

# PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

## FOR WESTTOWN AM WEST TIC, LLC PROPOSED CHASE BANK

PARCEL NO. 67-2-42.4

1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)  
TOWNSHIP OF WESTTOWN  
CHESTER COUNTY, PENNSYLVANIA

**PROFESSIONAL SURVEYOR'S CERTIFICATION**

I, JACK W. SHOENMAKER, P.L.S., A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS THE METES AND BOUNDS, AS SHOWN, AND THE LOTS, LAND, STREETS, HIGHWAYS, EASEMENTS AND UTILITIES AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS. ADDITIONALLY, THE SURVEY DOES NOT HAVE AN ERROR OF CLOSURE GREATER THAN ONE PART IN 10,000 (1:10,000).

\_\_\_\_\_, P.L.S. (REGISTERED PROFESSIONAL SURVEYOR) SU-051643-E (REGISTRATION NUMBER)

**STATEMENT OF APPLICANT'S CERTIFICATION**

I, \_\_\_\_\_, APPLICANT OF THE SAID PROPERTY, CERTIFIES TO THE BEST OF MY KNOWLEDGE, THE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS AND, IF THEY ARE NOT SO CONFORMING, DETAILING THE AREAS OF NONCONFORMANCE AND THE REASON FOR REQUESTING A MODIFICATION TO THE TOWNSHIP STANDARDS.

\_\_\_\_\_, (DATE)  
XXXX  
XXXX  
XXXX

**PROPERTY OWNER CERTIFICATION**

COMMONWEALTH OF PENNSYLVANIA  
ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN \_\_\_\_\_ PERSONALLY APPEARED PARCEL OWNER, AND THAT IN SUCH CAPACITY BEING AUTHORIZED TO DO SO, THEY EXECUTED THE FOREGOING PLAN AS THE REGISTERED OWNERS OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVALS OF THE PLAN HAVE BEEN OBTAINED AND IS ENDORSED THEREON, AND THAT THEY DESIRE THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.

PARCEL OWNER, OWNER \_\_\_\_\_ PARCEL OWNER, OWNER \_\_\_\_\_

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

(NOTARY PUBLIC)  
MY COMMISSION EXPIRES THE \_\_\_\_ DAY OF \_\_\_\_\_.

**APPROVAL OF THE WESTTOWN TOWNSHIP PLANNING COMMISSION**

WTPC No. XXXX  
PROCESSED AND REVIEWED, REPORT PREPARED BY THE WESTTOWN TOWNSHIP PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE, CERTIFIED THIS DATE \_\_\_\_\_.

\_\_\_\_\_, CHAIRMAN, WESTTOWN TOWNSHIP PLANNING COMMISSION

\_\_\_\_\_, EXECUTIVE DIRECTOR, WESTTOWN TOWNSHIP PLANNING COMMISSION

**APPROVAL OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WESTTOWN**

THIS PLAN WAS APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WESTTOWN THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_, (DATE)  
\_\_\_\_\_, (DATE)  
\_\_\_\_\_, (DATE)

**WESTTOWN TOWNSHIP ENGINEER**

THIS LAND DEVELOPMENT PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER, \_\_\_\_\_, P.E., FOR WESTTOWN TOWNSHIP ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_, (TOWNSHIP ENGINEER) \_\_\_\_\_, (REGISTRATION NUMBER)

**CERTIFICATION FOR RECORDING**

RECORDED IN THE OFFICE OF RECORDER OF DEEDS, CHESTER COUNTY, PENNSYLVANIA IN PLAN BOOK \_\_\_\_ PAGE \_\_\_\_ ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_, (RECORDER OF DEEDS) \_\_\_\_\_, (DATE)

