

WESTTOWN TOWNSHIP

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West Chester, PA 19382
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AGENDA **Westtown Township Board of Supervisors** **Workshop Agenda**

Westtown Township Municipal Building
1039 Wilmington Pike, Westtown

Monday, November 18, 2024

Start time: 6:30 PM Workshop

- 1. Final Review of 2025 Proposed Budget Prior to Advertisement – 30 minutes**
- 2. Stokes Estate Conditional Use Settlement Proposal – 15 minutes**
- 3. Public Comment on Workshop Items* - 15 minutes**

Tonight's Workshop will be viewable on Zoom via the following link:

<https://us02web.zoom.us/j/89939917814><https://us02web.zoom.us/j/89939917814>

Or by phone at: 646-558-8656

**The public comment period at the end of the Workshop will last approximately 10 minutes. The public will be asked to limit their remarks to two minutes each to allow others an opportunity to speak. To the extent that further public comment is required, speakers will be asked to save their remarks until the Public Comment - Non-Agenda Items portion of the Regular Board of Supervisors Meeting.*

**2025
CAPITAL PROJECTS FUND
&
OPEN SPACE FUND
PLAN
11/18/2024**



CAPITAL PROJECTS & OPEN SPACE BUDGET CONSIDERATIONS 2025 Priority

Sewer	\$2,220,000	
Pleasant Grove Pump Station Construction & Project Management	\$2,200,000	1
Main Plant - Meter cabinets & electrical components (3)	\$20,000	1
West Goshen Sewer	\$285,000	
WGSA Capital Costs	\$45,000	1
WGSA True-Up as per 2019 Agreement (carry forward from 2024 Budget)	\$240,000	1
Storm Water Management	\$153,246	
Pleasant Grove Stream study & apply for grants	\$103,246	1
Radley Run Stream Restoration (carryover from 2024)	\$50,000	1
Administrative Building Upgrades	\$40,000	
Admin Office Furniture, and Carpet upgrade for 2 rooms (carryover from 2024Budget)	\$40,000	1
Darlington Inn	\$25,000	
Security Cameras	\$10,000	1
Subdivision of 2.41 acres	\$15,000	
Oakbourne Mansion/Parks	\$50,000	Priority
Mansion - front window removal & replacement	\$20,000	1
Tyson Park Playground	\$30,000	2
Mansion Core Parking	\$670,000	
Mansion Core Parking design & construction	\$670,000	1
Open Space - Crebilly Maint/Improvements	\$390,600	
Tree Removal	\$20,500	
Fence Maintenance/Repairs	\$3,500	
Meadow Seeding	\$20,000	
Signage	\$4,600	
Abandon Wells, Remove Oil Tanks & Septic Systems	\$47,000	
Demolition of Structures	\$100,000	
Annual Mowing & Trash Cleanup	\$70,000	
Open Space Master Plan (Engineering) To be offset with \$100,000 Grant	\$125,000	
To be funded by SEWER RESERVES, CAPITAL PROJECTS & LOAN/BOND	\$2,505,000	
To be funded by GENERAL RESERVES & CAPITAL PROJECTS	\$268,246	
To be funded by ARPA Fund	\$670,000	
To be funded by Open Space and Grant	\$390,600	

TOTAL \$3,833,846

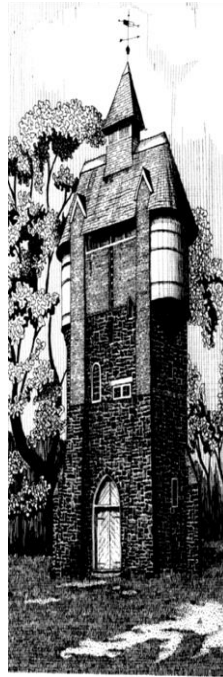
CAPITAL PROJECTS & OPEN SPACE - FUNDING SOURCES

Note that it may be necessary to transfer additional funds from the Capital Reserve Funds, until grant reimbursements are received.

Enterprise WW Fund		<u>\$65,000</u>
WGSA Capital Costs (2025 Allocation)	45,000	
Main Plant - Meter cabinets & electrical components (3)	20,000	
PennVest Loan, Bond and/or Reserves		<u>\$2,200,000</u>
Pleasant Grove Pump Station Construction & Project Manage	2,200,000	
Capital Reserves (GF)		<u>\$158,246</u>
Pleasant Grove Stream study & apply for grants	103,246	
Mansion - front window removal & replacement	20,000	
Darlington Inn - Security Cameras	10,000	
Tyson Park Playground - offset by grant	10,000	
Darlington Inn Subdivision	15,000	
ARPA Fund		<u>\$670,000</u>
Mansion - core parking lot design, paving, landscaping	670,000	
Note: if the cost comes in higher the balance will need to be funded by reserves		
Open Space (OS)		<u>\$290,600</u>
Removing Trees	20,500	
Fence Maintenance/Repairs	3,500	
Meadow Seeding	20,000	
Signage	4,600	
Open Space Master Plan (Engineering) - offset by grant	25,000	
Abandon Wells, remove oil tanks & Septic Systems	47,000	
Demolition of Structures	100,000	
Annual Mowing and Trash Clean up	70,000	
Capital Projects Fund Balance (all are carry over from 2024 budget)		<u>\$330,000</u>
WGSA as per 2019 Agreement	240,000	
Radley Run Stream Restoration	50,000	
Admin Office Furniture, and Carpet upgrade for 2 rooms	40,000	
Grants		<u>120,000</u>
Open Space Master Plan Grant	100,000	
Tyson Park Playground	20,000	
TOTAL - All Sources		<u>\$3,833,846</u>

Westtown Township
County of Chester
Commonwealth of Pennsylvania

Fiscal Year 2025 Draft Budget
11/18/2024



Thomas Foster
Chair

Ed Yost
Vice Chair

Richard Pomerantz
Police Commissioner

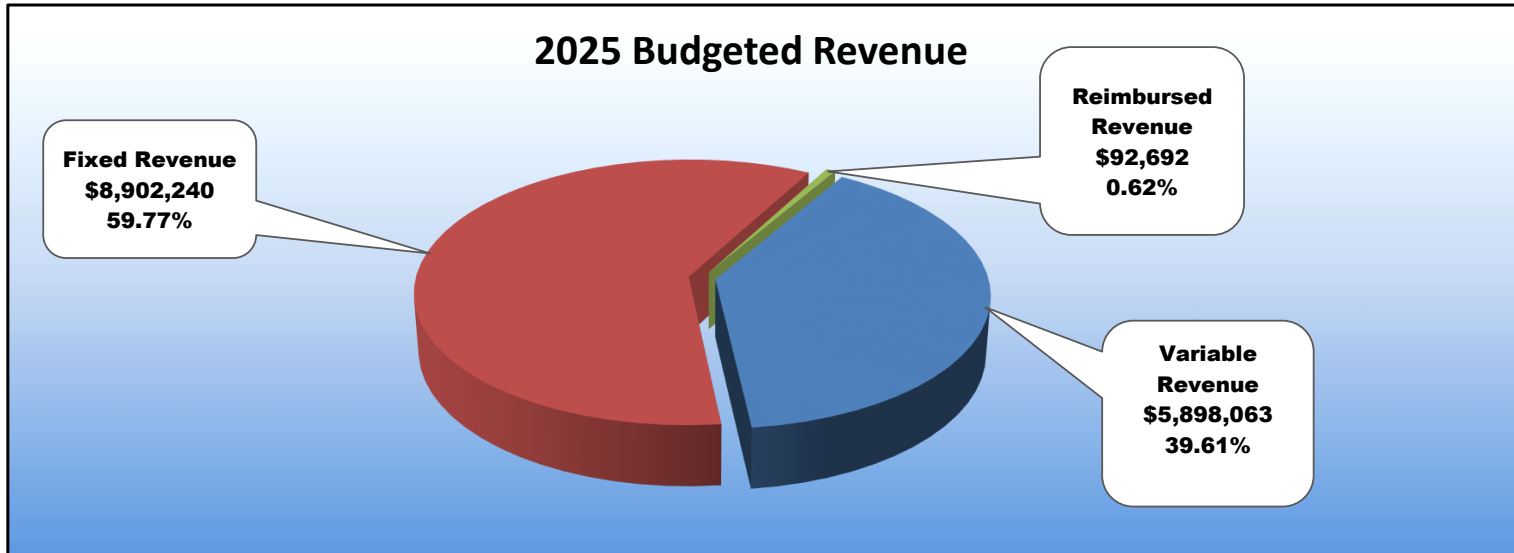
Westtown Township
2025 Budget Summary 11/18/2024 DRAFT

Totals are not yet verified	General Operating Fund 01	Open Space 04	Sewer Operating Fund 08	Refuse Operating Fund 09	Liquid Fuels Fund 35	Debt Service Fund 23	Capital Reserve Fund 30	Capital Projects Fund 18	ARPA Fund 19	Total all Funds
Budgeted Revenues										
Real Estate Taxes	2,900,100	340,696								3,240,796
Act 511 Taxes	4,018,000	515,049								4,533,049
Franchise Fees	200,000									200,000
Fines	66,100									66,100
Interest,Rents/Royalties,Gains/Losses	437,427	18,000	110,000		6,000	33,250	220,000	13,000	20,117	857,794
Grants & Inter-Govt Revenues	211,700	100,000	-	10,000	370,818	-		561,284		1,253,802
Fees for Service	27,070		70	-						27,140
Protective Inspection Fees	282,758									282,758
Sanitation/Trash/Recycling	300		2,942,360	1,557,540						4,500,200
Recreation Program Fees	11,900									11,900
Contribution/Donations/Assess	12,800	-								12,800
Proceeds of Fixed Asset Sale	-							500,000		500,000
Interfund Operating Transfers	-	-				1,927,200	890,000	213,246		3,030,446
Proceeds of Long Term Debt		-						2,200,000		2,200,000
Refunds & Reimbursements	91,042		150	1,500			-			92,692
Total Revenues	8,259,197	973,745	3,052,580	1,569,040	376,818	1,960,450	1,110,000	3,487,530	20,117	20,809,477
Fund Balance Used (from cash acct)	569,026		-	89,089	3,500		-	-	651,320	1,312,935

Total Revenues + Fund Balance 8,828,223 973,745 3,052,580 1,658,129 380,318 1,960,450 1,110,000 3,487,530 671,437 22,122,412

Budgeted Expenditures

General Government	1,064,201	4,200	213,304	128,436		1,850	-	373,246		1,785,236
Police	4,153,229									4,153,229
Fire & Safety and Emerg. Mngmnt	563,194									563,194
Building & Code	189,600									189,600
Planning & Zoning	36,146									36,146
Public Works	1,059,057				378,000			-		1,437,057
SWM & Collection/Disposal/Treatment	8,300		1,099,713	1,502,956				2,355,000		4,965,969
Parks & Commissions	318,259							30,000	671,437	1,019,696
Donations/Library	18,404									18,404
Community Development	44,250	-								44,250
Debt Service	69,239	-				2,016,238				2,085,477
Miscellaneous	4,700		1,000			1,000			-	6,700
Insurance	138,121		55,763	6,183						200,067
Employee Benefits	465,522		60,200	20,555						546,277
Refunds of Prior Year	16,000									16,000
Interfund Transfers	680,000	579,600	1,622,600	-	-	-	148,246	-		3,030,446
Total Expenses	8,828,223	583,800	3,052,580	1,658,129	378,000	2,019,088	148,246	2,758,246	671,437	20,097,749
Annual Fund Credit/(Deficit)	(0)	389,945	0	(0)	2,318	(58,638)	961,754	729,284	0	2,024,663
Revenue plus Fund Balance Used minus Expenses										-



2025 Budgeted Revenue

General Fund	\$8,828,223
Refuse Fund	\$1,658,129
Liquid Fuels Fund	\$380,318
Open Space Fund	\$973,745
Sewer Fund	\$3,052,580
	\$14,892,995

2025 Revenue Categories

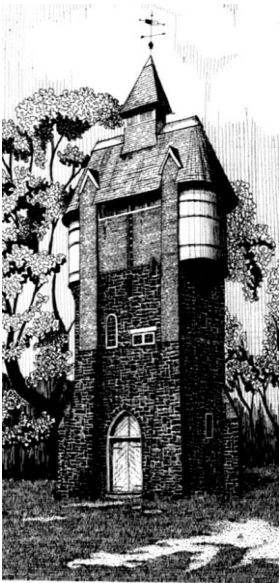
Variable Revenue	\$5,898,063
Fixed Revenue	\$8,902,240
Reimbursed Revenue	\$92,692
	\$14,892,995

As seen in this chart, 39.6% of total revenue budgeted for 2025 relies on VARIABLE INCOME sources such as Real Estate Transfer Tax, Earned Income Tax, Local Services Tax, Franchise Fees, Fines/Rents, Charges for Services, Inspection Fees, and cash reserve appropriations.

The FIXED REVENUE sources include Property Taxes, Leases, Trash and Sewer User Fees, On Lot Assessments, as well as Intergovernmental Revenues such as Liquid Fuels Tax represent 56.74% of the budget.

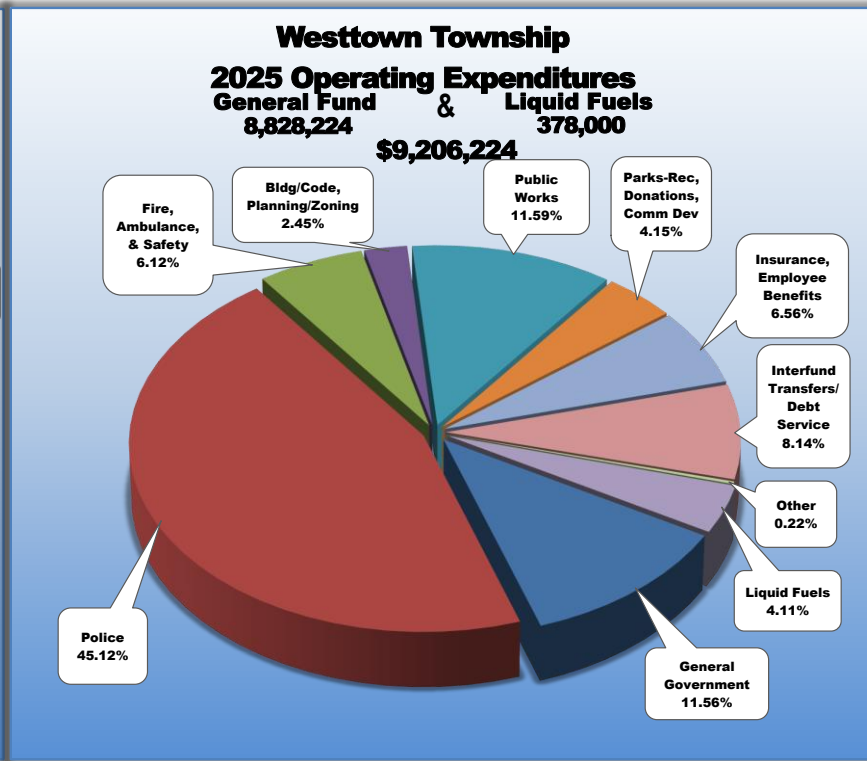
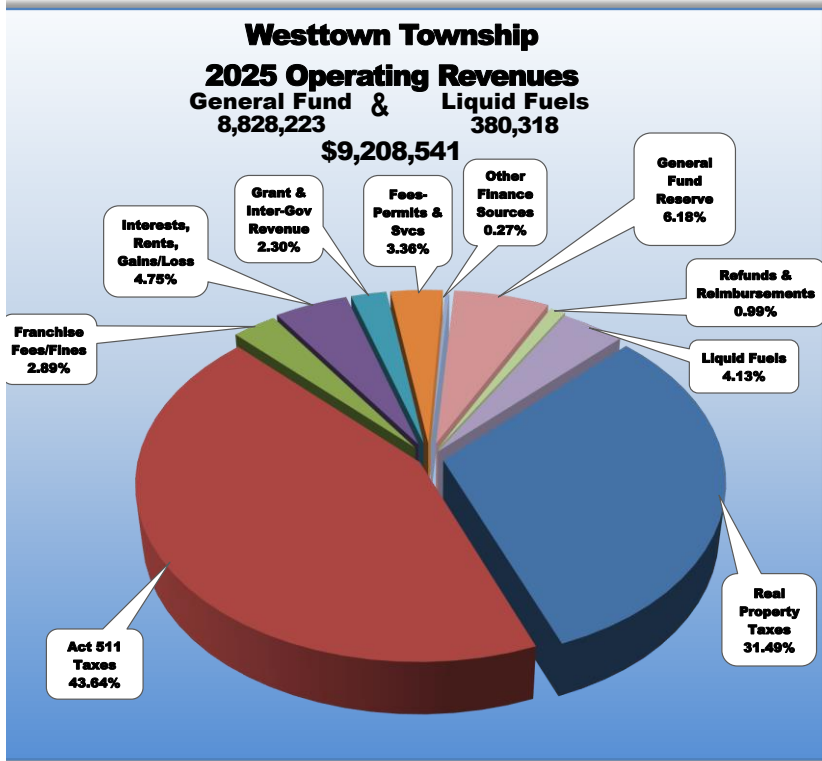
The REIMBURSED REVENUE category represents reimbursement of fees by developers/residents for legal, engineering and third party contractor plan reviews/inspections, and experience reimbursements/refunds of insurance premiums.

WESTTOWN TOWNSHIP
2025 General Fund Operating Draft Budget



11/18/2024

Fiscal Year 2025 Operating and Liquid Fuel Funds



Glossary

Real Property - 3.5 mills levied on assessed value of taxable property for General Purpose.

Act 511 Taxes - 1/2% Earned Income Tax for General Purpose, \$52.00 Local Services Tax, and 1/2% Realty Transfer Tax.

Shares Revenue - Shared Revenues, Grants & Magistrate Fines.

Liquid Fuels - Annual Allocation from the Liquid Fuels Tax Fund

Fees & Permits - On-Lot Fees, protective inspection & building permits, etc.

Misc - Rents, cable franchise fees, false alarm fees, sales & interest earned.

Other Financing Sources - Developer's reimbursements, refunds.

Police - Payments to Westtown-East Goshen Police budget, Debt Service Sinking Funds, Refunded Police Building Bond of 2004, Pension, Post Employment Pension Reserve.

Fire & Safety - Payments to volunteer fire & ambulance, SPCA and Emergency Mgmt.

Administrative - Legislative, legal, engineering, planning, zoning, code, tax collection.

Public Works - Roads, winter maintenance, traffic control, street construction, PW Vehicles etc.

Parks & Rec - Park maintenance, Oakbourne Mansion, recreation program and forestry management, Open Space.

Personnel - Employee payroll and benefit costs.

Interfund Transfer & Debt Service - Sinking Fund payments (GO Bond 2021 & GO Bond 2022) & Reser

The additional 0.21 mills of Real Property Tax, and 0.04% Earned Income Tax levied for Open Space Preservation is reflected in the Open Space Fund, and therefor is not part of these charts.

General Fund Revenue

		2023 ACTUAL	2024 Budget	2024 Year End Projection	2025 Proposed	\$ Variance 2024 -2025 Proposed	% Variance 2024-2025
Beginning Cash Balance				7,490,249	7,340,771		
(301) Real Property Taxes							
01-301-100	Real Estate Taxes - Current Yr	2,820,779	2,840,855	2,840,855	2,850,000	9,145	0.32%
01-301-200	Real Estate Taxes - Prior Yr		500	-	100	100	100.00%
01-301-400	Real Estate Taxes - Delinquent	25,080	25,000	28,000	30,000	2,000	7.14%
01-301-600	Real Estate Taxes - Interim	31,363	15,000	12,000	20,000	8,000	66.67%
Subtotal (301) Real Property Taxes:		2,877,221	2,881,355	2,880,855	2,900,100	19,245	0.67%
(310) Act 511 Taxes							
01-310-100	Real Estate Transfer Tax	385,052	325,000	340,000	350,000	10,000	2.94%
01-310-210	Earned Income Tax	3,365,216	3,450,000	3,450,000	3,500,000	50,000	1.45%
01-310-410	Local Services Tax	160,397	158,500	170,000	168,000	-2,000	-1.18%
Subtotal (310) Act 511 Taxes:		3,910,665	3,933,500	3,960,000	4,018,000	58,000	1.46%
(321) Franchise Fees							
01-321-800	Franchise Fee - Comcast	107,271	106,000	100,000	95,000	-5,000	-5.00%
01-321-801	Franchise Fee - SBA	20,639	21,200	1,725	-	-1,725	-100.00%
01-321-802	Franchise Fee - Verizon	114,851	110,000	109,600	105,000	-4,600	-4.20%
Subtotal (321) Franchise Fees:		242,761	237,200	211,325	200,000	-11,325	-5.36%
(331) Fines							
01-331-000	Court-District Magistrate	34,107	26,000	47,000	38,000	-9,000	-19.15%
01-331-100	State Police Fines/Penalties	4,960	5,000	5,000	5,200	200	4.00%
01-331-120	Ordinance Violations	1,500	5,000	10,124	2,450	-7,674	-75.80%
01-331-125	False Alarm Fines/Residential	950	525	550	450	-100	-18.18%
01-331-130	False Alarm Fines/Commercial	29,400	18,000	30,000	20,000	-10,000	-33.33%
Subtotal (331) Fines:		70,917	54,525	92,674	66,100	-26,574	-28.67%
(341) Interest Earnings							
01-341-000	Interest Earnings	12,400	50,000	184,000	175,000	-9,000	-4.89%
01-341-106	Interest - PLGIT	221,287	150,000	150,000	130,000	-20,000	-13.33%
01-341-107	Interest on US Treasury Notes/KBCM	5,638	15,000	4,463	-	-4,463	-100.00%
01-341-700	Interest on Dev Reimbursement	167	50	841	200	-641	-76.22%
Subtotal (341) Interest Earnings:		239,491	215,050	339,304	305,200	-34,104	-10.05%

General Fund Revenue

		2023 ACTUAL	2024 Budget	2024 Year End Projection	2025 Proposed	\$ Variance 2024 -2025 Proposed	% Variance 2024-2025
(342) Rents and Royalties							
01-342-100	Township Park/Land Fees	3,115	3,500	3,500	3,500	0	0.00%
01-342-150	Oakbourne Fields Lease	-	6,000	6,375	6,000	-375	-5.88%
01-342-200	Township Building - Gatehouse	17,800	18,724	18,724	19,100	376	2.01%
01-342-220	Oakbourne Mansion Events	36,480	40,000	40,000	20,000	-20,000	-50.00%
01-342-240	Tower Lease - Oakbourne	40,929	41,000	62,157	41,747	-20,410	-32.84%
01-342-250	Garage Lease - American Twr	39,476	40,660	40,660	41,880	1,220	3.00%
Subtotal (342) Rents & Royalties:		137,800	149,884	171,416	132,227	-39,189	-22.86%
(343) Realized Gain/Loss							
01-343-000	Realized Gains/Losses	47,023		30,275	-	-30,275	-100.00%
Subtotal (343) Realized Gain/Loss:		47,023	-	30,275	-	-30,275	-100.00%
(355) State Shared Revenues							
01-355-010	PURTA Monies	5,940	6,200	6,775	6,500	-275	-4.06%
01-355-040	Alcoholic Beverages Licenses	200	200	200	200	0	0.00%
01-355-070	Foreign Fire Insurance Monies	98,051	100,000	99,184	100,000	816	0.82%
01-355-090	State Aid - Pension	87,975	88,000	100,991	105,000	4,009	3.97%
Subtotal (355) State Shared Revenues:		192,166	194,400	207,150	211,700	4,550	2.20%
(361) Twp Sales/Charges for Svcs							
01-361-300	Zoning/Subdivision/Dev Fees	250	500	500	500	0	0.00%
01-361-330	Board of Supv Hearing Fee/CU	10,000	2,500	2,500	2,500	0	0.00%
01-361-340	Hearing Fees/ZHB	9,375	7,500	5,000	5,000	0	0.00%
01-361-350	ZHB Additional Fees	3,890	1,000	2,035	1,000	-1,035	-50.86%
01-361-555	Miscellaneous Sales	771	100	877	500	-377	-42.95%
01-361-600	Tax Certification Fees	13,940	17,500	17,500	17,500	0	0.00%
01-361-601	NSF Return Check Fee	70	70	105	70	-35	-33.33%
Subtotal (361) Twp Sales/Charges for Svcs:		38,295	29,170	28,517	27,070	-1,447	-5.07%
(362) Protective Inspection Fees							
01-362-110	Police Reports-Background Checks	475	200	1,425	625	-800	-56.14%
01-362-409	Annual Contractor's Licenses	450	600	500	372	-128	-25.67%
01-362-410	Residential Building Permits	67,677	75,000	60,000	65,559	5,559	9.27%
01-362-420	Commercial Building Permits	108,426	80,000	65,000	60,992	-4,008	-6.17%
01-362-423	HVAC Permit	11,280	8,000	8,000	9,189	1,189	14.86%

