

WESTTOWN TOWNSHIP

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West Chester, PA 19382
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AGENDA **Westtown Township Board of Supervisors** **Workshop Agenda**

Westtown Township Municipal Building
1039 Wilmington Pike, Westtown

Monday, June 03, 2024

Start time: 6:00 PM Workshop

- 1. Stokes Estate Conditional Use Application Settlement Proposal – 30 minutes**
- 2. Public Comment on Workshop Items* - 60 minutes**

Tonight's Workshop will be viewable on Zoom via the following link:

<https://us02web.zoom.us/j/89939917814><https://us02web.zoom.us/j/89939917814>

Or by phone at: 646-558-8656

**The public comment period at the end of the Workshop will last approximately 10 minutes. The public will be asked to limit their remarks to two minutes each to allow others an opportunity to speak. To the extent that further public comment is required, speakers will be asked to save their remarks until the Public Comment - Non-Agenda Items portion of the Regular Board of Supervisors Meeting.*



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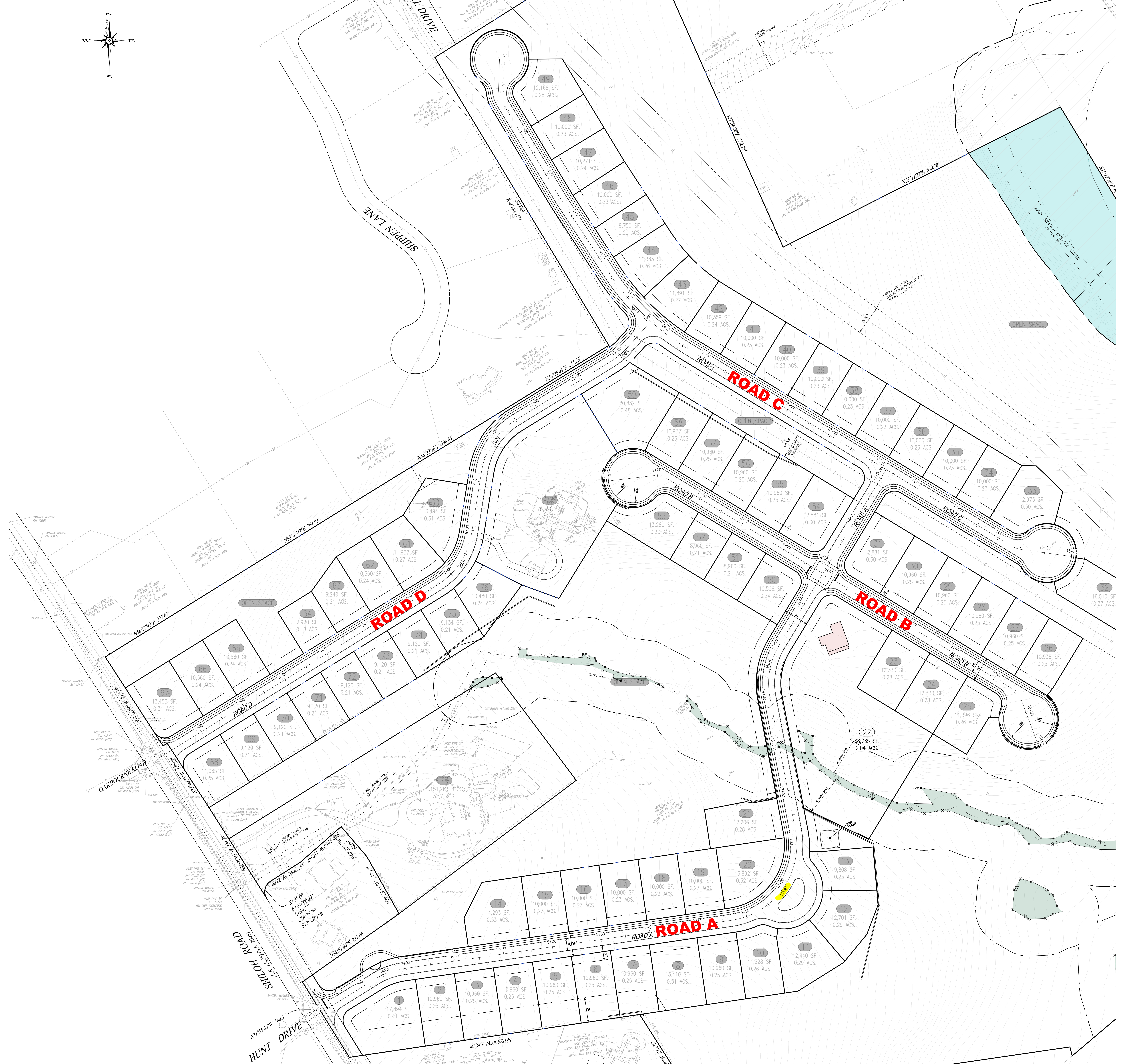
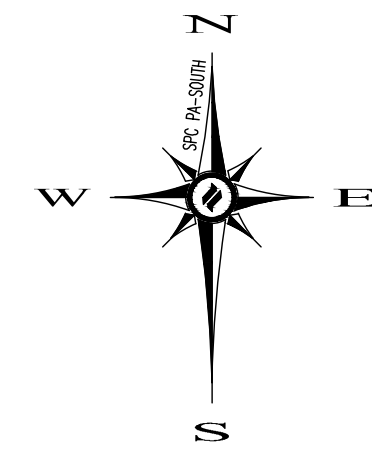
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RESIDENTIAL DEVELOPMENT
 ART. VI - R1 RESIDENTIAL DISTRICT
 SECT. 170-501.C. CONDITIONAL USES
 (2). RESIDENTIAL DEVELOPMENT (FLEXIBLE DEVELOPMENT PROCEDURE - ARTICLE IX)
 ART. IX - FLEXIBLE DEVELOPMENT PROCEDURE
 SECT. 170-903. PERMITTED USES
 A. SINGLE FAMILY DETACHED DWELLINGS
 SEC. 170-904. DENSITY STANDARDS
 BASE DENSITY = 1.1 D.U./ACRE OF TRACT AREA (SEE TRACT AREA CALCULATION)
 BONUS DENSITY = 1.5 D.U./ACRE OF TRACT AREA (MAXIMUM ACHIEVABLE)

TRACT AREA CALCULATION

| | |
|--|-------------------------------|
| TRACT AREA (GROSS) | 3,523,402 SF. / 80.886 ACS(4) |
| EX. LEGAL R/W | 4,663 SF. |
| EX. UTILITY EASEMENTS | 280,525 SF. |
| AREA EQUAL TO 75% OF FLOODPLAIN | - 144,110 SF. |
| PROHIBITIVE SLOPES | - 70,841 SF. |
| WETLANDS | - 81,077 SF. |
| AREA EQUAL TO 25% OF SEASONALLY HIGH WATER TABLE SOILS | - 132,496 SF. |
| TRACT AREA = | 2,848,590 SF. (65.418 AC.) |
| BASE DENSITY (1.1 MULTIPLIER)= | 71 LOTS |

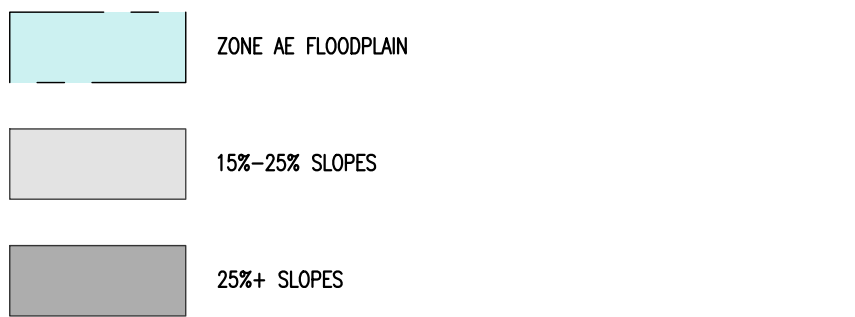
OPEN SPACE
 MINIMUM OPEN SPACE = 40% GROSS TRACT AREA
 REQUIRED
 GROSS TRACT = 80.886 ACRES
 80.886 ACRES X 40% = 32.35 ACRES
 PROPOSED
 GROSS OPEN SPACE = 47.62 ACRES (58.87% GROSS TRACT AREA)
 QUALIFYING MIN. REQUIRED OPEN SPACE = 32.35 ACRES (40.11% GROSS TRACT AREA)
 QUALIFYING INCREMENTAL BONUS O.S. = 12.20 ACRES (15.08% GROSS TRACT AREA)

DENSITY CALCULATION
 BASE DENSITY: 1.1 D.U. / TRACT AREA
 BONUS DENSITY: +0.075 D.U. / 5% OF ADDITIONAL OPEN SPACE = (15.08% EXTRA) = 0.075 * 3 = 0.225 BONUS
 MINIMUM DENSITY = 1.1 + 0.225 = 1.325 D.U. * 65.418 ACS = 86.106 ACHIEVABLE

RESIDENTIAL LOT AREA

| | |
|----------------------|---------------|
| RESIDENTIAL LOT AREA | 25.74 ACRES |
| PROPOSED LOTS | 85 |
| DENSITY | 3.30 LOTS/AC. |
| AVERAGE SIZE | 0.303 ACRES |

PRECAUTIONARY STEEP SLOPES (15-25%)
 GROSS TRACT AREA = 80.886 ACS (3,523,402 SF)
 25% OF THE GROSS TRACT AREA = 880,850 SF
 AREA OF PRECAUTIONARY STEEP SLOPES = 547,921 SF < 25% OF THE TRACT AREA
 THEREFORE SECTION 170-402.D(1)(i) DOES NOT APPLY