**APPROVAL OF THE CHESTER COUNTY PLANNING COMMISSION**

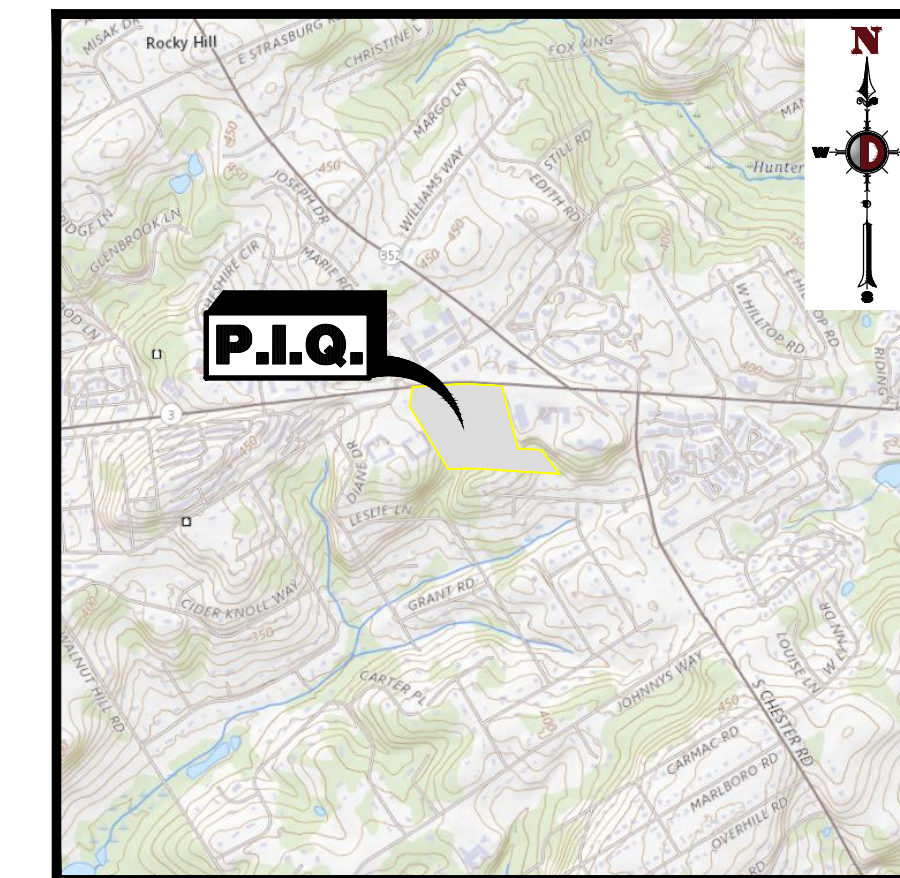
CCPC No. XXXX  
PROCESSED AND REVIEWED, REPORT PREPARED BY THE XXXX COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE, CERTIFIED THIS DATE \_\_\_\_\_.

\_\_\_\_\_, CHAIRMAN, CHESTER COUNTY PLANNING COMMISSION

\_\_\_\_\_, EXECUTIVE DIRECTOR, CHESTER COUNTY PLANNING COMMISSION



**AREA MAP**  
1" = 400'

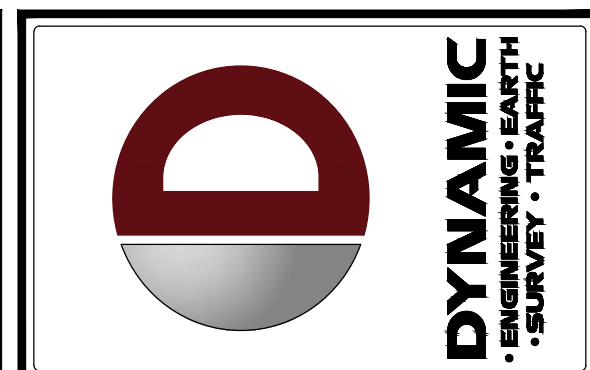


**USGS MAP**  
1" = 2,000'

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PUBLIC UTILITY PROVIDERS		
UTILITY SERVICE	COMPANY	CONTACT
ELECTRIC	PECO ADDRESS: 1050 W. SWEDENSTOWN ROAD, BERWYN, PA 19312	ATTN: JONATHAN ROBERTS EMAIL: JONAH.ROBERTS@PECO.ENERGY.COM PHONE: 860-389-2620
SANITARY SEWER	WESTTOWN TOWNSHIP ADDRESS: 1030 WILMINGTON PIKE, WEST CHESTER, PA 19382	ATTN: MARK GROSS EMAIL: MGROSS@WESTTOWN.COM PHONE: 610-692-9030
WATER	AQUILA ADDRESS: 762 W LANCASTER AVE, BRYN MAWR, PA 19010	ATTN: DEANNA COTTI EMAIL: DCOTTI@AQUILAAMERICA.COM PHONE: 610-541-4160

PREPARED BY  
**DYNAMIC ENGINEERING CONSULTANTS, P.C.**  
826 NEWTOWN YARDLEY ROAD - SUITE 201  
NEWTOWN, PA 18940  
WWW.DYNAMICCEC.COM



