRON GRAY ASTM A-48 CLASS 30B
 FINISH: NOT PAINTED

2' x 2' INLET BOX (TRAFFIC BEARING)

FRONT

SIDE

PLAN

2' x 2' SUMP BOX (NON-TRAFFIC BEARING)

NOTE: PROVIDE MIN. 1" SUMP IN ALL INLETS

SMALL PARK GRATE BOX (NON-TRAFFIC BEARING)

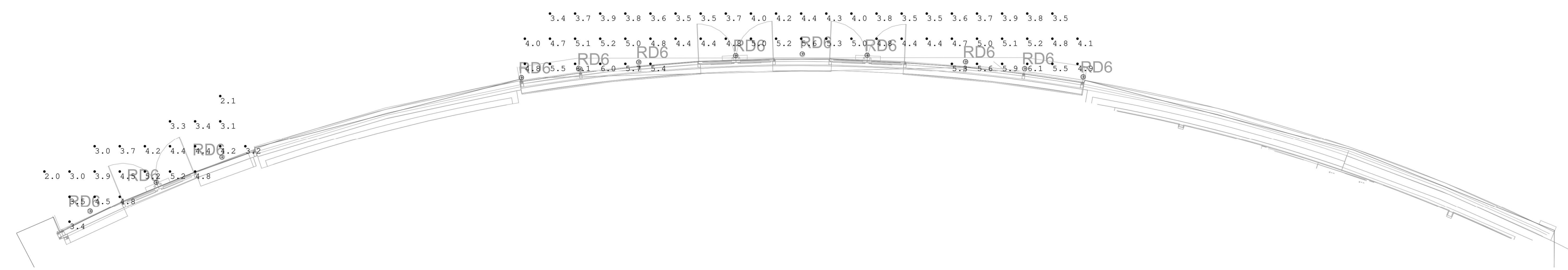
NOTE: PROVIDE MIN. 1" SUMP IN ALL INLETS

SMALL PARK GRATE DETAIL
N.T.S.

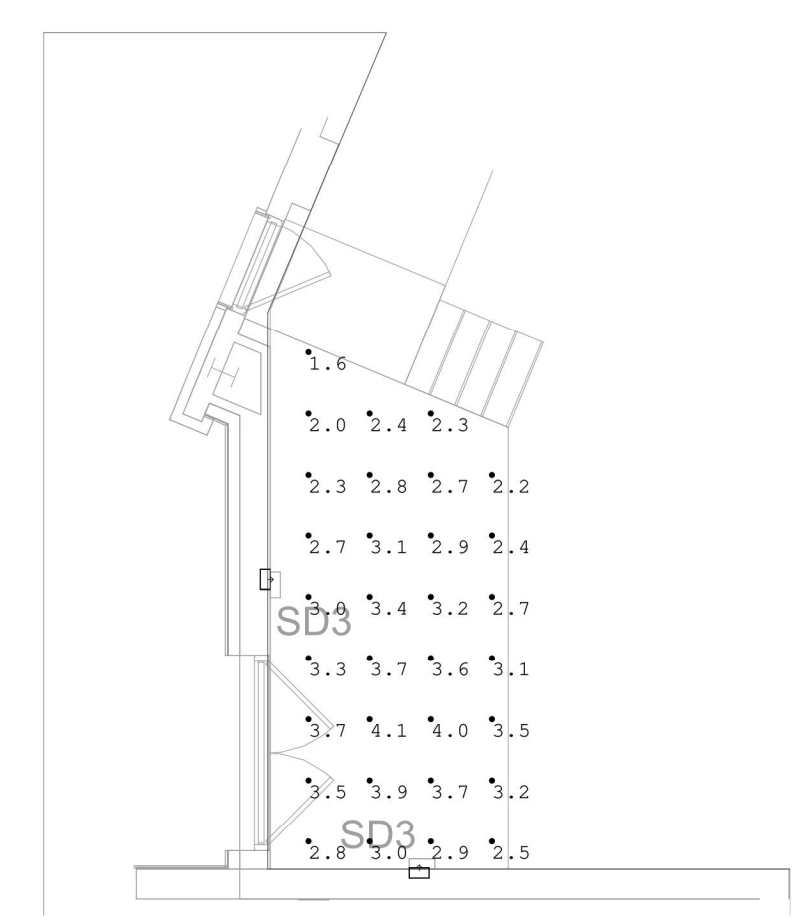
TERMINAL CLEANOUT (TYPICAL)
N.T.S.

DOWNSPOUT DETAIL
N.T.S.

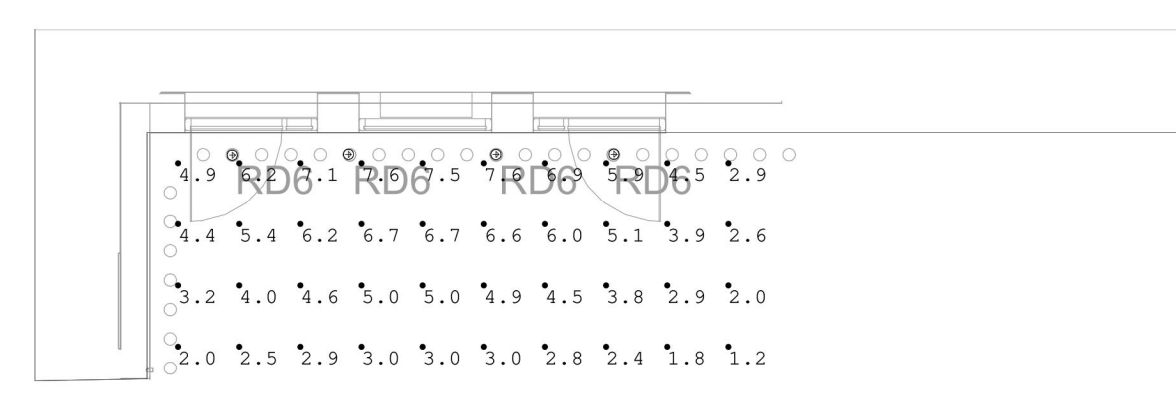
<p>FINAL PLAN REVIEW</p> <p>03/28/23</p>	<p>PER IMP ENG REVIEW</p> <p>03/28/23</p>	<p>COMMENTS</p> <p>01/27/23</p>	<p>DATE</p> <p>01/27/23</p>	<p>SEAL</p> <p>MICHAEL J. BOWKER REGISTERED PROFESSIONAL ENGINEER PA ENGINEER (PE)143</p>	<p>PRELIMINARY/FINAL LAND DEVELOPMENT PLANS</p> <p>WESTTOWN SCHOOL - CENTER FOR THE LIVING ARTS</p> <p>CONSTRUCTION DETAILS PLAN</p> <p>WESTTOWN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA</p>
<p>UTILITY ONE CALL</p> <p>20223112631</p>	<p>DRAWN</p> <p>DWM</p>	<p>REVIEWED</p> <p>MJB</p>	<p>DATE</p> <p>11-15-22</p>	<p>SCALE</p> <p>NO SCALE</p>	<p>FILE NO.</p> <p>2022-292</p>
		<p>SHEET NO.</p> <p>7 OF 8</p>			



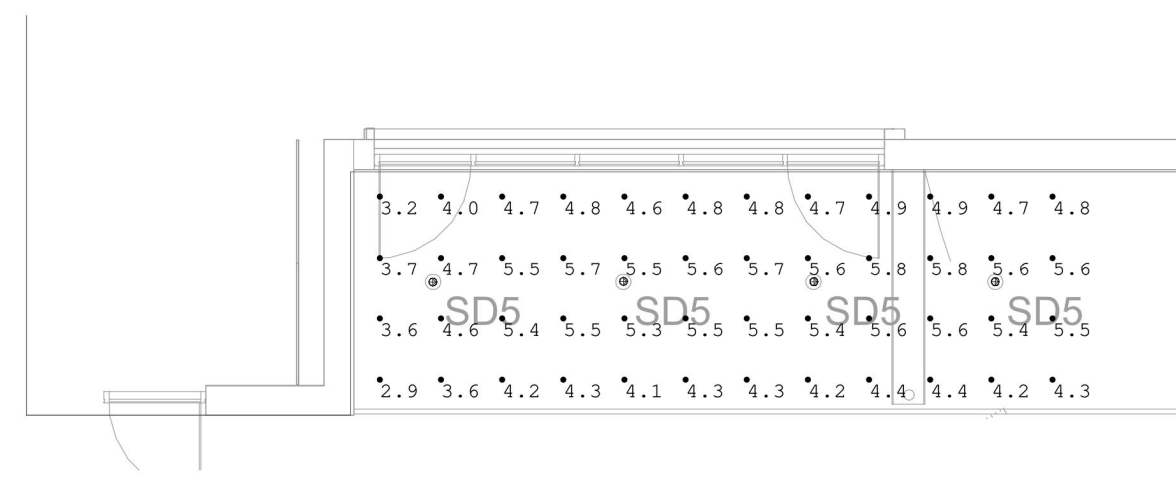
VESTIBULE 228+230 ENTRY CALCULATION PLAN