General Fund Revenue

		2023 ACTUAL	2024 Budget	2024 Year End Projection	2025 Proposed	\$ Variance 2024 -2025 Proposed	% Variance 2024-2025
01-362-424	Demolition Permit	776	500	536	580	44	8.13%
01-362-425	Solar Building Permit	2,051	1,000	7,750	3,100	-4,650	-60.00%
01-362-430	Plumbing Permit	1,715	1,600	1,500	1,450	-50	-3.36%
01-362-435	Annual Plumbing License	2,920	1,700	2,500	1,811	-689	-27.57%
01-362-450	U&O Permit - Residential Resale	8,505	9,500	6,500	8,925	2,425	37.31%
01-362-451	U&O Permit - Reinspection Resale	2,475	4,500	3,000	3,896	896	29.85%
01-362-452	U&O Permit - Commercial	1,627	500	2,000	679	-1,321	-66.04%
01-362-453	Twp U&O Administrative Fee	1,215	1,500	1,000	1,406	406	40.56%
01-362-454	Twp Permit Admin Fee	51,532	35,000	32,000	37,072	5,072	15.85%
01-362-455	CO Fees Collected	3,870	8,000	8,000	7,382	-618	-7.72%
01-362-460	Pool Permits	5,123	4,000	4,000	4,676	676	16.90%
01-362-461	Shed Permits	1,340	1,000	1,050	1,073	1,000	2.22%
01-362-462	Roof Permits	2,644	2,000	5,500	2,185	-3,315	-60.28%
01-362-464	Fence Permits	1,650	1,750	1,650	1,764	114	6.92%
01-362-465	Deck Permits	5,064	4,000	6,960	4,953	-2,007	-28.84%
01-362-470	Sign Permits	300	800	500	1,105	605	121.05%
01-362-475	Zoning Permits	1,690	300	1,250	565	-685	-54.80%
01-362-480	Highway Occupancy Permits	15,630	14,000	14,000	12,650	-1,350	-9.65%
01-362-481	E&S Permit	4,960	6,000	5,000	6,220	1,220	24.39%
01-362-482	SWM BMP Inspection Fees	2,500	1,500	2,000	2,250	250	12.50%
01-362-485/486	Solicitor Fee/Mo & Annual	420	750	2,500	1,357	-1,143	-45.73%
01-362-490	Miscellaneous Permits		200	215	-	-215	-100.00%
01-362-500	On-Lot Assessment Fees	38,655	39,000	38,700	38,861	161	0.42%
Subtotal (362) Protective Insp. Fees:		344,971	302,900	283,036	282,758	-278	-0.10%
(364) Sanitation Fees							
01-364-600	Delinquent On-Lot Collections	277	150	375	300	-75	-20.00%
Subtotal (364) Sanitation Fees		277	150	375	300	-75	-20.00%
(367) Recreation Program Fees							
01-367-200	Recreation Program Fees				10,000		
01-367-250	Community Garden Fees	1,700	1,700	1,900	1,900	0	0.00%
Subtotal (367) Recreation Program Fees:		1,700	1,700	1,900	11,900	10,000	526.32%
(387) Contribution/Donation/Pvt Source							
01-383-130	Special Assessment-Aqua in Lieu Of	261,462	-	-	-	0	0.00%
01-383-200	Fee-In-Lieu of trees - Sawmill Court	22,000		13,200	8,800		

General Fund Revenue

		2023 ACTUAL	2024 Budget	2024 Year End Projection	2025 Proposed	\$ Variance 2024 -2025 Proposed	% Variance 2024-2025
01-387-100	Contribution/Donation-Private	1,801	-	1,950	4,000	2,050	105.13%
Subtotal (387) Contributions/Etc:		285,263	-	15,150	12,800	-2,350	-15.51%
<u>(395) Refunds & Reimbursements</u>							
01-395-001	Refunds of Prior Yr Expense	20,742	10,000	10,000	10,000		
01-395-100	Misc Refunds/Reimbursements	939	1,000	1,000	1,000	0	0.00%
01-395-210	Reimbursement/Newsletter/AJB		-	-	-	0	0.00%
01-395-220	Reimbursement/AmTower Electric	4,043	8,000	8,000	7,000	-1,000	-12.50%
01-395-230	Reimbursement/Joint Ownership	17,086	10,000	26,474	34,000	7,526	28.43%
01-395-235	TelventSateliteSvc-E.Goshen	2,196	2,300	2,306	2,450	144	6.24%
01-395-240	Reimburse/WEGO Maint/Diesel	1,950	4,000	7,500	4,000	-3,500	-46.67%
01-395-250	Reimbursed RE Taxes	11,603	11,603	11,730	11,730	0	0.00%
01-395-257	Reimbursement - WEGO Bldg Ins.	10,699	11,000	12,147	13,362	1,215	10.00%
01-395-265	Capital One - Prior Year Credit	76,777		-	-		
01-395-700	Developers Reimbursements	7,483	7,500	7,500	7,500	0	0.00%
Subtotal (395) Refunds/ Reimbursements		153,517	65,403	86,657	91,042	4,385	5.06%
<u>(399) Fund Balance Appropriation</u>			584,803		569,026		
Total General Fund Revenue & Fund Balance Appro		8,611,082	8,650,040	8,316,582	8,828,223	511,641	6.15%

General Fund Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
<u>(400) Legislative (Governing) Body</u>							
01-400-100	Legislative	9,750	9,750	9,750	9,750	0	0.00%
01-400-161	FICA	605	605	605	605	0	-0.08%
01-400-162	Medicare Employer	141	141	141	141	0	0.27%
01-400-200	Legislative Body Expenses	3,091	4,000	2,000	4,000	2,000	100.00%
01-400-320	IPAD- Pomerantz	162	200	562	180	-382	-67.97%
01-400-330	IPAD- Foster	392	225	220	180	-40	-18.18%
01-400-340	IPAD- Yost	162	200	500	180	-320	-64.00%
Subtotal (400) Legislative Body:		14,303	15,621	13,778	15,036	1,258	9.13%
<u>(401) Professional Staff</u>							
01-401-100	Admin Manager	103,475	124,024	100,000	128,380	28,380	28.38%
01-401-110	Professional Staff	187,273	188,240	138,000	186,600	48,600	35.22%
01-401-120	On Lot Management Staff	47,628	28,407	26,500	28,814	2,314	8.73%
01-401-161	FICA	25,608	21,122	20,000	21,315	1,315	6.58%
01-401-162	Medicare Employer	5,989	4,940	4,521	4,985	464	10.26%
01-401-163	PA UC Employer	485	450	500	500	0	0.00%
01-401-310	Zoning Consulting Services	-	-	25,000	0	-25,000	-100.00%
Subtotal (401) Professional Staff:		370,458	367,182	314,521	370,594	56,073	17.83%
<u>(402) Financial Administration</u>							
01-402-311	Auditing Service	15,310	20,800	16,000	20,000	4,000	25.00%
Subtotal (402) Financial Administration:		15,310	20,800	16,000	20,000	4,000	25.00%
<u>(403) Tax Collection</u>							
01-403-000	Tax Collection	199	250	250	250	0	0.00%
01-403-210	Office Supplies-Tax Dept	364	500	500	500	0	0.00%
01-403-305	Tax Collection Committee Budget	508	530	530	530	0	0.00%
01-403-310	EIT Tax Commission	40,369	38,000	40,500	41,000	500	1.23%
01-403-315	EIT/LST Advanced Costs	3,900	1,400	1,400	1,500	100	7.14%
01-403-320	LST Tax Commission	1,962	3,000	2,200	2,400	200	9.09%
01-403-325	Postage -Tax Dept	2,370	2,600	2,600	2,600	0	0.00%
01-403-342	Tax Bills Processing/Printing	398	650	443	500	57	12.87%
Subtotal for (403) Tax Collection:		50,071	46,930	48,423	49,280	857	1.77%

General Fund Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
<u>(404) Legal Services</u>							
01-404-310	Solicitor	38,725	75,000	70,000	70,000	0	0.00%
01-404-320	Misc Legal Services	825		2,800	2,500	-300	-10.71%
01-404-400	Legal Fees Due from Developer	2,600	2,500	(1,620)	1,000	2,620	-161.73%
01-404-451	Crebilly Farm Acquisition Legal Fees	14,821	-	6,100	move to OS Fund		
01-404.454	Stokes Legal Fees			9,500			
01-404-600	Legal Fees - On Lot Program	140	200	-	200	200	100.00%
Subtotal for (404) Legal Services:		57,111	77,700	86,780	73,700	-13,080	-15.07%
<u>(405) Administrative Staff</u>							
01-405-110	Office/Clerical Staff	38,423	93,440	87,000	101,192	14,192	16.31%
01-405-115	PT Accounts Payable Clerk	17,878	17,488	17,000	18,150	1,150	6.76%
01-405-161	FICA	3,960	7,498	7,316	7,771	455	6.22%
01-405-162	Medicare Employer	926	1,753	1,711	1,817	106	6.22%
01-405-163	PAUC Employer	154	450	450	450	0	0.00%
01-405-180	Office/Clerical Overtime	11,825	10,000	14,000	6,000	-8,000	-57.14%
Subtotal for (405) Administrative Staff:		73,165	130,629	127,477	135,381	7,904	6.20%
<u>(406) General Government Admin</u>							
01-406-000	General Gov Administration	117	500	500	500	0	0.00%
01-406-050	Drug Testing	1,512	1,000	600	1,000	400	66.67%
01-406-100	HR Consultant	-	-	7,250	-		
01-406-210	Office Supplies - Admin	8,060	8,300	8,300	8,500	200	2.41%
01-406-230	Office Postage	4,627	4,636	4,636	4,700	64	1.38%
01-406-240	General Operating Expenses	8,635	8,516	8,516	9,000	484	5.68%
01-406-260	Minor Equipment	656	4,800	2,000	2,000	0	0.00%
01-406-270	Phone System Upgrade	11,741	-	-	-	0	0.00%
01-406-320	Communication/Tele-Wireless	9,019	9,300	10,000	10,000	0	0.00%
01-406-325	EE Meal Reimbursement	227	500	250	400	150	60.00%
01-406-330	Mileage/Tolls	629	1,000	750	750	0	0.00%
01-406-335	Admin Vehicle/Repairs	81	1,500	1,500	1,500	0	0.00%
01-406-340	Newsletter	25,117	23,000	25,100	25,200	100	0.40%
01-406-341	Advertising	5,290	9,000	11,500	9,500	-2,000	-17.39%
01-406-342	Printing	-	200	225	250	25	11.11%
01-406-370	Equipment Repair/Maintenance	4,415	3,000	3,500	3,700	200	5.71%

General Fund Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
01-406-380	Equipment Rental	1,881	2,600	2,600	2,600	0	0.00%
01-406-420	Membership/Dues/Subscriptions	9,296	8,700	8,700	9,000	300	3.45%
01-406-460	Training & Information	2,082	3,000	2,500	2,500	0	0.00%
01-406-510	Honorarium & Gifts	254	1,000	350	350	0	0.00%
01-406-600	On-Lot Program Office Supplies	128	600	500	500	0	0.00%
01-406-602	On-Lot Program Printing	-	500	500	500	0	0.00%
01-406-603	On-Lot Program Postage	1,918	800	1,207	1,200	-7	-0.58%
01-406-604	On-Lot Program Office Equipment	-	500	-	250	250	100.00%
Subtotal for (406) General Gov't Admin:		95,685	92,952	100,984	93,900	-7,084	-7.01%
(407) IT - Networking Services							
01-407-215	Computer Hardware Svc/Supply	12,826	25,000	30,000	20,000	-10,000	-33.33%
01-407-218	Square 9 Filing System	1,080	1,200	1,080	1,200	120	11.09%
01-407-220	Software Maintenance	13,717	20,000	14,000	15,000	1,000	7.14%
01-407-270	ArcGIS	-	1,500	-	1,500	1,500	100.00%
01-407-320	Phone System Maintenance	314	500	350	350	0	0.00%
01-407-325	Garage Computer Services	760	1,000	800	5,000	4,200	525.00%
01-407-330	Garage IPAD	324	400	350	360	10	2.86%
01-407-400	Web Site Programming	9,000	-	-	-	0	0.00%
01-407-480	Internet Fees	6,780	6,500	9,000	9,000	0	0.00%
Subtotal for (407) IT - Networking Services		44,800	56,100	55,580	52,410	-3,170	-5.70%
(408) Engineering							
01-408-313	Engineering Services	22,769	28,000	20,000	25,000	5,000	25.00%
01-408-314	Special Engr-NPDES MS4 Permit Svcs	47,118	50,000	50,000	45,000	-5,000	-10.00%
01-408-315	Engineering-Road Program	60,127	55,000	67,500	68,000	500	0.74%
01-408-316	Inspection Services	-	1,500	1,500	1,500	0	0.00%
01-408-350	Municipal Traffic Engineering	2,378	7,500	7,500	7,500	0	0.00%
01-408-400	Engr Svc Due from Developer	15,374	2,000	-	4,500	4,500	100.00%
01-408-410	Engr. Insp Svc Due from Dev	151	200	-	200	200	100.00%
Subtotal for (408) Engineering:		147,916	144,200	146,500	151,700	5,200	3.55%
(409) General Government Buildings							
01-409-230	Heating Fuel - Darlington Inn				1,200		
01-409-250	Repairs/ Maintenance Supplies	104	1,000	800	800	0	0.00%

General Fund Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
01-409-361	Utilities - Admin	10,462	14,400	11,000	12,000	1,000	9.09%
01-409-362	Utilities - Darlington Inn				6,000		
01-409-366	Water/Supplies- Admin	1,277	2,000	1,650	1,650	0	0.00%
01-409-370	Repair/Maintenance Svcs	8,505	8,000	9,250	9,250	0	0.00%
01-409-420	Administration Building Exp	2,203	6,000	5,000	5,000	0	0.00%
01-409-430	Township Garage Exp	9,507	10,000	9,500	10,000	500	5.26%
01-409-431	PW Garage Utilities	15,678	22,000	18,500	20,000	1,500	8.11%
01-409-440	Oakbourne Mansion	21,230	26,000	25,000	25,000	0	0.00%
01-409-445	Gatehouse at Oakbourne	6,887	10,000	5,000	7,500	2,500	50.00%
01-409-446	Darlington Inn Expenses				5,000		
01-409-730	Capital Expense - Admin Bldg	18,270	5,000	6,429			
01-409-735	Capital Expense - PW Garage	12,055	5,000	-			
01-409-740	Capital Expense - Mansion	22,507	20,000	-			
01-409-750	Capital Purchase-Minor Equipment	-	5,000	-			
Subtotal for (409) General Gov't Bldgs:		128,685	134,400	92,129	102,200	10,071	10.93%
<u>(410) Public Safety - Police</u>							
01-410-010	Police Department - Budget V-5	3,429,057	4,165,315	4,165,315	4,118,078.97	-47,236	-1.13%
01-410-200	Police Building Property Insurance	10,699	11,000	12,147	13,000	853	7.02%
01-410-610	Police Bldg Capital Reserve Account	21,100	21,650	21,650	22,150	500	2.31%
01-492-200	Debt Service-Police Building	132,000	ended Dec 2023	-	ended Dec 2023	0	0.00%
Subtotal (410) Public Safety - Police:		3,592,856	4,197,965	4,199,112	4,153,229	-45,883	-1.09%
<u>(411) Public Safety - Fire</u>							
01-411-115	Fire Inspector	330	1,900	1,000	1,200	200	20.00%
01-411-161	Fire Inspector Fica Tax	20	118	62	74	12	20.00%
01-411-162	Fire Inspector Medicare Tax	5	28	15	17	3	20.00%
01-411-163	Fire Inspector UC	3	20	9	20	11	122.22%
01-411-238	Fire Inspector Clothing/Uniforms		2,762	2,653	500	-2,153	-81.15%
01-411-360	Fire Hydrant Rentals	77,589	78,000	77,500	78,000	500	0.65%
01-411-370	Fire Equip Repair/Maintenance	3,799	1,000	1,000	1,000	0	0.00%
01-411-420	Fire - Membership/Dues		-	181	200	19	10.50%
01-411-450	Alarm System Contract	1,199	2,700	1,199	1,250	51	4.25%
01-411-455	Alarm System Contract-PW Garage	2,607	3,000	2,607	2,800	193	7.40%
01-411-510	Volunteer EMT Credit	-	7,500	6,157	6,500	343	5.57%
01-411-531	Contribution - WC Borough	108,656	115,695	115,695	119,591	3,896	3.37%

General Fund Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
01-411-532	Contribution - Goshen Fire Co	126,000	152,208	152,208	163,624	11,416	7.50%
01-411-533	EGoshen Fire - Workers Comp	6,702	7,500	7,500	7,500	0	0.00%
01-411-534	Good Fellowship Ambulance	46,000	56,000	56,000	60,068	4,068	7.26%
01-411-535	Firemans Foreign Fire Ins Prem	98,051	100,000	99,184	100,000	816	0.82%
Subtotal (411) Public Safety -Fire:		470,960	528,430	522,969	542,344	19,375	3.70%
<u>(413) Building & Code Enforcement</u>							
01-413-200	BCO - Contracted Services	-	1,000	1,000	1,000	0	0.00%
01-413-250	Residential Review/Insp Services	91,302	100,000	100,000	100,000	0	0.00%
01-413-255	Code Enforce/Property Maintenance	-	1,000	1,000	1,000	0	0.00%
01-413-400	Commercial Review/Insp Services	111,299	75,000	75,000	75,000	0	0.00%
01-413-451	U&O Permit - Residential Resales	9,376	11,000	10,500	11,000	500	4.76%
01-413-452	U&O Permit - Commercial Resales	666	1,500	1,500	1,600	100	6.67%
Subtotal (413) Building & Code Enforcement:		212,643	189,500	189,000	189,600	600	0.32%
<u>(414) Planning and Zoning</u>							
01-414-100	Planning/Zoning Wages	650	1,200	525	600	75	14.29%
01-414-161	PC/Zoning FICA	40	74	74	37	-37	-49.73%
01-414-162	PC/Zoning Medicare	9	17	17	9	-8	-48.82%
01-414-240	Planning/Zoning Gen Expense	6,641	7,500	7,500	7,500	0	0.00%
01-414-313	Planning Commission Consultants	7,116	5,000	-	5,000	5,000	100.00%
01-414-461	Supervisor Hearings	-	1,000	1,000	1,000	0	0.00%
01-414-462	Zoning Hearing Board Hearings	17,356	12,000	12,200	12,000	-200	-1.64%
01-414-463	Zoning Ordinance Revisions/Consult	1,425	5,000	4,000	5,000	1,000	25.00%
01-414-465	Advertising - ZHB/PC	5,103	6,000	3,500	5,000	1,500	42.86%
Subtotal (414) Planning and Zoning:		38,342	37,792	28,816	36,146	7,330	25.44%
<u>(415) Emergency Management</u>							
01-415-310	EM Services	-	150	-	150	150	100.00%
01-415-320	EM Equipment	-	150	-	150	150	100.00%
01-415-330	EM Training	-	250	-	250	250	100.00%
Subtotal (415) Emergency Management:		-	550	-	550	550	100.00%

General Fund Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
<u>(419) Public Safety - Other</u>							
01-419-100	CC SPCA Contract	1,791	5,600	5,700	5,700	0	0.00%
01-419-150	Animal Acquisition/Call for Service Fee	49	100	-	100	100	100.00%
01-419-200	SPCA Stray Boarding	4,735	6,600	14,000	14,000	0	0.00%
01-419-300	PA Criminal Record Check	418	400	1,400	500	-900	-64.29%
Subtotal (419) Public Safety - Other:		6,993	12,700	21,100	20,300	-800	-3.79%
<u>(430) Public Works Department</u>							
01-430-100	Public Works Director	78,108	98,109	80,000	102,683	22,683	28.35%
01-430-110	Public Works Staff	195,192	228,145	195,000	262,986	67,986	34.86%
01-430-115	Public Works PT Roads	4,195	24,810	6,000	2,000	-4,000	-66.67%
01-430-161	FICA	27,407	30,197	27,280	33,665	6,385	23.40%
01-430-162	Medicare Employer	6,410	7,062	6,380	7,873	1,493	23.40%
01-430-163	PAUC Employer	804	1,150	1,150	1,150	0	0.00%
01-430-180	PW Overtime	2,215	5,500	2,500	3,000	500	20.00%
01-430-210	Office Supplies - PW	307	1,000	800	1,000	200	25.00%
01-430-215	Garage Computer Svc/Supplies	474	800	800	2,500	1,700	212.50%
01-430-220	Garage Telephone Svcs	2,352	5,000	2,800	3,000	200	7.14%
01-430-240	General Expense - Public Works	4,375	3,500	3,500	3,500	0	0.00%
01-430-241	Uniforms - Public Works	4,417	3,600	3,600	3,600	0	0.00%
01-430-250	General Supplies - PW	4,138	5,000	5,200	5,500	300	5.77%
01-430-260	Tool & Equip Purchases - PW	7,325	4,000	4,000	4,000	0	0.00%
01-430-300	Vehicle Maintenance -PW	33,504	37,000	37,000	37,000	0	0.00%
01-430-310	PW Vehicle Repair/Ins Claim	4,523	-	-	-	0	0.00%
01-430-330	PW Vehicle Operation - FUEL	25,500	30,000	30,000	30,000	0	0.00%
01-430-370	Tool & Equipment Repair - PW	6,399	3,000	3,300	3,300	0	0.00%
01-430-371	Tool & Equipment Rental-PW	78	2,000	2,000	2,000	0	0.00%
01-430-460	PW Continuing Ed (CDL)	1,899	2,000	2,000	2,000	0	0.00%
Subtotal (430) Public Works Department:		409,622	491,873	413,310	510,757	97,447	23.58%
<u>(432) Winter Maintenance</u>							
01-432-110	Winter Maintenance	195	16,000	24,000	24,000	0	0.00%
01-432-180	Winter Maintenance OT	1,679	20,000	10,000	12,000	2,000	20.00%
01-432-250	Snow Removal - Materials	10,599	65,000	50,000	53,500	3,500	7.00%
01-432-300	Snow Removal - Misc Exp	-		500	1,000	500	100.00%

General Fund Expenditures

	2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
Subtotal (432) Winter Maintenance:	12,473	101,000	84,500	90,500	6,000	7.10%
<u>(433) Traffic Control</u>						
01-433-301 Street Signs, Lines, Markings	36,848	35,000	35,000	35,000	0	0.00%
01-433-305 Traffic Signals - Misc Exp	1,613	3,000	2,500	2,500	0	0.00%
01-433-360 Traffic Signals - Electricity	3,929	4,500	4,200	4,300	100	2.38%
01-433-370 Traffic Signals - Repairs	26,928	35,000	68,000	35,000	-33,000	-48.53%
01-433-450 Traffic Signals - Contract Svc	2,448	3,500	2,600	2,700	100	3.85%
Subtotal (433) Traffic Control:	71,766	81,000	112,300	79,500	-32,800	-29.21%
<u>(434) Street Lighting</u>						
01-434-360 Street Lights - Electricity	1,441	1,800	1,550	1,600	50	3.23%
Subtotal (434) Street Lighting:	1,441	1,800	1,550	1,600	50	3.23%
<u>(436) Storm Sewers and Drains</u>						
01-436-450 Drainage	2,998	5,000	5,000	5,000	0	0.00%
Subtotal (436) Drainage:	2,998	5,000	5,000	5,000	0	0.00%
<u>(437) Tools & Machinery</u>						
01-437-370 Tool/Machinery - Maint/Repair	1,802	3,000	3,000	3,000	0	0.00%
01-437-725 Backhoe Expenses	-	4,000	4,900	4,000	-900	-18.37%
01-437-740 Major Equipment Purchase	84,412	-	-	-	0	0.00%
01-437-750 Minor Equip Purchase-PW	-	4,000	4,000	3,000	-1,000	-25.00%
Subtotal (437) Tools & Machinery:	86,215	11,000	11,900	10,000	-1,900	-15.97%
<u>(438) Road & Bridge Maintenance</u>						
01-438-250 Highway Material - Public Work	-	3,500	2,500	2,500	0	0.00%
01-438-251 Road Repair - Public Works	2,040	1,800	1,800	2,800	1,000	55.56%
01-438-380 Rental Equipment - Public Work	-	500	500	500	0	0.00%
01-438-451 PA One Call System	756	1,000	1,000	1,000	0	0.00%
01-438-452 Satellite Subscription Service	4,392	4,600	4,612	4,900	288	6.24%
Subtotal (438) Rd & Bridge Maintenance:	7,189	11,400	10,412	11,700	1,288	12.37%
<u>(439) Highway Construction</u>						