REV.	DATE	REV. PER	TOWNSHIP COMMENTS	BY
1	09/30/24			

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: WESTTOWN AM WEST TIC LLC  
PROPOSED CHASE BANK  
PARCEL NO. 67-2-42.4  
1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)  
CHESTER COUNTY, PENNSYLVANIA

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**JUSTIN A. GEONNOTTI**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 1060629

**MATTHEW SHARO**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52989

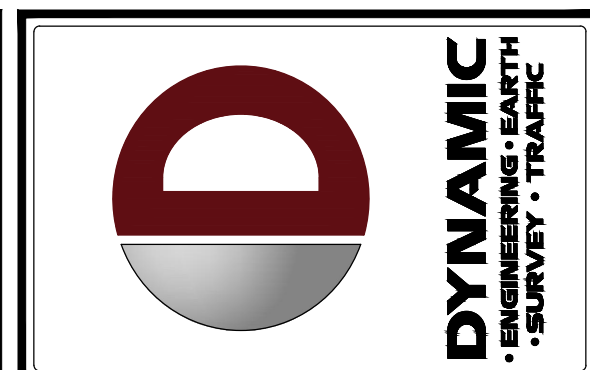
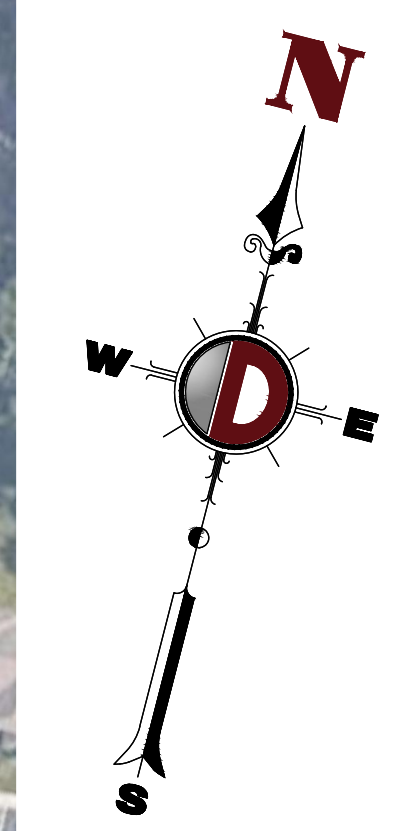
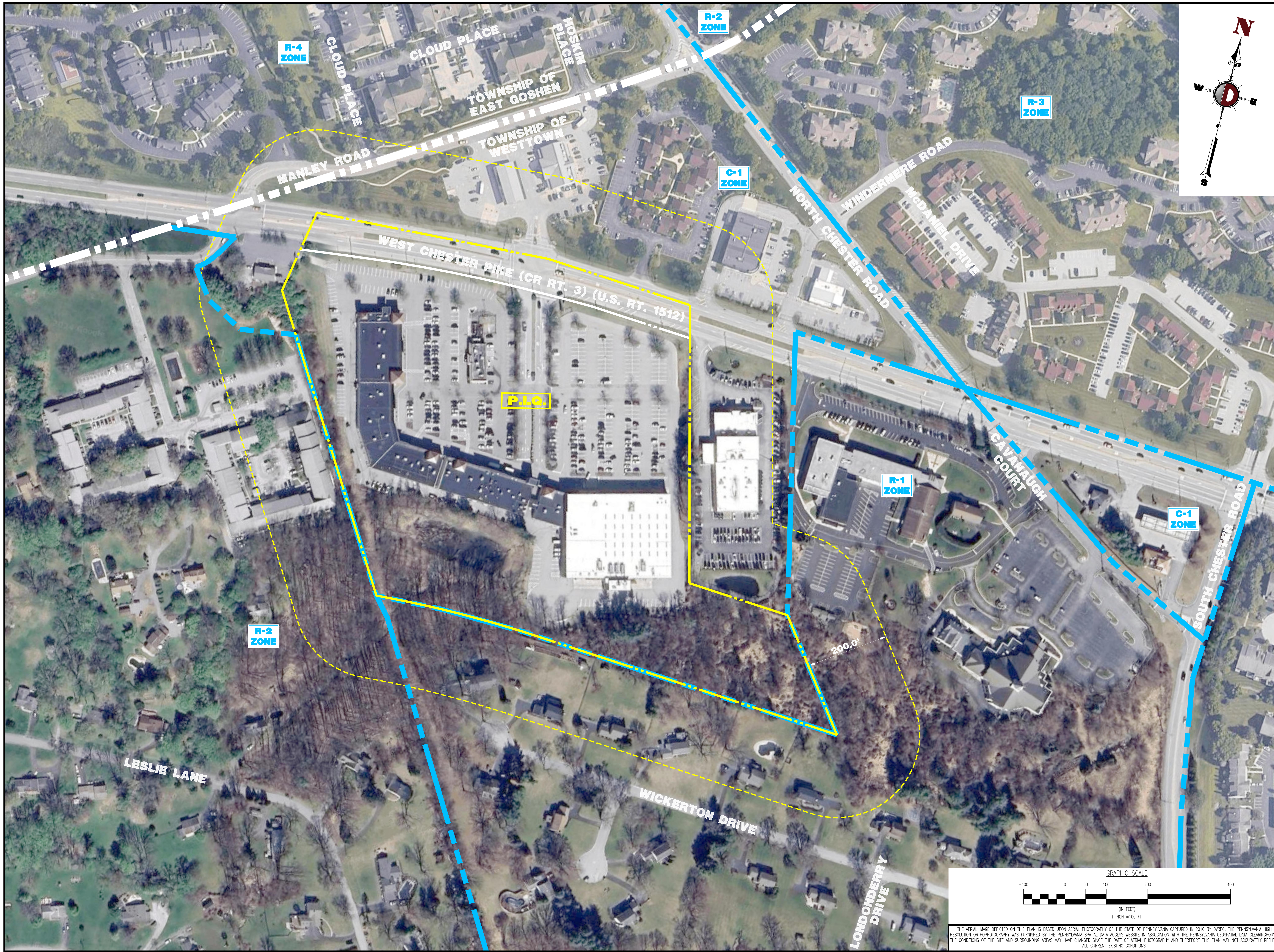
TITLE:  
**COVER SHEET**