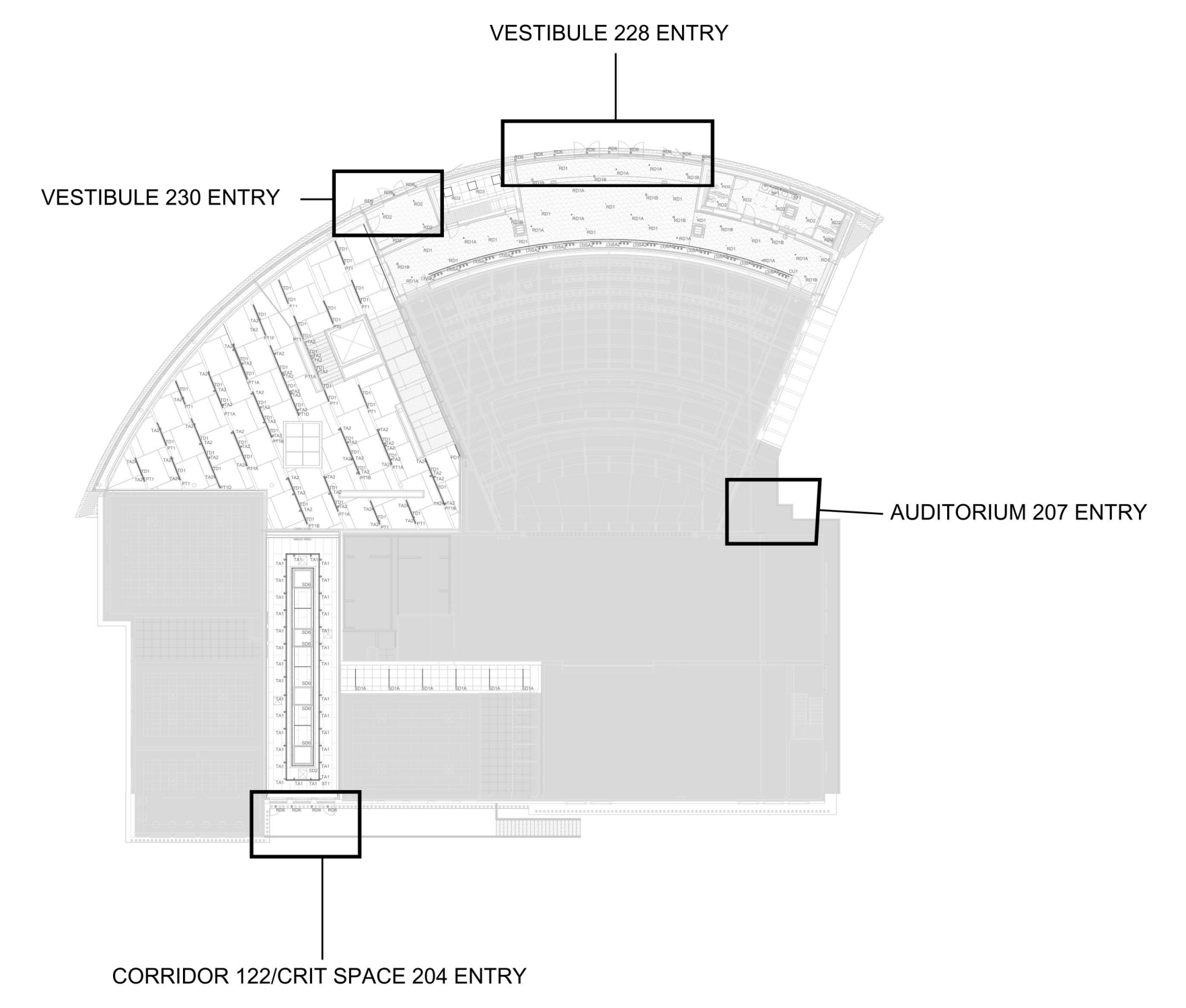
AUDITORIUM 207 ENTRY CALCULATION PLAN



CRIT SPACE 204 ENTRY CALCULATION PLAN



CORRIDOR 122 ENTRY CALCULATION PLAN



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
AUDITORIUM 207 ENTRY	Illuminance	Fc	3.01	4.1	1.6	1.88
CORRIDOR 122 ENTRY	Illuminance	Fc	4.83	5.8	2.9	1.67
CRIT SPACE 204 ENTRY	Illuminance	Fc	4.48	7.6	1.2	3.73
VESTIBULE 228 ENTRY	Illuminance	Fc	4.59	6.1	3.4	1.35
VESTIBULE 230 ENTRY	Illuminance	Fc	3.81	5.2	2.0	1.91



Serial Number: 20223112631
CALL BEFORE YOU DIG!
 YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER ITS ON PRIVATE OR PUBLIC LAND.
 Pennsylvania One Call System, Inc
 1-800-242-1776

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 PROJECT: WESTTOWN_SCHOOL_CENTER_FOR_THE_LIVING_ARTS

FINAL PLAN PER TWP ENG REVIEW 03/28/23 03/14/23 01/27/23 REV. DATE COMMENTS		PRELIMINARY/FINAL LAND DEVELOPMENT PLANS WESTTOWN SCHOOL - CENTER FOR THE LIVING ARTS LIGHTING PLAN WESTTOWN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA				
		OWNER/APPLICANT WESTTOWN SCHOOL 975 WESTTOWN ROAD WEST CHESTER, PA 19382	1000 CONSHOHOCKEN ROAD, SUITE 202 CONSHOHOCKEN, PA 19428 Ph: 610-234-2468 apexdeg.com			
UTILITY ONE CALL 20223112631	DRAWN: DWM	REVIEWED: MJB	DATE: 11-15-22	SCALE: NO SCALE	FILE NO.: 2022-292	SHEET NO.: 8.1 OF 8

CSI Acrobot DOWNLIGHTS
ACROBAT 4" LED DOWNLIGHT
A4-IC, A4-NC, A4-RM
A4-SIC, A4-SNC

PROJECT: _____
TYPE: _____
NOTE: _____

SILENT W/™ OPTICS TECHNOLOGY
OPTICS: 10°/30°/50°/60° available
ADJUSTABLE: 0° to 40° (Adjustable housing only)
MEDIA: One, Double, Triple, Linear, Square, No Lens

LED LIGHT ENGINE
RATED WATTAGE: 10W, 15W, 20W, 30W, 36W, 50W
OPERATING CURRENT: Up to 1.02A @ 120V, 4.00A @ 277V
EFFICIENCY: Up to 102 LM/W @ 4000K, 100 LM/W @ 3000K
CCT @ 3000K: 2700K, 3000K, 3500K, 4000K, Warm Dim
CCT @ 4000K: 4000K, 4500K, 5000K, 5500K, 6000K
CCT @ 5000K: 5000K, 5500K, 6000K, 6500K, 7000K
LIFE: 50,000 hours @ L70

POWER SUPPLY
INPUT VOLTAGE: 120-277V, 50/60Hz
DIMMING: Multiple dimming drivers available
SERVICABILITY: Bezel Ceiling Access

TRIM OPTIONS
• Flush or Adjustable • Standard or Trimless • Wall Wash
• Round or Square • Flush, Set Pinhole • Wet Location

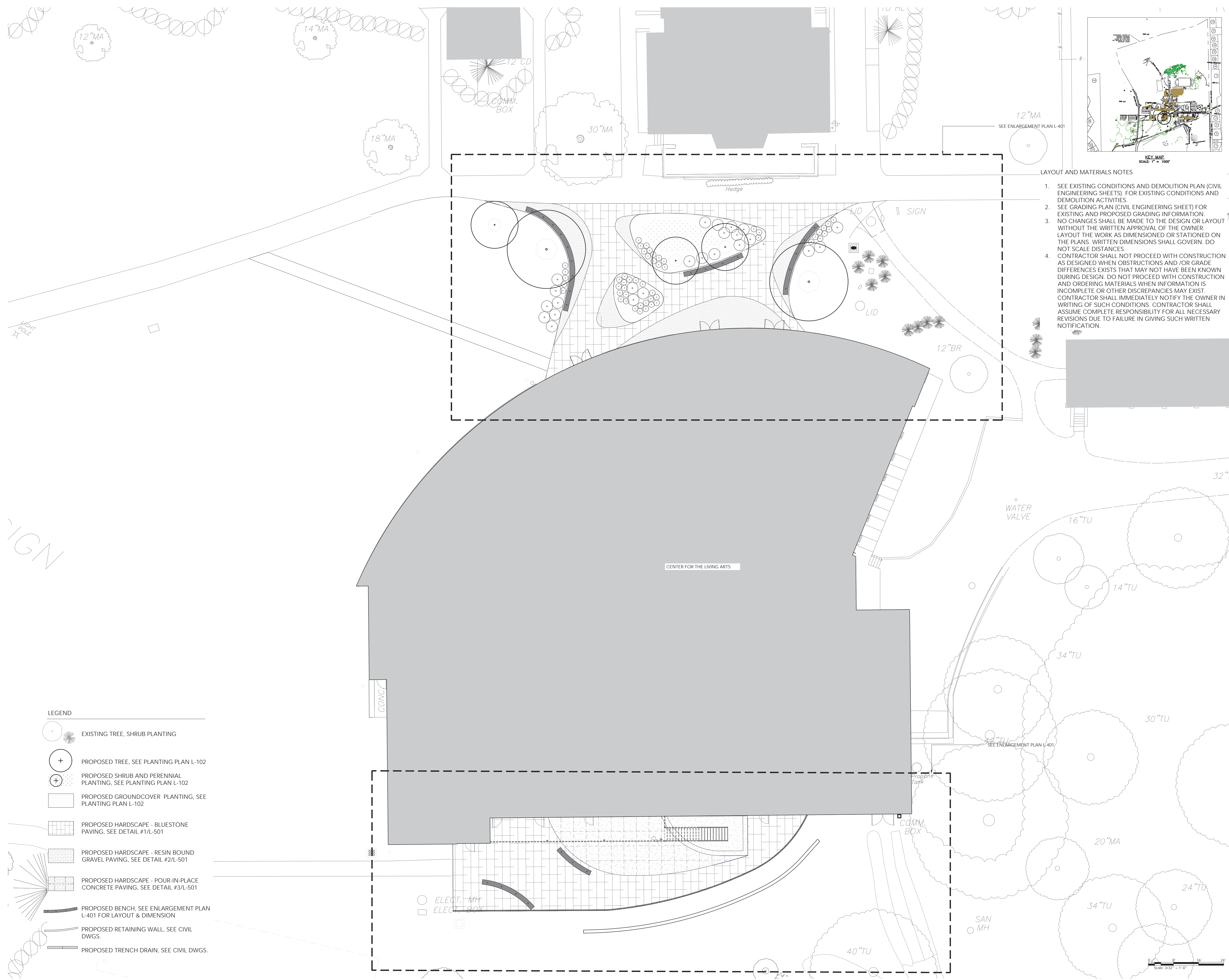
REFLECTOR COLORS
• White • Champagne • White • Champagne
• Black • Satin Aluminum • Black • Satin Aluminum
• Clear Anod • Clear Anod • Custom Color • Custom Color

HOUSING INSTALLATION
• New Construction includes 20 galvanized steel adjustable hanger bars
• Remodel option available
• 5/8" - 2" ceiling thickness
• Max. Power Height: 20" (Shallow, 20" Adjustable)
• Ceiling Material: Drywall, 1/2" Bar Grid, Wood and Tile/Joint
• Steel junction box with up to 60 1/2" knockout
• Max. Cable Length: 100' (100' Spool)
• IC-SC models are AIA (Energy Efficient)
• IC-SC models are CSA (Energy Efficient)
(Note: please specify a fan installation must be used 1" from housing)

LISTINGS AND WARRANTY
UL/ULC Listed for 40°C Ambient
ETL E303 Certified Agency for IC Rated Housing
UL Listed for Wet Location (Wet Location Type Style)
CSA (Canada) and ENEC (Europe) Approved for IC Housing
Five (5) Year Limited Warranty
CA Title 24, 40% Compliant

1. Custom order only available for ST (Standard) and ST (Standard) LED Reflector only, contact CSI for details.
2. Wet Location listed when used with Additional Reflector Lens.
3. Must be ordered with corresponding Additional Reflector Lens.
4. CA Clear Anod. Finish only available for Round reflectors in ST (Standard) or IC (Adjustable) LED styles.