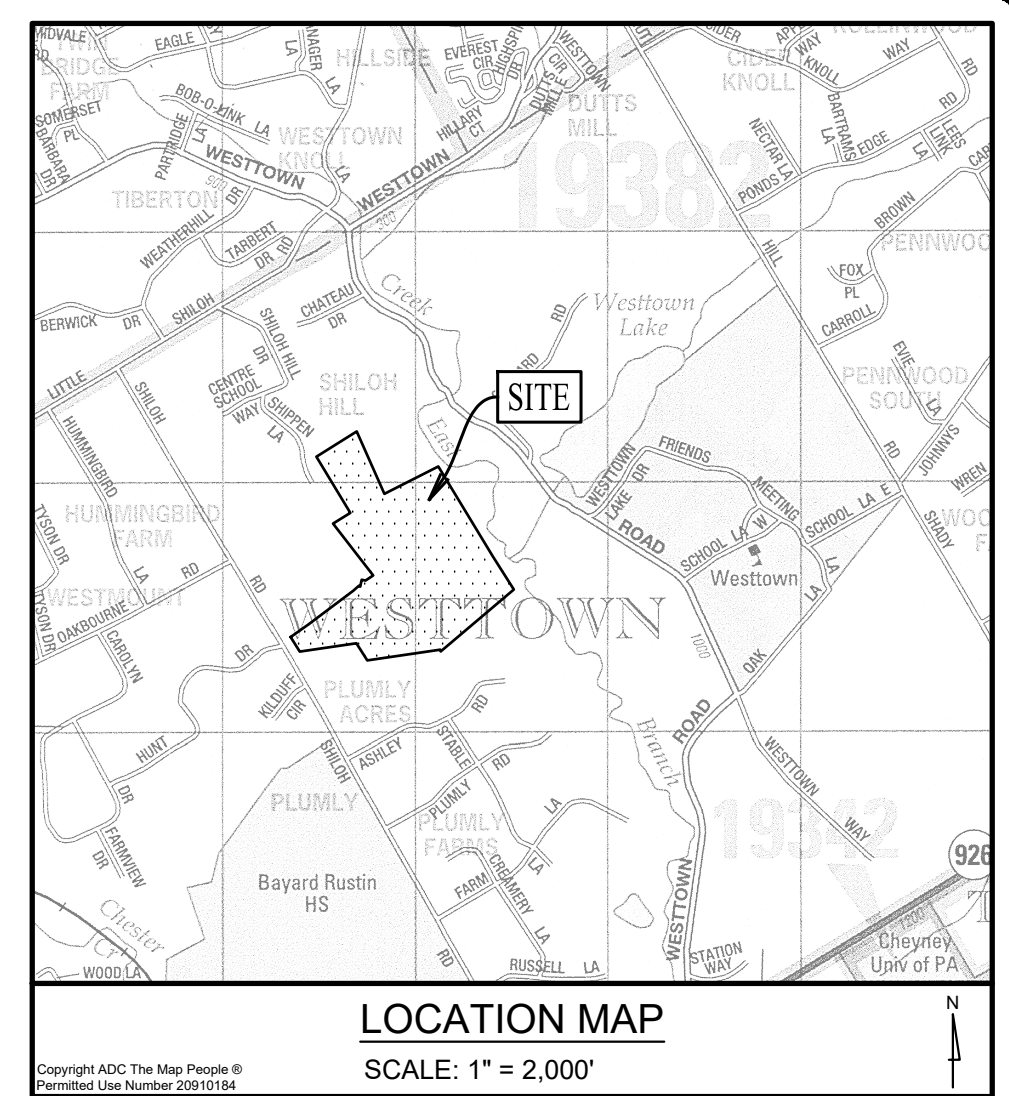
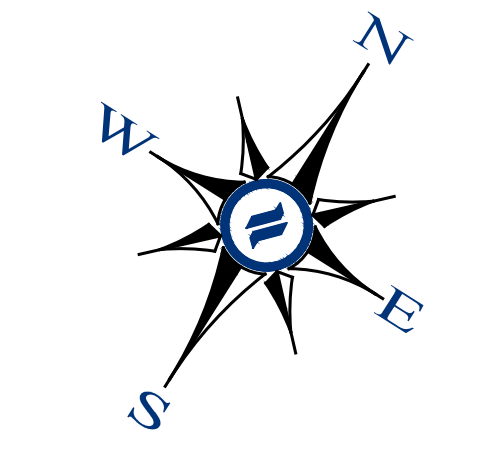
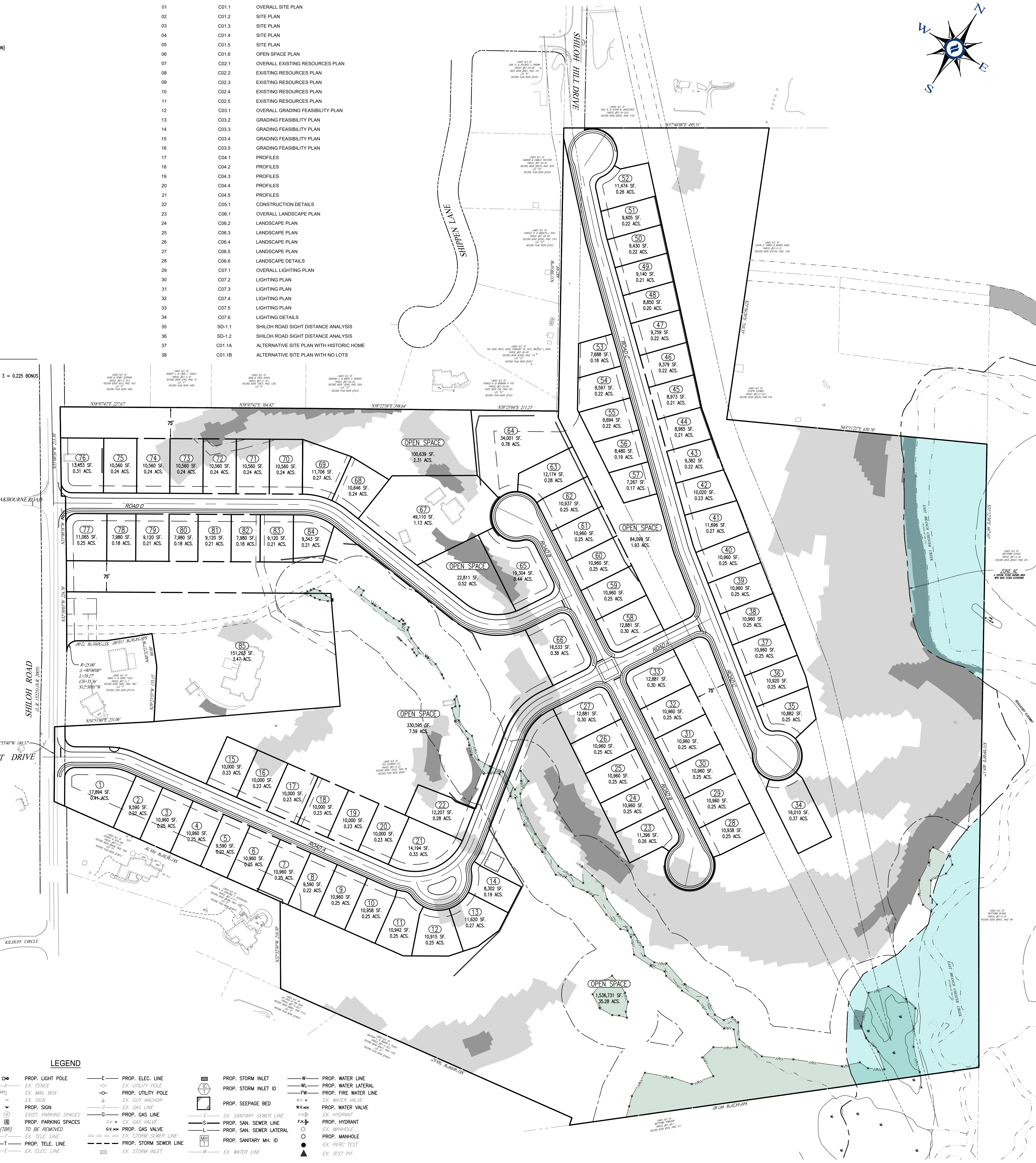


LEGEND

| | | | |
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| EX. PROPERTY LINE | EXISTING CONTOUR | EX. PROPERTY LINE | EXISTING CONTOUR |
| PROP. PROPERTY LINE | PROPOSED CONTOUR | EX. UTILITY POLE | EX. UTILITY POLE |
| EX. RIGHT-OF-WAY | EXISTING SPOT ELEV. | EX. MAIL BOX | EX. MAIL BOX |
| PROP. RIGHT-OF-WAY | NEW SPOT ELEV. | EX. SIGN | EX. SIGN |
| EX. MONUMENT | SOILS TYPE | EX. GAS LINE | EX. GAS LINE |
| PROP. MONUMENT | SOILS LINE | PROP. GAS LINE | PROP. GAS LINE |
| EX. REBAR | EX. CONC. CURB | EX. EX. GAS VALVE | EX. EX. GAS VALVE |
| PROP. REBAR | PROP. CONC. CURB | EX. HYDRANT | EX. HYDRANT |
| EX. EASEMENT | EX. TELE. LINE | EX. MANHOLE | EX. MANHOLE |
| PROP. EASEMENT | PROP. TELE. LINE | PROP. MANHOLE | PROP. MANHOLE |
| EX. WETLANDS | EX. LIGHT POLE | EX. ELEC. LINE | EX. ELEC. LINE |
| EX. PROPERTY LINE | EX. CONC. CURB | EX. WATER LINE | EX. WATER LINE |
| PROP. PROPERTY LINE | PROP. CONC. CURB | PROP. WATER LINE | PROP. WATER LINE |
| EX. RIGHT-OF-WAY | EX. TELE. LINE | PROP. WATER LATERAL | PROP. WATER LATERAL |
| PROP. RIGHT-OF-WAY | PROP. TELE. LINE | PROP. FIRE WATER LINE | PROP. FIRE WATER LINE |
| EX. MONUMENT | EX. ELEC. LINE | EX. WATER VALVE | EX. WATER VALVE |
| PROP. MONUMENT | EX. STORM SEWER LINE | EX. HYDRANT | EX. HYDRANT |
| EX. REBAR | EX. SAN. SEWER LATERAL | EX. MANHOLE | EX. MANHOLE |
| PROP. REBAR | PROP. SAN. SEWER LATERAL | PROP. MANHOLE | PROP. MANHOLE |
| EX. EASEMENT | EX. WATER LINE | EX. PERC. TEST | EX. PERC. TEST |
| PROP. EASEMENT | PROP. WATER LINE | EX. TEST PIT | EX. TEST PIT |
| EX. WETLANDS | EX. STORM INLET | | |
| PROP. WETLANDS | PROP. STORM INLET | | |