SCALE: (H) AS SHOWN DATE: 07/12/2024  
PROJECT No: 1478-99-191

SHEET No: **1** OF 25

Plotted: 09/30/24 - 3:59 PM, By: mdolaney  
File: P:\CEPC PROJECTS\1478 Paramount Realty\99-191 West Chester PA\DWG\4 Land Dev Plans\0147899191SK1.dwg, ----> 01 COVER SHEET

Plotted: 09/30/24 - 4:00 PM, By: mdeloney  
 File: P:\CEPC PROJECTS\1478 Paramount Realty\99-191 West Chester PA\dwg\4 Land Dev Plans\147899191SA1.dwg, ----> 02 AERIAL MAP



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

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PROJECT: WESTTOWN AM WEST TIC LLC  
 CHASEO PROPOSED CHASE BANK  
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
 CHESTER COUNTY, PENNSYLVANIA

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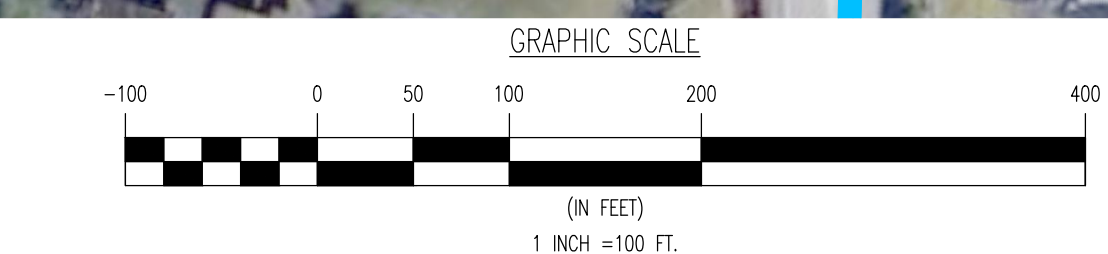
**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52989

TITLE:  
**AERIAL MAP**

SCALE: (H) 1" = 100'  
 (V) DATE: 07/12/2024

PROJECT No:  
 1478-99-191

SHEET No: **2** OF 25



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED UPON AERIAL PHOTOGRAPHY OF THE STATE OF PENNSYLVANIA CAPTURED IN 2010 BY DWPC. THE PENNSYLVANIA HIGH RESOLUTION ORTHOPHOTOGRAPHY WAS FURNISHED BY THE PENNSYLVANIA SPATIAL DATA ACCESS WEBSITE IN ASSOCIATION WITH THE PENNSYLVANIA GEOSPATIAL DATA CLEARINGHOUSE. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