1. 30 and 35 Watt options only available for NC (Adjustable New Construction), RM (Adjustable Remodel), SNC (Shallow New Construction) housings.
2. Ambient temperature listed for 25°C.
3. 30W, 35W, 50W, 60W, 70W, 80W, 90W, 100W, 110W, 120W, 130W, 140W, 150W, 160W, 170W, 180W, 190W, 200W, 210W, 220W, 230W, 240W, 250W, 260W, 270W, 280W, 290W, 300W, 310W, 320W, 330W, 340W, 350W, 360W, 370W, 380W, 390W, 400W, 410W, 420W, 430W, 440W, 450W, 460W, 470W, 480W, 490W, 500W, 510W, 520W, 530W, 540W, 550W, 560W, 570W, 580W, 590W, 600W, 610W, 620W, 630W, 640W, 650W, 660W, 670W, 680W, 690W, 700W, 710W, 720W, 730W, 740W, 750W, 760W, 770W, 780W, 790W, 800W, 810W, 820W, 830W, 840W, 850W, 860W, 870W, 880W, 890W, 900W, 910W, 920W, 930W, 940W, 950W, 960W, 970W, 980W, 990W, 1000W, 1010W, 1020W, 1030W, 1040W, 1050W, 1060W, 1070W, 1080W, 1090W, 1100W, 1110W, 1120W, 1130W, 1140W, 1150W, 1160W, 1170W, 1180W, 1190W, 1200W, 1210W, 1220W, 1230W, 1240W, 1250W, 1260W, 1270W, 1280W, 1290W, 1300W, 1310W, 1320W, 1330W, 1340W, 1350W, 1360W, 1370W, 1380W, 1390W, 1400W, 1410W, 1420W, 1430W, 1440W, 1450W, 1460W, 1470W, 1480W, 1490W, 1500W, 1510W, 1520W, 1530W, 1540W, 1550W, 1560W, 1570W, 1580W, 1590W, 1600W, 1610W, 1620W, 1630W, 1640W, 1650W, 1660W, 1670W, 1680W, 1690W, 1700W, 1710W, 1720W, 1730W, 1740W, 1750W, 1760W, 1770W, 1780W, 1790W, 1800W, 1810W, 1820W, 1830W, 1840W, 1850W, 1860W, 1870W, 1880W, 1890W, 1900W, 1910W, 1920W, 1930W, 1940W, 1950W, 1960W, 1970W, 1980W, 1990W, 2000W, 2010W, 2020W, 2030W, 2040W, 2050W, 2060W, 2070W, 2080W, 2090W, 2100W, 2110W, 2120W, 2130W, 2140W, 2150W, 2160W, 2170W, 2180W, 2190W, 2200W, 2210W, 2220W, 2230W, 2240W, 2250W, 2260W, 2270W, 2280W, 2290W, 2300W, 2310W, 2320W, 2330W, 2340W, 2350W, 2360W, 2370W, 2380W, 2390W, 2400W, 2410W, 2420W, 2430W, 2440W, 2450W, 2460W, 2470W, 2480W, 2490W, 2500W, 2510W, 2520W, 2530W, 2540W, 2550W, 2560W, 2570W, 2580W, 2590W, 2600W, 2610W, 2620W, 2630W, 2640W, 2650W, 2660W, 2670W, 2680W, 2690W, 2700W, 2710W, 2720W, 2730W, 2740W, 2750W, 2760W, 2770W, 2780W, 2790W, 2800W, 2810W, 2820W, 2830W, 2840W, 2850W, 2860W, 2870W, 2880W, 2890W, 2900W, 2910W, 2920W, 2930W, 2940W, 2950W, 2960W, 2970W, 2980W, 2990W, 3000W, 3010W, 3020W, 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15150W, 15160W, 15170W, 15180W, 15190W, 15200W, 15210W, 15220W, 15230W, 15240W, 15250W, 15260W, 15270W, 15280W, 15290W, 15300W, 15310W, 15320W, 15330W, 15340W, 15350W, 15360W, 15370W, 15380W, 15390W, 15400W, 15410W, 15420W, 15430W, 15440W, 1545



- LEGEND**
- EXISTING TREE, SHRUB PLANTING
 - PROPOSED TREE, SEE PLANTING PLAN L-102
 - PROPOSED SHRUB AND PERENNIAL PLANTING, SEE PLANTING PLAN L-102
 - PROPOSED GROUND COVER PLANTING, SEE PLANTING PLAN L-102
 - PROPOSED HARDSCAPE - BLUESTONE PAVING, SEE DETAIL #1/L-501
 - PROPOSED HARDSCAPE - RESIN BOUND GRAVEL PAVING, SEE DETAIL #2/L-501
 - PROPOSED HARDSCAPE - POUR-IN-PLACE CONCRETE PAVING, SEE DETAIL #3/L-501
 - PROPOSED BENCH, SEE ENLARGEMENT PLAN L-401 FOR LAYOUT & DIMENSION
 - PROPOSED RETAINING WALL, SEE CIVIL DWGS.
 - PROPOSED TRENCH DRAIN, SEE CIVIL DWGS.

- LAYOUT AND MATERIALS NOTES**
- SEE EXISTING CONDITIONS AND DEMOLITION PLAN (CIVIL ENGINEERING SHEETS) FOR EXISTING CONDITIONS AND DEMOLITION ACTIVITIES.
 - SEE GRADING PLAN (CIVIL ENGINEERING SHEET) FOR EXISTING AND PROPOSED GRADING INFORMATION.
 - NO CHANGES SHALL BE MADE TO THE DESIGN OR LAYOUT WITHOUT THE WRITTEN APPROVAL OF THE OWNER. LAYOUT THE WORK AS DIMENSIONED OR STATIONED ON THE PLANS. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE DISTANCES.
 - CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION AS DESIGNED WHEN OBSTRUCTIONS AND /OR GRADE DIFFERENCES EXISTS THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. DO NOT PROCEED WITH CONSTRUCTION AND ORDERING MATERIALS WHEN INFORMATION IS INCOMPLETE OR OTHER DISCREPANCIES MAY EXIST. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN WRITING OF SUCH CONDITIONS. CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE IN GIVING SUCH WRITTEN NOTIFICATION.



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975 WESTTOWN RD
WEST CHESTER, PA 19382

OWNER
WESTTOWN SCHOOL
975 WESTTOWN RD
WEST CHESTER, PA 19382
610-399-0123

ARCHITECT
WALLACE ROBERTS & TODD, LLC
1700 MARKET STREET, SUITE 2800
PHILADELPHIA, PA 19103
215.732.5215
WRTDESIGN.COM

MEP ENGINEERS
MCHUGH ENGINEERING
136 POPLAR ST
AMBLER, PA 19002
215.641.1158

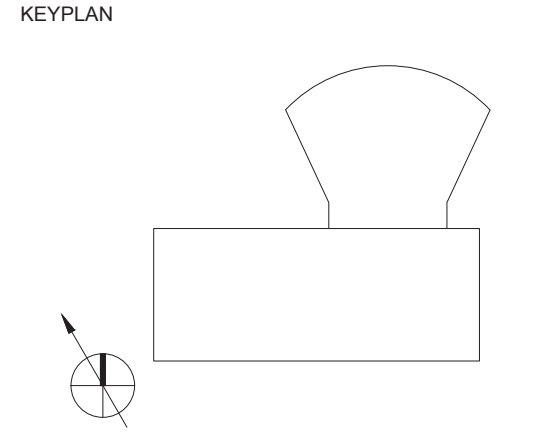
STRUCTURAL ENGINEERS
CVM
1002 WEST 9TH AVENUE
KING OF PRUSSIA, PA 19406
610.989.3800

LIGHTING DESIGNER
BEAM
428 WEST WAVERLY ROAD
GLENESIDE, PA 19038
215.508.0900

ACOUSTICS
ACENTECH
8 INTERPLEX DRIVE, SUITE 218
TREVOSE, PA 19053
215.245.6244

OWNERS CONSULTANTS
LANDSCAPE ARCHITECTURE
STUDIO EDITION
1817 JFK BLVD, SUITE 2039
PHILADELPHIA, PA 19103
267.223.5567

CIVIL
APEX
1000 CONSHOCKEN ROAD, SUITE 202
CONSHOCKEN, PA 19428
610.234.2930



REV #	DATE	DESCRIPTION
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02/10/2023	90% CD	

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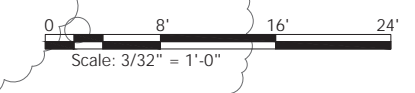
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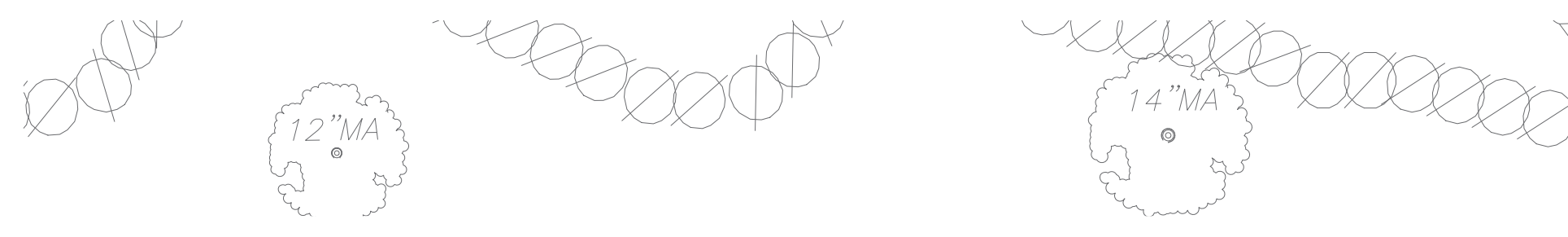
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LAYOUT & MATERIAL PLAN