DRAWING INDEX

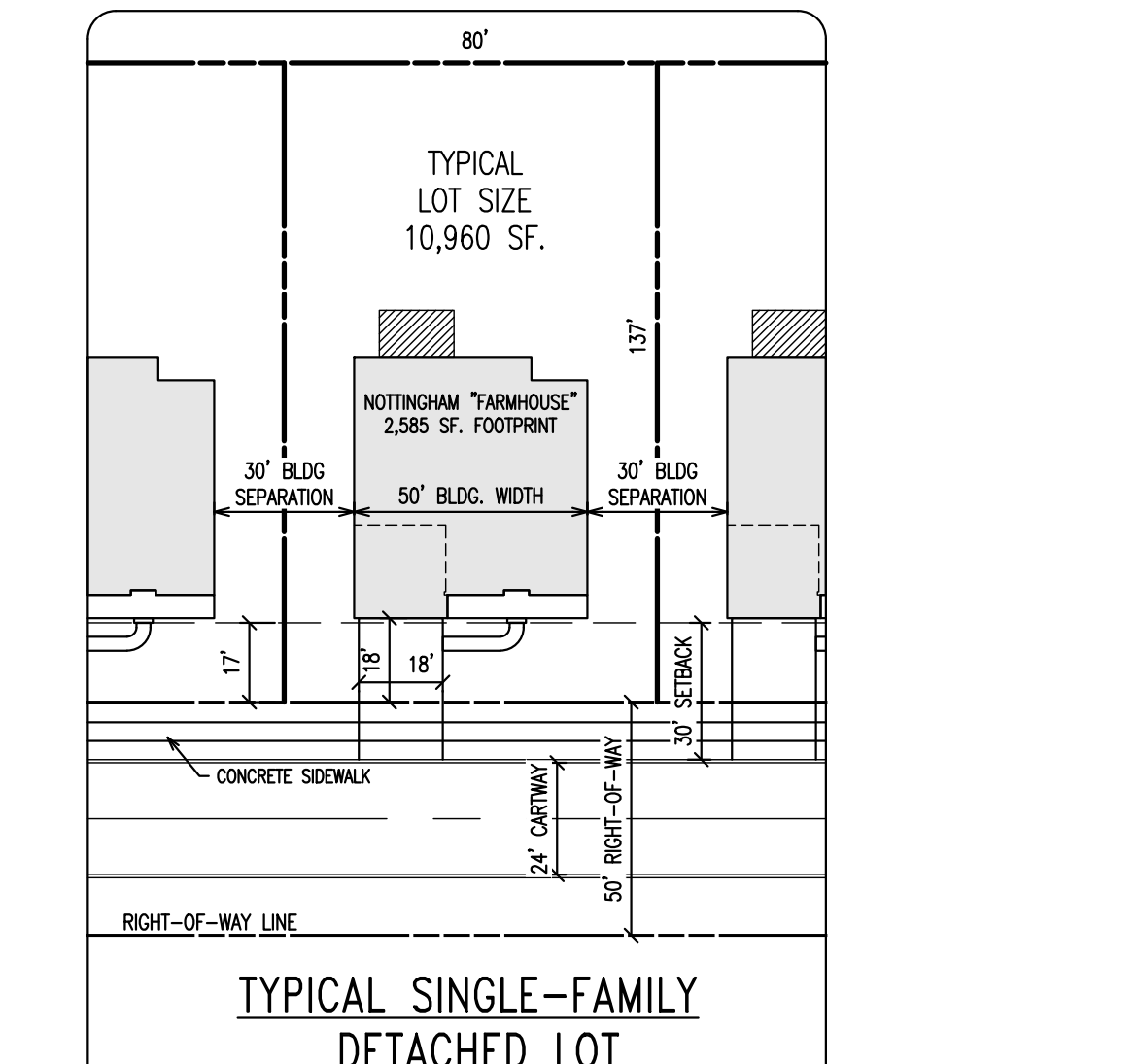
| SHEET NUMBER | DRAWING NUMBER | SHEET TITLE |
|--------------|----------------|--|
| 01 | C01.1 | OVERALL SITE PLAN |
| 02 | C01.2 | SITE PLAN |
| 03 | C01.3 | SITE PLAN |
| 04 | C01.4 | SITE PLAN |
| 05 | C01.5 | SITE PLAN |
| 06 | C01.6 | OPEN SPACE PLAN |
| 07 | C02.1 | OVERALL EXISTING RESOURCES PLAN |
| 08 | C02.2 | EXISTING RESOURCES PLAN |
| 09 | C02.3 | EXISTING RESOURCES PLAN |
| 10 | C02.4 | EXISTING RESOURCES PLAN |
| 11 | C02.5 | EXISTING RESOURCES PLAN |
| 12 | C03.1 | OVERALL GRADING FEASIBILITY PLAN |
| 13 | C03.2 | GRADING FEASIBILITY PLAN |
| 14 | C03.3 | GRADING FEASIBILITY PLAN |
| 15 | C03.4 | GRADING FEASIBILITY PLAN |
| 16 | C03.5 | GRADING FEASIBILITY PLAN |
| 17 | C04.1 | PROFILES |
| 18 | C04.2 | PROFILES |
| 19 | C04.3 | PROFILES |
| 20 | C04.4 | PROFILES |
| 21 | C04.5 | PROFILES |
| 22 | C05.1 | CONSTRUCTION DETAILS |
| 23 | C06.1 | OVERALL LANDSCAPE PLAN |
| 24 | C06.2 | LANDSCAPE PLAN |
| 25 | C06.3 | LANDSCAPE PLAN |
| 26 | C06.4 | LANDSCAPE PLAN |
| 27 | C06.5 | LANDSCAPE PLAN |
| 28 | C06.6 | LANDSCAPE DETAILS |
| 29 | C07.1 | OVERALL LIGHTING PLAN |
| 30 | C07.2 | LIGHTING PLAN |
| 31 | C07.3 | LIGHTING PLAN |
| 32 | C07.4 | LIGHTING PLAN |
| 33 | C07.5 | LIGHTING PLAN |
| 34 | C07.6 | LIGHTING DETAILS |
| 35 | SD-1.1 | SHILOH ROAD SIGHT DISTANCE ANALYSIS |
| 36 | SD-1.2 | SHILOH ROAD SIGHT DISTANCE ANALYSIS |
| 37 | C01.1A | ALTERNATIVE SITE PLAN WITH HISTORIC HOME |
| 38 | C01.1B | ALTERNATIVE SITE PLAN WITH NO LOTS |



GENERAL NOTES

- RECORD OWNER/MAILING ADDRESS: FOX CLEARING, LLC, 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601
- SITE ADDRESS: 1013 SHILOH ROAD, WEST CHESTER, PA 19382
- TAX PARCEL #: 67-2-23
- SOURCE OF TITLE: RECORD BOOK 10533, PAGE 48
- LOT AREA: 64,956 ACRES (GROSS), 61,133 ACRES (NET OF SHILOH ROAD R/W)
- BOUNDARY, TOPOGRAPHY AND PHYSICAL IMPROVEMENTS SHOWN ARE FROM FIELD SURVEY BY HOWELL KLINE SURVEYING, LLC, PERFORMED DURING OCTOBER, NOVEMBER, DECEMBER 2020 AND JANUARY 2021.
- CONTOUR AND TOPOGRAPHY INFORMATION PLOTTED FROM AERIAL SURVEY BY NORDASE MAPPING, INC. AERIAL MAPPING WAS PRODUCED TO NATIONAL MAP ACCURACY STANDARDS, GROUND CONTROL AND SUPPLEMENTAL DATA BY HOWELL KLINE SURVEYING, LLC. DATUM: NAVD 83 (COMPUTED USING GEOID12N) & NAD 83 (2011) (IPROX2010.0000) [AS DETERMINED BY GPS OBSERVATION]. SITE BENCH = RM OF SANITARY MANHOLE LOCATED AT THE INTERSECTION OF PLANT BRINE AND SHILOH ROAD. ELEVATION: 405.91'. CONTOUR INTERVAL: 2 FEET
- UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM OBSERVABLE EVIDENCE AT THE TIME OF SURVEY AND INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES. NO UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
- A PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE AE. A SPECIAL FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS PER THE NATIONAL FLOOD INSURANCE RATE MAP FOR CHESTER COUNTY, PA, MAP NO. 4202020150, PANEL 215 OF 380, DATED SEPTEMBER 29, 2017. FLOOD PLAIN BOUNDARIES SHOWN HEREON WERE SCALED FROM THE ABOVE MENTIONED MAP.
- WETLANDS BOUNDARY LINES WERE DELINEATED BY BROCKHOUSE ENVIRONMENTAL, CONSULTANTS AND ENGINEERS AND WORTER ENVIRONMENTAL AND PLANNING BY HOWELL KLINE SURVEYING, LLC, PERFORMED ON OCTOBER 30, 2020 AND JANUARY 2021 RESPECTIVELY.
- THIS SITE IS CLASSIFIED AS "2" OF LOCAL HISTORIC VALUE" ON THE TOWNSHIP HISTORIC RESOURCES MAP.
- THE PURPOSE OF THIS PLAN IS TO DETAIL THE PROPOSED SITE IMPROVEMENTS FOR CONDITIONAL USE OF AN 85 LOT RESIDENTIAL SUBDIVISION INCLUDING, BUT NOT LIMITED TO, CONCEPTUAL STORMWATER MANAGEMENT, GRADING, AND LANDSCAPING.
- SOILS INFORMATION PROVIDED WITH SUPPORT FROM THE NATURAL RESOURCES CONSERVATION SERVICE. SOILS ATTRIBUTE DATA IS SERVED FROM THE NRCS SCS DATA MAP.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.
- AN INPEX PERMIT IS REQUIRED TO BE OBTAINED PRIOR TO ANY CONSTRUCTION ACTIVITIES ON THIS SITE.
- ALL DIMENSIONS ARE TO EDGE OF PAVING OR FACE OF BUILDING UNLESS NOTED OTHERWISE. SCALED DIMENSIONS SHALL NOT BE USED WITHOUT FIRST CONTACTING D.L. HOWELL & ASSOCIATES.
- THIS PLAN PROPOSES PUBLIC WATER SUPPLY AND PUBLIC SEWER. PUBLIC WATER WILL BE PROVIDED BY AQUA PENNSYLVANIA. ALL WORK SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND SPECIFICATIONS.
- AN INDIVIDUAL GRADING AND EROSION AND SEDIMENT CONTROL PLAN FOR EACH BUILDING GROUP SHALL BE SUBMITTED WITH THE BUILDING PERMIT FOR THE TOWNSHIP'S REVIEW AND APPROVAL.
- ALL MONUMENTS TO BE SET IN ACCORDANCE WITH WESTTOWN TOWNSHIP SUBDIVISION & LAND DEVELOPMENT ORDINANCE.
- ALL PROPOSED UTILITIES MUST BE PLACED UNDERGROUND.
- D.L. HOWELL & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS OF THE EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS. NOR DOES D.L. HOWELL & ASSOCIATES, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF THE WORK.
- THE FINAL ARCHITECTURE AND LOT PLACEMENT FOR EACH HOME IS YET TO BE DETERMINED. FOOTPRINTS ARE FOR CONCEPTUAL PURPOSES ONLY.
- REPRESENTATIVES OF WESTTOWN TOWNSHIP AND/OR OTHER GOVERNMENTAL AUTHORITIES SHALL HAVE PERMISSION TO GAIN ACCESS TO THE STORMWATER FACILITIES THROUGH A BLANKET EASEMENT OVER THE PROPERTY TO PERFORM INSPECTIONS, MAINTENANCE AND REPAIRS OF THE BASIN, AS NECESSARY.
- STORMWATER SERVICES SHALL NOT BE REMOVED, ALTERED OR RELINQUISHED BY THE LANDOWNER IN THE EVENT OF THE FAILURE OF THE LANDOWNER TO COMPLY WITH THESE CONDITIONS AND RESTRICTIONS. THE TOWNSHIP SHALL HAVE THE AUTHORITY TO RESTORE SAID STORMWATER MANAGEMENT FACILITIES TO THEIR ORIGINAL STATE AND THE COSTS THEREOF SHALL BE ASSESSED TO THE LANDOWNER. THE TOWNSHIP, BEFORE IT MAY EXERCISE THIS RIGHT, SHALL NOTIFY THE LANDOWNER BY CERTIFIED MAIL OF ITS INTENTION TO DO SO. THE NOTICE SHALL SET FORTH IN WHAT MANNER THE OWNER HAS ALTERED THE STORMWATER MANAGEMENT FACILITIES, AND IF THE OWNER FAILS TO CORRECT THE ALTERATION LISTED IN THE NOTICE FROM THE TOWNSHIP, THEN AND ONLY THEN THE TOWNSHIP MAY EXERCISE THIS RIGHT.
- A SEWAGE FACILITIES PLANNING MODULE IS REQUIRED IN ACCORDANCE WITH THE SEWAGE FACILITIES PLANNING ACT (537). APPROVAL OF THIS PLAN IN NO WAY IMPLIES OR GUARANTEES THAT SUCH APPROVAL CAN BE OBTAINED.
- ALL NEW SANITARY WORK INCLUDING BUT NOT LIMITED TO GRABBER, SEWER MAIN, AND APPURTENANCES, MANHOLES, ETC., SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF WESTTOWN TOWNSHIP.
- ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH REQUIREMENTS OF WESTTOWN TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS APPLICABLE. WESTTOWN TOWNSHIP IS NOT RESPONSIBLE FOR INSTALLATION OR MAINTENANCE OF ANY STORMWATER FACILITIES NOT DEDICATED FOR PUBLIC USE.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT OF STORM DRAINAGE FACILITY THAT COULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, ANY EASEMENT AGREEMENT, OR THE STORM DRAINAGE FACILITY.
- THE LIMITS OF DISTURBANCE SHALL BE STAKED IN THE FIELD PRIOR TO CLEARING OF ANY EXISTING DISTURBANCE ANY CHANGE OR ENCROACHMENT ONTO THESE AREAS WITHOUT CONSERVATION DISTRICT REVIEW AND APPROVAL MAY REQUIRE THE CONTRACTOR TO CEASE DISTURBANCE AND OBTAIN AN EARTH DISTURBANCE PERMIT. INSTALL TREE PROTECTION FENCING AROUND PERIMETER OF TREES WHERE LIMIT OF DISTURBANCE ABUTS WOODLANDS.