General Fund Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
01-439-100	Street Construction	350,000	375,000	351,920	350,000	-1,920	-0.55%
01-439-150	Street Construction	144,206	-	-	-	0	0.00%
Subtotal (439) Highway Construction:		494,206	375,000	351,920	350,000	-1,920	-0.55%
(446) Stormwater Management/MS4 Requirements							
01-446-200	NPDES/MS4 Permit	2,500	2,500	2,500	2,500	0	0.00%
01-446-300	Simplified Stormwater Projects	884	1,920	-	800		
01-446-371	Thorne Basin Maintenance	-	-	-	5,000		
Subtotal (446) Stormwater Management		3,384	4,420	2,500	8,300	5,800	232.00%
(450) Historical Commission							
01-450-000	Historical Commission Expenses	2,720	2,000	2,000	3,000	1,000	50.00%
01-450-050	Historical Markers/Interpretive Signage		5,000	5,000	2,500	-2,500	-50.00%
01-450-200	Huey Property Maintenance	9,500		-		0	0.00%
Subtotal (450) Historical Commission		12,220	7,000	7,000	5,500	-1,500	-21.43%
(451) Cultural & Recreation Administration							
01-451-000	Park & Recreation Commission	3,729	6,000	3,000	4,000	1,000	33.33%
01-451-100	Westtown Day	9,789	10,000	10,000	10,000	0	0.00%
01-451-112	Park & Recreation Admin Staff		30,000	-	93,600	93,600	100.00%
01-451-161	FICA		1,860	-	6,175	6,175	100.00%
01-451-162	Medicare Employer		435	-	1,444	1,444	100.00%
01-451-163	PAUC Employer		100	-	180	180	100.00%
01-451-180	Park/Rec Employee Overtime				6,000		
01-451-200	Westtown 250				2,500		
01-451-247	Recreation Activities/Programs		10,000	-	10,000	10,000	100.00%
Subtotal (451) Park & Recreation:		13,517	58,395	13,000	133,899	120,899	930.00%
(454) Township Parks							
01-454-110	Park Maint. Employees	98,868	94,484	122,500	136,310	13,810	11.27%
01-454-240	General Park Expense	1,515	5,000	5,000	5,000	0	0.00%
01-454-250	Park Supplies	439	7,000	5,000	7,000	2,000	40.00%
01-454-251	Special Park Projects	18,731	5,000	-	5,000	5,000	100.00%
01-454-260	Park Tool & Equip Purchase	-	1,500	1,500	1,500	0	0.00%
01-454-361	Park Restroom Utilities	-	3,600	800	2,000	1,200	150.00%

General Fund Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
01-454-370	Park Equip Repair & Operat	79	2,000	1,000	2,000	1,000	100.00%
01-454-373	Park Restroom Maintenance		3,500	1,000	7,000	6,000	600.00%
01-454-380	Equipment Rental	7,605	6,500	6,500	6,500	0	0.00%
01-454-450	Parks - Lawn Maintenance	-	2,500	1,200	2,500	1,300	108.33%
01-454-500	Park Water Usage	-	1,800	-	2,200	2,200	100.00%
01-454-600	Community Garden - Shared Cost	1,263	3,000	1,850	1,850	0	0.00%
Subtotal (454) Township Parks:		128,500	135,884	146,350	178,860	32,510	22.21%
<u>(456) Libraries</u>							
01-456-000	Libraries	13,943	16,731	16,731	18,404	1,673	10.00%
Subtotal (456) Libraries:		13,943	16,731	16,731	18,404	1,673	10.00%
<u>(460) Community Development</u>							
01-460-100	Environmental Advisory Council	7,007	2,000	2,000	4,300	2,300	115.00%
Subtotal (460) Community Development		7,007	2,000	2,000	4,300	2,300	115.00%
<u>(461) Conservation of Natural Resources</u>							
01-461-000	Forestry Management	28,025	30,000	30,000	30,000	0	0.00%
01-461-313	Open Space (Crebilly Eng/Surv/Appraisal)	23,788	-	-	-	0	0.00%
01-461-330	Tyson Park Special Maintenance	1,215	7,500	7,500	8,500	1,000	13.33%
Subtotal (461) Conservation of Natural Resources:		53,027	37,500	37,500	38,500	1,000	2.67%
<u>(462) Community Develop Housing</u>							
01-462-000	Community Development	1,450	1,500	1,450	1,450	0	0.00%
Subtotal (462) Community Development:		1,450	1,500	1,450	1,450	0	0.00%
<u>(471) Debt Service - Principal</u>							
01-471-100	2022 PW F350 & F550 Loan Principal	34,594	35,636	35,636	36,709	1,073	3.01%
"	2023 International Dump/Plow 67-26	27,459	28,280	28,280	29,125	845	2.99%
Subtotal (471) Debt Service - Principal		62,053	63,916	63,916	65,835	1,919	3.00%
<u>(472) Debt Service - Interest</u>							
01-472-100	2022 PW F350 & F550 Loan Interest	4,650	3,608	3,608	2,534	-1,074	-29.77%

General Fund Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
"	2023 International Dump/Plow 67-26	2,537	1,716	1,716	871	-845	-49.25%
Subtotal (471) Debt Service - Principal		7,187	5,324	5,324	3,405	-1,919	-36.05%
<u>(480) Miscellaneous</u>							
01-480-000	Miscellaneous Expenditures	-	500	500	500	0	0.00%
01-480-100	Bank Charges	4,364	6,000	4,200	4,200	0	0.00%
Subtotal (480) Miscellaneous:		4,364	6,500	4,700	4,700	0	0.00%
<u>(484) Workers Compensation Insurance</u>							
01-484-354	Workers Compensation Insurance	21,183	23,300	16,864	20,000	3,136	18.60%
Subtotal (484) Workers Comp Insurance:		21,183	23,300	16,864	20,000	3,136	18.60%
<u>(486) Insurance and Benefits</u>							
01-486-100	General Liability Insurance	24,268	26,694	25,449	26,976	1,527	6.00%
01-486-150	Cyber Liability Insurance	10,692	11,761	10,258	10,873	615	6.00%
01-486-200	Admin Bldg Property Insurance	3,930	4,323	4,462	4,730	268	6.00%
01-486-210	PW Garage Property Ins	9,751	10,726	11,071	11,735	664	6.00%
01-486-220	Mansion/Park Property Ins	10,347	11,382	12,359	13,101	742	6.00%
01-486-230	Traffic Signal Property Ins	3,283	3,611	3,732	3,956	224	6.00%
01-486-240	Contractor Equip/Debris Remove	1,198	1,318	2,027	2,149	122	6.00%
01-486-250	Auto Physical Damage Property	7,776	8,554	8,976	9,515	539	6.00%
01-486-300	Automobile Liability Insurance	7,612	8,373	7,972	8,451	478	6.00%
01-486-310	Auto Insurance Claim/Deductible	7,124	7,836	-	-	0	0.00%
01-486-320	Property Ins Claim/Deductible	-	-	7,925	8,717	792	10.00%
01-486-400	Public Officials Liability	12,812	14,093	13,505	14,316	810	6.00%
01-486-401	Bonds-Treasurer's/Other	2,989	3,288	3,400	3,604	204	6.00%
Subtotal (486) Insurance & Benefits:		101,782	111,960	111,136	118,121	6,985	6.29%
<u>(487) Employee Benefits</u>							
01-487-152	Employee(s) Benefits (Leaves)	137,312	115,000	125,000	125,000	0	0.00%
01-487-153	Insurance (Life,AD&D,LTD,STD)	15,578	21,215	20,000	23,978	3,978	19.89%
01-487-154	Dental Insurance (Empl)	4,904	5,040	3,824	5,744	1,920	50.21%
01-487-155	Vision Reimbursement	1,995	4,900	3,000	3,000	0	0.00%
01-487-156	Health/Hospital Insurance	83,505	113,880	110,000	165,000	55,000	50.00%
01-487-157	HRA - PrimePay	23,592	32,000	24,000	33,000	9,000	37.50%

General Fund Expenditures

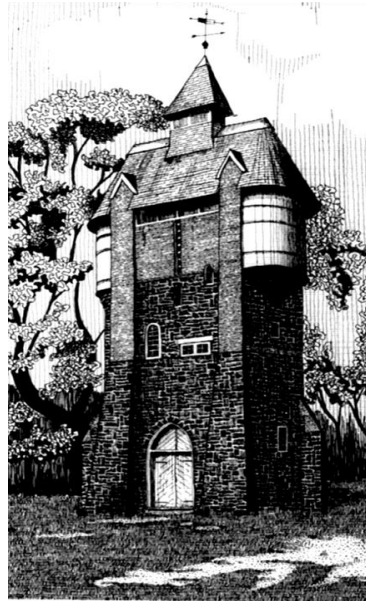
		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
01-487-158	HRA Plan Fees	1,729	1,750	1,750	1,800	50	2.86%
01-487-159	Healthcare Reimbursement	12,839	-	-	not needed in 2025		
01-487-160	State Aid Pension Contribution	55,614	88,000	100,991	105,000	4,009	3.97%
01-487-161	Cell Phone Reimbursement	580	800	1,690	2,000	310	18.34%
01-487-500	On-Lot Staff Insurance	1,303	500	969	1,000	31	3.20%
Subtotal (487) Employee Benefits:		338,951	383,085	391,224	465,522	74,298	18.99%
<u>(491) Refunds of Prior Year Revenues</u>							
01-491-010	RE Tax Refund	512	2,500	3,503	2,500	-1,003	-28.63%
01-491-013	Reimbursable Tax Payments	11,603	12,000	12,000	12,000	0	0.00%
01-491-090	State Aid-Pension Excess	1,899	-	27,670	-	-27,670	-100.00%
01-491-100	Miscellaneous Reimbursement	1,870	1,500	3,495	1,500	-374	-19.96%
01-491-200	Prior Year Adjusting Entry	542	-	637	-	-637	-100.00%
Subtotal (491) Refunds of Prior Yr Revenues:		16,426	16,000	47,304	16,000	-31,304	-66.18%
<u>(492) Interfund Operating Transfers</u>							
01-492-030	Transfer to Capital Reserve	180,000	180,000	180,000	240,000		33.33%
01-492-035	Transfer to Capital Future Reserve	-	50,000	50,000	50,000		0.00%
01-492-215	Transfer to Debt Svc/OBP Series 2022	264,000	264,000	264,000	264,000		
01-492-300	Transfer to Debt Svc /Series 2021	126,000	126,000	126,000	126,000	0	0.00%
01-492-400	Transfer to Capital Repl Reserve	-	25,000	25,000	\$ -	-25,000	-100.00%
Subtotal (492) Interfund Operating Transfers:		570,000	645,001	645,000	680,000	35,000	5.43%
Total General Fund Expenditures		7,760,203	8,650,041	8,466,061	8,828,223	362,163	4.28%
Total GENERAL FUND Revenues/Fund Balance Approp		8,611,082	8,650,040	8,316,582	8,828,223	511,641	6.15%
Total GENERAL FUND Expenditures:		7,760,202	8,650,040	8,466,061	8,828,223	362,163	4.28%
Total GENERAL FUND Balance		850,880	0	(149,478)	(0)		

Projected General Fund Year End Cash Balance

7,340,771

6,771,745

WESTTOWN TOWNSHIP
2025 Open Space Fund Draft Budget



11/18/2024

Open Space Revenues and Expenditures

	2023 Actual	2024 Adopted	2024 Year End Projection	2025 Proposed Budget
<u>(301) Real Property Tax</u>				
04-301-110 RE Taxes - Electoral (0.42 mils)	169,548	336,000	339,096	339,096
04-301-400 RE Taxes - Delinquent		500	1,000	1,000
04-301-600 Interim Tax - Open Space	1,036	1,000	800	600
Subtotal (301) Real Property Tax	170,584	337,500	340,896	340,696
<u>(310) Act 511 Taxes</u>				
04-310-100 RE Transfer Tax (For Crebilly Sale Only)		103,049	0	103,049
04-310-210 EIT Taxes - Electoral (0.08%)	155,087	404,600	380,000	412,000
Subtotal (310) RE Tax	155,087	507,649	380,000	515,049
<u>(341) Interest Earnings</u>				
04-341-000 Interest Earnings	3,432	40,000	14,500	18,000
Subtotal (301) RE Tax	3,432	40,000	14,500	18,000
<u>(354) State Grants</u>				
04-354-080 State Grants		1,250,000	0	100,000
Subtotal (354) State Grants	0	1,250,000	0	100,000
<u>(357) County Grants</u>				
04-357-080 Chester County Open Space Program	0	1,206,750	0	
Subtotal (357) County Grants	0	1,206,750	0	0
<u>(392) Interfund Transfers</u>				
04-392-150 Transfer from Bond Proceeds			360,000	
Subtotal (393) Proceeds of Long Term Debt	0	0	360,000	0

Open Space Revenues and Expenditures

	2023 Actual	2024 Adopted	2024 Year End Projection	2025 Proposed Budget
Total Open Space Fund Revenues	329,103	24,136,249	1,095,396	973,745

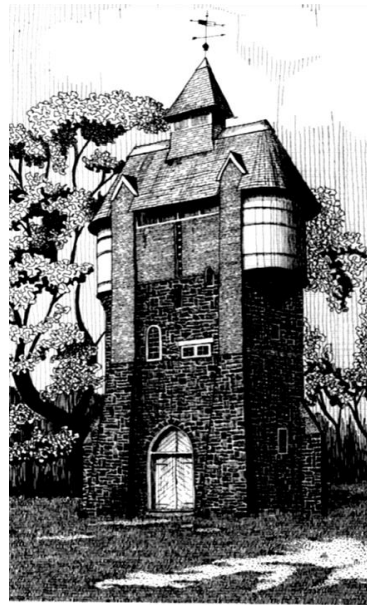
Open Space Revenues and Expenditures

	2023 Actual	2024 Adopted	2024 Year End Projection	2025 Proposed Budget
<i>Open Space Fund Expenditures</i>				
<u>(403) Tax Collection</u>				
04-403-310 Open Space EIT Tax Commission	1,922	4,046	4,046	4,200
Subtotal (403) Tax Collection	1,922	4,046	4,046	4,200
<u>(404) Legal Fees</u>				
04-404-451 Open Space Acquisition Legal Fees	0	0	6,000	1,500
Subtotal (403) Tax Collection	0	0	6,000	1,500
<u>(411) Volunteer Fire/EMT Credit</u>				
04-411-510 Volunteer Fire/EMT Credit	0	0	369	400
Subtotal (403) Tax Collection	0	0	369	400
<u>(450) Open Space Repairs/Maint./Improvements</u>				
04-450-313 Engineering Planning		0	0	125,000
04-450-314 Legal Maint. Advisory Services			0	
04-450-370 Repairs, Maint. Improvements	0	50,000		265,600
Subtotal (461) Conservation of Natural Resource	0	50,000	0	390,600
<u>(471) Debt Principal</u>				
04-471-000 Debt Principal (For Bridge Loan & Interest below)				0
04-471-100 Crebilly Farm Family Assoc Loan Principi	180,000	1,771,812	180,000	0
Subtotal (471) Debt Principal	180,000	1,771,812	180,000	0
<u>(491) Refunds of Prior Year Revenues</u>				
04-491-010 Open Space RE Tax Refund	415	0	111	200

Open Space Revenues and Expenditures

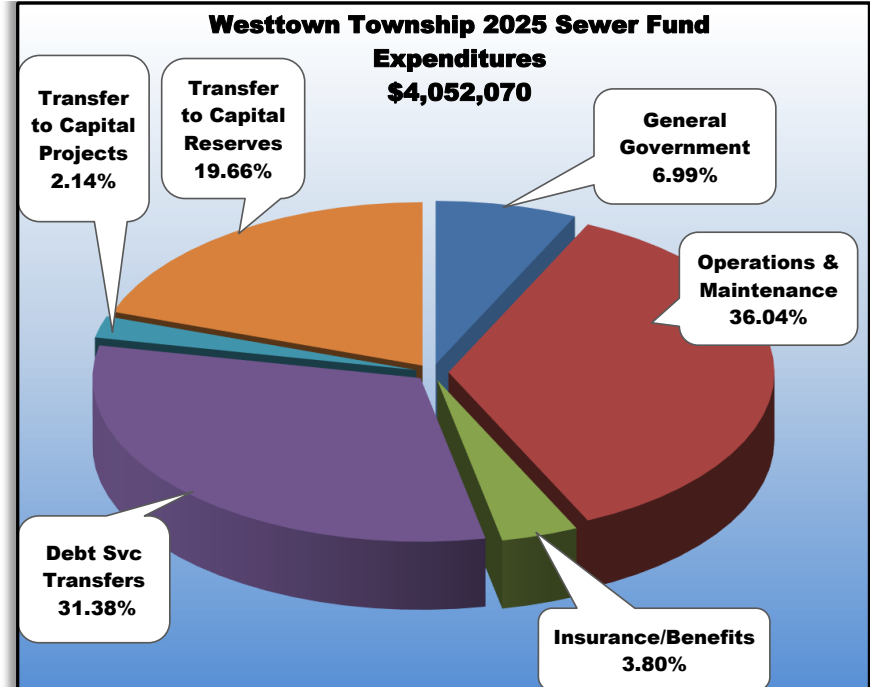
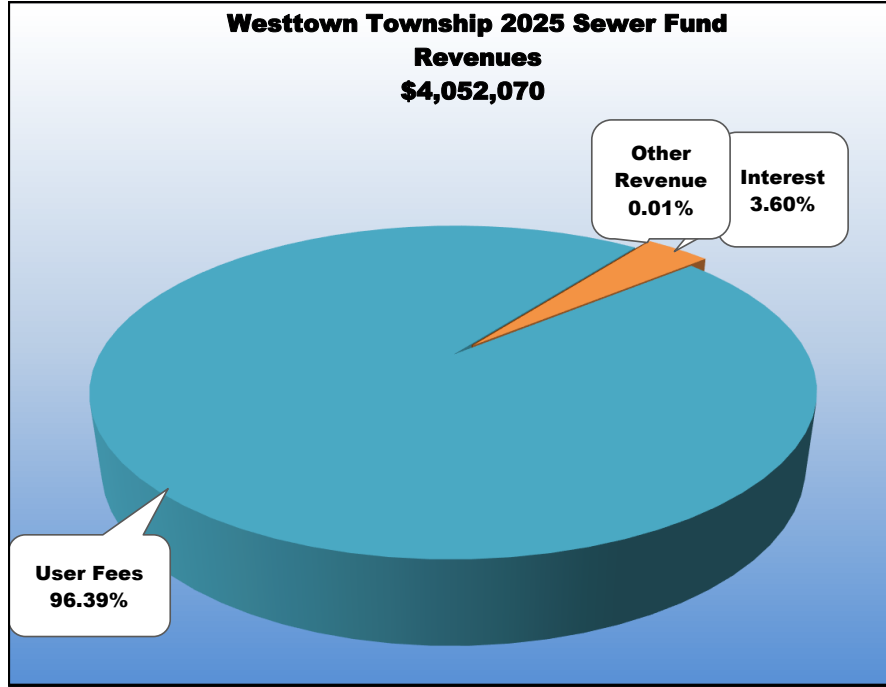
	2023 Actual	2024 Adopted	2024 Year End Projection	2025 Proposed Budget
<u>(492) Interfund Operating Transfers</u>				
04-492-023 Transfer to Debt Svc/Series 2024		248,400	270,900	579,600
Subtotal (492) Interfund Operating Transfers	0	248,400	270,900	579,600
Total Open Space Fund Expenditures:	303,336	22,915,055	455,315	975,000
Total Open Space Fund Revenue	329,103	24,136,249	1,095,396	973,745
Total Open Space Fund Expenditures	303,336	22,915,055	455,315	975,000
Total Open Space Fund Balance	25,767	1,221,194	640,081	(1,255)

WESTTOWN TOWNSHIP
2025 Sewer Fund Draft Budget



11/18/2024

Fiscal Year 2025
Sewer Fund Budget



Glossary

Sanitation/Sewage Charges - User fees collected from properties connected to the Township's two public wastewater systems, Westtown Chester Creek and West Goshen.

Grants -Act 537 Reimbursement

Reimbursements - Developer's reimbursement of legal and engineering fees.

Interest Earned - Earnings derived from cash holdings.

Operations & Maintenance - Costs associated with wastewater collection and treatment for Chester Creek Sewer Plant, Pump Stations, and sewage processed by West Goshen Municipal Authority.

Administration - Postage, billing, legal, engineering & liability insurance.

Payroll - Salary & benefits for plant operators and prorated share of salaries and benefits of administrative staff.

Debt Service - Sinking fund payments for GO Bond 2021

Reserves - Based on Fund Balance Policy (Resolution 2013-7 Amended 8/16/16) no less than 12% of budgeted revenue for the current budget year shall fund the Sewerage System Capital Reserve and Sewerage System Capital Improvement Program.