L-101





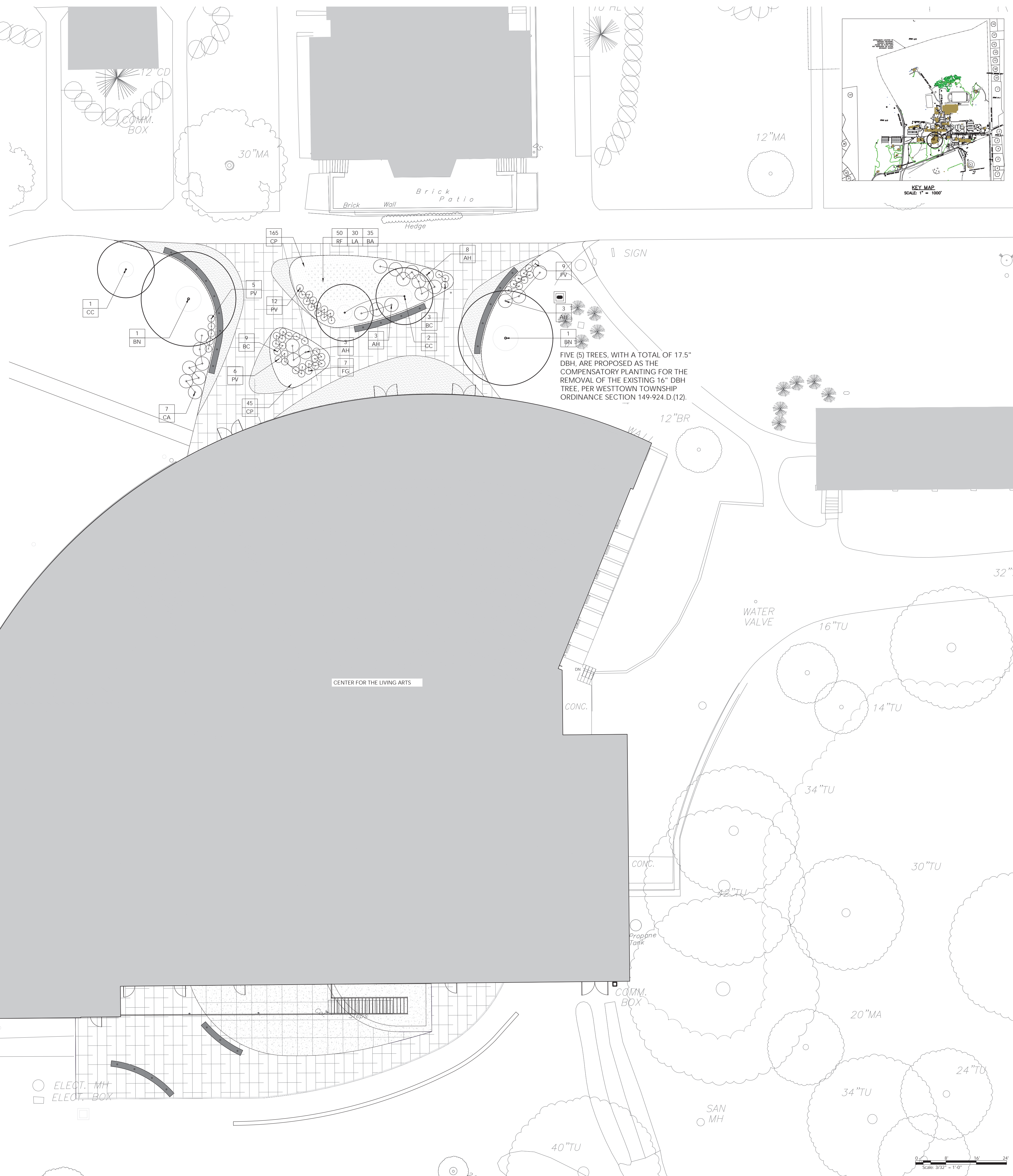
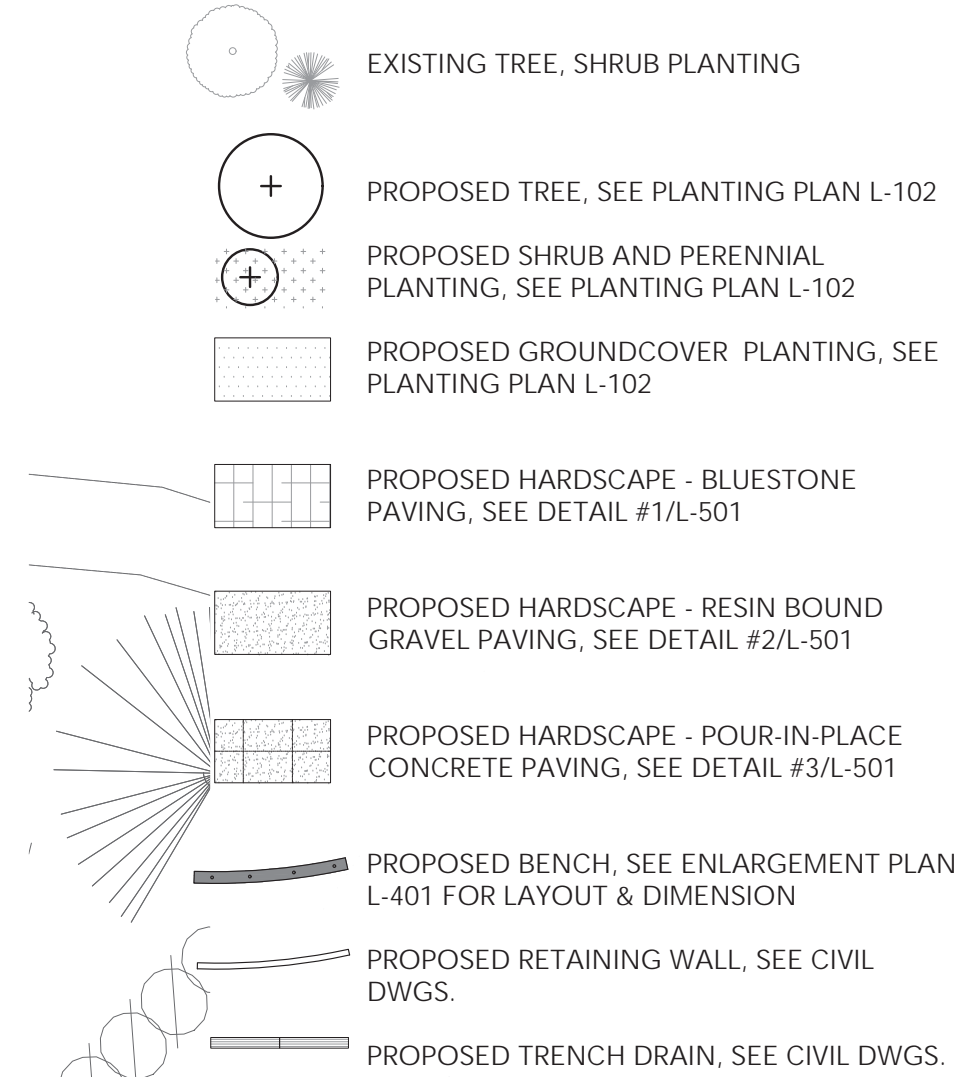
PLANTING SCHEDULE						
ID	COMMON NAME	BOTANICAL NAME	SIZE AT PLANTING	SIZE AT MATURITY	SPACING	REMARK
TREES						
CC	EASTERN REDBUD (SINGLE-STEM)	CERCIS CANADENSIS	3.5" CAL.	25'H, 15" SPREAD	AS SHOWN	BLOOM: PINK FLOWERS, MARCH/APRIL
BN	HERITAGE 'CULLY' RIVER BIRCH	BETULA NIGRA HERITAGE	3.5" CAL.	40'H, 40" SPREAD	AS SHOWN	
SHRUBS						
CA	SUMMERSWEET	CLETHRA ALNIFOLIA 'COMPACTA'	#3	4'H, 3' SPREAD	18' O.C.	BLOOM: WHITE FLOWERS, JULY/AUGUST
FG	DWARF FOTHERGILLA	FOTHERGILLA GARDENII	#2	3'H, 3' SPREAD	18' O.C.	BLOOM: WHITE FLOWERS, MID-SPRING
PERENNIALS						
RF	BLACK-EYED SUSAN	RUDBECKIA FULGIDA VAR. FULGIDA	#2	24"H, 24" SPREAD	15" O.C.	BLOOM: YELLOW FLOWERS, LATE JUNE
AH	ARKANSAS AMSONIA	AMSONIA HUBRICHITII	#1	3'H, 3' SPREAD	18" O.C.	BLOOM: BLUE FLOWERS, APRIL/MAY
LA	BLAZING STAR - ROUGH	LIATRIS ASPERA	#2	3'H, 24" SPREAD	15" O.C.	BLOOM: PINKISH-PURPLE FLOWERS, AUGUST-OCTOBER
BA	BLUE WILD INDIGO	BAPTISIA AUSTRALIS	#2	24"H, 24" SPREAD	15" O.C.	BLOOM: YELLOW FLOWERS, AUGUST - OCTOBER
GROUND COVERS						
CP	PENNSYLVANIA SEDGE	CAREX PENNSYLVANICA	#1	8"H, 12" SPREAD	12" O.C.	
ORNAMENTAL GRASSES						
PV	'HEAVEY METAL' SWITCH GRASS	PANICUM VIRGATUM 'HEAVEY METAL'	#2	4'H, 24" SPREAD	15" O.C.	BLOOM: TAN/BLUE, AUGUST-SEPTEMBER
BC	SIDE-OATS GRAMA	BOULDOURIA CURTIPENDULA	#2	24"H, 24" SPREAD	15" O.C.	BLOOM: LAVENDER, AUGUST-SEPTEMBER

ALL SHRUBS SHALL HAVE A MINIMUM PLANTING SIZE OF TWO (2) FEET IN HEIGHT.