- REFERENCE PLAN(S)**
- PLAN ENTITLED "PLAN OF SUBDIVISION FOR MILTON R. STOKES", PREPARED BY HENRY S. CONROY INC, DATED 10/29/1982, LAST REVISED 1/20/1983, RECORD PLAN BOOK #4267.
 - PLAN ENTITLED "PLAN OF PROPERTY FOR HAWTHORNE", PREPARED BY INGRAM ENGINEERING SERVICES, INC., PLOTTED ON 6/29/2016, LAST REVISED 5/13/2016, RECORD PLAN BOOK #1873.
 - PLAN ENTITLED "FINAL PLAN OF LOTS JOHN & CHRISTINE O'BREN", PREPARED BY ROBERT W. MATOZ, PLS INC., DATED 10/5/1998, LAST REVISED 11/5/1998, RECORD PLAN BOOK #14715.
 - PLAN ENTITLED "TWIN GALEX", PREPARED BY MESKO ENGINEERING ASSOCIATES, INC., DATED 12/27/2005, LAST REVISED 2/8/2006, RECORD PLAN BOOK #17755.
 - PLAN ENTITLED "PRELIMINARY/FINAL PLAN OF SUBDIVISION FOR 1015 SHILOH ROAD", PREPARED BY EDWARD B. WALSH & ASSOCIATES, INC., DATED 11/11/2008, LAST REVISED 6/2/2009, RECORD PLAN BOOK #18673.
 - PLAN ENTITLED "FINAL SUBDIVISION PLAN - PROPERTY OF JAMES S. LEES JR., PREPARED BY G.D. HOUTMAN & SON, DATED 4/3/1978, LAST REVISED 4/13/1978, RECORD PLAN BOOK #1633.



RECORD OWNER/APPLICANT:
 FOX CLEARING, LLC
 227 GRANITE RUN DRIVE, SUITE 100
 LANCASTER, PA 17601

OVERALL SITE PLAN
 SCALE: 1" = 100'

GRAPHIC SCALE
 1 inch = 100 feet

CONDITIONAL USE OVERALL SITE PLAN
 CLIENT: FOX CLEARING, LLC
 PROJECT: STOKES ESTATE
 LOCATION: 1013 SHILOH ROAD
 WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 04/14/23
SCALE: 1" = 100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: 04 SITE PLAN.dwg
PLOTTED: 06/15/23
DRAWING NO.: C01.1
SHEET: 01 of 38



1250 Wrights Lane
 West Chester, PA 19380
 Phone: (610) 918-9002
 Fax: (610) 918-9003

| REV. | DATE | DESCRIPTION |
|------|----------|---|
| 1 | 06/15/23 | REVISED PER TOWNSHIP CONSULTANT REVISIONS |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |

| REV. | DATE | DESCRIPTION |
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CONDITIONAL USE OVERALL SITE PLAN
 CLIENT: FOX CLEARING, LLC
 PROJECT: STOKES ESTATE
 LOCATION: 1013 SHILOH ROAD
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CAD FILE: 04 SITE PLAN.dwg
PLOTTED: 06/15/23
DRAWING NO.: C01.1
SHEET: 01 of 38

RESIDENTIAL DEVELOPMENT

ART. VI - R1 RESIDENTIAL DISTRICT
 SECT. 170-501.2: CONDITIONAL USES
 (2) RESIDENTIAL DEVELOPMENT (FLEXIBLE DEVELOPMENT PROCEDURE - ARTICLE IX)
 ART. IX - FLEXIBLE DEVELOPMENT PROCEDURE
 SECT. 170-903: PERMITTED USES
 A. SINGLE FAMILY DETACHED DWELLINGS
 SEC. 170-904: DENSITY STANDARDS
 BASE DENSITY = 1.1 D.U./ACRE OF TRACT AREA (SEE TRACT AREA CALCULATION)
 BONUS DENSITY = 1.5 D.U./ACRE OF TRACT AREA (MAXIMUM ACHIEVABLE)

TRACT AREA CALCULATION

| | |
|--|-------------------------------|
| TRACT AREA (GROSS) | 3,523,402 SF. / 80,886 ACS(4) |
| EX. LEGAL R/W | 4,663 SF. |
| EX. UTILITY EASEMENTS | 280,525 SF. |
| AREA EQUAL TO 75% OF FLOODPLAIN | - 144,110 SF. |
| PROMISING SLOPES | - 70,811 SF. |
| WETLANDS | - 61,077 SF. |
| AREA EQUAL TO 25% OF SEASONALLY HIGH WATER TABLE SOILS | - 132,496 SF. |
| TRACT AREA = | 2,848,590 SF. (65,418 AC.) |
| BASE DENSITY (1.1 MULTIPLIER)= | 71 LOTS |

OPEN SPACE
 MINIMUM OPEN SPACE = 40% GROSS TRACT AREA
 REQUIRED
 GROSS TRACT = 80,886 ACRES
 80,886 ACRES X 40% = 32,354 ACRES
 PROPOSED
 GROSS OPEN SPACE = 44,57 ACRES (55.10% GROSS TRACT AREA)
 QUALIFYING MIN. REQUIRED OPEN SPACE = 33.81 ACRES (41.80% GROSS TRACT AREA)
 QUALIFYING INCREMENTAL BONUS O.S. = 4.27 ACRES (5.28% GROSS TRACT AREA)