Sewer Fund Revenues

	2023 Actual	2024 Budget	2024 Year End Projection	Projected % of Budget Used Y/E	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
Beginning Cash Balance			2,044,237		1,234,997		
<u>(341) Interest Earnings</u>							
08-341-000 Interest Earnings	13,574	50,000	84,000	168.00%	50,000	-34,000	-40.48%
08-341-106 PLGIT Interest (WW)	44,237	72,000	102,000		60,000		
Subtotal (341) Interest Earnings	57,811	122,000	186,000	152.46%	110,000	-76,000	-40.86%
<u>(361) Twp Sales/Charges for Service</u>							
08-361-601 UB Returned Check Fee	70	70	70	100.00%	70	0	0.00%
Subtotal (361) Twp Sales/Charges for Service	70	70	70	100.00%	70	0	0.00%
<u>(364) Sanitation/Sewage Charges</u>							
08-364-110 Sewage Tapping Fee /WCC	0	0	0	0.00%	0	0	0.00%
08-364-111 Sewage Tapping Fee/ W.Goshen	3,164	0	0	0.00%	0	0	0.00%
08-364-120 Sewer User Fees Not Metered	2,479,971	2,483,280	2,482,000	99.95%	2,483,280	1,280	0.05%
08-364-122 Sewer Fees-Club Swim Pool	1,640	1,640	1,640	100.00%	1,640	0	0.00%
08-364-123 Sewer Fees-Pool Club House	1,640	1,640	1,640	100.00%	1,640	0	0.00%
08-364-124 Commercial Sewer Fees Metered	307,364	290,000	290,000	100.00%	291,000	1,000	0.34%
08-364-125 Westtown Sch Meter Usage	107,212	102,000	120,000	117.65%	120,000	0	0.00%
08-364-130 Admin Fee WT Sch Pump Station	1,200	1,200	1,200	100.00%	1,200	0	0.00%
08-364-135 Thornbury Twp CC Maint Fee	1,600	1,600	1,600	100.00%	1,600	0	0.00%
08-364-500 Delinquent Sewer Collections	50,496	45,000	42,000	93.33%	42,000	0	0.00%
Subtotal (364) Sanitation	2,954,286	2,926,360	2,940,080	100.47%	2,942,360	2,280	0.08%
<u>(380) Miscellaneous Revenue</u>							
08-380-000 Misc Revenue	8,570	0	0	0.00%	0	0	0.00%
Subtotal (390) Misc Revenue	8,570	0	0	0.00%	0	0	0.00%
<u>(395) Refunds & Reimbursements</u>							
08-395-100 Miscellaneous Refunds	0	250	0	0.00%	50	50	100.00%
08-395-200 Miscellaneous Reimbursement	0	250	0	0.00%	50	50	100.00%
08-395-700 Developers Reimbursements	0	250	0	0.00%	50	50	100.00%
Subtotal (395) Refunds & Reimbursements:	0	750	0	0.00%	150	150	100.00%

Sewer Fund Revenues

	2023 Actual	2024 Budget	2024 Year End Projection	Projected % of Budget Used Y/E	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
399 Reserve Appropriation		1,002,890					
Total Sewer Revenue	3,020,771	4,052,070	3,126,150	58.00%	3,052,580	-73,570	-2.35%

Sewer Fund Expenditures

	2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
<u>(401) Executive</u>						
08-401-000 WW General Expense	302	500	500	500	0	0.00%
08-401-100 Wastewater Admin Wages	126,169	146,557	140,000	142,000	2,000	1.43%
08-401-161 FICA	7,774	9,087	8,680	8,804	124	1.43%
08-401-162 Medicare Employer	1,818	2,125	2,030	2,059	29	1.43%
08-401-163 PAUC Employer	183	250	180	180	0	0.00%
08-401-210 WW - Office Supplies	398	500	650	500	-150	-23.08%
08-401-241 WW - Training & Information	562	1,500	750	1,500	750	100.00%
08-401-341 WW Advertising	0	0	0	0	0	0.00%
Subtotal (401) Executive:	137,205	160,519	152,790	155,543	2,753	1.80%
<u>(404) Legal Services</u>						
08-404-310 WW Legal - WCC	0	1,000	500	500	0	0.00%
08-404-314 WW Legal - West Goshen	0	1,000	500	500	0	0.00%
08-404-500 WW Delinquent Collection Legal Fees	586	1,100	2,929	2,786	-143	-4.88%
Subtotal (404) Legal Services:	586	3,100	3,929	3,786	-143	-3.64%
<u>(406) General Government Admin</u>						
08-406-100 TMDL Coalition	764	2,500	1,660	2,500	840	50.63%
08-406-200 NPDEs Permit	1,000	3,000	3,000	3,000	0	0.00%
08-406-225 Daily Discharge Capacity Fee	715	725	749	800	51	6.81%
08-406-360 Municipay Credit Card Fees	10,377	10,000	11,000	12,000	1,000	9.09%
08-406-500 Chapter 302-WW Opr Cert Fee	165	175	165	175	10	6.06%
08-406-800 Aqua Sewer Billing Fee	300	380	300	300	0	0.00%
Subtotal (406) General Govt Admin:	13,321	16,780	16,874	18,775	1,901	11.27%
<u>(407) Networking Services</u>						
08-407-215 WW Computer/Svcs/Support	0	200	200	200	0	0.00%
Subtotal (407) Networking Services	0	200	200	200	0	0.00%
<u>(408) Engineering</u>						
08-408-000 WW Engineering - General	0	1,000	500	1,000	500	100.00%
08-408-100 Sewer Rate Study	0	0	0	25,000	25,000	100.00%
08-408-150 Tapping Fee Study	0	0	0	0	0	0.00%
08-408-313 WW Engineering-WCC	2,342	8,000	2,500	6,000	3,500	140.00%
08-408-314 WW Engineering - W.Goshen	0	5,000	2,500	2,500	0	0.00%
08-408-400 WW Engr Due From Developer	566	0	0	500	500	100.00%

Sewer Fund Expenditures

	2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
Subtotal (408) Engineering:	2,908	14,000	5,500	35,000	29,500	536.36%
<u>(429) Wastewater Collection/Treatment</u>						
08-429-100 WW Plant Wages	146,542	199,749	165,000	185,000	20,000	12.12%
08-429-161 FICA	10,913	12,694	10,605	11,780	1,175	11.08%
08-429-162 Medicare Employer	2,552	2,969	2,500	2,755	255	10.20%
08-429-163 PAUC Employer	293	300	200	300	100	50.00%
08-429-172 Holiday Pay	8,753	11,300	9,400	10,000	600	6.38%
08-429-176 Employee(s) Benefits (Leaves)	15,802	15,600	12,000	13,000	1,000	8.33%
08-429-177 Sick Time	2,616	2,600	2,600	3,000	400	15.38%
08-429-180 Over Time	4,197	5,000	6,000	5,000	-1,000	-16.67%
08-429-240 Administration & Billing - WCC	8,247	8,000	10,000	10,000	0	0.00%
08-429-244 WW Supplies - WCC	6,683	6,000	7,000	8,000	1,000	14.29%
08-429-245 WW Supplies - Kirkwood Pump Station	93	500	500	500	0	0.00%
08-429-246 WW Supplies - Pleasant Gr Pump Station	221	1,000	1,000	1,000	0	0.00%
08-429-247 WW Supplies - Rustin Pump Station	404	1,000	1,000	1,000	0	0.00%
08-429-251 WW Supplies - WG	946	1,000	1,000	1,000	0	0.00%
08-429-260 WW Tool Purchases	0	500	500	500	0	0.00%
08-429-261 WW Tool/Equipment Rental	0	500	500	500	0	0.00%
08-429-320 WW Telephone	582	650	650	650	0	0.00%
08-429-345 Chapter 94 Report	3,694	10,500	10,500	11,400	900	8.57%
08-429-360 WW Utilities - WCC	48,551	54,000	54,000	55,000	1,000	1.85%
08-429-361 Utilities - Pleasant Grv Pump Station	10,626	12,000	15,900	16,000	100	0.63%
08-429-362 Utilities-Trellis Lane	2,690	3,300	3,000	3,300	300	10.00%
08-429-363 Utilities-Sage Lane	2,083	2,700	2,400	2,700	300	12.50%
08-429-364 Utilities-Ltl Shiloh Rd	380	450	374	400	26	6.95%
08-429-365 Utilities-ArborView Pump Station	2,589	3,300	2,800	3,000	200	7.14%
08-429-366 Utilities-Kirkwood Pump Station	3,285	4,100	4,000	4,200	200	5.00%
08-429-367 Utilities-Thorne @ Maple	380	450	350	450	100	28.57%
08-429-368 Utilities-Rustin PS	4,234	5,600	5,300	5,600	300	5.66%
08-429-373 Treatment - WG (Goose Creek)	315,856	375,000	327,000	360,000	33,000	10.09%
08-429-374 Equipment Repair - WCC	14,638	45,000	25,000	45,000	20,000	80.00%
08-429-375 Equipment Repair - WG	0	5,000	2,000	5,000	3,000	150.00%
08-429-376 Operation & Maintenance - WCC	100,556	106,500	115,000	115,000	0	0.00%
08-429-377 Operation & Maintenance - WG	13,282	15,000	15,000	15,000	0	0.00%
08-429-378 Op & Maint - Pleasant Grove PS	36,741	15,000	58,000	30,000	-28,000	-48.28%
08-429-379 Op & Maint - Rustin PS	14,838	12,000	14,000	14,500	500	3.57%
08-429-380 Ashbridge Pump Station(WG)	5,485	2,500	2,500	2,500	0	0.00%
08-429-381 Op & Maint - ArborView PS	1,365	1,500	1,000	1,500	500	50.00%
08-429-382 Op & Maint - Kirkwood PS	7,063	5,000	7,500	6,000	-1,500	-20.00%
08-429-450 Alarm System Monitoring - WCC	18,789	20,000	18,789	20,000	1,211	6.45%
08-429-451 Alarm System Monitoring - WG	10,052	10,000	10,052	11,000	948	9.43%

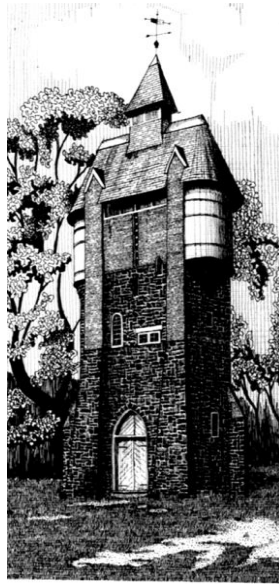
Sewer Fund Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
08-429-452	Sludge Hauling Contract	47,424	61,178	63,548	61,178	-2,370	-3.73%
08-429-455	Sewer Line Flush/Televise	0	75,000	60,000	55,000	75,000	-8.33%
08-429-600	W.Goshen Sewer Capital Costs	34,133	26,289	26,289	moved to Cap. Projects		0.00%
08-429-750	Equipment Purchase - WCC	0	2,000	419	2,000	1,581	377.33%
08-429-750	F-450 Utility Truck WWTP	61,649	83,000	71,945	0	-71,945	-100.00%
08-429-750	Jet Trailer (used from EGT)	43,500	0	0	0	0	
Subtotal (429) WW Collection/Treatment:		1,012,726	1,225,729	1,147,121	1,099,713	-47,408	-4.13%
<u>(480) Miscellaneous</u>							
08-480-100	Miscellaneous Expenses	8,570	0	0	0	0	0.00%
08-480-110	Bank Charges	13	0	523	1,000	477	91.20%
Subtotal (480) Miscellaneous:		8,583	0	523	1,000	477	91.20%
<u>(484) Workers Compensation Insurance</u>							
08-484-100	Workers Compensation	7,061	7,770	5,621	8,000	2,379	42.32%
Subtotal (484) Workers Compensation Ins:		7,061	7,770	5,621	8,000	2,379	42.32%
<u>(486) Insurance and Benefits</u>							
08-486-100	WW General Liability Insurance	19,067	20,974	19,995	22,995	2,999	15.00%
08-486-200	WW Property Insurance	6,359	6,995	7,219	8,302	1,083	15.00%
08-486-300	WW Automobile Liability	5,075	5,582	5,315	6,112	797	15.00%
08-486-400	WW Public Officials Liability	8,541	9,395	9,004	10,354	1,351	15.00%
Subtotal (486) Insurance & Benefits:		39,042	42,947	41,533	47,763	6,230	15.00%
<u>(487) Employee Benefits</u>							
08-487-153	Insurance (Life,AD&D,LTD,STD)	7,599	8,500	7,200	7,600	400	5.56%
08-487-154	Dental Insurance (Empl)	922	1,000	2,000	1,800	-200	-10.00%
08-487-155	Vision Reimbursement	1,364	1,925	1,500	1,800	300	20.00%
08-487-156	Health/Hospitalization Insurance	58,753	70,000	51,000	49,000	-2,000	-3.92%
Subtotal (487) Employee Benefits:		68,638	81,425	61,700	60,200	-1,500	-2.43%
<u>(492) Interfund Operating Transfers</u>							
08-492-100	Transfer to Debt Svc/GO Series 2021 (2012)	300,000	294,000	294,000	294,000	0	0.00%
08-492-180	Transfer To Capital Projects	0	1,182,000	1,182,000	65,000		
08-492-200	Transfer to Sewer Capital Reserve	360,000	360,000	360,000	600,000	240,000	66.67%
08-492-300	Transfer to Debt Svc/GO Series 2021 (2016)	663,600	663,600	663,600	663,600	0	0.00%

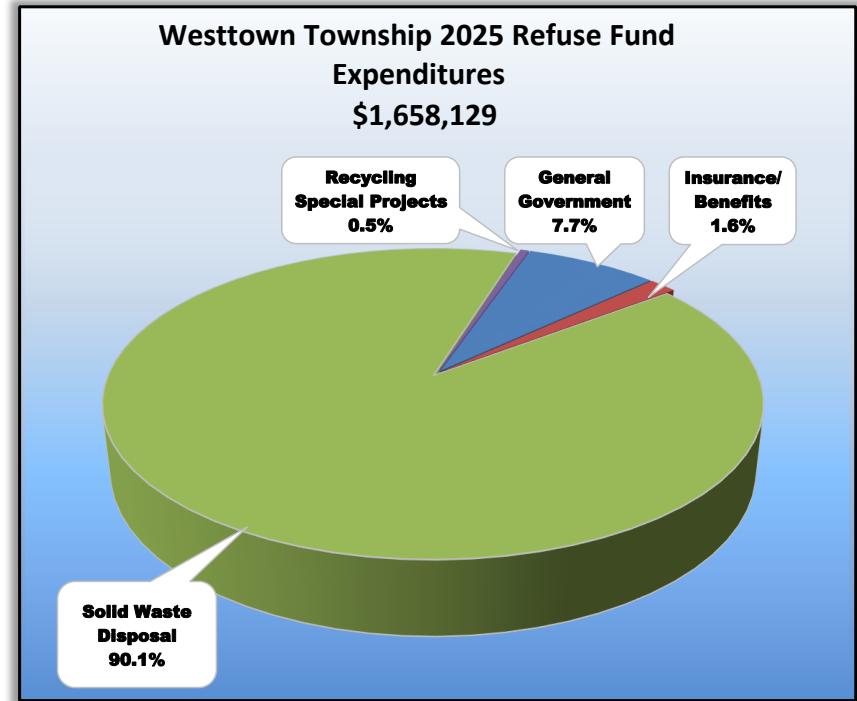
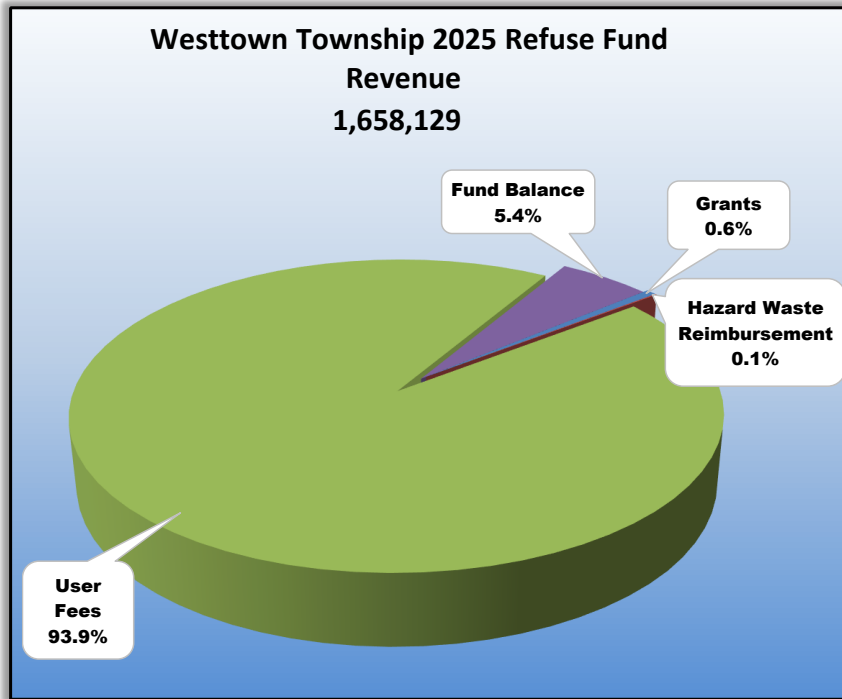
Sewer Fund Expenditures

	2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
Subtotal (492) Interfund Operating Transfers:	1,323,600	2,499,600	2,499,600	1,622,600	-877,000	-35.09%
Total Sewer Fund Expenses	2,615,022	4,052,070	3,935,391	3,052,580	-882,811	-22.43%
Total SEWER FUND Revenues:	3,020,771	4,052,070	3,126,150	3,052,580	-73,570	-2.35%
Total SEWER FUND Expenditures:	2,615,022	4,052,070	3,935,391	3,052,580	-882,811	-22.43%
Total SEWER FUND Fund Balance	405,750	0	(809,241)	0		
Sewer Fund Projected Year End Cash Balance			1,234,997	1,234,997		

WESTTOWN TOWNSHIP
2025 Refuse Fund Draft Budget



11/18/2024



Glossary

Fund Balance - Cash in Checking needed in order to meet expenses

Grants - Department of Environmental Protection Recycling Grant

Reimbursements - Household Hazardous Waste Collection

User Fees - Fees collected from residents

Solid Waste Collection/Disposal - Contracted Collection Fees (A.J.Blosenski) disposal (tipping fees) at Chester County Landfill.

General Government - Delinquent collection legal fees, postage, wages, billing and cred

Insurance/Benefits - Benefits of administrative staff

Recycling - Cost of special recycling projects

Fund Balance - Reserves for future recycling projects and rate increase protection. Rates will increase \$20/Quarter for 2025.

Refuse Fund Revenues

	2023 Actual	2024 Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024 -2025
Refuse Beginning Cash Balance		780,939	699,077	534,321		
<u>(355) State Shared Revenues</u>						
09-355-020 DER Grant - Recycling	17,408	10,000	16,073	10,000	-6,073	-37.78%
Subtotal State Revenue	17,408	10,000	16,073	10,000	-6,073	-37.78%
<u>(364) Sanitation/Trash/Recycling Fee</u>						
09-364-300 Solid Waste Collection	1,310,630	1,310,000	1,315,000	1,540,540	225,540	17.15%
09-364-400 Delinquent UB Collections	21,641	19,000	17,000	17,000	0	0.00%
Subtotal (364) Trash/Recycling:	1,332,271	1,329,000	1,332,000	1,557,540	225,540	16.93%
<u>(395) Reimbursements</u>						
09-395-205 Hazard Waste Reimburse	0	1,500	4,047	1,500	-2,547	-62.94%
Subtotal Reimbursements	0	1,500	4,047	1,500	-2,547	-62.94%
<u>(399) FUND BALANCE</u>	81,862	208,458		89,089		
Total Refuse Revenue	1,431,542	1,548,958	1,352,120	1,658,129	306,009	22.63%

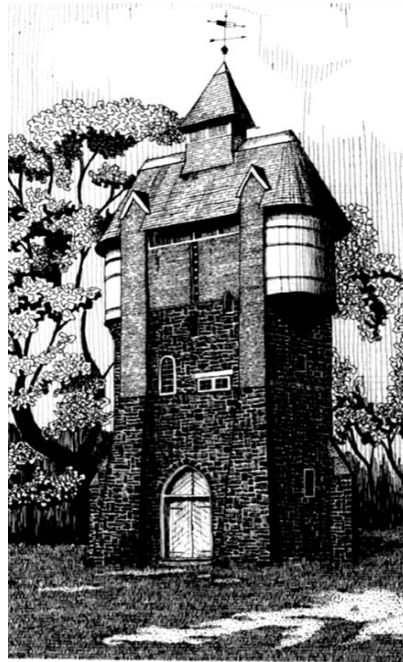
Refuse Fund Expenditures

	2023 Actual	2024 Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
(401) Refuse Wages						
09-401-100 Administration Refuse Payroll	112,546	125,187	135,000	107,000	-28,000	-20.74%
09-401-161 FICA	6,926	7,762	8,370	6,634	-1,736	-20.74%
09-401-162 MEDICARE EMPLOYER	1,620	1,815	1,958	1,552	-406	-20.74%
09-401-163 PAUC EMPLOYER	168	250	250	250	0	0.00%
Subtotal (401-487) Wages	121,261	135,014	145,578	115,436	-30,142	-20.71%
(404) Solicitor						
09-404-500 Delinquent Collection Legal Fees	586	900	2,929	1,500	-1,429	-48.79%
Subtotal (404) Solicitor	586	900	2,929	1,500	-1,429	-48.79%
(406) General Government Administration						
09-406-360 Municipay Credit Card Fees	10,378	10,000	11,000	11,500	500	4.55%
Subtotal (406) Gen Gov't Admin	10,378	10,000	11,000	11,500	500	4.55%
(426) Recycling						
09-426-100 Recycling - Special Projects	7,923	8,000	8,000	8,250	250	3.13%
Subtotal (426) Recycling:	7,923	8,000	8,000	8,250	250	3.13%
(427) Solid Waste Collect/Disposal						
09-427-100 Solid Waste Collect/Contracted	1,027,342	1,088,061	1,088,061	1,175,106	87,045	8.00%
09-427-120 Solid Waste Tipping Fees	237,495	265,000	302,500	312,000	9,500	3.14%
09-427-140 Solid Waste Collection/Gen	398	400	408	600	192	47.06%
09-427-150 Solid Waste UB & Postage	6,548	6,500	6,900	7,000	100	1.45%
09-427-300 Trash Service Credits	(8,550)		(48,500)		48,500	-100.00%
Subtotal (427) Solid Waste:	1,263,233	1,359,961	1,349,369	1,494,706	145,337	10.77%
(484) Workers Compensation Insurance						
09-484-100 Workers Compensation	6,536	7,200	5,621	6,183	562	10.00%

Refuse Fund Expenditures

	2023 Actual	2024 Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
Subtotal (484) Workers Compensation	6,536	7,200	5,621	6,183		
(487) Employee Benefits						
09-487-153 Life, AD&D, LTD, STD Insurance	2,478	2,850	2,850	2,400	-450	-15.79%
09-487-154 Dental Insurance	366	750	733	630	-103	-14.05%
09-487-155 Vision Reimbursement	640	650	400	525	125	31.25%
09-487-156 Health/Hospitalization insurance	18,141	23,633	20,772	17,000	-3,772	-18.16%
Subtotal (487) Employee Benefits:	21,625	27,883	24,755	20,555	-4,200	-16.97%
Total Solid Waste Collection Expenses	1,431,542	1,548,958	1,516,876	1,658,129	141,254	9.31%
Total Solid Waste Revenue	1,431,542	1,548,958	1,352,120	1,658,129	306,009	22.63%
Total Solid Waste Expenses	1,431,542	1,548,958	1,516,876	1,658,129	141,254	9.31%
Total Solid Waste Fund Balance	-	0	(164,756)	(0)		
Refuse Fund Projected Year End Cash Balance			534,321	445,232		

WESTTOWN TOWNSHIP
2025 Liquid Fuels Fund Adopted Budget



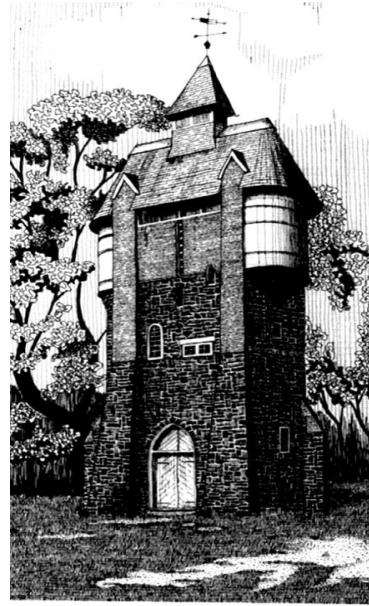
11/18/2024

**State Highway Aid Fund
Revenues and Expenditures**

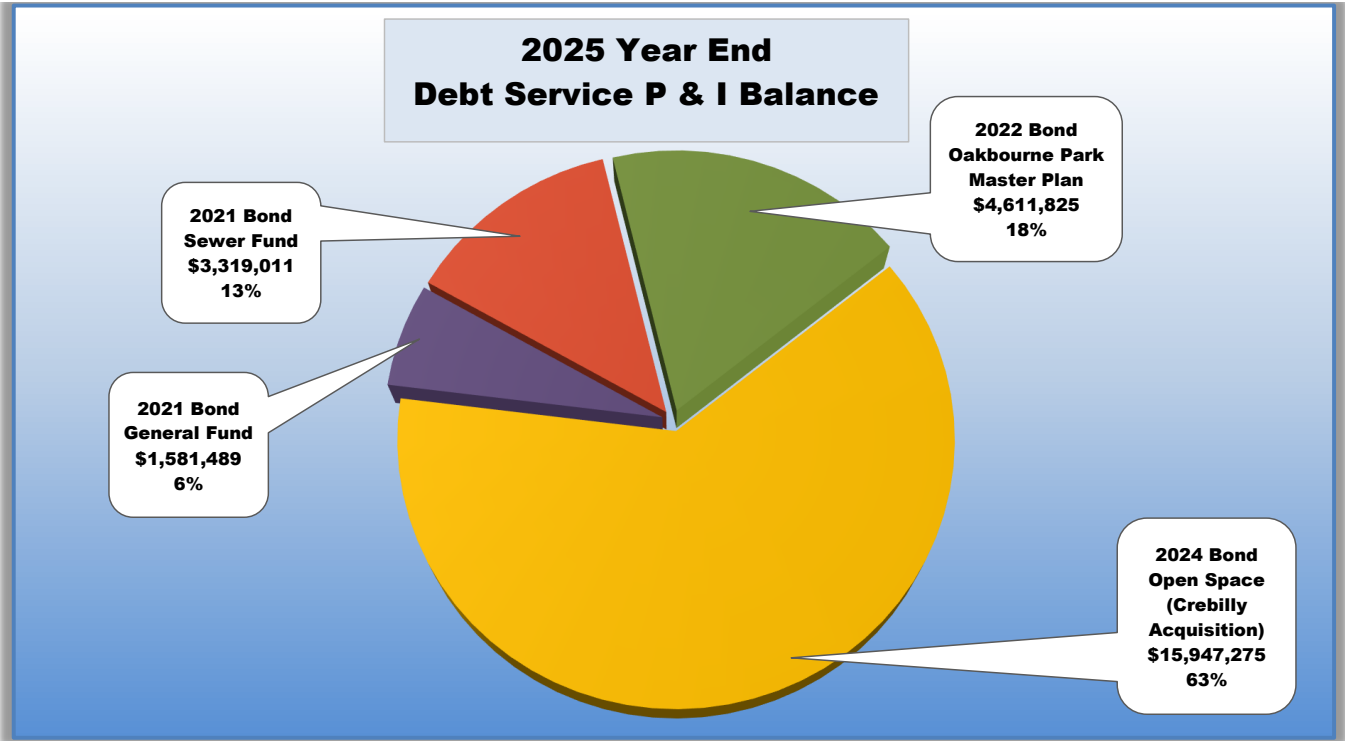
	2023 Actual	2024 Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
BEGINNING BALANCE			4,480	3,609		
<u>State Highway Aid Fund Revenue</u>						
(341) Interest Earnings						
35-341-000 Interest Earnings	1,127	5,000	6,000	6,000	0	0.00%
<u>(355) State Shared Revenues</u>						
35-355-000 Liquid Fuels	373,267	375,000	371,049	363,738	-7,311	-1.97%
35-355-060 Turnback Allocation	7,080	7,080	7,080	7,080	0	0.00%
<u>(399) State Highway Aid Fund Balance</u>	58,526	2,920	1,371	3,500		
Total Highway Aid Fund Revenue	440,000	390,000	385,500	380,318	-5,182	-1.34%
<u>State Highway Aid Fund Expenditures</u>						
<u>(439) Highway Construction</u>						
35-439-610 Street Construction	440,000	390,000	385,000	378,000	-7,000	-1.82%
Subtotal (439) Highway Construction:	440,000	390,000	385,000	378,000	-7,000	-1.82%
Total Highway Aid Fund Expenditures:	440,000	390,000	385,000	378,000	-7,000	-1.82%
Total HIGHWAY AID FUND Revenue	440,000	390,000	385,500	380,318	-5,182	-1.34%
Total HIGHWAY AID FUND Expenditures	440,000	390,000	385,000	378,000	-7,000	-1.82%
Total HIGHWAY AID FUND Fund Balance	0	0	500	2,318		
Liquid Fuel Fund Projected Year End Cash Balance			3,609	2,427		