GENERAL NOTES

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:

- PARTIAL TOPOGRAPHIC SURVEY DYNAMIC SURVEY, LLC 826 NEWTOWN YARDLEY ROAD, SUITE 201 NEWTOWN, PENNSYLVANIA 18940 DATED: 04/24/24 FILE #: 1478-99-191S PARTIAL TOPOGRAPHIC SURVEY DYNAMIC SURVEY, LLC 826 NEWTOWN YARDLEY ROAD, SUITE 201 NEWTOWN, PENNSYLVANIA 18940 DATED: 1/10/23 LAST REVISED: 3/10/24 FILE #: 1478-99-191S ALTA/NGPS LAND TITLE SURVEY AMERICAN SURVEYING & MAPPING INC. 3191 MAGUIRE BOULEVARD, SUITE 203 ORLANDO, FLORIDA 32803 DATED: 4/21/2021 LAST REVISED: 5/14/2021 2. OWNER/APPLICANT: WESTOWN AM WEST TIC LLC 120 N. PONTE BOULEVARD, SUITE 301 LANCASTER, PA 17601 PH: 732-961-8143 3. PARCEL DATA: UPL: 67-2-424 1506 WEST CHESTER PIKE (PA STATE HIGHWAY ROUTE 3) TOWNSHIP OF WESTOWN CHESTER COUNTY, PENNSYLVANIA 4. ZONE: C-1 (NEIGHBORHOOD AND HIGHWAY COMMERCIAL) 5. EXISTING USE: RETAIL SERVICES (PERMITTED USE) (§170-1101) BARBER SHOP (PERMITTED USE) (§170-1101) BANK (PERMITTED USE) (§170-1101) RESTAURANT (PERMITTED USE) (§170-1101) 6. PROPOSED USE: BANK (PERMITTED USE) (§170-1101) 7. SCHEDULE OF ZONING REQUIREMENTS (§170-1102)

Table with 3 columns: ZONE REQUIREMENT, C-1 DISTRICT, EXISTING, PROPOSED. Rows include MINIMUM LOT AREA, MINIMUM LOT WIDTH, MINIMUM FRONT YARD SETBACK, etc.

- NOTES: [1] MINIMUM LOT WIDTH: 300 FEET AT BUILDING SETBACK LINE; IN ADDITION, 300 FEET AT FUTURE RIGHT-OF-WAY LINE OF ROUTES 202, 926, 3 AND 352. (§170-1102.8) [2] MINIMUM FRONT YARD SETBACK: 50 FEET FOR ANY BUILDING OR PARKING AREA. (§170-1102.7) [3] MINIMUM SIDE YARDS: FIFTEEN (15) FEET MINIMUM FOR EACH, EXCEPT FIFTY (50) FEET FROM THE FUTURE RIGHT-OF-WAY LINE OF ROUTE 202 OR ROUTE 3 AND THIRTY (30) FEET FROM THE FUTURE RIGHT-OF-WAY LINE OF ROUTE 926 OR ROUTE 352. (§170-1102.6(1)) [4] ANY ACCESSORY USE OR STRUCTURE SHALL BE LOCATED IN COMPLIANCE WITH FRONT, SIDE AND REAR YARD REQUIREMENTS OF THIS DISTRICT. (§170-1102.4) (COMPLIES) [5] NO USE SHALL BE CONDUCTED IN THE REQUIRED FRONT, SIDE, AND REAR YARDS. (§170-1104.4)