DENSITY CALCULATION

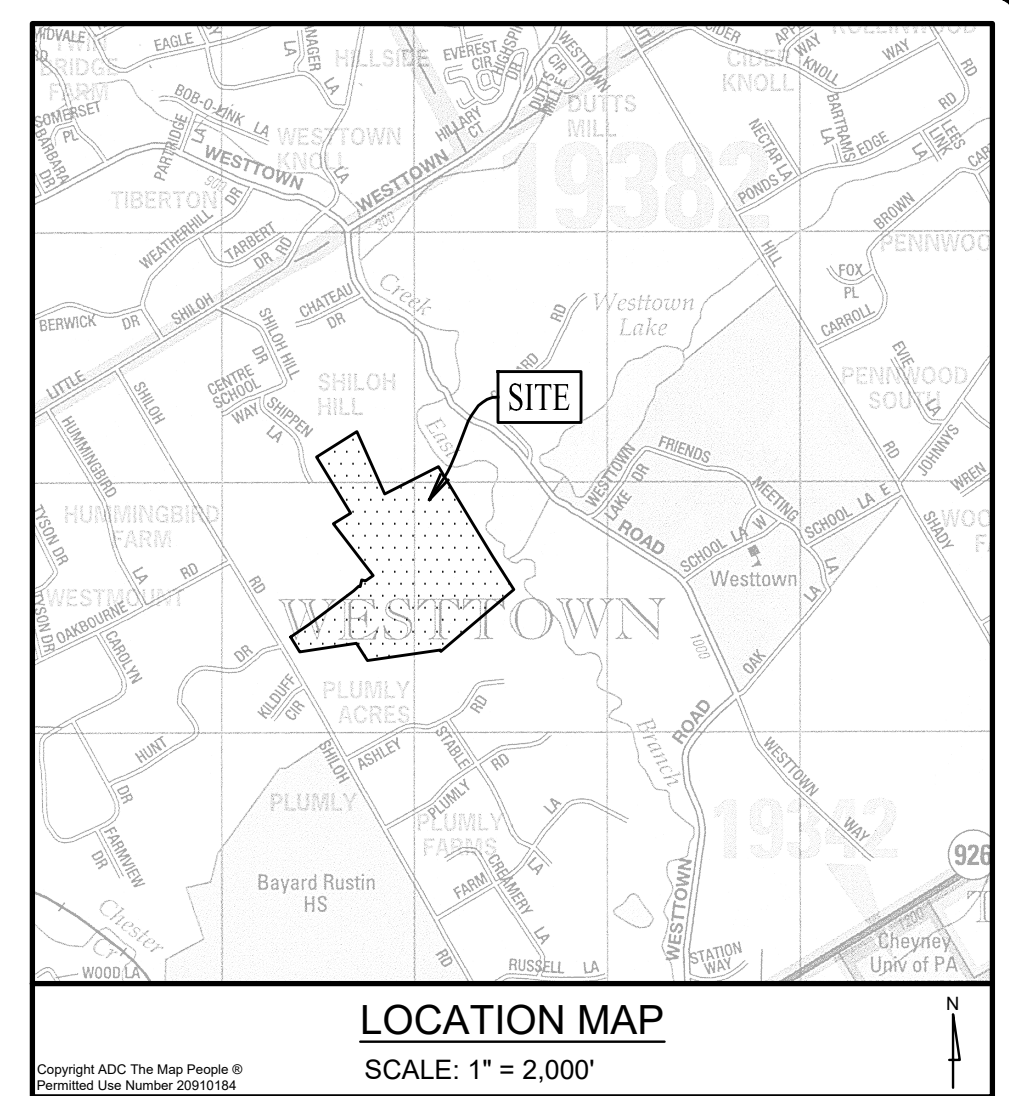
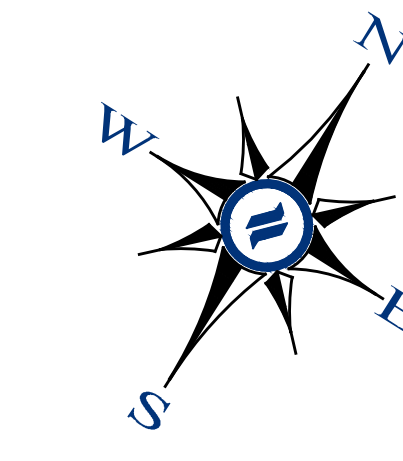
BASE DENSITY: 1.1 D.U. / TRACT AREA
 BONUS DENSITY: +0.075 D.U. / 5% OF ADDITIONAL OPEN SPACE = (5.28% EXTRA) = 0.025 * 3 = 0.075 BONUS
 MAXIMUM DENSITY = 1.1 + 0.075 = 1.175 D.U. • 65,418 ACS. = 76 LOTS ACHIEVABLE
 SPECIAL BONUS DENSITY:
 §170-904(2)(c)(1)
 PLUS 1 (ONE) ADDITIONAL UNIT / 2 ACRE LOT CONTAINING HISTORIC BUILDING = +1 LOT
 §170-904(2)(c)(2)
 PLUS 1 (ONE) ADDITIONAL UNIT / 2,000 SF G.F.A. HISTORIC RESTORATION/REHABILITATION = +1 LOT
 MAXIMUM DENSITY WITH SPECIAL BONUS DENSITY = 76 + 2 = 78 LOTS ACHIEVABLE

PRECAUTIONARY STEEP SLOPES (15-25%)

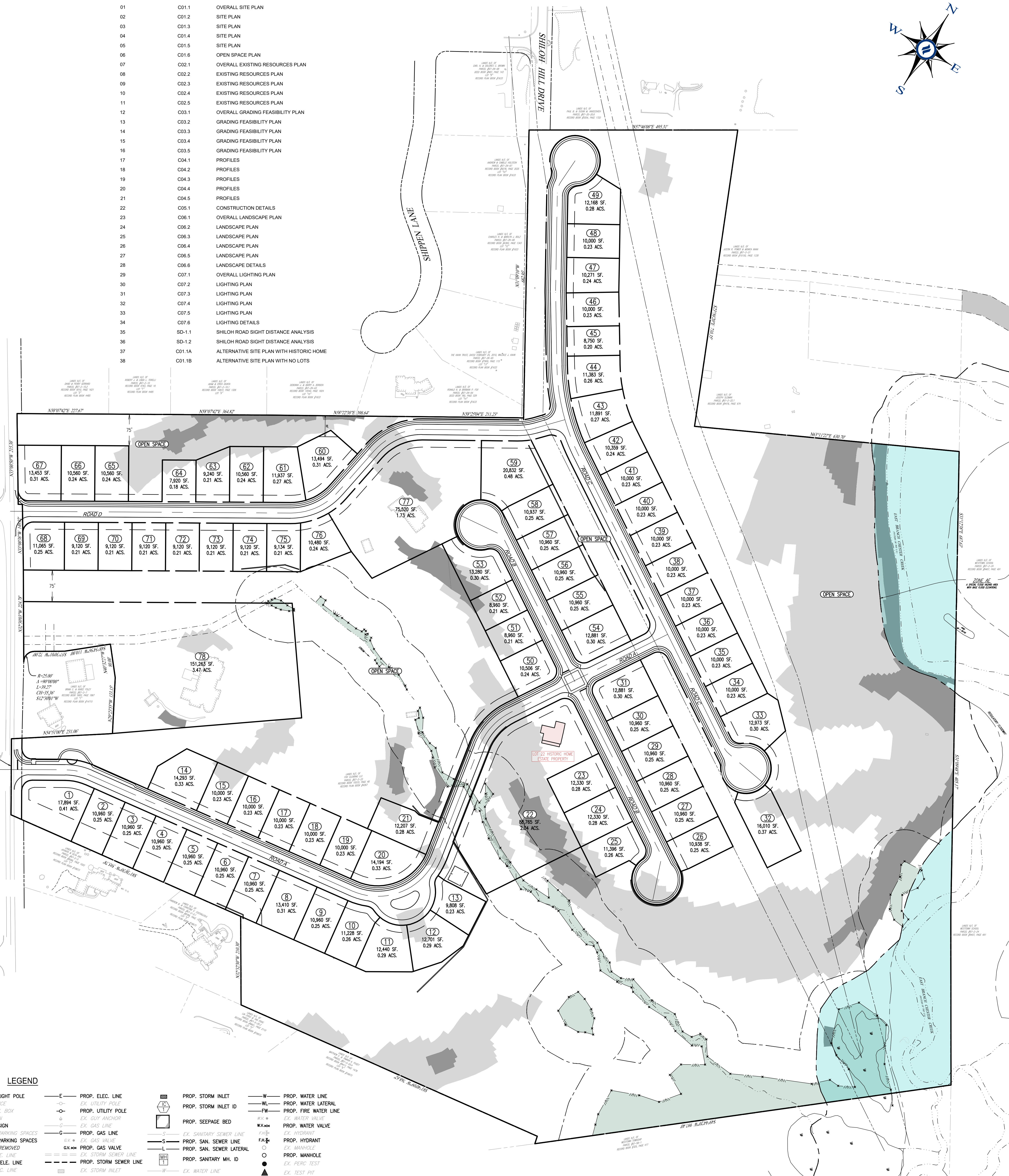
GROSS TRACT AREA = 80,886 ACS (3,523,402 SF)
 25% OF THE GROSS TRACT AREA = 20,221 SF
 AREA OF PRECAUTIONARY STEEP SLOPES = 547,921 SF < 25% OF THE TRACT AREA THEREFORE SECTION 170-402.2(3) DOES NOT APPLY

DRAWING INDEX

| SHEET NUMBER | DRAWING NUMBER | SHEET TITLE |
|--------------|----------------|--|
| 01 | C01.1 | OVERALL SITE PLAN |
| 02 | C01.2 | SITE PLAN |
| 03 | C01.3 | SITE PLAN |
| 04 | C01.4 | SITE PLAN |
| 05 | C01.5 | SITE PLAN |
| 06 | C01.6 | OPEN SPACE PLAN |
| 07 | C02.1 | OVERALL EXISTING RESOURCES PLAN |
| 08 | C02.2 | EXISTING RESOURCES PLAN |
| 09 | C02.3 | EXISTING RESOURCES PLAN |
| 10 | C02.4 | EXISTING RESOURCES PLAN |
| 11 | C02.5 | EXISTING RESOURCES PLAN |
| 12 | C03.1 | OVERALL GRADING FEASIBILITY PLAN |
| 13 | C03.2 | GRADING FEASIBILITY PLAN |
| 14 | C03.3 | GRADING FEASIBILITY PLAN |
| 15 | C03.4 | GRADING FEASIBILITY PLAN |
| 16 | C03.5 | GRADING FEASIBILITY PLAN |
| 17 | C04.1 | PROFILES |
| 18 | C04.2 | PROFILES |
| 19 | C04.3 | PROFILES |
| 20 | C04.4 | PROFILES |
| 21 | C04.5 | PROFILES |
| 22 | C05.1 | CONSTRUCTION DETAILS |
| 23 | C06.1 | OVERALL LANDSCAPE PLAN |
| 24 | C06.2 | LANDSCAPE PLAN |
| 25 | C06.3 | LANDSCAPE PLAN |
| 26 | C06.4 | LANDSCAPE PLAN |
| 27 | C06.5 | LANDSCAPE PLAN |
| 28 | C06.6 | LANDSCAPE DETAILS |
| 29 | C07.1 | OVERALL LIGHTING PLAN |
| 30 | C07.2 | LIGHTING PLAN |
| 31 | C07.3 | LIGHTING PLAN |
| 32 | C07.4 | LIGHTING PLAN |
| 33 | C07.5 | LIGHTING PLAN |
| 34 | C07.6 | LIGHTING DETAILS |
| 35 | SD-1.1 | SHILOH ROAD SIGHT DISTANCE ANALYSIS |
| 36 | SD-1.2 | SHILOH ROAD SIGHT DISTANCE ANALYSIS |
| 37 | C01.1A | ALTERNATIVE SITE PLAN WITH HISTORIC HOME |
| 38 | C01.1B | ALTERNATIVE SITE PLAN WITH NO LOTS |