WESTTOWN TOWNSHIP

2025 Debt Service Fund Draft Budget



11/18/2024



	Original Debt	P&I Balance 12/31/2024	P&I Balance 12/31/2025	Avg Coupon 2025 Rate
<u>General Obligation Bond Series of 2021</u>				
General Fund				
General Fund (Mansion Roof/Tower) GO 2016	\$89,895	\$53,872	\$42,648	3.00%
General Fund (PW Garage/Bridge)Refunded 2016	\$2,088,688	\$1,673,522	\$1,538,841	3.00%
Total General Fund Debt	\$2,178,584	\$1,727,394	\$1,581,489	
Wastewater Fund				
Sewer Revenue (Refunded GO 2012/GO 2005)	\$1,996,742	\$1,004,250	\$670,800	3.00%
Sewer Fund (Refunded GO 2016/GO 2006)	\$5,350,782	\$3,316,006	\$2,648,211	3.00%
Total Wastewater Debt	\$7,347,523	\$4,320,256	\$3,319,011	
<u>Oakbourne Park Master Plan Bond Series of 2022</u>				
Oakbourne Master Plan GO 2022 - Total Debt	\$5,358,690	\$4,884,763	\$4,611,825	5.00%
<u>Crebilly Land Acquisition Bond Series of 2024</u>				
Open Space Debt Series A	\$14,461,208	\$14,402,800	\$13,903,900	5.00%
Open Space Debt Series B	\$2,156,023	\$2,156,023	\$2,043,375	5.00%

Debt Service Revenues

	2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
Beginning Balance			702,332	917,383		
(341) Interest Earnings						
23-341-100 Series 2012 (2004 WEGO)	382	0	0	0	0	0.00%
23-341-500 Series 2012 (2005 Sewer)	1,618	2,000	500		-500	-100.00%
23-341-600 Series 2016 (2006 Sewer Expansion)	3,342	4,000	24,000	24,000	0	0.00%
23-341-720 Series 2022 (OBP Master Plan)	702	1,500	7,000	7,000	0	0.00%
23-341-740 Series 2024-A (Open Space)		500	1,200	2,000	800	66.67%
23-341-741 Series 2024-B (Open Space)			0	250	250	100.00%
Subtotal (341) Interest Earnings	6,045	8,000	32,700	33,250	550	1.68%
(360) Debt Service Revenue						
23-360-000 E.Goshen-WEGO Debt Svc Pymt	124,701	0	0	0	0	0.00%
Subtotal (360) Debt Svc Revenue	124,701	0	0	0	0	0.00%
(392) Interfund Transfers						
23-392-010 General Fund DS GO2021 (GO12/2004 WEGC	132,000	0	0	0	0	0.00%
23-392-015 General Fund DS GO Series 2022 (OBP)	264,000	264,000	264,000	264,000	0	0.00%
23-392-030 General Fund DS GO Series 2021	126,000	126,000	126,000	126,000	0	0.00%
23-392-040 Open Space Fund DS GO Series 2024-A&B		248,400	248,400	489,600	241,200	97.10%
Open Space Fund DS GO Series 2024-B			22,500	90,000	67,500	300.00%
23-392-080 Sewer Fund DS GO Series 2021	963,600	957,600	957,600	957,600	0	0.00%
Subtotal (492) Interfund Transfers	1,485,600	1,596,000	1,618,500	1,927,200	308,700	19.07%
Total Debt Service Revenue	1,616,347	1,604,000	1,651,200	1,960,450	309,250	18.73%

Debt Service Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
(471) Debt Principal							
23-471-700	GO Bond 2021 Principal	1,210,000	975,000	975,000	1,005,000	30,000	3.08%
23-471-720	GO Bond 2022 Principal		130,000	130,000	135,000	5,000	3.85%
23-471-740	GO Bond 2024-A Principal				130,000	130,000	100.00%
23-471-741	GO Bond 2024-B Principal					0	0.00%
Subtotal (471) Debt Principal		1,210,000	1,105,000	1,105,000	1,270,000	165,000	14.93%
(472) Debt Interest							
23-472-700	GO Bond 2021 Interest	207,700	171,400	171,400	142,150	-29,250	-17.07%
23-472-720	GO Bond 2022 Interest	143,138	143,138	143,138	137,938	-5,201	-3.63%
23-472-740	GO Bond 2024-A Interest				368,900		
23-472-741	GO Bond 2024-B Interest			15,398	97,250		
Subtotal (472) Debt Interest		350,838	314,538	329,936	746,238	416,302	126.18%
(475) Miscellaneous/Fiscal Agent Fees							
23-475-400	Fiscal Agent Fees - GO2021	500	500	500	500	0	0.00%
23-475-720	Fiscal Agent Fees - GO2022	700	700	713	700	-13	-1.82%
23-475-740	Fiscal Agent Fees - GO2024-A				650		
23-475-741	Fiscal Agent Fees - GO2024-B						
Subtotal Miscellaneous		1,200	1,200	1,213	1,850	637	52.51%
(492) Interfund Operating Transfers							
23-492-000	Transfer to Fund Balance						
23-492-030	Transfer to Capital Reserve						
23-492-010	Transfer to General Fund	0	0	0			0.00%
Subtotal Interfund Transfers		0	0	0	0	0	0.00%
Total Debt Svc Expenditures		1,562,038	1,420,738	1,436,149	2,018,088	581,939	40.52%
Total DEBT SERVICE FUND Revenues		1,616,347	1,604,000	1,651,200	1,960,450	309,250	18.73%
Total DEBT SERVICE FUND Expenditures		1,562,038	1,420,738	1,436,149	2,018,088	581,939	40.52%

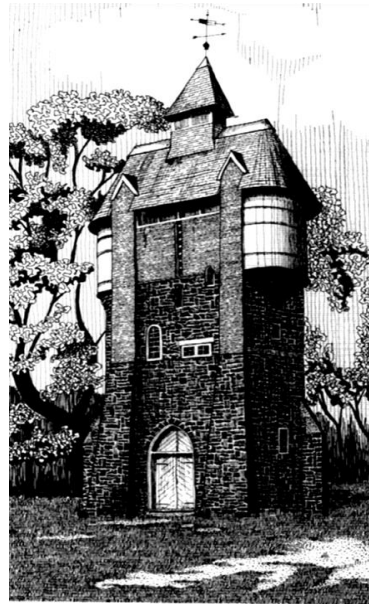
Debt Service Expenditures

Total DEBT SERVICE FUND Fund Balance	54,309	183,262	215,051	(57,638)
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DEBT SERVICE Fund Projected Year End Cash Balance **917,383** **859,746**

WESTTOWN TOWNSHIP

2025 Capital Reserve Fund Adopted Budget



11/18/2024

Capital Reserves Revenue

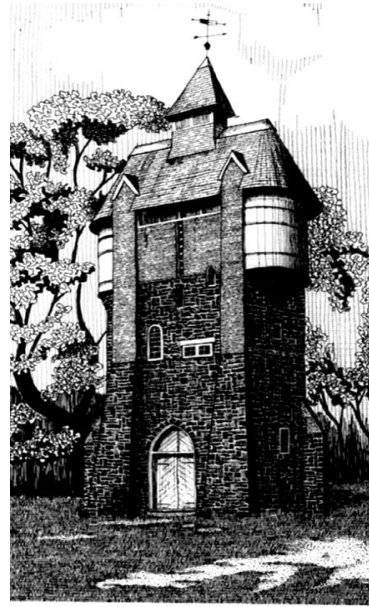
		2023 Actual	2024 Adopted	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
Fund Balance				6,544,295	6,011,907		
(341) Interest Earnings							
30-341-001	Capital Reserve GF Interest	148,987	140,000	253,500	160,000	-93,500	-36.9%
30-341-200	Capital Reserve WW Interest	57,408	70,000	81,000	60,000	-21,000	-25.9%
Subtotal (341) Interest Earnings		206,395	210,000	334,500	220,000	-114,500	-34.2%
(380) Miscellaneous Revenue							
30-399-000	Fund Reserve Appropriation	0	0	0		0	0.0%
30-380-001	CR CC Rewards	0	0	0	0	0	0.0%
Miscellaneous Revenue		0	0	0	0	0	0.0%
(392) Interfund Transfers							
30-392-023	Transfer from Debt Service					0	0.00%
30-392-030	GF Capital Reserve	180,000	180,000	180,000	240,000	60,000	33.33%
30-392-080	Wastewater Capital Reserve	360,000	360,000	360,000	600,000	240,000	66.67%
30-392-300	Transfer from, GF (Capital Rsv)	0	50,000	50,000	50,000	0	0.00%
30-392-400	Transfer from GF- Infrastructure/Windfall	0	25,000	25,000	0	-25,000	-100.00%
Subtotal (392) Interfund Transfers		540,000	615,000	615,000	890,000	275,000	44.7%
Total Capital Reserve Revenue		746,395	825,000	949,500	1,110,000	160,500	16.9%

Capital Reserve Expenditures

		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
(475) Fiscal Agent Fees							
30-475-100	Fiscal Agent Fees	0	0			0	0.0%
30-480-200	Bank Fees	26	0	0			
(492) Interfund Transfers							
30-492-018	Transfer to Capital Projects/WCC Sewer CIP	453,501	0	0		0	0.0%
30-492-018	Transfer to Capital Projects/PGFM & PGPS	0	0	734,801	0	-734,801	-100.0%
30-492-020	Transfer to Capital Projects/Admin	104,200	88,500	78,500	25,000	-203,741	-66.4%
"	Transfer to Capital Projects/Roads-Traffic Sign	0	104,000	100,600	0	0	0.0%
"	Transfer to Capital Projects/Oakbourne Mansion/Pa	0	15,000	261,000	20,000	0	0.0%
"	Transfer to CP/SWM-MS4 Projects	0	52,589	306,987	103,246	-53,500	-68.2%
30-492-080	Transfer to WW	34					
Subtotal (492) Interfund Transfers		557,735	260,089	1,481,888	148,246	-53,500	-43.0%
Total Capital Reserve Expenditures		557,761	260,089	1,481,888	148,246	-1,333,642	-43.0%
Total CAPITAL RESERVE Revenue		746,395	825,000	949,500	1,110,000	160,500	34.5%
Total CAPITAL RESERVE Expense		557,761	260,089	1,481,888	148,246	-1,333,642	-43.0%
Total CAPITAL RESERVE FUND BALANCE		188,633	564,911	(532,388)	961,754		
CAPITAL RESERVE Estimated Year End Cash Balance				6,011,907	6,973,661		

WESTTOWN TOWNSHIP

2025 Capital Projects Fund Adopted Budget



11/18/2024

Capital Projects Revenues

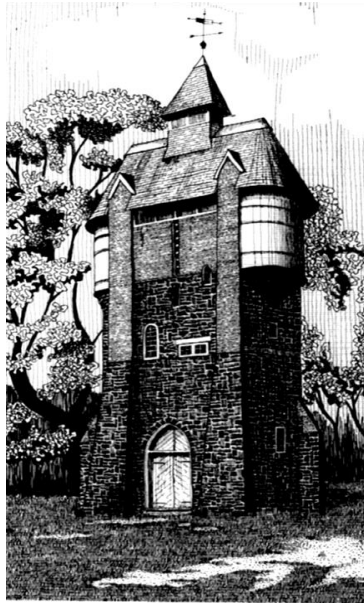
		2023 Actual	2024 Adopted Budget	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
Beginning Balance				662,981	396,204		
(341) Interest Earnings							
18-341-000	Interest	0	0	0	0	0	0.0%
18-341-100	CP WW Int Earned	1,187	5,000	7,500	5,000	-2,500	-33.3%
18-341-300	CP GF Special Projects Int Earned	1,340	5,000	16,000	8,000	-8,000	-50.0%
		2,527	10,000	23,500	13,000		
(354) Capital & Operating Grants							
18-354-030	Green Light Go Grant (926/Shady Grove Way)		267,125		267,125	267,125	100.0%
18-354-070	Greenways, Trails & Recreation Grant (MPP)	0	210,000	210,000	0	-210,000	-100.0%
18-354-071	PECO GREEN REGION GRANT	100,000			20,000	20,000	100.0%
18-354-072	DCNR C2P2/NPS LWCF Grant	0	750,000	1,500,000	0	-1,500,000	-100.0%
18-354-074	Local Share Grant (Londonderry/Wickerton Slip Lining)				259,159	259,159	100.0%
18-354-100	CFA Watershed Restoration Grant (Sage Rd)	10,000	0	0	0	0	0.0%
18-354-105	Growing Greener Grant - Thorne Drive Basin Re	0	0	187,039		-187,039	-100.0%
		110,000	1,227,125	1,897,039	546,284	-1,430,841	-71.2%
(380) Miscellaneous Revenue							
18-380-001	Credit Card Rewards	10,214	10,000	15,000	15,000	0	0.0%
		10,214	10,000	15,000	15,000	-1,358,721	0.0%
(391) Proceeds of Sale of Fixed Assets							
18-391-100	Sale of Fixed Assets	0	18,000	17,700	500,000	482,300	2724.9%
		0	18,000	7700	500,000	-2,789,562	6393.5%
(392) Interfund Transfers							
18-392-020	Transfer from GF						
18-392-030	GF Reserves Transfer/MS4 Projects	47,000	52,589	52,589	103,246	50,657	96.3%
"	GF Cap Res./Park Projects/Gov't Bldgs/Traffic/E	57,200	207,500	398,500	45,000	-353,500	-88.7%
18-392-080	Transfer From Reserve WW CIP-WGSTP			130,513		-130,513	-100.0%
"	Cap Reserve Transfer/Sewer Capital Improveme	453,501		734,801		-734,801	-100.0%
18-392-085	WW Fund Transfer		1,182,000	1,182,000	65,000	-1,117,000	-94.5%
		557,701	1,442,089	2,498,403	213,246	-2,285,157	-91.5%
Pleasant Grove Pump Station Funding Source							
Acct. TBD	Funding for PGPS (Loan, Bond, Grant, Reserves)	0	0	0	2,200,000	2,200,000	100.0%
		0	0	0	2,200,000	-4,136,958	100.0%
(399) Fund Balance			1,029,378				
Total Capital Projects Revenue & Fund Balance Appropriati		680,442	3,736,592	4,441,642	3,487,530	-3,715,998	-21.5%

Capital Projects Expenditures

		2023 Actual	2024 Adopted	2024 Year End Projection	2025 Proposed Budget	\$ Variance 2024-2025	% Variance 2024-2025
(408) Engineering/Architecture/Landscape							
18-408-313	926/Shady Grove Way Eng			52,456			
18-408-350	MS4 Engineering Services	43,554	0	20,825	0	-20,825	-100.0%
18-408-400	Pleasant Grove PS/Design Only	7,234	182,000	209,766	0	-209,766	-100.0%
18-408-401	Pleasant Grove PS Construction Management				200,000		
18-408-450	Collection System Repair/Const Engr (Ponds E	0	0		0	0	0.0%
18-408-500	Collection System Repair/Const Engr (Slip Lini	32,829	0	30,000	103,246	73,246	244.2%
18-408-620	Master Park Plan Design/Permits/Surveys	68,351	20,000	63,472	-	-63,472	100.0%
		151,967	202,000	376,519	303,246	-220,817	-19.5%
(409) General Government Buildings							
18-409-500	Admin Office Upgrades	0	50,000	7,000	40,000	33,000	471.4%
18-409-605	Mansion/Carriage House /Gate House Repairs	7,200		0		0	0.0%
18-409-610	Darlington Inn				10,000		
18-409-735	Capital Expense - PW Garage		38,500	38,500	0	-38,500	-100.0%
18-409-740	Capital Expense - Mansion		15,000	15,000	20,000	5,000	100.0%
		7,200	103,500	60,500	70,000	-500	15.7%
(429) Collection System Capital Improvement Program							
18-429-300	Collection System Infracture Repairs (Spot)	24,282	0	0	0	0	0.0%
18-429-500	WGSA Capital Construction	0	235,000	0	285,000	285,000	100.0%
18-429-600	Capital Construction - Main Plant				20,000		
18-429-603	Collection System Repair Capital Const	245,059	65,019	304,893	0	-304,893	-100.0%
18-429-611	Pleasant Grove PS . - Force Main		1,000,000	1,676,560	0	-1,676,560	-100.0%
18-429-612	Pleasant Grove - Pump Station Construction				2,000,000		
		269,341	1,300,019	1,981,453	2,305,000	-1,696,453	16.3%
(433) Traffic Control							
18-433-610	Traffic Signal Const. 926/Shady Grove (net cos	0	337,125	337,125	0	-337,125	-100.0%
		0	337,125	337,125	0	-337,125	-100.0%
(436) Storm Water Management/MS4							
18-436-100	Radley Run Stream Restoration BRCA-S New :	0	50,000	0	50,000	50,000	100.0%
18-436-200	Sage Road Basin Retrofit	16,975		0		0	0.0%
18-436-300	Thorne Drive Basin Retrofit (net cost)	286	69,948	256,987	0	-256,987	-100.0%
		17,261	119,948	256,987	50,000	-206,987	-80.5%
(437) Tools & Machinery							
18-437-700	Purchase of Equipment (2) Exmark Mowers	0	34,000	42,894	0	-42,894	-100.0%
		0	34,000	42,894	0	-42,894	-100.0%
(454) Township Parks							
18-454-000	Parks - Tyson Park Playground	0			30,000		
18-454-610	Oakbourne Park Master Plan Phase 1	83,545	1,640,000	1,652,941	0	-1,652,941	-100.0%
		83,545	1,640,000	1,652,941	30,000	-1,652,941	-98.2%
(465) Land Acquisition							
18-465-710	Land Acquisition/Subdivision			241,000	152,000	-89,000	-36.9%
		0	0	241,000	152,000	-89,000	-36.9%
Total Capital Projects Expense		529,314	3,736,592	4,708,419	2,758,246	-1,950,173	-41.4%
Total CAPITAL PROJECTS FUND Revenue/Fund Balance A		680,442	3,736,592	4,441,642	3,487,530	-954,112	-21.5%
Total CAPITAL PROJECTS FUND Expense		529,314	3,736,592	4,708,419	2,758,246	-1,950,173	-41.4%
Total CAPITAL PROJECTS FUND Fund Balance		151,128	0	(266,777)	729,284		
CAPITAL PROJECTS Fund Projected Year End Cash Balance				396,204	1,125,488		

WESTTOWN TOWNSHIP

2025 ARPA Fund Draft Budget



11/18/2024

ARPA Revenues and Expenditures

	2023 Actual	2024 Adopted Budget	2024 Year End Projection	2024 Proposed Budget
ARPA Fund Balance		1,220,367	1,222,250	651,320
ARPA REVENUES				
(341) Interest Earnings				
19-341-000 Interest Earnings	61,645	40,000	43,100	20,117
Total ARPA Fund Revenue	61,645	1,260,367	1,265,350	671,437
ARPA EXPENDITURES				
(452) Culture-Recreation				
19-452-610 OBP Master Plan	0	483,517	614,030	
19-452-611 OBP/Mansion Core Parking Design & Construction				671,437
Subtotal (452) Culture-Recreation	0	483,517	614,030	671,437
Expense of remaining ARPA Funds To Be Determined				
Project To Be Determined by the Board of Supervisors		776,850	0	
Total ARPA Fund Expenditures:	0	1,260,367	614,030	671,437
Total ARPA FUND Revenue	61,645	1,260,367	1,265,350	671,437
Total ARPA FUND Expenditures	0	1,260,367	614,030	671,437
Total ARPA FUND Fund Balance	61,645	0	651,320	0

FOX CLEARING, LLC,

Appellant,

vs.

BOARD OF SUPERVISORS OF
WESTTOWN TOWNSHIP,

Appellee.

IN THE COURT OF COMMON
PLEAS OF CHESTER COUNTY

NO. 2024-01326-ZB

LAND USE APPEAL

SETTLEMENT AGREEMENT

THIS SETTLEMENT AGREEMENT (“**Agreement**”) is made this ____ day of _____, 2024 by and between FOX CLEARING, LLC (“**Fox**” or “**Developer**”), and the BOARD OF SUPERVISORS (“**Board**”) OF WESTTOWN TOWNSHIP (“**Township**”) (each a “**Party**”, collectively the “**Parties**”).

BACKGROUND

1. Fox Clearing, LLC, is a Pennsylvania limited liability company having a business address of 227 Granite Run Drive, Suite 100, Lancaster, Pennsylvania 17601.

2. The Board of Supervisors of Westtown Township is the governing body of Westtown Township having a principal place of business located at 1039 Wilmington Pike, West Chester, Pennsylvania 19382.

3. Fox is the owner and/or equitable owner of four parcels of land totaling approximately 81 acres located along Shiloh Road in the Township, more specifically designated as Uniform Parcel Identifier (“**UPI**”) #67-2-23 (64.956 acres); #67-2-8 (9.133 acres); #67-2-9 (1.133 acres); and #67-2-7.1 (5.664 acres) (collectively, the “**Property**”).

4. The Property is located on the east side of Shiloh Road about one-half mile south of Little Shiloh Road, generally opposite the intersections of Shiloh and Oakbourne Roads and Shiloh Road and Hunt Drive.

5. The Property is in the Township’s R-1 Residential Zoning District (“**R-1 District**”) of the Township’s Zoning Ordinance.

6. Section 170-601.C.(1) of the Zoning Ordinance permits residential development in accordance with the provisions of Article IX (Flexible Development Procedure) of the Zoning Ordinance by conditional use. Single-family detached dwellings are permitted in flexible developments pursuant to Section 170-903.A of the Zoning Ordinance.

7. On May 4, 2023, Fox submitted a Conditional Use Application (“**Application**”) to develop the Property under the Flexible Development Procedure of the Zoning Ordinance.

8. Fox proposed to develop the Property with a single-family residential development consisting of eighty-five (85) single-family homes together with the construction of internal streets, utilities, stormwater management facilities, landscaping, lighting, community recreation facilities and other associated development improvements (“**Proposed Development**”).

9. The Proposed Development proposed the demolition and removal of the existing Stokes house and the Miles house while the O’Brien house and the Briner house are proposed to remain on the Property.

10. The Proposed Development will be serviced by public water and public sewer.

11. On August 14, 2023, the Board commenced a hearing on the Application that concluded on December 27, 2023 after four (4) nights of testimony.

12. On December 27, 2023, the Board voted orally to deny the Application and on February 1, 2024, the Board issued the written decision denying the Application (“**Decision**”).

13. On February 14, 2024, Fox appealed the Decision (“**Appeal**”).

14. Subsequent to Fox filing the Appeal, the Parties negotiated and agreed upon a

settlement of the Appeal.

15. By entering into this Agreement, the Parties now desire to memorialize in writing their understanding of the terms of the settlement, including modifications to the Proposed Development.