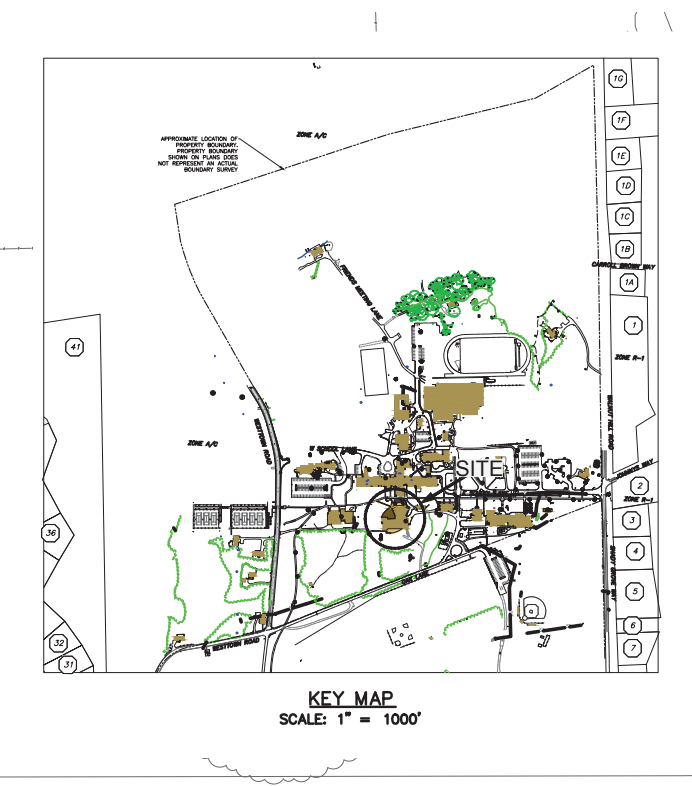
GENERAL PLANTING NOTES

- SEE EXISTING CONDITIONS AND DEMOLITION PLAN FOR EXISTING CONDITIONS AND DEMOLITION ACTIVITIES.
- A TWO-YEAR MAINTENANCE AND REPLACEMENT GUARANTY SHALL BE PROVIDED TO THE TOWNSHIP BY THE LANDSCAPE CONTRACTOR. ALL PLANTINGS WHICH DO NOT SURVIVE AFTER THE EXPIRATION OF THE MAINTENANCE GUARANTY SHALL BE REPLACED BY THE OWNER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE OF PESTS OR PLANT DISEASES. IT IS THE CONTRACTOR'S OBLIGATION TO WARRANT ALL PLANT MATERIAL.
- THERE WILL BE NO SUBSTITUTIONS OF PLANT MATERIAL WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS IN THE SAME PLANTING BED SHALL BE PLANTED AT THE SAME TIME. ANY PLANTS REMAINING UNPLANTED ON THE SITE FOR MORE THAN 24-HOUR SHALL BE PROTECTED AND MAINTAINED INCLUDING BUT NOT LIMITED TO WATER AND SHADE. ANY DAMAGED PLANTS SHALL BE REPLACED AS DIRECTED, AT THE CONTRACTOR'S EXPENSE.
- AS BEST MANAGEMENT PRACTICES, THE CONTRACTOR SHALL FOLLOW ALL ASTM STANDARDS APPLICABLE TO SOIL AND PLANTING METHODS TO GUARANTEE THE HEALTH AND LONGEVITY OF PLANT LIFE AND SOIL LIFE.
- THE CONTRACTOR SHALL NOT PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL EXISTING TREES WITHIN CONTRACT LIMIT LINE THAT ARE TO BE RETAINED.
- ANY DAMAGE TO EXISTING TREES DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL MITIGATE SUCH DAMAGED TREES TO THE SATISFACTION OF THE OWNER, AT THE CONTRACTOR'S EXPENSE.
- GROUND COVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY OR MORE OFTEN DURING THE FIRST GROWING SEASON TO ENSURE SURVIVABILITY.
- DO NOT PROCEED WITH THE INSTALLATION OF PLANTING SOIL UNTIL ALL UTILITY WORK IN THE AREA HAS BEEN INSTALLED. THE CONTRACTOR SHALL IDENTIFY THE LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH SOIL WORK AND SHALL PROTECT ALL UTILITIES FROM DAMAGE. IF WORK IS TO BE DONE AROUND UNDERGROUND UTILITIES, APPROPRIATE AUTHORITY OF UTILITY MUST BE NOTIFIED OF IMPENDING WORK. HAND EXCAVATE AREAS ADJACENT TO UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES DONE BY THEMSELVES OR THEIR PERSONNEL TO EXISTING UTILITIES, WHICH SHALL BE REPAIRED OR PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL IMPLEMENT PROTECTION METHODS FOR DUST CONTROL, EROSION CONTROL AND AGRICULTURAL CHEMICALS.

LEGEND



FIVE (5) TREES, WITH A TOTAL OF 17.5" DBH, ARE PROPOSED AS THE COMPENSATORY PLANTING FOR THE REMOVAL OF THE EXISTING 16" DBH TREE, PER WESTTOWN TOWNSHIP ORDINANCE SECTION 149-924.D.(12).



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OWNER
WESTTOWN SCHOOL
975 WESTTOWN RD
WEST CHESTER, PA 19382
610-399-0123

ARCHITECT
WALLACE ROBERTS & TODD, LLC
1700 MARKET STREET, SUITE 2800
PHILADELPHIA, PA 19103
215.732.5215
WRTDESIGN.COM

MEP ENGINEERS
MCHUGH ENGINEERING
136 POPLAR ST
AMBLER, PA 19002
215.641.1158

STRUCTURAL ENGINEERS
CVM
1002 WEST 8TH AVENUE
KING OF PRUSSIA, PA 19406
610.989.3800

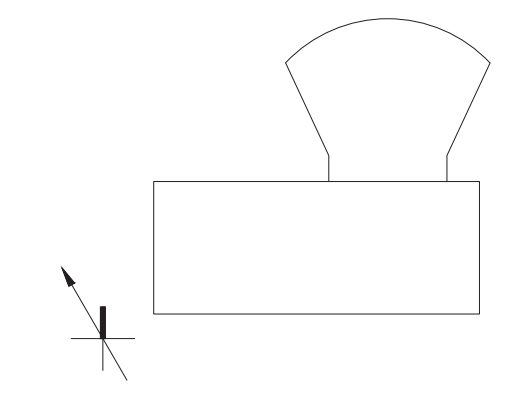
LIGHTING DESIGNER
BEAM
428 WEST WAVERLY ROAD
GLENIDE, PA 19038
215.508.0900

ACOUSTICS
ACENTECH
8 INTERPLEX DRIVE, SUITE 218
TREVOSE, PA 19053
215.245.6244

OWNERS CONSULTANTS
LANDSCAPE ARCHITECTURE
STUDIO EDITION
1617 JFK BLVD, SUITE 2039
PHILADELPHIA, PA 19103
267.223.5567

CIVIL
APEX
1000 CONSHOHOCKEN ROAD, SUITE 202
CONSHOHOCKEN, PA 19428
610.234.2330

KEY PLAN



REV #	DATE	DESCRIPTION
10/28/2022	DESIGN DEVELOPMENT	
02/10/2023	90% CD	

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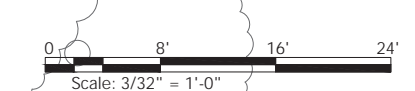
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PLANTING PLAN

L-102





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975 WESTTOWN RD
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610-399-0123

ARCHITECT
WALLACE ROBERTS & TODD, LLC
1700 MARKET STREET, SUITE 2800
PHILADELPHIA, PA 19103
215-732-5215
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MCHUGH ENGINEERING
136 POPLAR ST
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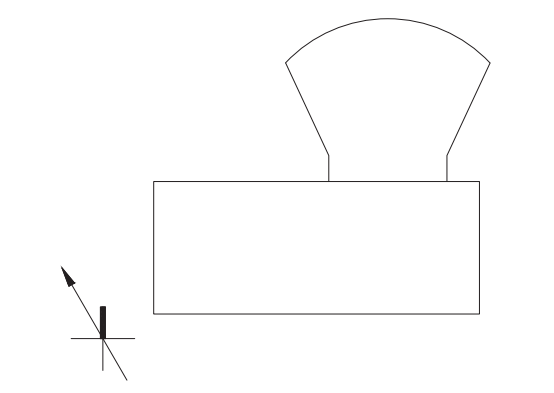
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KEYPLAN