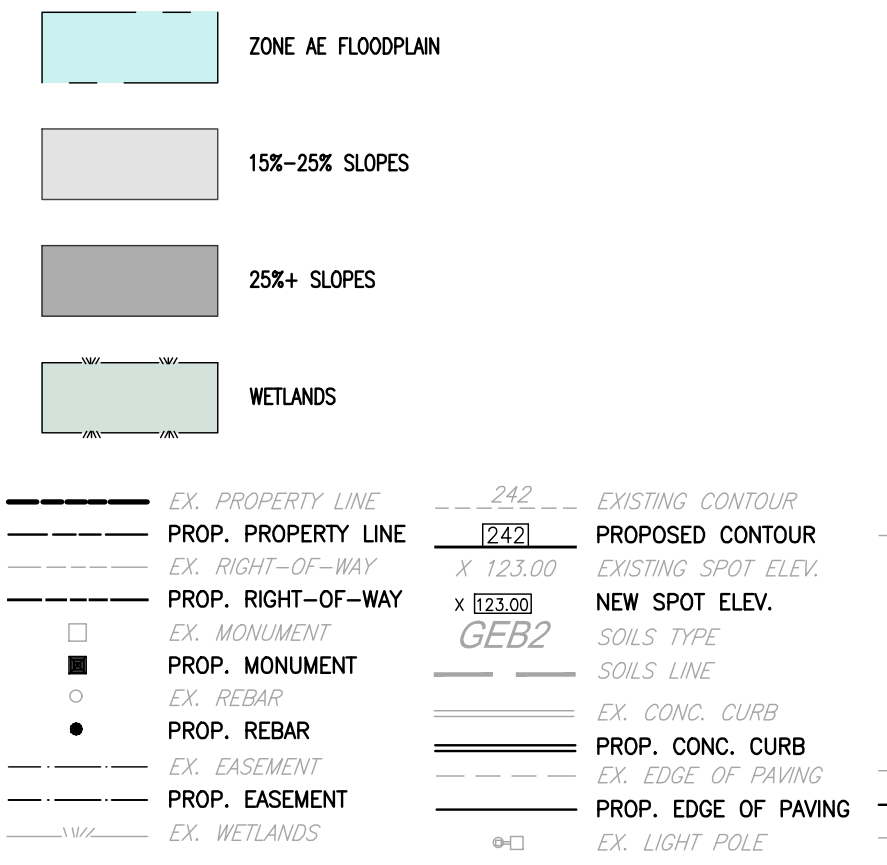
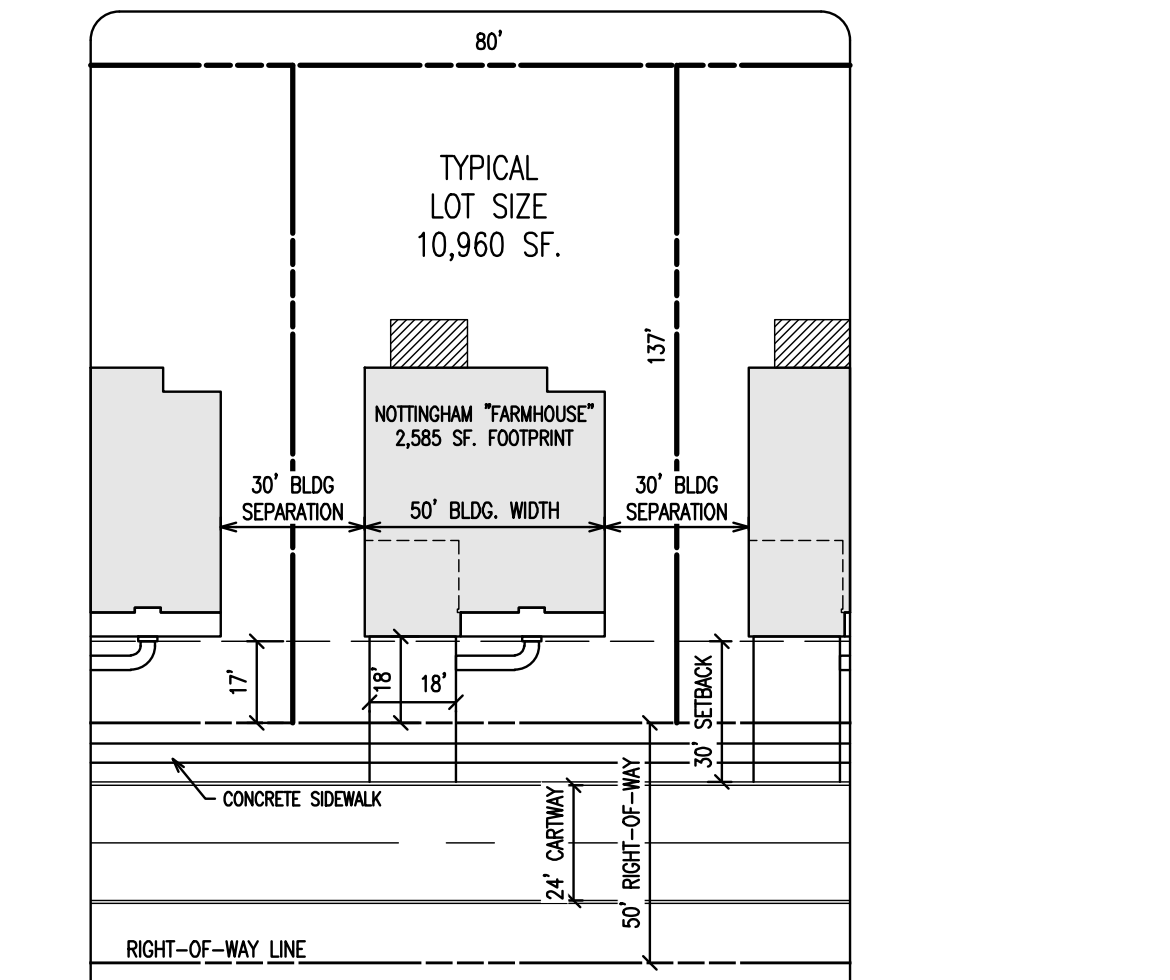
DLHowell
 Civil Engineering
 Land Planning
 Environmental
 www.DLHowell.com
 1250 Wrights Lane
 West Chester, PA 19380
 Phone: (610) 918-9002
 Fax: (610) 918-9003