- 8. GENERAL REGULATIONS A. ALL BUILDINGS SHALL FRONT UPON A MARINAL STREET, SERVICE ROAD, COMMON PARKING LOT OR SIMILAR AREA, AND NOT DIRECTLY UPON A PUBLIC STREET OR HIGHWAY. (§170-1102.8(1)) B. THE MAXIMUM DENSITY FOR PERMITTED, SPECIAL EXCEPTION, OR CONDITIONAL USES IN THE C-1 DISTRICT SHALL BE THE PRODUCT OF THE TOTAL TRACT AREA AND D.S. (§170-1103.C)(1). (COMPLIES) C. THE MAXIMUM PERMITTED GROUND COVER SHALL BE THE PRODUCT OF THE LOT AREA AND 0.40. (§170-1519.B)(c)(2) (COMPLIES) 9. PARKING REQUIREMENTS A. PARKING SPACES FOR COMMERCIAL/RETAIL USES SHALL BE A MINIMUM OF TWENTY (20) FEET IN DEPTH AND TEN (10) FEET IN WIDTH. (§170-1702.4(1)) B. THE MINIMUM DISTANCE FOR PARKING AREAS, AS MEASURED FROM THE STREET LINE, SHALL BE EQUAL TO THE GREATER OF 1/2 OF THE FRONT YARD BUILDING SETBACK LINE OR THE STRIP PRESCRIBED FOR PARKING AREAS IN THE PARTICULAR DISTRICT IN WHICH THE PARKING AREA IS LOCATED. (§170-1701.D) (VARIANCE - PARKING PROPOSED WITHIN REQUIRED FRONT YARD AREA) C. ALL PARKING SPACES SHALL BE CLEARLY MARKED BY SIGNAGE, PARALLEL PARKING SPACES SHALL BE MARKED BY THE LENGTH OF THE SPACE, OR BY CURBS OR OTHER MEANS, TO INDICATE INDIVIDUAL SPACES; SIGN TO MARKERS LOCATED ON THE SURFACE WITHIN A PARKING LOT SHALL BE USED AS NECESSARY TO ASSURE EFFICIENT AND SAFE TRAFFIC OPERATION. (§170-1703.B)(1) (COMPLIES) D. ANY PARKING LOT INCLUDING ONE (1) TO TWENTY-FIVE (25) PARKING SPACES SHALL INCLUDE A MINIMUM OF ONE (1) HANDICAPPED SPACE. (§170-1704.A) (COMPLIES) E. HANDICAPPED PARKING SPACES SHALL BE LOCATED IN SUCH A MANNER THAT THEY WOULD RESULT IN THE SHORTEST REASONABLE ACCESSIBLE DISTANCE TO A HANDICAPPED ACCESSIBLE BUILDING ENTRANCE. CURB CUTS SHALL PROVIDED AS NEEDED TO PROVIDE AN ACCESSIBLE ROUTE FROM THE HANDICAPPED SPACES TO AN ACCESSIBLE ENTRANCE. (§170-1704.B) (COMPLIES) F. EACH REQUIRED HANDICAPPED PARKING SPACE SHALL BE EIGHT FEET BY TEN FEET. IN ADDITION, EACH SPACE SHALL BE ADJACENT TO A FIVE-FOOT-WIDE ACCESS ASLE. SUCH ACCESS ASLE MAY BE SHARED BY TWO HANDICAPPED SPACES BY BEING PLACED BETWEEN THEM; HOWEVER, ONE OUT OF EVERY EIGHT REQUIRED HANDICAPPED PARKING SPACES SHALL HAVE AN ADJACENT ACCESS ASLE OF EIGHT FEET WORTH INSTEAD OF FIVE FEET. (§170-1704.C) (COMPLIES) G. PARKING CALCULATION (§170-1709.C AMENDED BY ORD 2024-01): BANKS ONE (1) PARKING SPACE PER 75 SF OF FLOOR AREA DEVOTED TO CUSTOMER SERVICE, PLUS ONE (1) PARKING SPACE PER 225 SF OF FLOOR AREA USED FOR OFFICE PURPOSES CHASE BANK (1,414 SF) [1] SPACE/75 SF = 19 SPACES (1,880 SF) [1] SPACE/225 SF = 8 SPACES REQUIRED