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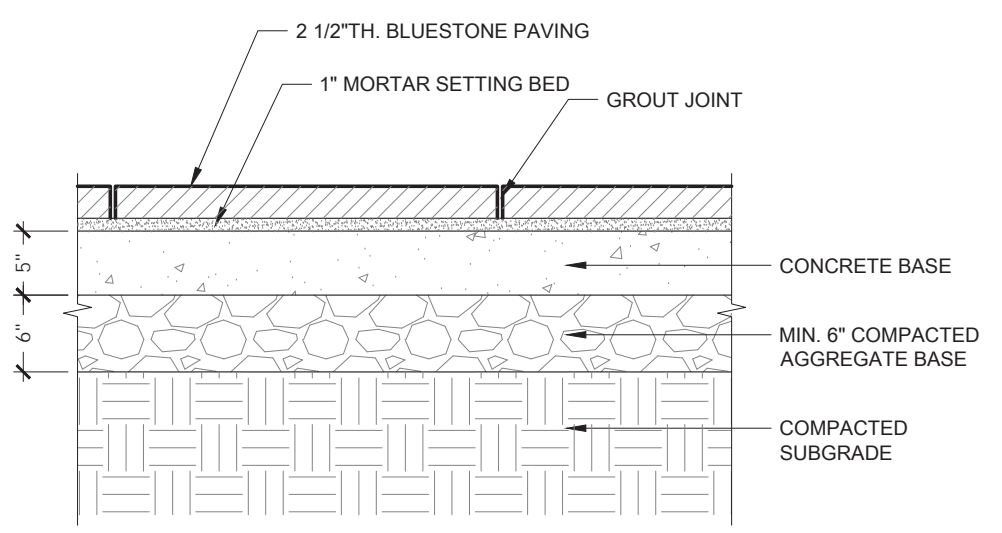
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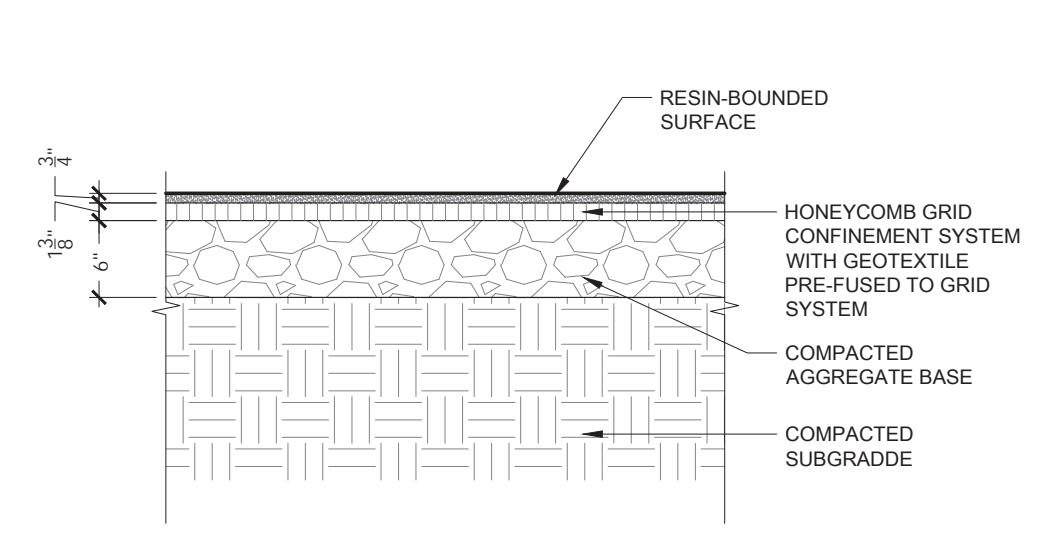
LANDSCAPE DETAILS

L-501

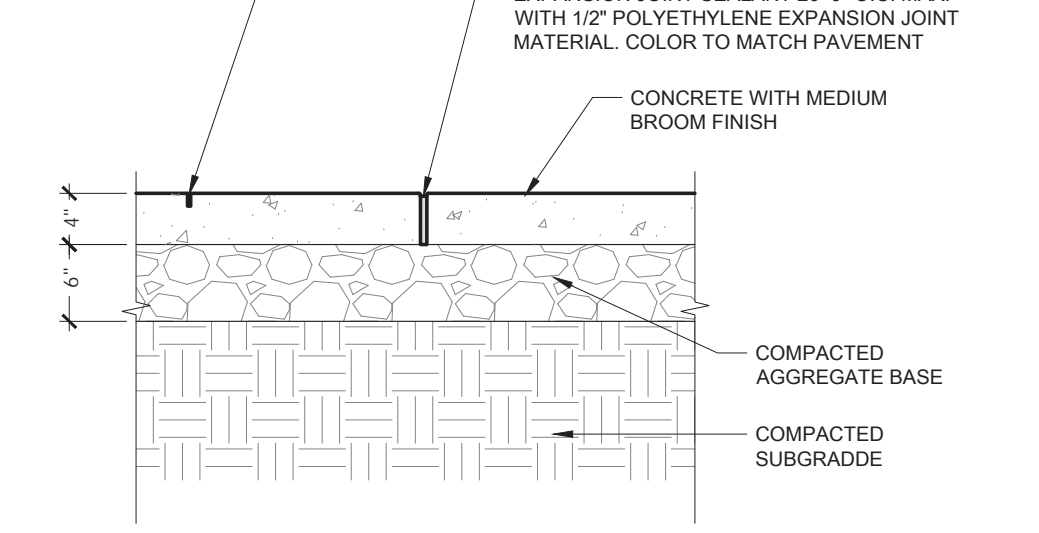


- NOTES:
1. PROVIDE SURFACE EXPANSION JOINTS WHERE PAVEMENT ABUTS WALLS AND OTHER STRUCTURES.
 2. PROVIDE EXPANSION JOINTS (FIBERBOARD IN CONCRETE BASE) AT MAX 200 SQ. FT.

1. BLUESTONE PAVING - SECTION
1" = 1'-0"

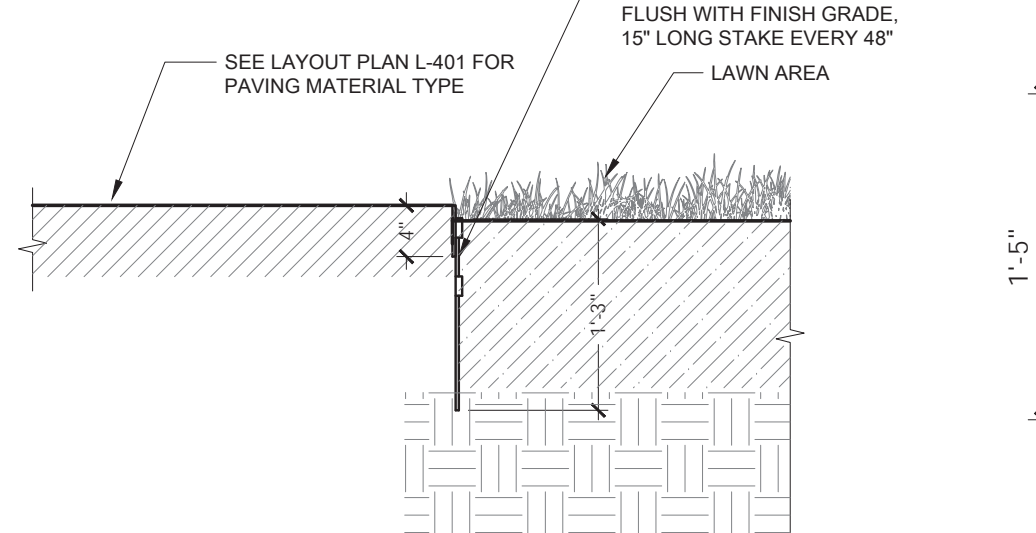


2. RESIN BOUND GARVEL PAVING - SECTION
1" = 1'-0"

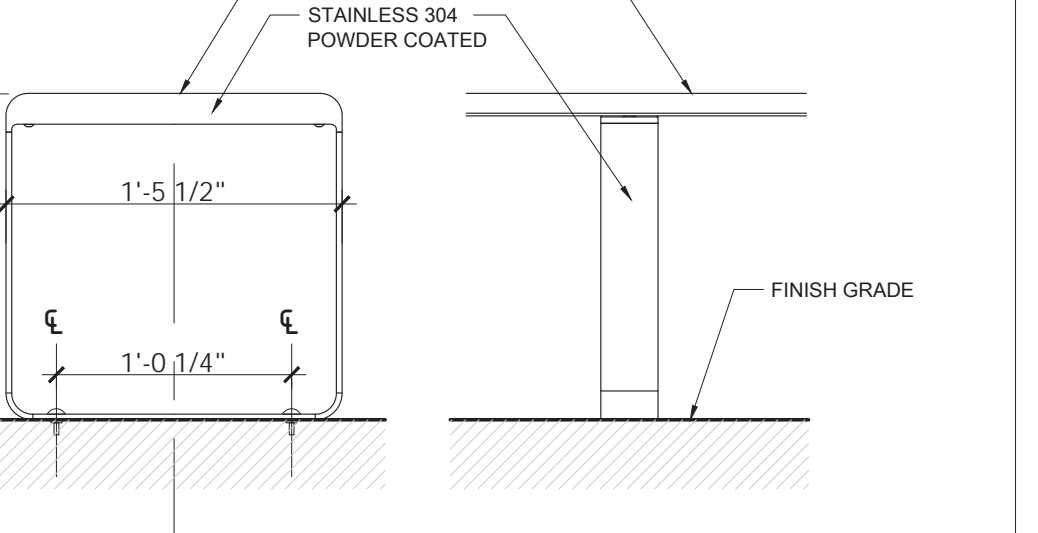


- NOTES:
1. SEE LAYOUT/MATERIAL PLAN FOR THE JOINTS LOCATION.
 2. MEET FINISHED GRADE AND ADJACENT SURFACES FLUSH.
 3. PROVIDE 1/2" EXPANSION JOINT FILLER, BACKER ROD & SEALANT AT ALL CURBS, BLDGS, WALLS, OR EVERY 20' O.C. MAX.