GENERAL NOTES

- RECORD OWNER/MAILING ADDRESS: FOX CLEARING, LLC, 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601
- SITE ADDRESS: 1013 SHILOH ROAD, WEST CHESTER, PA 19382
- TAX PARCEL #: 67-2-23
- SOURCE OF TITLE: RECORD BOOK 10533, PAGE 4
- LOT AREA: 64,596 ACRES (GROSS) 6,133 ACRES 5,846 ACRES (NET OF SHILOH ROAD R/W)
- BOUNDARY, TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SHOWN ARE FROM FIELD SURVEY BY HOWELL KLINE SURVEYING, LLC, PERFORMED DURING OCTOBER, NOVEMBER, DECEMBER 2020 AND JANUARY 2021.
- CONTOURS & TOPOGRAPHIC INFORMATION PLOTTED FROM AERIAL SURVEY BY NORDASE MAPPING, INC. AERIAL MAPPING WAS PRODUCED TO NATIONAL MAP ACCURACY STANDARDS. GROUND CONTROL AND SUPPLEMENTAL DATA BY HOWELL KLINE SURVEYING, LLC. DATUM: NAVD 83 (COMPILED USING GEOID12A) & NAD 83 (2011) (GPOID20110000) [AS DETERMINED BY GPS OBSERVATION]. SITE BENCH = RM OF SANITARY MANHOLE LOCATED AT THE INTERSECTION OF HUNT DRIVE AND SHILOH ROAD. ELEVATION: 405.91'. CONTOUR INTERVAL: 2 FEET
- UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM OBSERVABLE EVIDENCE AT THE TIME OF SURVEY AND INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES. NO GUARANTEE IS MADE THAT ALL UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
- A PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE AE. A SPECIAL FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS PER THE NATIONAL FLOOD INSURANCE RATE MAP FOR CHESTER COUNTY, PA. MAP NO. 42022021056, PANEL 215 OF 380, DATED SEPTEMBER 29, 2017. FLOOD PLAIN BOUNDARIES SHOWN HEREON WERE SCALED FROM THE ABOVE MENTIONED MAP.
- WETLANDS BOUNDARY LINES WERE DELINEATED BY BROCKHOUSE ENVIRONMENTAL, CONSULTANTS AND ENGINEERS AND VORTEX ENVIRONMENTAL AND FLAGS LOCATED BY HOWELL KLINE SURVEYING, LLC, PERFORMED ON OCTOBER 30, 2020 AND JANUARY 2021 RESPECTIVELY.
- THIS SITE IS CLASSIFIED AS "2-OF LOCAL HISTORIC VALUE" ON THE TOWNSHIP HISTORIC RESOURCES MAP.
- THE PURPOSE OF THIS PLAN IS TO DETAIL THE PROPOSED SITE LAYOUT AS PART OF A SETTLEMENT AGREEMENT OF AN 78 LOT RESIDENTIAL SUBDIVISION INCLUDING, BUT NOT LIMITED TO, CONCEPTUAL STORMWATER MANAGEMENT, GRADING, AND LANDSCAPING.
- SOILS INFORMATION PROVIDED WITH SUPPORT FROM THE NATURAL RESOURCES CONSERVATION SERVICE. SOILS ATTRIBUTE DATA IS SERVED FROM THE NRCS SCS DATA MAP.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.
- AN INDEP. ENGINEER IS REQUIRED TO BE OBTAINED PRIOR TO ANY CONSTRUCTION ACTIVITIES ON THIS SITE.
- ALL DIMENSIONS ARE TO EDGE OF FINISH OR FACE OF BUILDING UNLESS NOTED OTHERWISE. SEALED DIMENSIONS SHALL NOT BE USED WITHOUT FIRST CONTACTING D.L. HOWELL & ASSOCIATES.
- THIS PLAN PROPOSES PUBLIC WATER SUPPLY AND PUBLIC SEWER. PUBLIC WATER WILL BE PROVIDED BY AQUA PENNSYLVANIA. ALL WORK SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND SPECIFICATIONS.
- AN INDIVIDUAL GRADING AND EROSION AND SEDIMENT CONTROL PLAN FOR EACH BUILDING GROUP SHALL BE SUBMITTED WITH THE BUILDING PERMIT FOR THE TOWNSHIP'S REVIEW AND APPROVAL.
- ALL MONUMENTS TO BE SET IN ACCORDANCE WITH WESTOWN TOWNSHIP SUBDIVISION & LAND DEVELOPMENT ORDINANCE.
- ALL PROPOSED UTILITIES MUST BE PLACED UNDERGROUND.
- D.L. HOWELL & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS OF THE EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS. NOR DOES D.L. HOWELL & ASSOCIATES, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF THE WORK.
- THE FINAL ARCHITECTURE AND LOT PLACEMENT FOR EACH HOME IS YET TO BE DETERMINED. FOOTPRINTS ARE FOR CONCEPTUAL PURPOSES ONLY.
- REPRESENTATIVES OF WESTOWN TOWNSHIP AND/OR OTHER GOVERNMENTAL AUTHORITIES SHALL HAVE PERMISSION TO GAIN ACCESS TO THE STORMWATER FACILITIES THROUGH A BLANKET EASEMENT OVER THE PROPERTY TO PERFORM INSPECTIONS, MAINTENANCE AND REPAIRS OF THE BASIN, AS NECESSARY.
- STORMWATER SERVICES SHALL NOT BE REMOVED, ALTERED OR INTERRUPTED BY THE LANDOWNER. IN THE EVENT OF THE FAILURE OF THE LANDOWNER TO COMPLY WITH THESE CONDITIONS AND RESTRICTIONS, THE TOWNSHIP SHALL HAVE THE AUTHORITY TO RESTORE SAID STORMWATER MANAGEMENT FACILITIES TO THEIR ORIGINAL STATE AND THE COSTS THEREOF SHALL BE ASSESSED TO THE LANDOWNER. THE TOWNSHIP, BEFORE IT MAY EXERCISE THIS RIGHT, SHALL NOTIFY THE LANDOWNER BY CERTIFIED MAIL OF ITS INTENTION TO DO SO. THE NOTICE SHALL SET FORTH IN WHAT MANNER THE OWNER HAS ALTERED THE STORMWATER MANAGEMENT FACILITIES, AND IF THE OWNER FAILS TO CORRECT THE ALTERATION LISTED IN THE NOTICE FROM THE TOWNSHIP, THEN AND ONLY THEN THE TOWNSHIP MAY EXERCISE THIS RIGHT.
- A SEWAGE FACILITIES PLANNING MODULE IS REQUIRED IN ACCORDANCE WITH THE SEWAGE FACILITIES PLANNING ACT (ACT 537). APPROVAL OF THIS PLAN IN NO WAY IMPEDES OR GUARANTEES THAT SUCH APPROVAL CAN BE OBTAINED.
- ALL NEW SANITARY WORK, INCLUDING BUT NOT LIMITED TO, SANITARY SEWER MAINS AND APPURTENANCES, MANHOLES, ETC., SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF WESTOWN TOWNSHIP.
- ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH REQUIREMENTS OF WESTOWN TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS APPLICABLE. WESTOWN TOWNSHIP IS NOT RESPONSIBLE FOR INSTALLATION OR MAINTENANCE OF ANY STORMWATER FACILITIES NOT DEDICATED FOR PUBLIC USE.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT OF STORM DRAINAGE FACILITY THAT COULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, ANY EASEMENT AGREEMENT, OR THE STORM DRAINAGE FACILITY.
- THE LIMITS OF DISTURBANCE SHALL BE STAKED IN THE FIELD PRIOR TO CLEARING OF ANY EXISTING DISTURBANCE ANY CHANGE OR ENCROACHMENT ONTO THESE AREAS WITHOUT CONSERVATION DISTRICT REVIEW AND APPROVAL MAY REQUIRE THE CONTRACTOR TO CEASE DISTURBANCE AND OBTAIN AN EARTH DISTURBANCE PERMIT. INSTALL TREE PROTECTION FENCING AROUND PERIMETER OF TREES WHERE LIMIT OF DISTURBANCE ABUTS WOODLANDS.

- REFERENCE PLAN(S)**
- PLAN ENTITLED "PLAN OF SUBDIVISION FOR WILTON R. STOKES", PREPARED BY HENRY S. CONROY, INC., DATED 10/29/1982, LAST REVISED 1/20/1983, RECORD PLAN BOOK #4267.
 - PLAN ENTITLED "PLAN OF PROPERTY FOR HAWTHORNE", PREPARED BY INGRAM ENGINEERING SERVICES, INC., PLOTTED ON 6/29/2016, LAST REVISED 5/3/2016, RECORD PLAN BOOK #1923.
 - PLAN ENTITLED "FINAL PLAN OF LOTS JOHN & CHRISTINE O'BREN", PREPARED BY ROBERT W. MATOJA, PLS INC., DATED 10/5/1998, LAST REVISED 11/5/1998, RECORD PLAN BOOK #14715.
 - PLAN ENTITLED "TWIN GALEX", PREPARED BY MESKO ENGINEERING ASSOCIATES, INC., DATED 12/27/2005, LAST REVISED 2/8/2006, RECORD PLAN BOOK #17755.
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LEGEND

- EX. PROPERTY LINE
- PROP. PROPERTY LINE
- EX. RIGHT-OF-WAY
- PROP. RIGHT-OF-WAY
- EX. MONUMENT
- PROP. MONUMENT
- EX. REBAR
- PROP. REBAR
- EX. EASEMENT
- EX. WETLANDS
- EXISTING CONTOUR
- EXISTING SPOT ELEV.
- NEW SPOT ELEV.
- SOILS TYPE
- SOILS LINE
- EX. CONC. CURB
- PROP. CONC. CURB
- EX. EDGE OF PAVING
- PROP. EDGE OF PAVING
- EX. ELEC. LINE
- PROP. ELEC. LINE
- EX. MAIL BOX
- EX. SIGN
- PROP. SIGN
- EX. GAS MAIN
- EX. GAS VALVE
- EX. GAS VALVE
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- EX. SAN. SEWER LATERAL
- PROP. SAN. SEWER LATERAL
- EX. WATER LINE
- PROP. WATER LINE
- PROP. WATER LATERAL
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
- EX. PERC. TEST
- EX. TEST PIT
- PROP. STORM INLET
- PROP. STORM INLET ID
- PROP. SEEPAGE BED
- EX. SANITARY SEWER LINE
- PROP. SAN. SEWER LINE
- PROP. SAN. SEWER LATERAL
- EX. WATER LINE
- PROP. WATER LINE
- PROP. WATER LATERAL
- PROP. FIRE WATER LINE
- EX. WATER VALVE
- PROP. WATER VALVE
- PROP. HYDRANT
- EX. MANHOLE
- PROP. MANHOLE
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- EX. TEST PIT
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- PROP. STORM INLET ID
- PROP. SEEPAGE BED

RECORD OWNER/APPLICANT:
 FOX CLEARING, LLC
 227 GRANITE RUN DRIVE, SUITE 100
 LANCASTER, PA 17601

OVERALL SITE PLAN
 SCALE: 1"=100'
 100 0 50 100 200
 GRAPHIC SCALE
 1 inch = 100 feet

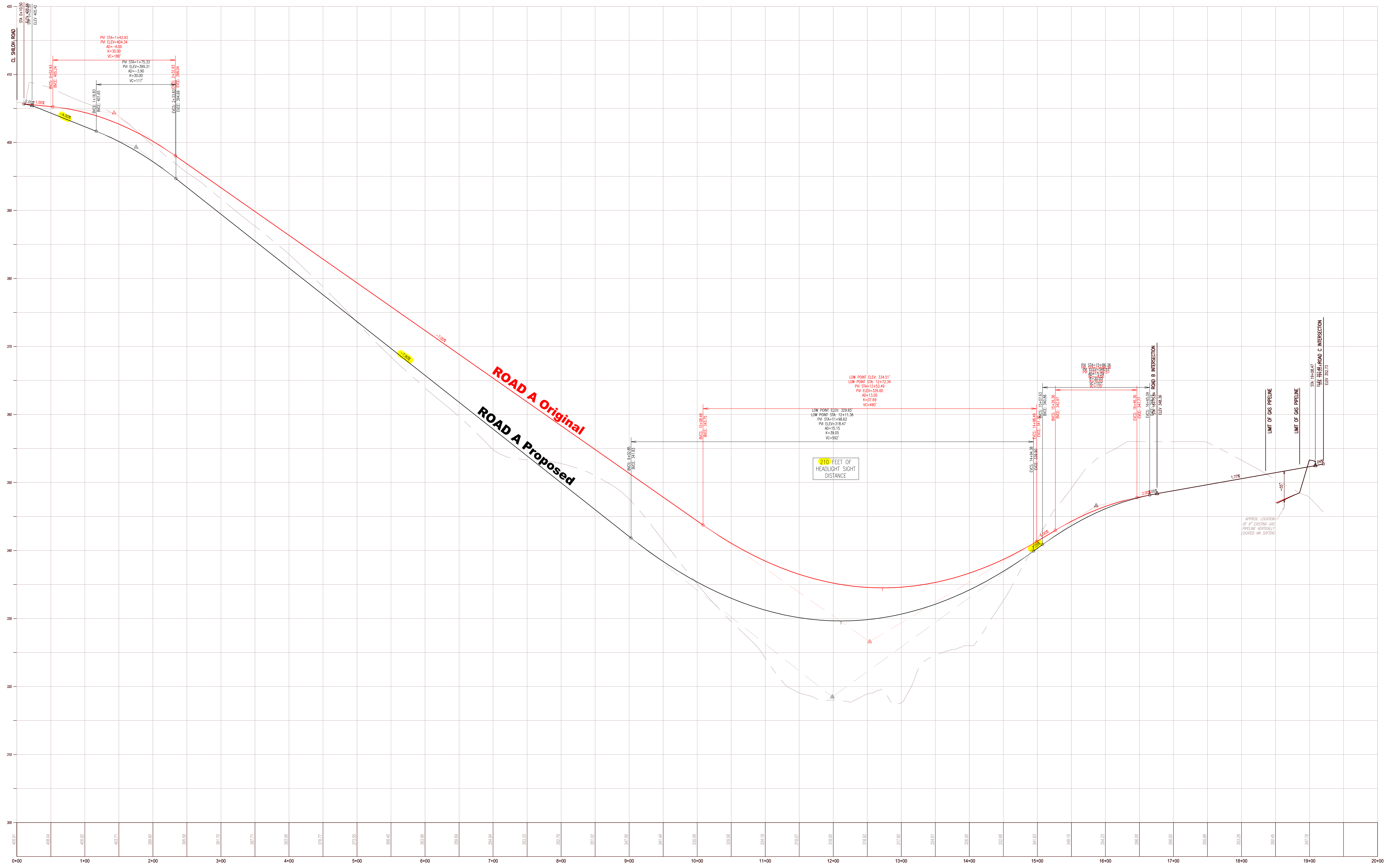
SCALE: 1" = 2,000'