- 10. LOADING REQUIREMENTS A. REQUIRED LOADING SPACES TO SERVE COMMERCIAL USES AND OTHER FACILITIES WITH SIMILAR NEEDS SHALL BE AT LEAST TWELVE (12) FEET IN WIDTH AND EAST THIRTY-FIVE (35) FEET IN LENGTH, AND MAY BE LOCATED PARALLEL TO THE BUILDING SECTOR. (§170-1710.A)(2) (NOT APPLICABLE) B. COMMERCIAL OR OTHER USES WHICH DO NOT EXCEED 6,000 SQUARE FEET OF GROSS LEASABLE AREA, AND WHICH INVOLVE REGULAR DELIVERIES AS PART OF THEIR BUSINESS, SHALL BE PROVIDED WITH A MINIMUM OF ONE (1) OFF-STREET LOADING SPACE. (§170-1710.B)(2) (NOT APPLICABLE) 11. DRIVEWAY REQUIREMENTS A. FOR COMMERCIAL USES PROVIDING ONE-WAY DRIVE ASLE OPERATIONS, THE MINIMUM DRIVE ASLE WIDTH SHALL BE FOURTEEN (14) FEET. IF ONE-WAY DRIVE ASLE IS ALSO USED FOR FIRE ACCESS, THE MINIMUM DRIVE ASLE WIDTH SHALL BE TWENTY (20) FEET. FOR TWO-WAY DRIVE ASLE OPERATIONS, THE MINIMUM DRIVE ASLE WIDTH SHALL BE TWENTY-EIGHT (28) FEET. (§170-1515.B) B. EACH PARKING LOT SHALL HAVE NOT MORE THAN TWO (2) ACCESSWAYS TO ANY PUBLIC STREET OR HIGHWAY FOR EACH 500 FEET OF FRONTAGE. WHERE PRACTICABLE, ACCESS TO PARKING AREAS SHALL BE PROVIDED BY A COMMON SERVICE DRIVEWAY OR MINOR STREET IN ORDER TO AVOID DIRECT ACCESS TO THE STREET OR HIGHWAY AND CURB CUTS AND RETIERS. NO SUCH ACCESSWAY SHALL BE MORE THAN THIRTY-FIVE (35) FEET CLEAR IN WIDTH. (§170-1504.A) (COMPLIES) C. PRIVATE DRIVEWAYS IN COMMERCIAL AND BUSINESS PARK ZONING DISTRICTS AND FOR TOWNHOUSES, MOBILE HOME PARKS AND APARTMENTS SHALL BE LOCATED AT LEAST 100 FEET FROM THE POINT OF INTERSECTION OF THE NEAREST STREET RIGHT-OF-WAY LINES AND AT LEAST 10 FEET FROM EVERY PROPERTY LINE. (§149-915.D) (COMPLIES) 12. BUFFER REQUIREMENTS A. IN ADDITION TO THE REQUIREMENTS OF §170-1508 OF THIS CHAPTER, THERE SHALL BE A FIFTY (50) FOOT BUFFER STRIP MAINTAINED ON THE PROPERTY CONTAINING ANY USE AUTHORIZED WITHIN THIS DISTRICT WHEN SUCH USE ADJUTS ANY A/P, R-1, R-2, R-3 OR R-3 DISTRICT. SUCH BUFFER STRIP SHALL BE IN ADDITION TO ANY AND ALL APPLICABLE AREA AND BULK REGULATIONS, INCLUDING SETBACK REGULATIONS. THE BUFFER STRIP SHALL BE PLANTED AND SHALL NOT INCLUDE ANY PAVED AREA. (§170-1105) (EXISTING NON-COMFORMANCE - PARKING LOCATED WITHIN BUFFER AREA ALONG WESTERN PROPERTY LINE) B. ANY PORTION OF A LOT, STRIP, OR TRACT WHICH IS NOT USED FOR BUILDINGS OR STRUCTURES, LOADING OR PARKING SPACES AND ASILES, OR OTHER IMPERVIOUS SURFACES OR DESIGNATED STORAGE AREAS SHALL BE PLANTED WITH AN ALL-SEASON GROUND COVER. A MAJOR OBJECTIVE FOR SUCH GROUND COVER SHALL BE TO PREVENT SOIL EROSION AND SEDIMENTATION OFF THE SITE. (§170-1507.A) (COMPLIES) C. REQUIRED LANDSCAPING AND ANY BERMING SHALL BE DESIGNED TO HAVE A NATURALISTIC APPEARANCE WITH A MIX OF PLANT SPECIES. STRAIGHT ROWS OF THE SAME SPECIES OR TYPES SHALL GENERALLY NOT BE USED TO MEET TOWNSHIP REQUIREMENTS. PLANTS WITH A LARGE MATURE SIZE SHOULD BE PLANTED AT OFFSETS TO ALLOW ROOM FOR GROWTH. THE SPECIES, SIZES AND LOCATIONS OF PLANTINGS PROPOSED TO BE USED SHALL BE SHOWN ON DEVELOPMENT PLANS. (§170-1508.D)(1) (COMPLIES) D. THE BUFFER SHALL BE A LANDSCAPED AREA FREE OF STRUCTURES, NO DRIVEWAY OR STREET SHALL BE PERMITTED IN THE BUFFER EXCEPT AT POINTS OF INGRESS OR EGRESS. (§170-922.A) (EXISTING NON-COMFORMANCE - PARKING LOCATED WITHIN BUFFER AREA ALONG WESTERN PROPERTY LINE)