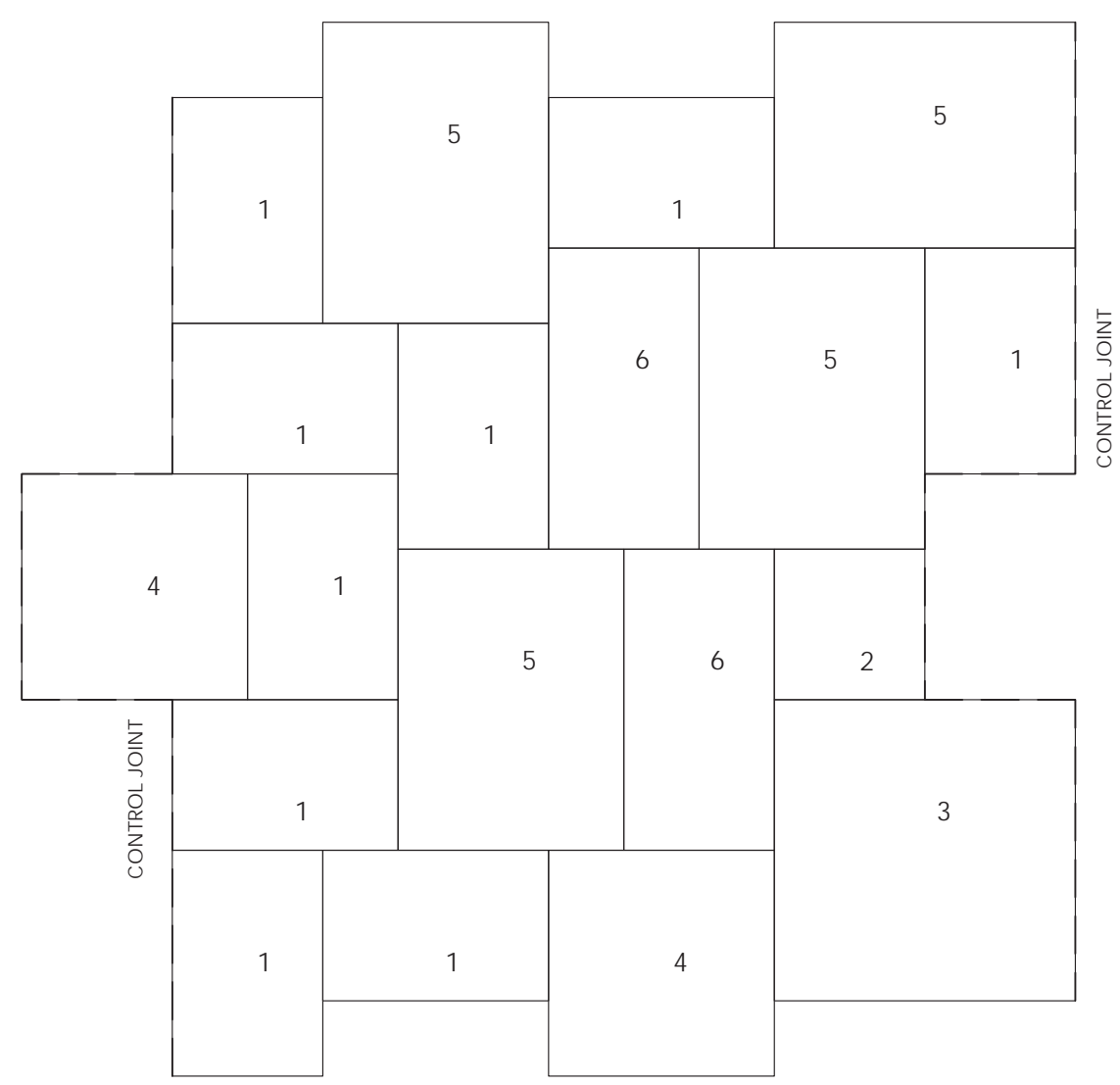
3. POUR-IN-PLACE CONCRETE PAVING - SECTION
1" = 1'-0"



4. STEEL EDGING - SECTION
1" = 1'-0"



5. CURVED BENCH - SECTION
1" = 1'-0"



PC SIZE	QA	SQ FT
#1 12 x 18	9	13.5
#2 12 x 12	1	1
#3 24 x 24	1	4
#4 18 x 18	2	4.5
#5 18 x 24	4	12
#6 12 x 24	2	4

6. 6'x8' STONE PAVING PATTERN - PLAN
1" = 1'-0"



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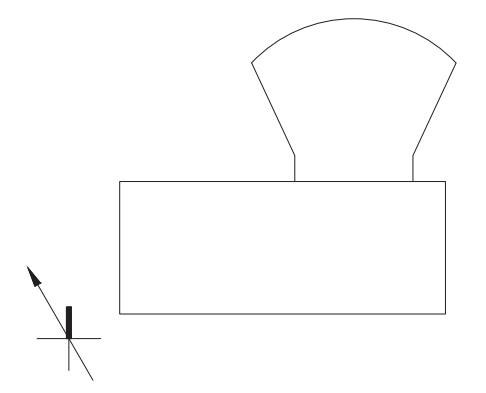
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KEYPLAN



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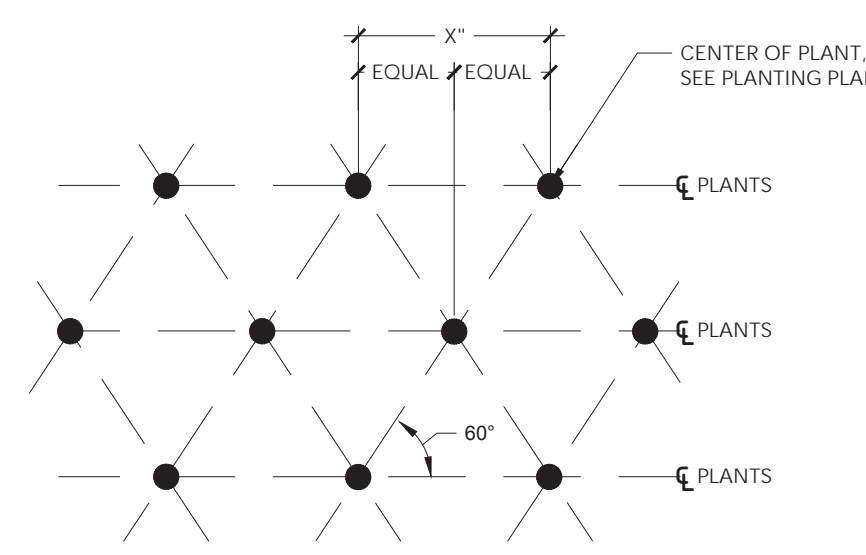
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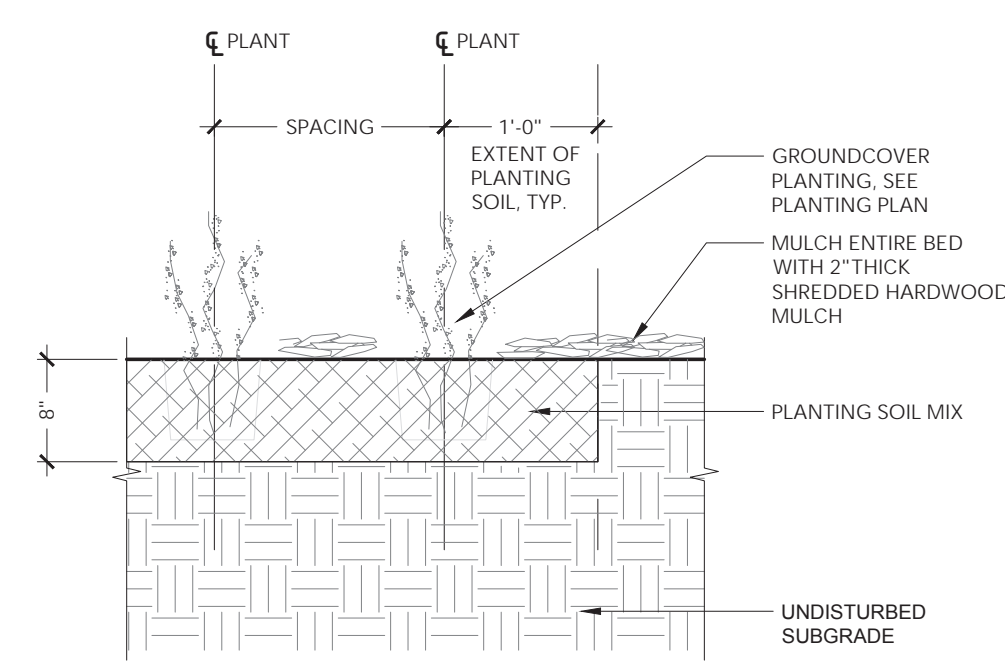
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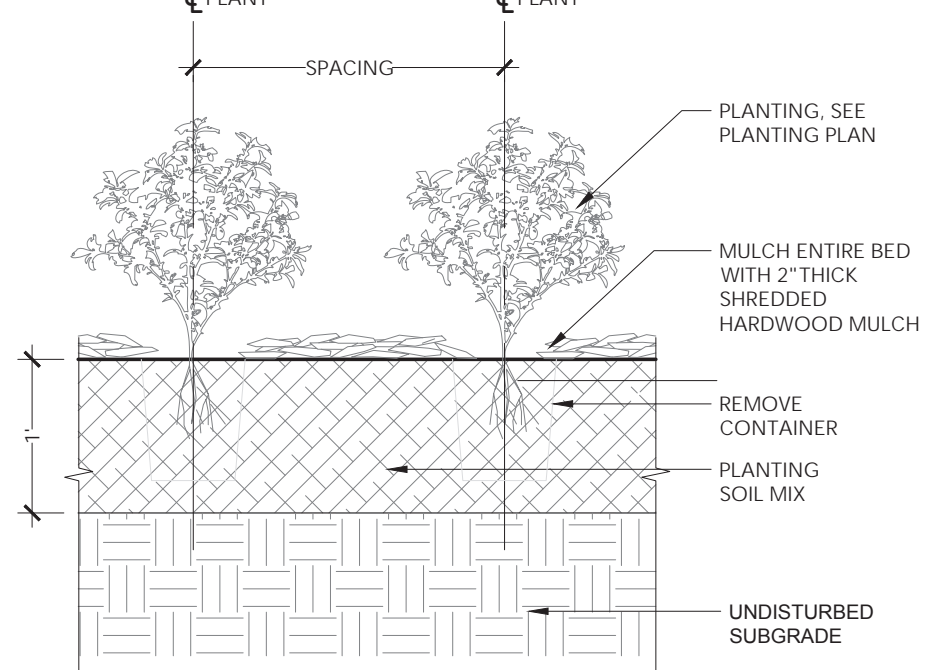
L-502