| REV. | DATE | DESCRIPTION |
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| 1 | 03/12/24 | REVISED LOT 23 TO PROVIDE 2 ACRE PRIVATE LOT |
| 2 | 03/12/24 | |
| 3 | 03/12/24 | |
| 4 | 03/12/24 | |
| 5 | 03/12/24 | |
| 6 | 03/12/24 | |
| 7 | 03/12/24 | |
| 8 | 03/12/24 | |

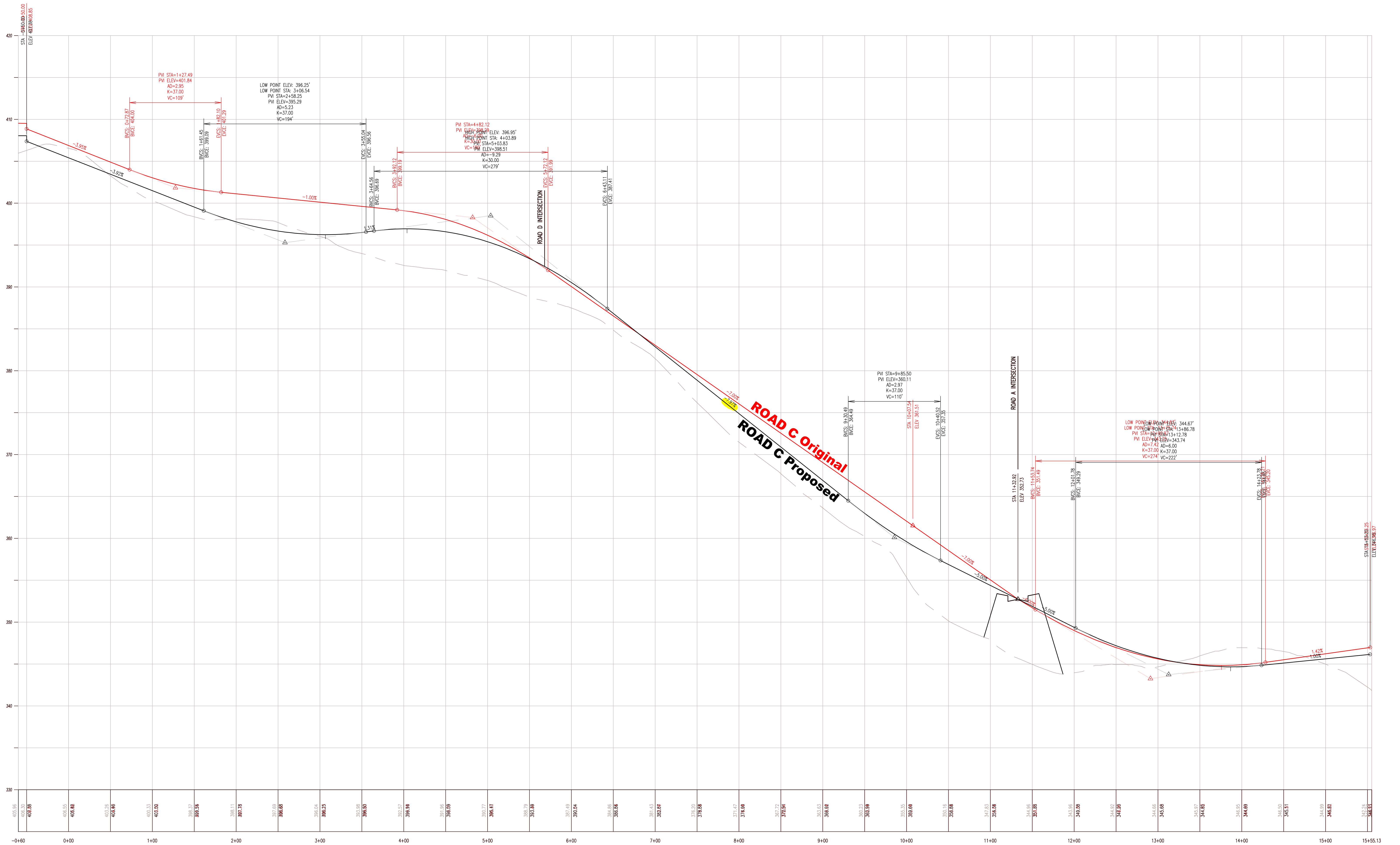
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| 4 | 03/12/24 | |
| 5 | 03/12/24 | |
| 6 | 03/12/24 | |
| 7 | 03/12/24 | |
| 8 | 03/12/24 | |

SETTLEMENT PLAN
OVERALL SITE PLAN
 CLIENT: FOX CLEARING, LLC
 PROJECT: STOKES ESTATE
 LOCATION: 1013 SHILOH ROAD
 WESTOWN TOWNSHIP, CHESTER COUNTY, PA

DATE: 02/28/24
 SCALE: 1"=100'
 DRAWN BY: ADM
 CHECKED BY: DWG
 PROJECT NO.: 3868
 CAD FILE: PLAN - SETTLEMENT.dwg
 PLOTTED: 03/12/24
 DRAWING NO.: C01.1
 SHEET 01 of 01

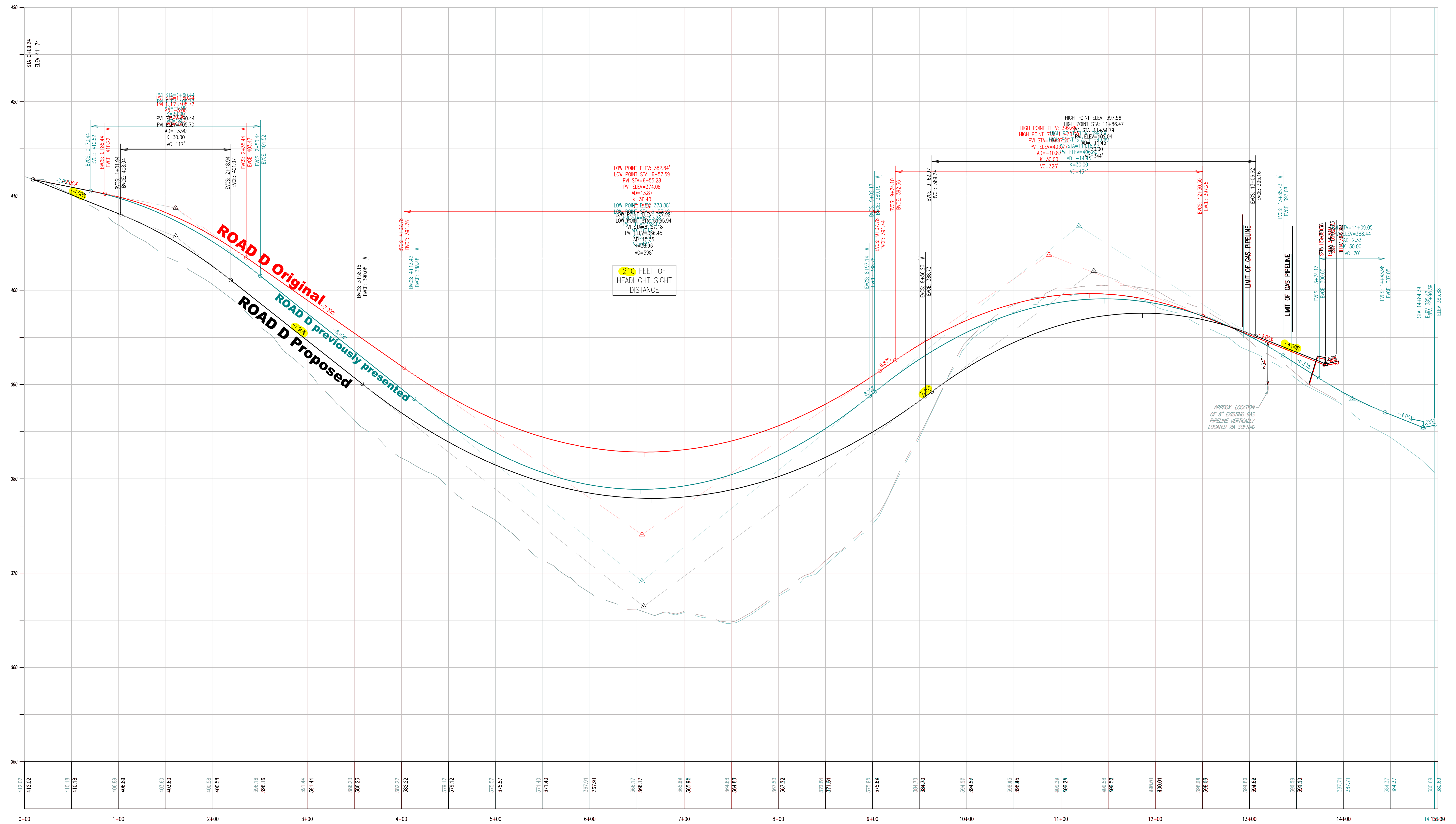


ROAD A PROFILE
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'
ROAD A



ROAD C PROFILE
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'

ROAD C



ROAD D PROFILE
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'

ROAD D