NOW, THEREFORE, in consideration of the facts set forth in the Background of this Agreement, and in consideration of the mutual covenants and agreements contained herein, the Parties hereto, intending to be legally bound hereby, agree as follows:

1. **Incorporation of Background.** The Background to this Agreement is incorporated into the body of this Agreement as if fully set forth herein at length.

2. **Approval of the Agreement.** Execution of this Agreement by the Board shall occur only after the Board has voted to approve this Agreement at a public meeting and after public comment.

3. **Settlement of Land Use Appeal and Court Approval.** This Agreement shall serve as the basis for a negotiated settlement of the Appeal. Immediately after the Parties execute this Agreement, counsel for the Parties shall execute and file a Joint Motion to Approve Settlement Agreement by attaching a copy of this Agreement and requesting the Court enter an Order approving this Agreement.

4. **Proposed Development and Future Use of the Property.** The Parties agree to permit Developer to design, engineer, construct, develop, and/or use the Property for seventy-eight (78) single family homes (“**Modified Proposed Development**”) substantially in accordance with the conceptual site plan entitled “Settlement Plan – Overall Site Plan” prepared by DL Howell dated February 28, 2024, last revised October 25, 2024, a copy of which is attached as **Exhibit “A” (“Settlement Plan”)**.

The Modified Proposed Development proposes the construction of an additional internal street to connect to proposed Road “C” in the Modified Proposed Development.

The Modified Proposed Development also proposes the construction of a school bus stop together with a car pullover area. The school bus stop and car pullover area will be further designed during the land development process and is subject to input from the West Chester Area School District.

At the time of this Agreement, the Modified Proposed Development has been determined to deviate from the Township’s Zoning Ordinance, Subdivision and Land Development Ordinance (“**SALDO**”) and Stormwater Management Ordinance (“**SWMO**”) as detailed in attached **Exhibit “B”**. Additional SALDO and SWMO waivers may be requested during review of the Land Development Application set forth below.

5. **Land Development Application.** After the execution of this Agreement and the issuance of the Court’s Order approving this Agreement, the Developer, at its discretion, will cause its engineer to prepare and submit a land development application (“**Land Development Application**”) for the Modified Proposed Development substantially in accordance with: (i) the Settlement Plan and (ii) the terms of this Agreement (collectively, the “**Standards**”). If the Land Development Application complies with the Standards and the applicable Township Ordinances, as may be further modified or waived in accordance with the Pennsylvania Municipalities Planning Code and the SALDO, then the Board shall approve the Land Development Application.

6. **Disputes with Regard to Land Development Application.** If any disputes arise between the Parties with respect to the engineering of the Land Development Application, then the Parties shall communicate and meet to resolve such disputes. If the Parties cannot resolve

their dispute, then the Parties may avail themselves of the mediation option provided for in the Pennsylvania Municipalities Planning Code or either Party may petition the Court for appropriate relief and enforcement of this Agreement.

7. **Sanitary Sewer for the Modified Proposed Development.** The Modified Proposed Development shall be serviced by public sanitary sewer via the Township public sewer system with treatment and disposal at the Chester Creek wastewater treatment plant. An on-site sewer pump station and force main will be constructed to convey wastewater generated by the Modified Proposed Development into the Township's public sewer system connecting at an existing manhole at the intersection of Shiloh Road and Farm Lane.

8. **Sewage Facilities Planning.** On May 7, 2023, the Pennsylvania Department of Environmental Protection ("DEP") approved sewage facilities planning for a portion of the Property. The Developer shall prepare and submit to the Township a revised sewage facilities planning module for the Modified Proposed Development to be constructed on the entire Property. The Township shall review the planning module in accordance with DEP's sewage facilities planning regulations and any applicable Township ordinances. Upon approval of the planning module, the Township shall forward it to DEP for DEP's review and approval. The Township shall assist the Developer in responding to DEP review comments and requests for additional information.

9. **Sewer Tapping Fee for the Modified Proposed Development.** At the time of building permit application for each single-family home in the Modified Proposed Development, the Developer shall pay the then current sewer tapping fee per equivalent dwelling unit ("EDU") for conveyance and treatment capacity in the Township public sewer system.

10. **NPDES Permit.** The Developer shall obtain the required stormwater NPDES

permit from DEP or Chester County Conservation District for the Modified Proposed Development.

11. **Dedicated and Non-dedicated Improvements.**

(A) Open Space: The open space in the Modified Proposed Development shall not be offered for dedication but shall be owned and maintained by a future homeowners' association created for the Modified Proposed Development.

(B) Shiloh Road Additional Right of Way and Road Calming: The Developer shall offer the additional right of way along Shiloh Road delineated on the Settlement Plan and the Board shall accept dedication of the additional right of way at the time as specified in a future development improvements agreement between the Parties. Concurrent with the recording of the final land development plans, the Developer shall contribute fifty thousand dollars (\$50,000) to the Township to be used for traffic calming measures along Shiloh Road.

(C) Traffic Signal Retiming at Route 926 and Shiloh Road: As part of the Modified Proposed Development, the Developer shall retime the exiting traffic signal at Route 926 and Shiloh Road to optimize levels of service at the intersection post-Modified Proposed Development.

(D) Roads and Sidewalks: The roads and sidewalks in the Modified Proposed Development shall not be offered for dedication but shall be owned and maintained by either the individual homeowners or a future homeowners' association created for the Modified Proposed Development.

(E) Retaining walls: The retaining walls in the Modified Proposed Development shall not be offered for dedication but shall be owned and maintained by a future homeowners' association created for the Modified Proposed Development.

(F) Trails: The trails constructed in the Modified Proposed Development shall not be offered for dedication but shall be owned and maintained by a future homeowners' association created for the Modified Proposed Development and shall be subject to an easement for public pedestrian use only (no bicycles or motorized equipment).

(G) Sewer: The Modified Proposed Development's sewer collection system and pump station will be dedicated to and accepted by the Township in accordance with a future development improvements agreement to be entered into between the Parties.

12. **Site Grading and Earth Disturbance.** The Developer may not commence site grading and clearing until the Developer has obtained the required Erosion and Sedimentation Control adequacy approval and NPDES permit for the Modified Proposed Development and has posted the required financial security for such grading and disturbance with the Township.

13. **Future Homeowners' Disclosure.** At the time of entering into agreements of sale for the new home lots in the Modified Proposed Development, the Developer shall disclose in writing the existence and locations of the two (2) pipelines on the Property and the general contents being conveyed through the pipelines to any individual new home purchaser.

14. **Miscellaneous.**

(A) **Binding Effect.** This Agreement shall be binding upon and inure to the benefit of the Parties hereto and their respective successors and assigns.

(B) **Specific Performance and Enforcement of Settlement Agreement.** The Parties agree that, in addition to all remedies at law, either may petition the Chester County Court of Common Pleas for specific performance and/or enforcement of this Agreement without having to exhaust administrative remedies. The Parties further agree the Court shall retain jurisdiction of the Appeal for purposes of enforcing the terms of this Agreement.

(C) **Entire Agreement.** This Agreement shall constitute the entire agreement among the Parties and supersedes all prior negotiations, understandings and agreements of any nature whatsoever with respect to the subject matter hereof.

(D) **Amendment.** This Agreement may be amended upon the written consent of the Parties to this Agreement, which shall not be unreasonably withheld. No waiver or discharge of any provision of this Agreement shall be effective against any party unless that party shall have consented thereto in writing.

(E) **Assignment.** This Agreement may be assigned by the Developer, subject to the Board's approval, which shall not be unreasonably withheld. No assignment shall be effective without the assignee's or successor's written assumption and acceptance of the obligations under this Agreement.

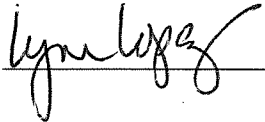
(F) **Governing Law.** This Agreement shall be interpreted and construed in accordance with the laws of the Commonwealth of Pennsylvania.

(G) **Notices.** All notices or other communications required or permitted to be given under the terms of this Agreement shall be in writing and shall be sent by certified mail, postage prepaid or by private carrier guarantying next day delivery, to the address referenced in the Background above.

(H) **Counterparts.** This Agreement may be executed in multiple counterparts such that all counterparts together shall create a fully executed and complete Agreement.

IN WITNESS WHEREOF, the Parties hereto have caused this Agreement to be executed the day and year first above written.

ATTEST:



FOX CLEARING, LLC
By: KCH Holding, Inc., Sole Member

By: 
Name: Jeffrey C. Rutt
Title: President

**BOARD OF SUPERVISORS OF
WESTTOWN TOWNSHIP**

ATTEST:

By: _____
Name:

By: _____
Name:

By: _____
Name:

EXHIBIT "A"
SETTLEMENT PLAN

RESIDENTIAL DEVELOPMENT

ART. VI - R1 RESIDENTIAL DISTRICT
 SECT. 170-501.2: CONDITIONAL USES
 (2) RESIDENTIAL DEVELOPMENT (FLEXIBLE DEVELOPMENT PROCEDURE - ARTICLE IX)
 ART. IX - FLEXIBLE DEVELOPMENT PROCEDURE
 SECT. 170-903: PERMITTED USES
 A. SINGLE FAMILY DETACHED DWELLINGS
 SECT. 170-904: DENSITY STANDARDS
 BASE DENSITY = 1.1 D.U./ACRE OF TRACT AREA (SEE TRACT AREA CALCULATION)
 BONUS DENSITY = 1.5 D.U./ACRE OF TRACT AREA (MAXIMUM ACHIEVABLE)

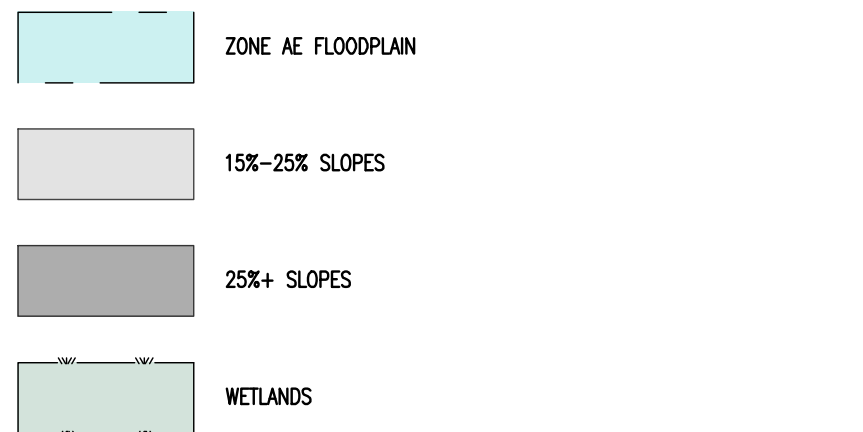
TRACT AREA CALCULATION

TRACT AREA (GROSS)	3,523,402 S.F. / 80.886 ACS(4)
EX. LEGAL R/W	4,663 S.F.
EX. UTILITY EASEMENTS	280,525 S.F.
AREA EQUAL TO 75% OF FLOODPLAIN	- 144,110 S.F.
PROMOTIVE SLOPES	- 70,841 S.F.
WETLANDS	- 81,077 S.F.
AREA EQUAL TO 25% OF SEASONALLY HIGH WATER TABLE SOILS	- 132,496 S.F.
TRACT AREA	2,848,590 S.F. (65,418 AC.)
BASE DENSITY (1.1 MULTIPLIER)	71 LOTS

OPEN SPACE
 MINIMUM OPEN SPACE = 40% GROSS TRACT AREA
 REQUIRED GROSS TRACT = 80.886 ACRES
 80.886 ACRES X 40% = 32.35 ACRES
 PROPOSED GROSS OPEN SPACE = 44.57 ACRES (55.10% GROSS TRACT AREA)
 QUALIFYING MIN. REQUIRED OPEN SPACE = 33.81 ACRES (41.80% GROSS TRACT AREA)
 QUALIFYING INCREMENTAL BONUS O.S. = 4.27 ACRES (5.28% GROSS TRACT AREA)

DENSITY CALCULATION
 BASE DENSITY: 1.1 D.U. / TRACT AREA
 BONUS DENSITY: +0.075 D.U. / 5% OF ADDITIONAL OPEN SPACE = (5.28% EXTRA) = 0.025 * 3 = 0.075 BONUS
 MAXIMUM DENSITY = 1.1 + 0.075 = 1.175 D.U. * 65,418 ACS. = 76 LOTS ACHIEVABLE
 SPECIAL BONUS DENSITY: 1.70-904(2)(c)(1)
 PLUS 1 (ONE) ADDITIONAL UNIT / 2 ACRE LOT CONTAINING HISTORIC BUILDING = +1 LOT
 1.70-904(2)(c)(2)
 PLUS 1 (ONE) ADDITIONAL UNIT / 2,000 SF G.F.A. HISTORIC RESTORATION/REHABILITATION = +1 LOT
 MAXIMUM DENSITY WITH SPECIAL BONUS DENSITY = 76 + 2 = 78 LOTS ACHIEVABLE

PRECAUTIONARY STEEP SLOPES (15-25%)
 GROSS TRACT AREA = 80,886 ACS (3,523,402 SF)
 25% OF THE GROSS TRACT AREA = 20,221 SF
 AREA OF PRECAUTIONARY STEEP SLOPES = 547,921 SF < 25% OF THE TRACT AREA THEREFORE SECTION 170-402.2(3) DOES NOT APPLY

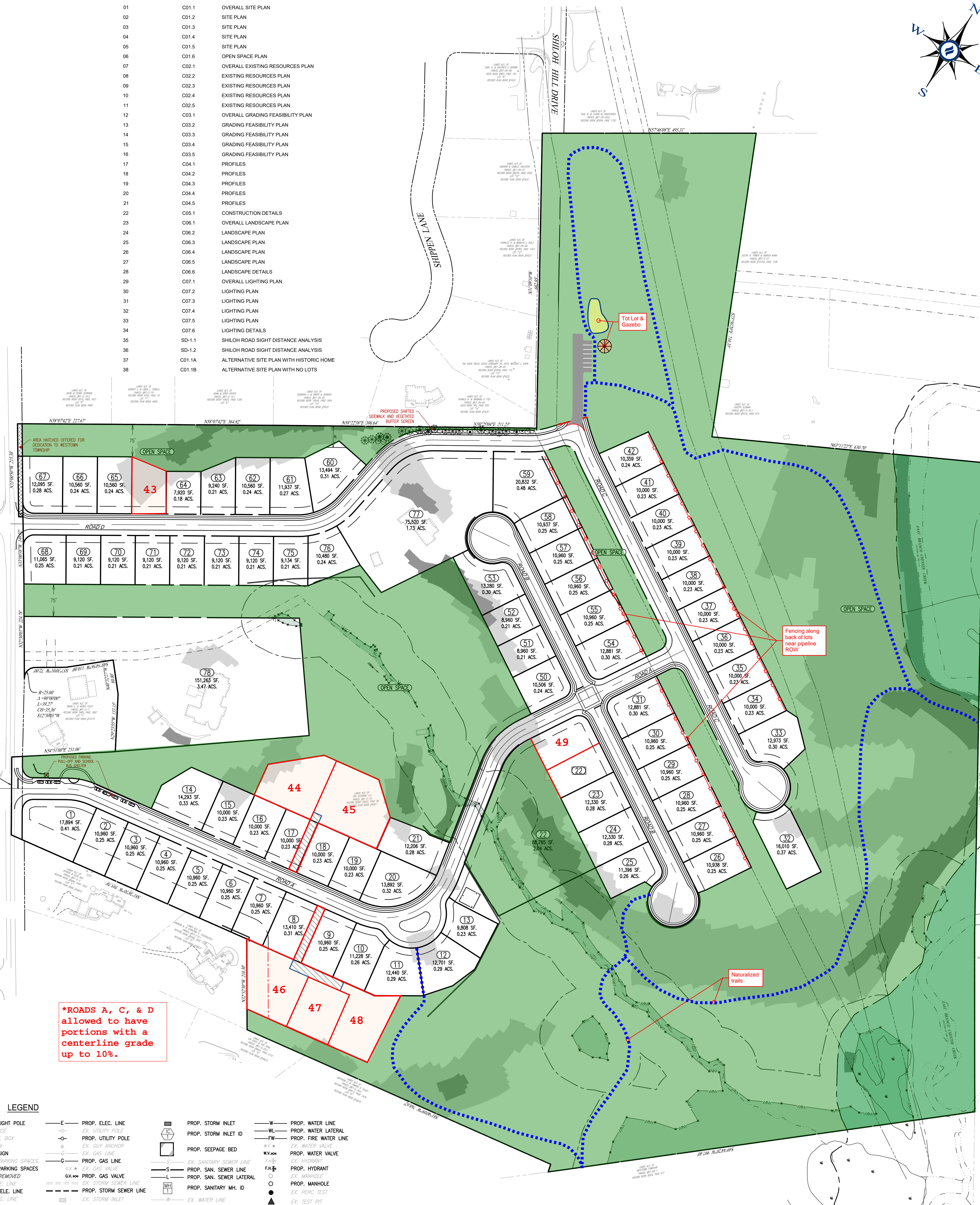


LEGEND

EX. PROPERTY LINE	EXISTING CONTOUR	EX. FENCE	EX. MAIL BOX	EX. SIGN	PROP. SIGN	PROP. PARKING SPACES TO BE REMOVED	PROP. CONC. CURB	PROP. TELE. LINE	PROP. EDGE OF PAVING	EX. WETLANDS	EX. ELEC. LINE	EX. STORM INLET	EX. WATER LINE	EX. UTILITY POLE	EX. GUY ANCHOR	EX. GAS VALVE	EX. GAS VALVE	EX. SANITARY SEWER LINE	EX. SAN. SEWER LATERAL	EX. WATER LINE	PROP. LIGHT POLE	PROP. ELEC. LINE	PROP. STORM INLET	PROP. STORM INLET ID	PROP. SEEPAGE BED	PROP. SAN. SEWER LINE	PROP. SAN. SEWER LATERAL	PROP. STORM SEWER LINE	PROP. STORM SEWER LINE	PROP. WATER LINE	PROP. WATER LATERAL	PROP. FIRE WATER LINE	EX. WATER VALVE	EX. WATER VALVE	EX. MANHOLE	EX. PERC. TEST	EX. TEST PIT
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DRAWING INDEX

SHEET NUMBER	DRAWING NUMBER	SHEET TITLE
01	C01.1	OVERALL SITE PLAN
02	C01.2	SITE PLAN
03	C01.3	SITE PLAN
04	C01.4	SITE PLAN
05	C01.5	SITE PLAN
06	C01.6	OPEN SPACE PLAN
07	C02.1	OVERALL EXISTING RESOURCES PLAN
08	C02.2	EXISTING RESOURCES PLAN
09	C02.3	EXISTING RESOURCES PLAN
10	C02.4	EXISTING RESOURCES PLAN
11	C02.5	EXISTING RESOURCES PLAN
12	C03.1	OVERALL GRADING FEASIBILITY PLAN
13	C03.2	GRADING FEASIBILITY PLAN
14	C03.3	GRADING FEASIBILITY PLAN
15	C03.4	GRADING FEASIBILITY PLAN
16	C03.5	GRADING FEASIBILITY PLAN
17	C04.1	PROFILES
18	C04.2	PROFILES
19	C04.3	PROFILES
20	C04.4	PROFILES
21	C04.5	PROFILES
22	C05.1	CONSTRUCTION DETAILS
23	C06.1	OVERALL LANDSCAPE PLAN
24	C06.2	LANDSCAPE PLAN
25	C06.3	LANDSCAPE PLAN
26	C06.4	LANDSCAPE PLAN
27	C06.5	LANDSCAPE PLAN
28	C06.6	LANDSCAPE PLAN
29	C07.1	OVERALL LIGHTING PLAN
30	C07.2	LIGHTING PLAN
31	C07.3	LIGHTING PLAN
32	C07.4	LIGHTING PLAN
33	C07.5	LIGHTING PLAN
34	C07.6	LIGHTING DETAILS
35	SD-1.1	SHILOH ROAD SIGHT DISTANCE ANALYSIS
36	SD-1.2	SHILOH ROAD SIGHT DISTANCE ANALYSIS
37	C01.1A	ALTERNATIVE SITE PLAN WITH HISTORIC HOME
38	C01.1B	ALTERNATIVE SITE PLAN WITH NO LOTS

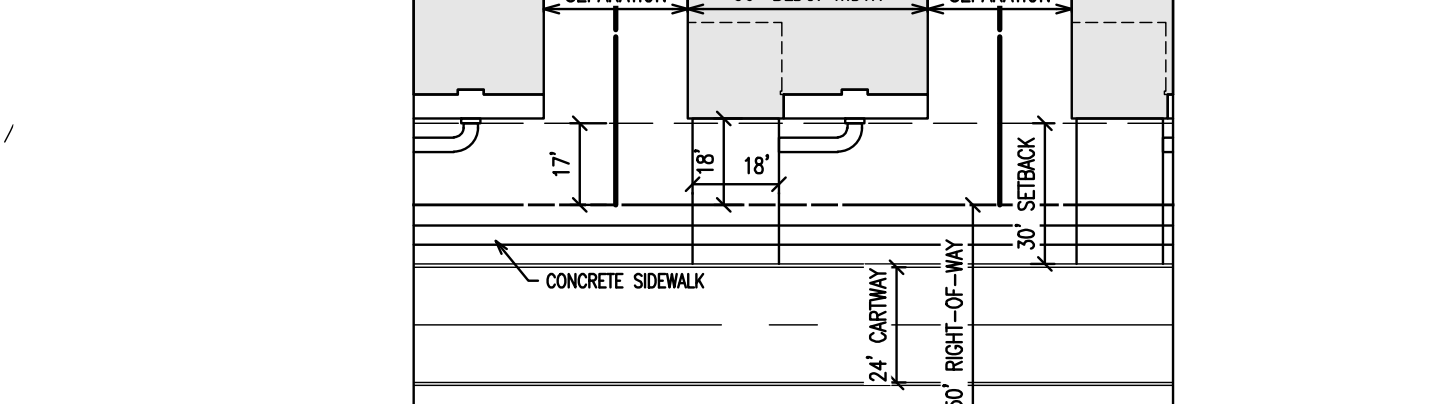
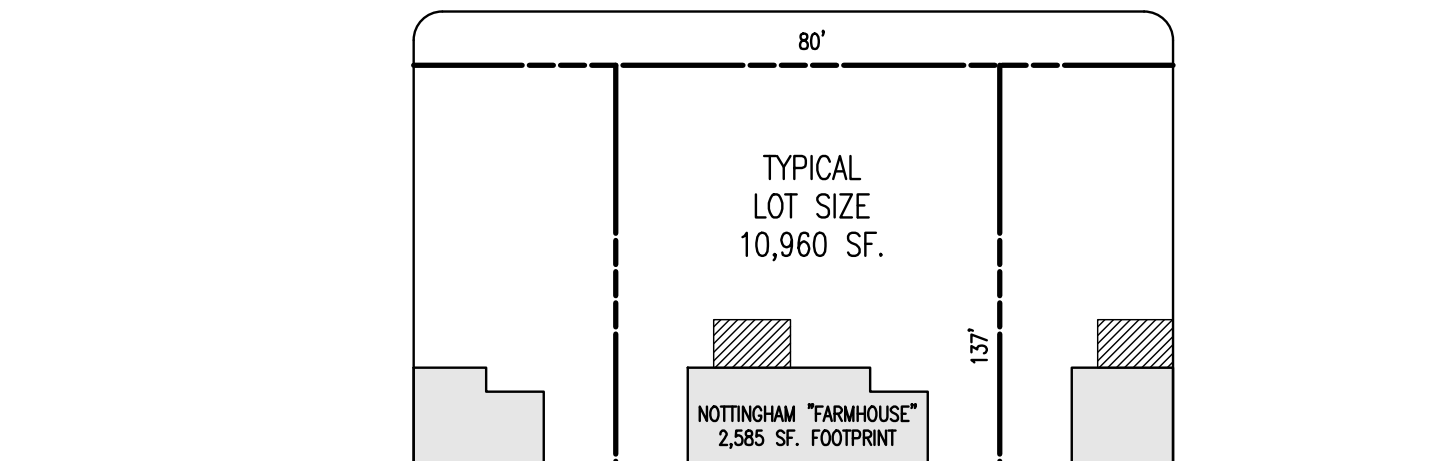
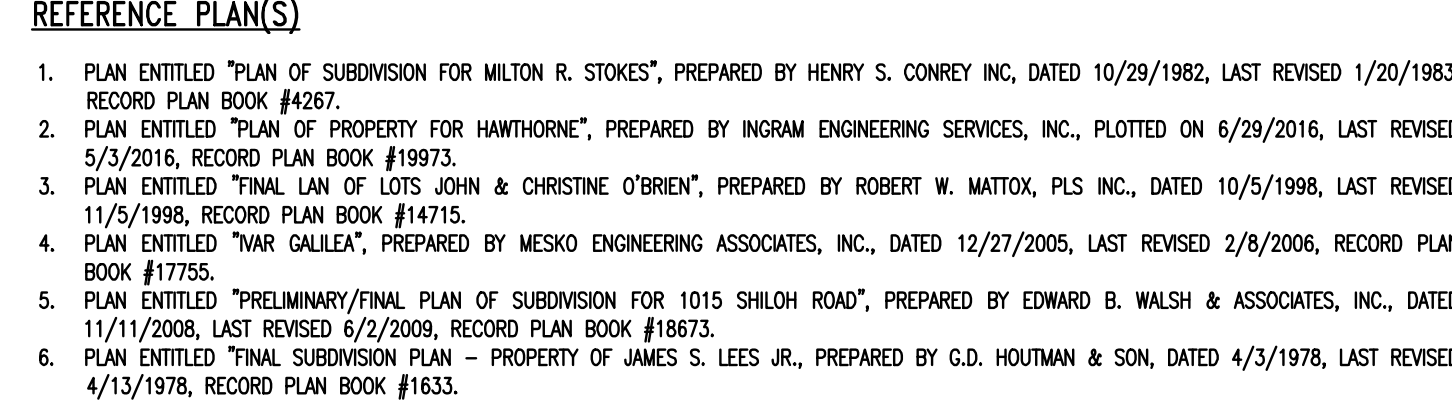