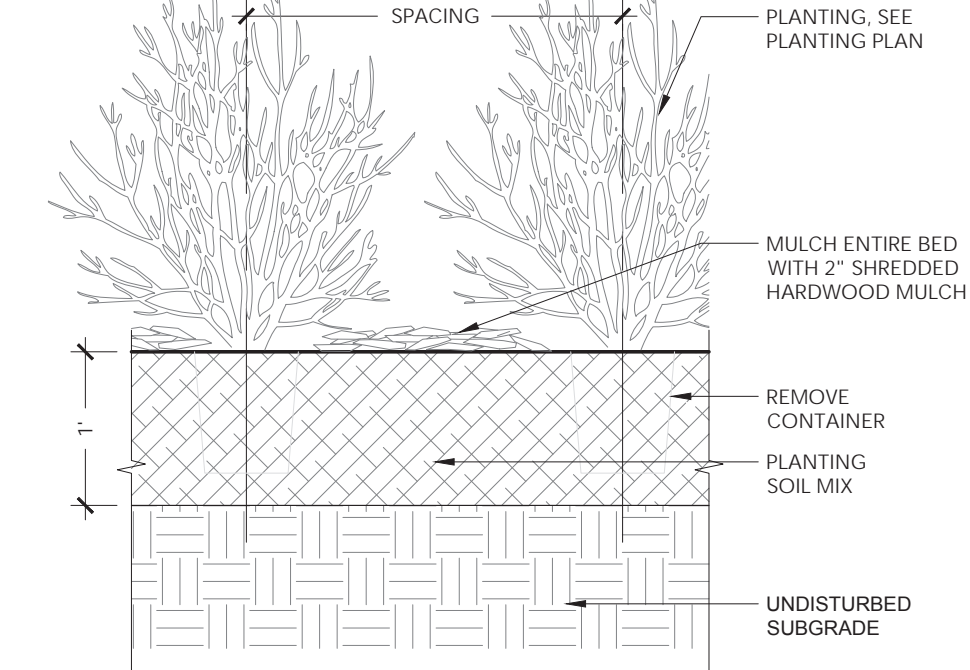
1. PLANTING SPACING - PLAN
1"=1'-0"



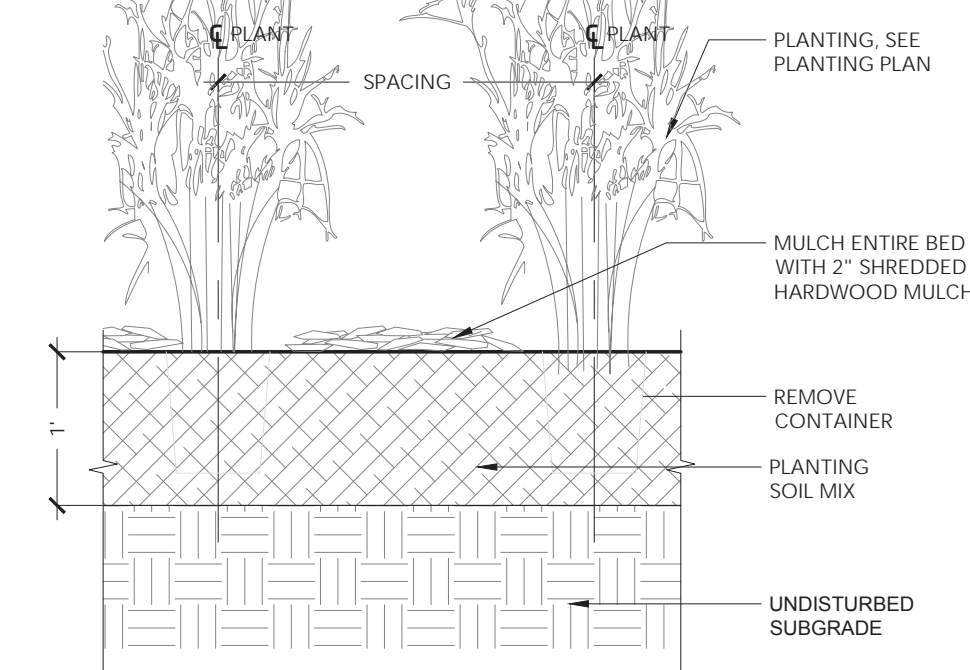
2. GROUNDCOVER - SECTION
1"=1'-0"



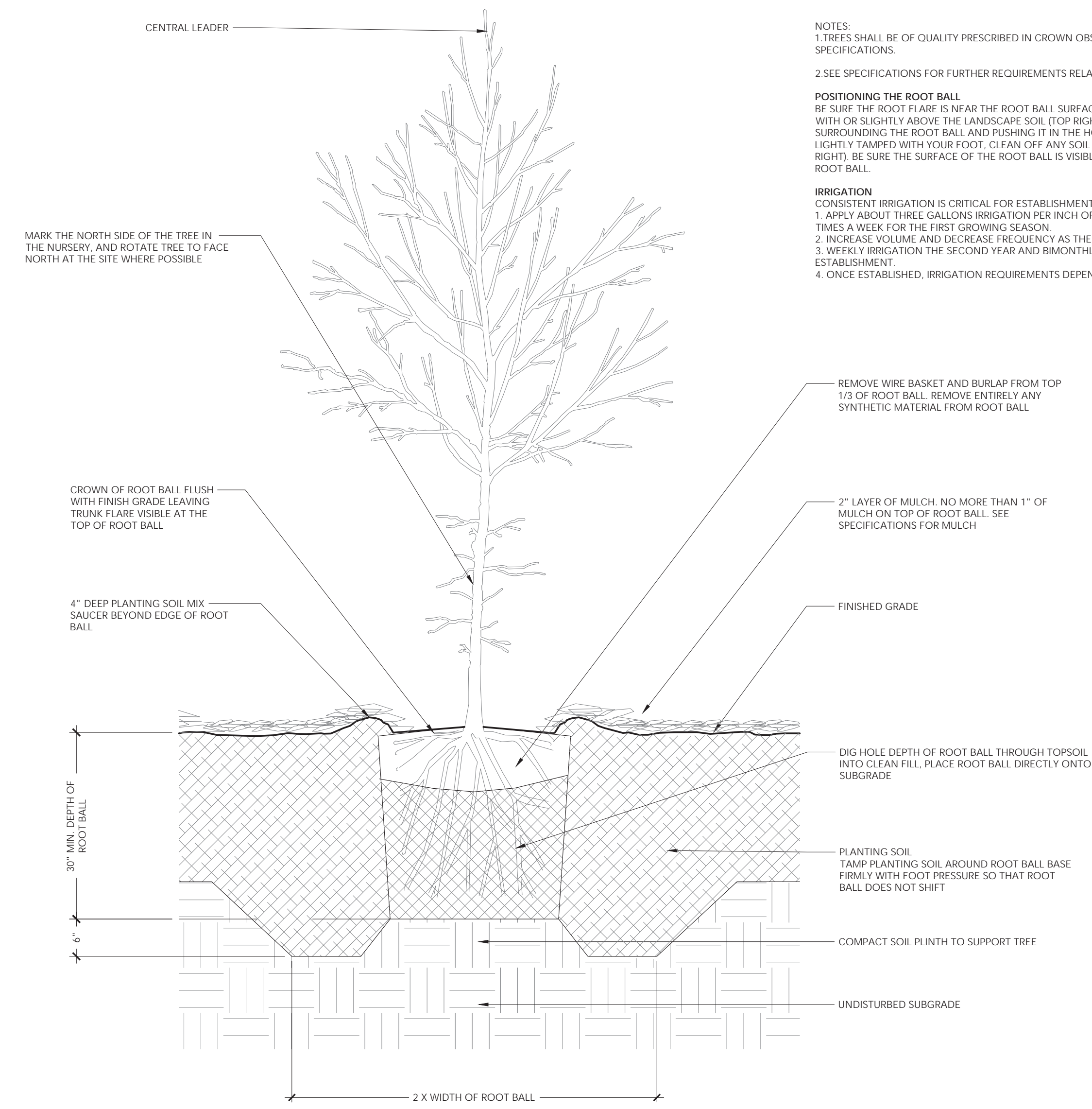
3. PERENNIAL PLANTING - SECTION
1"=1'-0"



4. SHRUB PLANTING - SECTION
1"=1'-0"



5. ORNAMENTAL GRASSES - SECTION
1"=1'-0"



6. TREE PLANTING - SECTION
1"=1'-0"

NOTES:
1. TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS.
2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO TREE PLANTING DETAIL.

POSITIONING THE ROOT BALL
BE SURE THE ROOT FLARE IS NEAR THE ROOT BALL SURFACE (TOP LEFT). POSITION THE ROOT FLARE ABOUT EVEN WITH OR SLIGHTLY ABOVE THE LANDSCAPE SOIL (TOP RIGHT). BACKFILL BY SLICING A SHOVEL INTO THE SOIL SURROUNDING THE ROOT BALL AND PUSHING IT IN THE HOLE (BOTTOM LEFT). ONCE BACKFILL IS FILLED IN AND LIGHTLY TAMPED WITH YOUR FOOT, CLEAN OFF ANY SOIL THAT HAS ACCUMULATED OVER THE ROOT BALL (BOTTOM RIGHT). BE SURE THE SURFACE OF THE ROOT BALL IS VISIBLE. MULCH CAN NOW BE APPLIED TO THE SOIL AROUND THE ROOT BALL.

IRRIGATION
CONSISTENT IRRIGATION IS CRITICAL FOR ESTABLISHMENT.
1. APPLY ABOUT THREE GALLONS IRRIGATION PER INCH OF TRUNK DIAMETER TO THE ROOT BALL TWO OR THREE TIMES A WEEK FOR THE FIRST GROWING SEASON.
2. INCREASE VOLUME AND DECREASE FREQUENCY AS THE TREE BECOMES ESTABLISHED.
3. WEEKLY IRRIGATION THE SECOND YEAR AND BIMONTHLY IRRIGATION THE THIRD YEAR SHOULD BE SUFFICIENT FOR ESTABLISHMENT.
4. ONCE ESTABLISHED, IRRIGATION REQUIREMENTS DEPEND ON SPECIES, CLIMATE AND SOIL CONDITIONS.

CENTRAL LEADER

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHERE POSSIBLE

REMOVE WIRE BASKET AND BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ENTIRELY ANY SYNTHETIC MATERIAL FROM ROOT BALL

2" LAYER OF MULCH. NO MORE THAN 1" OF MULCH ON TOP OF ROOT BALL. SEE SPECIFICATIONS FOR MULCH

FINISHED GRADE

DIG HOLE DEPTH OF ROOT BALL THROUGH TOPSOIL INTO CLEAN FILL. PLACE ROOT BALL DIRECTLY ONTO SUBGRADE

PLANTING SOIL
TAMP PLANTING SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT

COMPACT SOIL PLINTH TO SUPPORT TREE

UNDISTURBED SUBGRADE

4" DEEP PLANTING SOIL MIX SAUCER BEYOND EDGE OF ROOT BALL

30" MIN. DEPTH OF ROOT BALL

6"

2 X WIDTH OF ROOT BALL