GENERAL NOTES

- RECORD OWNER/MAILING ADDRESS: FOX CLEARING, LLC, 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601
- SITE ADDRESS: 1013 SHILOH ROAD, WEST CHESTER, PA 19382
- TAX PARCEL #: 67-2-23
- SOURCE OF TITLE: RECORD BOOK 10533 PAGE 48
- LOT AREA: 64,956 ACRES (GROSS) 6,133 ACRES 1,133 ACRES
- BOUNDARY, TOPOGRAPHY AND PHYSICAL IMPROVEMENTS SHOWN ARE FROM FIELD SURVEY BY HOWELL KLINE SURVEYING, LLC. PERFORMED DURING OCTOBER, NOVEMBER, DECEMBER 2020 AND JANUARY 2021.
- CONTOURS & TOPOGRAPHIC INFORMATION PLOTTED FROM AERIAL SURVEY BY NORDAST MAPPING, INC. AERIAL MAPPING WAS PRODUCED TO NATIONAL MAP ACCURACY STANDARDS. GROUND CONTROL AND SUPPLEMENTAL DATA BY HOWELL KLINE SURVEYING, LLC. DATUM: NAVD 83 (COMPILED USING GEOID12A) & NAD 83 (2011) (IPROD2010.0000) [AS DETERMINED BY GPS OBSERVATION]. SITE BENCH = RM OF SANITARY MANHOLE LOCATED AT THE INTERSECTION OF HUNT DRIVE AND SHILOH ROAD. ELEVATION: 405.91'. CONTOUR INTERVAL: 2 FEET
- UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM OBSERVABLE EVIDENCE AT THE TIME OF SURVEY AND INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES. NO GUARANTEE IS MADE FOR COMPLETENESS OR ACCURACY OF UTILITIES AS INDICATED OR SHOWN HEREON.
- A PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE AE. A SPECIAL FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS PER THE NATIONAL FLOOD INSURANCE RATE MAP FOR CHESTER COUNTY, PA. MAP NO. 42022-02156, PANEL 215 OF 380, DATED SEPTEMBER 29, 2017. FLOOD PLAIN BOUNDARIES SHOWN HEREON WERE SCALED FROM THE ABOVE MENTIONED MAP.
- WETLANDS BOUNDARY LINES WERE DELINEATED BY BROCKHOUSE ENVIRONMENTAL, CONSULTANTS AND ENGINEERS AND VORTER ENVIRONMENTAL AND FLAGS LOCATED BY HOWELL KLINE SURVEYING, LLC. PERFORMED ON OCTOBER 30, 2020 AND JANUARY 2021 RESPECTIVELY.
- THIS SITE IS CLASSIFIED AS "2-OF LOCAL HISTORIC VALUE" ON THE TOWNSHIP HISTORIC RESOURCES MAP.
- THE PURPOSE OF THIS PLAN IS TO DETAIL THE PROPOSED SITE LAYOUT AS PART OF A SETTLEMENT AGREEMENT OF AN 78 LOT RESIDENTIAL SUBDIVISION INCLUDING, BUT NOT LIMITED TO, CONCEPTUAL STORMWATER MANAGEMENT, GRADING, AND LANDSCAPING.
- SOILS INFORMATION PROVIDED WITH SUPPORT FROM THE NATURAL RESOURCES CONSERVATION SERVICE. SOILS ATTRIBUTE DATA IS SERVED FROM THE NRCS SCS DATA MAP.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.
- AN INDEED FROM IS REQUIRED TO BE OBTAINED PRIOR TO ANY CONSTRUCTION ACTIVITIES ON THIS SITE.
- ALL DIMENSIONS ARE TO EDGE OF FINISH OR FACE OF BUILDING UNLESS NOTED OTHERWISE. SEALED DIMENSIONS SHALL NOT BE USED WITHOUT FIRST CONTACTING D.L. HOWELL & ASSOCIATES.
- THIS PLAN PROPOSES PUBLIC WATER SUPPLY AND PUBLIC SEWER. PUBLIC WATER WILL BE PROVIDED BY AQUA PENNSYLVANIA. ALL WORK SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND SPECIFICATIONS.
- AN INDIVIDUAL GRADING AND EROSION AND SEDIMENT CONTROL PLAN FOR EACH BUILDING GROUP SHALL BE SUBMITTED WITH THE BUILDING PERMIT FOR THE TOWNSHIP'S REVIEW AND APPROVAL.
- ALL MONUMENTS TO BE SET IN ACCORDANCE WITH WESTTOWN TOWNSHIP SUBDIVISION & LAND DEVELOPMENT ORDINANCE.
- ALL PROPOSED UTILITIES MUST BE PLACED UNDERGROUND.
- D.L. HOWELL & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS OF THE EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS. NOR DOES D.L. HOWELL & ASSOCIATES, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF THE WORK.
- THE FINAL ARCHITECTURE AND LOT PLACEMENT FOR EACH HOME IS YET TO BE DETERMINED. FOOTPRINTS ARE FOR CONCEPTUAL PURPOSES ONLY.
- REPRESENTATIVES OF WESTTOWN TOWNSHIP AND/OR OTHER GOVERNMENTAL AUTHORITIES SHALL HAVE PERMISSION TO GAIN ACCESS TO THE STORMWATER FACILITIES THROUGH A BLANKET EASEMENT OVER THE PROPERTY TO PERFORM INSPECTIONS, MAINTENANCE AND REPAIRS OF THE BASIN, AS NECESSARY.
- STORMWATER SERVICES SHALL NOT BE REMOVED, ALTERED OR RELINQUISHED BY THE LANDOWNER. IN THE EVENT OF THE FAILURE OF THE LANDOWNER TO COMPLY WITH THESE CONDITIONS AND RESTRICTIONS, THE TOWNSHIP SHALL HAVE THE AUTHORITY TO RESTORE SAID STORMWATER MANAGEMENT FACILITIES TO THEIR ORIGINAL STATE AND THE COSTS THEREOF SHALL BE ASSESSED TO THE LANDOWNER. THE TOWNSHIP, BEFORE IT MAY EXERCISE THIS RIGHT, SHALL NOTIFY THE LANDOWNER BY CERTIFIED MAIL OF ITS INTENTION TO DO SO. THE NOTICE SHALL SET FORTH IN WHAT MANNER THE OWNER HAS ALTERED THE STORMWATER MANAGEMENT FACILITIES, AND IF THE OWNER FAILS TO CORRECT THE ALTERATION LISTED IN THE NOTICE FROM THE TOWNSHIP, THEN AND ONLY THEN THE TOWNSHIP MAY EXERCISE THIS RIGHT.
- A SEWAGE FACILITIES PLANNING MODULE IS REQUIRED IN ACCORDANCE WITH THE SEWAGE FACILITIES PLANNING ACT (ACT 537). APPROVAL OF THIS PLAN IN NO WAY IMPLIES OR GUARANTEES THAT SUCH APPROVAL CAN BE OBTAINED.
- ALL NEW SANITARY WORK, INCLUDING BUT NOT LIMITED TO, SANITARY SEWER MAINS AND APPURTENANCES, MANHOLES, ETC., SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF WESTTOWN TOWNSHIP.
- ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH REQUIREMENTS OF WESTTOWN TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS APPLICABLE. WESTTOWN TOWNSHIP IS NOT RESPONSIBLE FOR INSTALLATION OR MAINTENANCE OF ANY STORMWATER FACILITIES NOT DEDICATED FOR PUBLIC USE.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT OF STORM DRAINAGE FACILITY THAT COULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, ANY EASEMENT AGREEMENT, OR THE STORM DRAINAGE FACILITY.
- THE LIMITS OF DISTURBANCE SHALL BE STAKED IN THE FIELD PRIOR TO CLEARING OF ANY EXISTING DISTURBANCE. ANY CHANGE OR ENCROACHMENT ONTO THESE AREAS WITHOUT CONSERVATION DISTRICT REVIEW AND APPROVAL MAY REQUIRE THE CONTRACTOR TO CEASE DISTURBANCE AND OBTAIN AN EARTH DISTURBANCE PERMIT. INSTALL TREE PROTECTION FENCING AROUND PERIMETER OF TREES WHERE LIMIT OF DISTURBANCE ABUTS WOODLANDS.

REFERENCE PLAN(S)

- PLAN ENTITLED "PLAN OF SUBDIVISION FOR WILTON R. STOKES", PREPARED BY HENRY S. CONROY INC., DATED 10/29/1982, LAST REVISED 1/20/1983, RECORD PLAN BOOK #4267.
- PLAN ENTITLED "PLAN OF PROPERTY FOR HAWTHORNE", PREPARED BY INGRAM ENGINEERING SERVICES, INC., PLOTTED ON 6/29/2016, LAST REVISED 5/3/2016, RECORD PLAN BOOK #1803.
- PLAN ENTITLED "FINAL PLAN OF LOTS JOHN & CHRISTINE O'BRIEN", PREPARED BY ROBERT W. WATSON, PLS INC., DATED 10/5/1998, LAST REVISED 11/5/1998, RECORD PLAN BOOK #14715.
- PLAN ENTITLED "TWIN GALEA", PREPARED BY MESKO ENGINEERING ASSOCIATES, INC., DATED 12/27/2005, LAST REVISED 2/18/2006, RECORD PLAN BOOK #17755.
- PLAN ENTITLED "PRELIMINARY/FINAL PLAN OF SUBDIVISION FOR 1015 SHILOH ROAD", PREPARED BY EDWARD B. WALSH & ASSOCIATES, INC., DATED 11/11/2006, LAST REVISED 6/2/2009, RECORD PLAN BOOK #18673.
- PLAN ENTITLED "FINAL SUBDIVISION PLAN - PROPERTY OF JAMES S. LEES JR., PREPARED BY G.D. HOUTMAN & SON, DATED 4/3/1978, LAST REVISED 4/13/1978, RECORD PLAN BOOK #1633.



RECORD OWNER/APPLICANT:
 FOX CLEARING, LLC
 227 GRANITE RUN DRIVE, SUITE 100
 LANCASTER, PA 17601

OVERALL SITE PLAN
 SCALE: 1"=100'

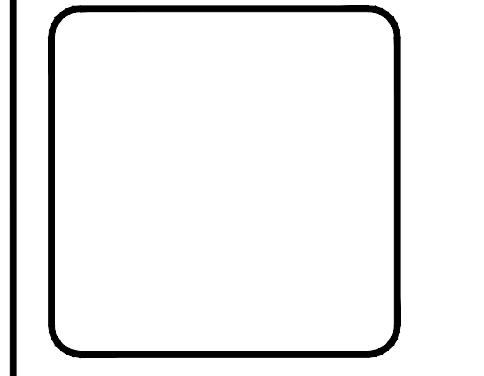
REVISIONS:

NO.	DATE	DESCRIPTION
1	07/11/24	UPDATED SEWERING, RAINFALL, AND UTILITY ROW
2	07/12/24	REVISED LOT 22 TO PROMOTE 2 ACRES PRIVATE LOT

DATE: 02/28/24
SCALE: 1"=100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: PLAN - SETTLEMENT.dwg
PLOTTED: 07/11/24
DRAWING NO.: C01.1
SHEET: 01 of 01



1250 Wrights Lane
 West Chester, PA 19380
 Phone: (610) 918-9002
 Fax: (610) 918-9003



LOCATION MAP
 SCALE: 1"=2,000'

NO.	DATE	DESCRIPTION
1	07/11/24	UPDATED SEWERING, RAINFALL, AND UTILITY ROW
2	07/12/24	REVISED LOT 22 TO PROMOTE 2 ACRES PRIVATE LOT

REVISION SET

OVERALL SITE PLAN

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
 WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

EXHIBIT "B"

LIST OF ZONING DEVIATIONS/ SALDO AND SWMO WAIVERS

EXHIBIT “B” - ZONING DEVIATIONS AND SALDO/SWMO MODIFICATIONS

Subdivision and Land Development Ordinance §149-904.A

This section of the ordinance states that, *“On all streets there shall be minimum center-line grade of 1% and a maximum of 7%.”*

Modification:

To allow a few sections of Roads A, C and D to exceed 7% but be no more than 10%.

Please note that the subsequent section, §149-904.B states *“The center-line grade may be increased up to 10% upon the recommendation of the Township Engineer and the approval of the Board of Supervisors.”*

Subdivision and Land Development Ordinance §149-904.C

This section of the ordinance states that, *“The center-line grade on a cul-de-sac public street shall not exceed 7%, and the grade of the diameter of the turnaround shall not exceed 4%.”*

Modification:

To allow a stretch of Road C (a cul-de-sac street) to exceed 7% but be no more than 10%

Subdivision and Land Development Ordinance §149-907.E

This section of the ordinance states that, *“Where the grade of any street at the approach of an intersection exceeds 4%, a leveling area of at least 75 feet measured from the curblineline of the street being intersected shall be provided. The grade of this area shall not exceed 2%.”*

Modification:

To allow leveling areas to be 4%, which exceeds the required 2%.

Subdivision and Land Development Ordinance §149-913.B

This section of the ordinance states that, *“Blocks shall have a minimum length of 500 feet.”*

Modification:

To allow blocks to be smaller than 500 feet.

Stormwater Management Ordinance § 144-311.B(2)

This section of the ordinance states that, *“Storm sewers shall be reinforced concrete when constructed within rights-of-way of streets.”*

Modification:

To allow the use of High Density Polyethylene Pipe (HDPE) subject to Township inspection and approval of installation.

Stormwater Management Ordinance § 144-311.C(3)

This section of the ordinance states that, *“The bottom of the basin shall have a minimum slope of 2% and any channel shall have a minimum slope of 0.5%.”*

Modification:

To allow infiltration basins to have a flat bottom with 0% slope as required by the PA BMP Manual for infiltration BMPs.

Zoning Ordinance §170-1514 – Outdoor Lighting

To reduce the required amount of lighting in consultation and agreement with Township consultants, Planning Commission and Supervisors to maintain more rural lighting levels.

Zoning Ordinance §170-402.D.(3)(f)

This section of the ordinance states that, *“If the total of all area(s) of precautionary slopes on a lot exceed 25% of the total area of a lot, then no more than 50% of the precautionary slopes on that lot shall be disturbed, graded, or modified.*

Modification:

To allow Lot 43 on the settlement plan to disturb more than 50% of the precautionary steep slope on said lot.

FOX CLEARING, LLC,

Appellant,

vs.

BOARD OF SUPERVISORS OF
WESTTOWN TOWNSHIP,

Appellee.

IN THE COURT OF COMMON
PLEAS OF CHESTER COUNTY

NO. 2024-01326-ZB

LAND USE APPEAL

SETTLEMENT AGREEMENT

THIS SETTLEMENT AGREEMENT (“**Agreement**”) is made this ____ day of _____, 2024 by and between FOX CLEARING, LLC (“**Fox**” or “**Developer**”), and the BOARD OF SUPERVISORS (“**Board**”) OF WESTTOWN TOWNSHIP (“**Township**”) (each a “**Party**”, collectively the “**Parties**”).

BACKGROUND

1. Fox Clearing, LLC, is a Pennsylvania limited liability company having a business address of 227 Granite Run Drive, Suite 100, Lancaster, Pennsylvania 17601.

2. The Board of Supervisors of Westtown Township is the governing body of Westtown Township having a principal place of business located at 1039 Wilmington Pike, West Chester, Pennsylvania 19382.

3. Fox is the owner and/or equitable owner of four parcels of land totaling approximately 81 acres located along Shiloh Road in the Township, more specifically designated as Uniform Parcel Identifier (“**UPI**”) #67-2-23 (64.956 acres); #67-2-8 (9.133 acres); #67-2-9 (1.133 acres); and #67-2-7.1 (5.664 acres) (collectively, the “**Property**”).

4. The Property is located on the east side of Shiloh Road about one-half mile south of Little Shiloh Road, generally opposite the intersections of Shiloh and ~~Oakburne~~Oakbourne Roads and Shiloh Road and Hunt Drive.

5. The Property is in the Township’s R-1 Residential Zoning District (“**R-1 District**”) of the Township’s Zoning Ordinance.

6. Section 170-601.C.(1) of the Zoning Ordinance permits residential development in accordance with the provisions of Article IX (Flexible Development Procedure) of the Zoning Ordinance by conditional use. Single-family detached dwellings are permitted in flexible developments pursuant to Section 170-903.A of the Zoning Ordinance.

7. On May 4, 2023, Fox submitted a Conditional Use Application (“**Application**”) to develop the Property under the Flexible Development Procedure of the Zoning Ordinance.

8. Fox proposed to develop the Property with a single-family residential development consisting of eighty-five (85) single-family homes together with the construction of internal streets, utilities, stormwater management facilities, landscaping, lighting, community recreation facilities and other associated development improvements (“**Proposed Development**”).

9. The Proposed Development proposed the demolition and removal of the existing Stokes house and the Miles house while the O’Brien house and the Briner house are proposed to remain on the Property.

10. The Proposed Development will be serviced by public water and public sewer.

11. On August 14, 2023, the Board commenced a hearing on the Application that concluded on December 27, 2023 after four (4) nights of testimony.

12. On December 27, 2023, the Board voted orally to deny the Application and on February 1, 2024, the Board issued the written decision denying the Application (“**Decision**”).

13. On February 14, 2024, Fox appealed the Decision (“**Appeal**”).

14. Subsequent to Fox filing the Appeal, the Parties negotiated and agreed upon a

settlement of the Appeal.

15. By entering into this Agreement, the Parties now desire to memorialize in writing their understanding of the terms of the settlement, including modifications to the Proposed Development.

NOW, THEREFORE, in consideration of the facts set forth in the Background of this Agreement, and in consideration of the mutual covenants and agreements contained herein, the Parties hereto, intending to be legally bound hereby, agree as follows:

1. **Incorporation of Background.** The Background to this Agreement is incorporated into the body of this Agreement as if fully set forth herein at length.

2. **Approval of the Agreement.** Execution of this Agreement by the Board shall occur only after the Board has voted to approve this Agreement at a public meeting and after public comment.

3. **Settlement of Land Use Appeal and Court Approval.** This Agreement shall serve as the basis for a negotiated settlement of the Appeal. Immediately after the Parties execute this Agreement, counsel for the Parties shall execute and file a Joint Motion to Approve Settlement Agreement by attaching a copy of this Agreement and requesting the Court enter an Order approving this Agreement.

4. **Proposed Development and Future Use of the Property.** The Parties agree to permit Developer to design, engineer, construct, develop, and/or use the Property for seventy-eight (78) single family homes (“**Modified Proposed Development**”) substantially in accordance with the conceptual site plan entitled “Settlement Plan – Overall Site Plan” prepared by DL Howell dated February 28, 2024, last revised ~~March 12~~October 25, 2024, a copy of which is attached as **Exhibit “A” (“Settlement Plan”)**.

The Modified Proposed Development proposes the ~~preservation of the existing Stokes homes and the~~ construction of an additional internal street to connect to proposed Road “C” in the Modified Proposed Development. ~~The preservation of the Stokes home shall include the recording of a façade easement similar to the form of easement attached as Exhibit “B” (“Façade Easement”). The Façade Easement shall be recorded only against the future Stokes home lot and not the entire Property.~~

The Modified Proposed Development also proposes the construction of a school bus stop together with a car pullover area. The school bus stop and car pullover area will be further designed during the land development process and is subject to input from the West Chester Area School District.

At the time of this Agreement, the Modified Proposed Development has been determined to deviate from the Township’s Zoning Ordinance, Subdivision and Land Development Ordinance (“SALDO”) and Stormwater Management Ordinance (“SWMO”) as detailed in attached Exhibit “~~E~~B”. Additional SALDO and SWMO waivers may be requested during review of the Land Development Application set forth below.

5. **Land Development Application.** After the execution of this Agreement and the issuance of the Court’s Order approving this Agreement, the Developer, at its discretion, will cause its engineer to prepare and submit a land development application (“**Land Development Application**”) for the Modified Proposed Development substantially in accordance with: (i) the Settlement Plan and (ii) the terms of this Agreement (collectively, the “**Standards**”). If the Land Development Application complies with the Standards and the applicable Township Ordinances, as may be further modified or waived in accordance with the Pennsylvania Municipalities Planning Code and the SALDO, then the Board shall approve the Land Development

Application.

6. **Disputes with Regard to Land Development Application.** If any disputes arise between the Parties with respect to the engineering of the Land Development Application, then the Parties shall communicate and meet to resolve such disputes. If the Parties cannot resolve their dispute, then the Parties may avail themselves of the mediation option provided for in the Pennsylvania Municipalities Planning Code or either Party may petition the Court for appropriate relief and enforcement of this Agreement.

7. **Sanitary Sewer for the Modified Proposed Development.** The Modified Proposed Development shall be serviced by public sanitary sewer via the Township public sewer system with treatment and disposal at the Chester Creek wastewater treatment plant. An on-site sewer pump station and force main will be constructed to convey wastewater generated by the Modified Proposed Development into the Township's public sewer system connecting at an existing manhole at the intersection of Shiloh Road and Farm Lane.

8. **Sewage Facilities Planning.** On May 7, 2023, the Pennsylvania Department of Environmental Protection ("DEP") approved sewage facilities planning for a portion of the Property. The Developer shall prepare and submit to the Township a revised sewage facilities planning module for the Modified Proposed Development to be constructed on the entire Property. The Township shall review the planning module in accordance with DEP's sewage facilities planning regulations and any applicable Township ordinances. Upon approval of the planning module, the Township shall forward it to DEP for DEP's review and approval. The Township shall assist the Developer in responding to DEP review comments and requests for additional information.

9. **Sewer Tapping Fee for the Modified Proposed Development.** At the time of

building permit application for each single-family home in the Modified Proposed Development, the Developer shall pay the then current sewer tapping fee per equivalent dwelling unit (“EDU”) for conveyance and treatment capacity in the Township public sewer system.

10. **NPDES Permit.** The Developer shall obtain the required stormwater NPDES permit from DEP or Chester County Conservation District for the Modified Proposed Development.

11. **Dedicated and Non-dedicated Improvements.**

(A) **Open Space:** The open space in the Modified Proposed Development shall not be offered for dedication but shall be owned and maintained by a future homeowners’ association created for the Modified Proposed Development.

(B) **Shiloh Road Additional Right of Way and Road Calming:** The Developer shall offer the additional right of way along Shiloh Road delineated on the Settlement Plan and the Board shall accept dedication of the additional right of way at the time as specified in a future development improvements agreement between the Parties. Concurrent with the recording of the final land development plans, the Developer shall contribute fifty thousand dollars (\$50,000) to the Township to be used for traffic calming measures along Shiloh Road.

(C) **Traffic Signal Retiming at Route 926 and Shiloh Road:** As part of the Modified Proposed Development, the Developer shall retime the existing traffic signal at Route 926 and Shiloh Road to optimize levels of service at the intersection post-Modified Proposed Development.

(D) **Roads and Sidewalks:** The roads and sidewalks in the Modified Proposed Development shall not be offered for dedication but shall be owned and maintained by either the individual homeowners or a future homeowners’ association created for the Modified Proposed

Development.

(E) Retaining walls: The retaining walls in the Modified Proposed Development shall not be offered for dedication but shall be owned and maintained by a future homeowners' association created for the Modified Proposed Development.

(F) Trails: The trails constructed in the Modified Proposed Development shall not be offered for dedication but shall be owned and maintained by a future homeowners' association created for the Modified Proposed Development and shall be subject to an easement for public pedestrian use only (no bicycles or motorized equipment).

(G) Sewer: The Modified Proposed Development's sewer collection system and pump station will be dedicated to and accepted by the Township in accordance with a future development improvements agreement to be entered into between the Parties.

12. **Site Grading and Earth Disturbance.** The Developer may not commence site grading and clearing until the Developer has obtained the required Erosion and Sedimentation Control adequacy approval and NPDES permit for the Modified Proposed Development and has posted the required financial security for such grading and disturbance with the Township.

13. **Future Homeowners' Disclosure.** At the time of entering into agreements of sale for the new home lots in the Modified Proposed Development, the Developer shall disclose in writing the existence and locations of the two (2) pipelines on the Property and the general contents being conveyed through the pipelines to any individual new home purchaser.

14. **Miscellaneous.**

(A) **Binding Effect.** This Agreement shall be binding upon and inure to the benefit of the Parties hereto and their respective successors and assigns.

(B) **Specific Performance and Enforcement of Settlement Agreement.** The

Parties agree that, in addition to all remedies at law, either may petition the Chester County Court of Common Pleas for specific performance and/or enforcement of this Agreement without having to exhaust administrative remedies. The Parties further agree the Court shall retain jurisdiction of the Appeal for purposes of enforcing the terms of this Agreement.

(C) **Entire Agreement.** This Agreement shall constitute the entire agreement among the Parties and supersedes all prior negotiations, understandings and agreements of any nature whatsoever with respect to the subject matter hereof.

(D) **Amendment.** This Agreement may be amended upon the written consent of the Parties to this Agreement, which shall not be unreasonably withheld. No waiver or discharge of any provision of this Agreement shall be effective against any party unless that party shall have consented thereto in writing.

(E) **Assignment.** This Agreement may be assigned by the Developer, subject to the Board's approval, which shall not be unreasonably withheld. No assignment shall be effective without the assignee's or successor's written assumption and acceptance of the obligations under this Agreement.

(F) **Governing Law.** This Agreement shall be interpreted and construed in accordance with the laws of the Commonwealth of Pennsylvania.

(G) **Notices.** All notices or other communications required or permitted to be given under the terms of this Agreement shall be in writing and shall be sent by certified mail, postage prepaid or by private carrier guarantying next day delivery, to the address referenced in the Background above.

(H) **Counterparts.** This Agreement may be executed in multiple counterparts such that all counterparts together shall create a fully executed and complete Agreement.

IN WITNESS WHEREOF, the Parties hereto have caused this Agreement to be executed the day and year first above written.

ATTEST:

FOX CLEARING, LLC

By: KCH Holding, Inc., Sole Member

By: _____

Name: Jeffrey C. Rutt

Title: President

**BOARD OF SUPERVISORS OF
WESTTOWN TOWNSHIP**

ATTEST:

By: _____

Name:

By: _____

Name:

By: _____

Name:

EXHIBIT "A"
SETTLEMENT PLAN

EXHIBIT "B"

~~FAÇADE EASEMENT~~

~~EXHIBIT "C"~~
LIST OF ZONING DEVIATIONS/ SALDO AND SWMO WAIVERS

Summary report:	
Litera Compare for Word 11.6.0.100 Document comparison done on 11/6/2024 5:00:46 PM	
Style name: Default Style	
Intelligent Table Comparison: Active	
Original DMS: iw://cloudimanage.com/IMAN_BB/10686848/8	
Modified DMS: iw://cloudimanage.com/IMAN_BB/10686848/9	
Changes:	
<u>Add</u>	5
Delete	10
Move From	0
<u>Move To</u>	0
<u>Table Insert</u>	0
Table Delete	0
<u>Table moves to</u>	0
Table moves from	0
Embedded Graphics (Visio, ChemDraw, Images etc.)	0
Embedded Excel	0
Format changes	0
Total Changes:	15

RESIDENTIAL DEVELOPMENT
 ART. VI - R1 RESIDENTIAL DISTRICT
 SECT. 170-501.2: CONVENTIONAL USES
 (2) RESIDENTIAL DEVELOPMENT (FLEXIBLE DEVELOPMENT PROCEDURE - ARTICLE IX)
 ART. IX - FLEXIBLE DEVELOPMENT PROCEDURE
 SECT. 170-903: PERMITTED USES
 A. SINGLE FAMILY DETACHED DWELLINGS
 SECT. 170-904: DENSITY STANDARDS
 BASE DENSITY = 1.1 D.U./ACRE OF TRACT AREA (SEE TRACT AREA CALCULATION)
 BONUS DENSITY = 1.5 D.U./ACRE OF TRACT AREA (MAXIMUM ACHIEVABLE)

TRACT AREA CALCULATION

TRACT AREA (GROSS)	3,523,402 SF. / 80.886 ACS(4)
EX. LEGAL R/W	4,663 SF.
EX. UTILITY EASEMENTS	280,525 SF.
AREA EQUAL TO 75% OF FLOODPLAIN	- 144,110 SF.
PROMISING SLOPES	- 70,841 SF.
WETLANDS	- 81,077 SF.
AREA EQUAL TO 25% OF SEASONALLY HIGH WATER TABLE SOILS	- 132,496 SF.
TRACT AREA =	2,848,590 SF. (65,418 AC.)
BASE DENSITY (1.1 MULTIPLIER)=	71 LOTS

OPEN SPACE
 MINIMUM OPEN SPACE = 40% GROSS TRACT AREA
 REQUIRED:
 GROSS TRACT = 80,886 ACRES
 80,886 ACRES X 40% = 32,354 ACRES
 PROPOSED:
 GROSS OPEN SPACE = 44,527 ACRES (55.10% GROSS TRACT AREA)
 QUALIFYING MIN. REQUIRED OPEN SPACE = 33.81 ACRES (41.80% GROSS TRACT AREA)
 QUALIFYING INCREMENTAL BONUS O.S. = 4.27 ACRES (5.28% GROSS TRACT AREA)

DENSITY CALCULATION
 BASE DENSITY: 1.1 D.U. / TRACT AREA
 BONUS DENSITY: +0.075 D.U. / 5% OF ADDITIONAL OPEN SPACE = (5.28% EXTRA) = 0.025 * 3 = 0.075 BONUS
 MAXIMUM DENSITY = 1.1 + 0.075 = 1.175 D.U. • 65,418 ACS. = 76 LOTS ACHIEVABLE
 SPECIAL BONUS DENSITY:
 §170-904(2)(c)(1)
 PLUS 1 (ONE) ADDITIONAL UNIT / 2 ACRE LOT CONTAINING HISTORIC BUILDING = +1 LOT
 §170-904(2)(c)(2)
 PLUS 1 (ONE) ADDITIONAL UNIT / 2,000 SF G.F.A. HISTORIC RESTORATION/REHABILITATION = +1 LOT
 MAXIMUM DENSITY WITH SPECIAL BONUS DENSITY = 76 + 2 = 78 LOTS ACHIEVABLE

PRECAUTIONARY STEEP SLOPES (15-25%)
 GROSS TRACT AREA = 80,886 ACS (3,523,402 SF)
 25% OF THE GROSS TRACT AREA = 20,221 SF
 AREA OF PRECAUTIONARY STEEP SLOPES = 547,921 SF < 25% OF THE TRACT AREA THEREFORE SECTION 170-402.2(3) DOES NOT APPLY

DRAWING INDEX

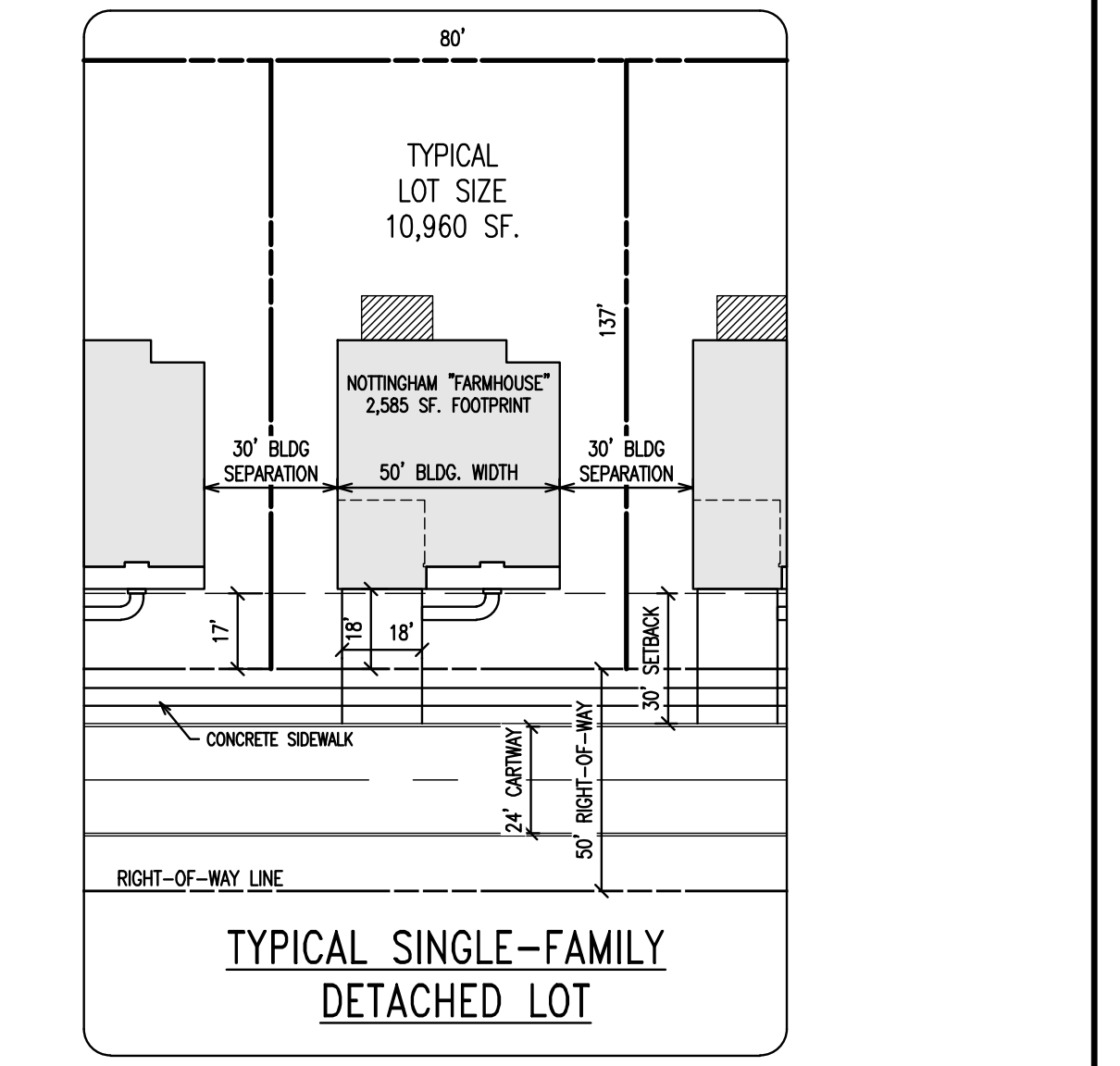
SHEET NUMBER	DRAWING NUMBER	SHEET TITLE
01	C01.1	OVERALL SITE PLAN
02	C01.2	SITE PLAN
03	C01.3	SITE PLAN
04	C01.4	SITE PLAN
05	C01.5	SITE PLAN
06	C01.6	OPEN SPACE PLAN
07	C02.1	OVERALL EXISTING RESOURCES PLAN
08	C02.2	EXISTING RESOURCES PLAN
09	C02.3	EXISTING RESOURCES PLAN
10	C02.4	EXISTING RESOURCES PLAN
11	C02.5	EXISTING RESOURCES PLAN
12	C03.1	OVERALL GRADING FEASIBILITY PLAN
13	C03.2	GRADING FEASIBILITY PLAN
14	C03.3	GRADING FEASIBILITY PLAN
15	C03.4	GRADING FEASIBILITY PLAN
16	C03.5	GRADING FEASIBILITY PLAN
17	C04.1	PROFILES
18	C04.2	PROFILES
19	C04.3	PROFILES
20	C04.4	PROFILES
21	C04.5	PROFILES
22	C05.1	CONSTRUCTION DETAILS
23	C06.1	OVERALL LANDSCAPE PLAN
24	C06.2	LANDSCAPE PLAN
25	C06.3	LANDSCAPE PLAN
26	C06.4	LANDSCAPE PLAN
27	C06.5	LANDSCAPE PLAN
28	C06.6	LANDSCAPE DETAILS
29	C07.1	OVERALL LIGHTING PLAN
30	C07.2	LIGHTING PLAN
31	C07.3	LIGHTING PLAN
32	C07.4	LIGHTING PLAN
33	C07.5	LIGHTING PLAN
34	C07.6	LIGHTING DETAILS
35	SD-1.1	SHILOH ROAD SIGHT DISTANCE ANALYSIS
36	SD-1.2	SHILOH ROAD SIGHT DISTANCE ANALYSIS
37	C01.1A	ALTERNATIVE SITE PLAN WITH HISTORIC HOME
38	C01.1B	ALTERNATIVE SITE PLAN WITH NO LOTS



GENERAL NOTES

- RECORD OWNER/MAILING ADDRESS: FOX CLEARING, LLC, 227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601
- SITE ADDRESS: 1013 SHILOH ROAD, WEST CHESTER, PA 19382
- TAX PARCEL #: 67-2-23
- SOURCE OF TITLE: RECORD BOOK 10533, PAGE 4
- LOT AREA: 64,956 ACRES (GROSS) 6,133 ACRES 5,846 ACRES
- BOUNDARY, TOPOGRAPHIC AND PHYSICAL IMPROVEMENTS SHOWN ARE FROM FIELD SURVEY BY HOWELL KLINE SURVEYING, LLC, PERFORMED DURING OCTOBER, NOVEMBER, DECEMBER 2020 AND JANUARY 2021.
- CONTOURS & TOPOGRAPHIC INFORMATION PLOTTED FROM AERIAL SURVEY BY NORDAST MAPPING, INC. AERIAL MAPPING WAS PRODUCED TO NATIONAL MAP ACCURACY STANDARDS, GROUND CONTROL AND SUPPLEMENTAL DATA BY HOWELL KLINE SURVEYING, LLC. DATUM: NAVD 88 (COMPUTED USING GEOID12A) & NAD 83 (2011) (GPOD2010.000) (AS DETERMINED BY GPS OBSERVATION). SITE BENCH = RM OF SANITARY MANHOLE LOCATED AT THE INTERSECTION OF HUNT DRIVE AND SHILOH ROAD. ELEVATION: 405.91'. CONTOUR INTERVAL: 2 FEET
- UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM OBSERVABLE EVIDENCE AT THE TIME OF SURVEY AND INFORMATION FROM PLANS SUPPLIED BY UTILITY COMPANIES. NO GUARANTEE IS MADE THAT UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
- A PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE AE. A SPECIAL FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS PER THE NATIONAL FLOOD INSURANCE RATE MAP FOR CHESTER COUNTY, PA, MAP NO. 42022002105, PANEL 215 OF 380, DATED SEPTEMBER 29, 2017. FLOOD PLAIN BOUNDARIES SHOWN HEREON WERE SCALED FROM THE ABOVE MENTIONED MAP.
- WETLANDS BOUNDARY LINES WERE DELINEATED BY BROCKHOUSE ENVIRONMENTAL, CONSULTANTS AND ENGINEERS AND WORTER ENVIRONMENTAL AND FLAGS LOCATED BY HOWELL KLINE SURVEYING, LLC, PERFORMED ON OCTOBER 30, 2020 AND JANUARY 2021 RESPECTIVELY.
- THIS SITE IS CLASSIFIED AS "2-OF LOCAL HISTORIC VALUE" ON THE TOWNSHIP HISTORIC RESOURCES MAP.
- THE PURPOSE OF THIS PLAN IS TO DETAIL THE PROPOSED SITE LAYOUT AS PART OF A SETTLEMENT AGREEMENT OF AN 78 LOT RESIDENTIAL SUBDIVISION INCLUDING, BUT NOT LIMITED TO, CONCEPTUAL STORMWATER MANAGEMENT, GRADING, AND LANDSCAPING.
- SOILS INFORMATION PROVIDED WITH SUPPORT FROM THE NATURAL RESOURCES CONSERVATION SERVICE. SOILS ATTRIBUTE DATA IS SERVED FROM THE NRCS SCS DATA MAP.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.
- AN INDEP. ENGINEER IS REQUIRED TO BE OBTAINED PRIOR TO ANY CONSTRUCTION ACTIVITIES ON THIS SITE.
- ALL DIMENSIONS ARE TO EDGE OF FINISH OR FACE OF BUILDING UNLESS NOTED OTHERWISE. SEALED DIMENSIONS SHALL NOT BE USED WITHOUT FIRST CONTACTING D.L. HOWELL & ASSOCIATES.
- THIS PLAN PROPOSES PUBLIC WATER SUPPLY AND PUBLIC SEWER. PUBLIC WATER WILL BE PROVIDED BY AQUA PENNSYLVANIA. ALL WORK SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND SPECIFICATIONS.
- AN INDIVIDUAL GRADING AND EROSION AND SEDIMENT CONTROL PLAN FOR EACH BUILDING GROUP SHALL BE SUBMITTED WITH THE BUILDING PERMIT FOR THE TOWNSHIP'S REVIEW AND APPROVAL.
- ALL MONUMENTS TO BE SET IN ACCORDANCE WITH WESTTOWN TOWNSHIP SUBDIVISION & LAND DEVELOPMENT ORDINANCE.
- ALL PROPOSED UTILITIES MUST BE PLACED UNDERGROUND.
- D.L. HOWELL & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS OF THE EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS. NOR DOES D.L. HOWELL & ASSOCIATES, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF THE WORK.
- THE FINAL ARCHITECTURE AND LOT PLACEMENT FOR EACH HOME IS YET TO BE DETERMINED. FOOTPRINTS ARE FOR CONCEPTUAL PURPOSES ONLY.
- REPRESENTATIVES OF WESTTOWN TOWNSHIP AND/OR OTHER GOVERNMENTAL AUTHORITIES SHALL HAVE PERMISSION TO GAIN ACCESS TO THE STORMWATER FACILITIES THROUGH A BLANKET EASEMENT OVER THE PROPERTY TO PERFORM INSPECTIONS, MAINTENANCE AND REPAIRS OF THE BASIN, AS NECESSARY.
- STORMWATER DEVICES SHALL NOT BE REMOVED, ALTERED OR RELOCATED BY THE LANDOWNER, IN THE EVENT OF THE FAILURE OF THE LANDOWNER TO COMPLY WITH THESE CONDITIONS AND RESTRICTIONS, THE TOWNSHIP SHALL HAVE THE AUTHORITY TO RESTORE SAID STORMWATER MANAGEMENT FACILITIES TO THEIR ORIGINAL STATE AND THE COSTS THEREOF SHALL BE ASSESSED TO THE LANDOWNER. THE TOWNSHIP, BEFORE IT MAY EXERCISE THIS RIGHT, SHALL NOTIFY THE LANDOWNER BY CERTIFIED MAIL OF ITS INTENTION TO DO SO. THE NOTICE SHALL SET FORTH IN WHAT MANNER THE OWNER HAS ALTERED THE STORMWATER MANAGEMENT FACILITIES, AND IF THE OWNER FAILS TO CORRECT THE ALTERATION LISTED IN THE NOTICE FROM THE TOWNSHIP, THEN AND ONLY THEN THE TOWNSHIP MAY EXERCISE THIS RIGHT.
- A SEWAGE FACILITIES PLANNING MODULE IS REQUIRED IN ACCORDANCE WITH THE SEWAGE FACILITIES PLANNING ACT (ACT 537). APPROVAL OF THIS PLAN IN NO WAY IMPLIES OR GUARANTEES THAT SUCH APPROVAL CAN BE OBTAINED.
- ALL NEW SANITARY WORK, INCLUDING BUT NOT LIMITED TO, GRABBER, SEWER MAIN, AND APPURTENANCES, MANHOLES, ETC., SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF WESTTOWN TOWNSHIP.
- ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH REQUIREMENTS OF WESTTOWN TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS APPLICABLE. WESTTOWN TOWNSHIP IS NOT RESPONSIBLE FOR INSTALLATION OR MAINTENANCE OF ANY STORMWATER FACILITIES NOT DEDICATED FOR PUBLIC USE.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT OF STORM DRAINAGE FACILITY THAT COULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, ANY EASEMENT AGREEMENT, OR THE STORM DRAINAGE FACILITY.
- THE LIMITS OF DISTURBANCE SHALL BE STAKED IN THE FIELD PRIOR TO CLEARING OF ANY EXISTING DISTURBANCE ANY CHANGE OR ENCROACHMENT ONTO THESE AREAS WITHOUT CONSERVATION DISTRICT REVIEW AND APPROVAL MAY REQUIRE THE CONTRACTOR TO CEASE DISTURBANCE AND OBTAIN AN EARTH DISTURBANCE PERMIT. INSTALL TREE PROTECTION FENCING AROUND PERIMETER OF TREES WHERE LIMIT OF DISTURBANCE ABUTS WOODLANDS.

- REFERENCE PLAN(S)**
- PLAN ENTITLED "PLAN OF SUBDIVISION FOR WILTON R. STOKES", PREPARED BY HENRY S. CONROY, INC., DATED 10/29/1982, LAST REVISED 1/20/1983, RECORD PLAN BOOK #4267.
 - PLAN ENTITLED "PLAN OF PROPERTY FOR HAWTHORNE", PREPARED BY INGRAM ENGINEERING SERVICES, INC., PLOTTED ON 6/29/2016, LAST REVISED 5/3/2016, RECORD PLAN BOOK #1923.
 - PLAN ENTITLED "FINAL PLAN OF LOTS JOHN & CHRISTINE O'BREN", PREPARED BY ROBERT W. MATOZ, PLS INC., DATED 10/5/1998, LAST REVISED 11/5/1998, RECORD PLAN BOOK #14715.
 - PLAN ENTITLED "TWIN GALEX", PREPARED BY MESKO ENGINEERING ASSOCIATES, INC., DATED 12/27/2005, LAST REVISED 2/8/2006, RECORD PLAN BOOK #17755.
 - PLAN ENTITLED "PRELIMINARY/FINAL PLAN OF SUBDIVISION FOR 1015 SHILOH ROAD", PREPARED BY EDWARD B. WALSH & ASSOCIATES, INC., DATED 11/11/2006, LAST REVISED 6/2/2009, RECORD PLAN BOOK #18623.
 - PLAN ENTITLED "FINAL SUBDIVISION PLAN - PROPERTY OF JAMES S. LEES JR., PREPARED BY G.J. HOUTMAN & SON, DATED 4/3/1978, LAST REVISED 4/13/1978, RECORD PLAN BOOK #1633.



RECORD OWNER/APPLICANT:
 FOX CLEARING, LLC
 227 GRANITE RUN DRIVE, SUITE 100
 LANCASTER, PA 17601

OVERALL SITE PLAN
 SCALE: 1"=100'

GRAPHIC SCALE
 1 inch = 100 feet

DATE: 02/28/24
SCALE: 1"=100'
DRAWN BY: ADM
CHECKED BY: DWG
PROJECT NO.: 3868
CAD FILE: PLAN - SETTLEMENT.dwg
PLOTTED: 07/11/24
DRAWING NO.: C01.1
SHEET: 01 of 01



NO.	DATE	DESCRIPTION
1	07/11/24	UPDATED SUBDIVISION, RIBBONS, SULLY LOTS, & ULTIMATE ROW
2	07/11/24	REVISED LOT 22 TO PROMOTE 2 ACRES PRIVATE LOT

NO.	DATE	DESCRIPTION
1	07/11/24	UPDATED SUBDIVISION, RIBBONS, SULLY LOTS, & ULTIMATE ROW
2	07/11/24	REVISED LOT 22 TO PROMOTE 2 ACRES PRIVATE LOT

REVISION SET

OVERALL SITE PLAN

CLIENT: FOX CLEARING, LLC
PROJECT: STOKES ESTATE
LOCATION: 1013 SHILOH ROAD
 WESTTOWN TOWNSHIP, CHESTER COUNTY, PA