- 13. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES. 14. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. 15. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS OTHERWISE NOTED OTHERWISE IN THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, CONSTRUCTION MANAGER OR ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS. 16. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC. 17. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. 18. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARE NOTED PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN. 19. SOLID WASTE TO BE DISPOSSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. 20. ALL EXCAVATED UNDERGROUND MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION. 21. CONTRACTOR IS RESPONSIBLE FOR ALL SHIELDING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF COLLIGIOUS STRUCTURES, AS FIELD CONDITIONS DICTATE. 22. ALL CONTRACTORS MUST CARRY STATUTORY BONDERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (GGL). ALL CONTRACTORS MUST HAVE THEIR GGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C., ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTOR SUPERVISOR TO INSURE THE HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND EXPENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS. 23. NEITHER THE PROFESSIONAL ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERVISING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL. NO ONE HAS AUTHORITY TO EXERCISE ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY, DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICY OF GENERAL LIABILITY INSURANCE.

GENERAL NOTES (CONT.)

- 24. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW OF A SPECIFIC ITEM SHALL NOT IMPLY THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING. CONTRACTOR - DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED. 25. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE. 26. THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN ALL THOSE AGREEMENTS. 27. IF THE CONTRACTOR DETAILES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT HERETO, AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM, AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM. 28. CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL FERMABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN FERMABILITY IN THE FIELD. 29. CONTRACTOR TO BE ADVISED THAT ANY CHANGES TO THE PLANS OR DRAWINGS FOR THE DESIGN AT THE TIME OF SITE PLAN DESIGN, AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL, AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION, THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMP-AND ACCESSIBLE ROUTES AND ANY APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION. 30. CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO THE START OF CONSTRUCTION AS REQUIRED BY PENNSYLVANIA ACT 172 (FORMER ACT 297). CONTACT PENNSYLVANIA ONE CALL AT (800) 242-1776 PRIOR TO BREAKING GROUND. 31. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH WESTTOWN TOWNSHIP CODES AND SPECIFICATIONS AND PADOT PUBLICATION 408 LATEST REVISION, OR AS LATER AMENDED, UNLESS OTHERWISE NOTED. 32. DRIVEWAY ACCESS TO A STATE HIGHWAY SHALL BE AUTHORIZED ONLY BY THE DEPARTMENT OF TRANSPORTATION AS REQUIRED BY SECTION 410 OF THE ACT OF JUNE 1, 1945 (P.P. 1242 NO. 428) KNOWN AS THE STATE HIGHWAY LAW, SHALL BE ABANDONED IN ACCORDANCE WITH THE WATER WELL DRILLERS LICENSE ACT AND CURRENT PADEP REGULATIONS, SECTION 3.3.5.11 OF THE PADEP "PUBLIC WATER SUPPLY" AND ANNA STANDARD A100-97 ON WATER WELLS. 33. ANY SOLID DISPOSAL SYSTEM DURING CONSTRUCTION SHALL BE ADEQUATELY IN ACCORDANCE WITH CURRENT PADEP AND CHESTER COUNTY HEALTH DEPARTMENT REQUIREMENTS. 34. THE TOWNSHIP ENGINEER AND CHESTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED BY THE OWNER OR CONTRACTOR AT LEAST SEVENTY-TWO (72) HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY WORK ON REQUIRED IMPROVEMENTS. 35. THE SITE DOES NOT HAVE ANY WETLANDS OR WATERCOURSES WITHIN THE PROJECT AREA. 36. THE SANITARY SEWER SYSTEMS SHOWN ON THE PLANS MEET THE STANDARDS AND SPECIFICATIONS ADOPTED BY WESTTOWN TOWNSHIP. 37. EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION WILL BE PROVIDED WITH THE USE OF COMPOST FILTER SOCK WHICH WILL BE INSTALLED PRIOR TO EARTH DISTURBANCE. CONSTRUCTION OF THE PROJECT IS EXPECTED TO BEGIN IN DECEMBER 2024 AND BE COMPLETED SPRING OF 2025. INSTALLATION OF THE PROPOSED UNDERGROUND INFILTRATION BASIN IS EXPECTED TO TAKE 2 WEEKS. SEE EROSION AND SEDIMENT CONTROL PLANS, SHEETS 23-25 OF THIS PLAN SET FOR MORE DETAIL ON THE CONSTRUCTION OF THE PROJECT AND THE SEQUENCE OF CONSTRUCTION. 38. A BLANKET STORMWATER EASEMENT IS HEREBY OFFERED TO THE TOWNSHIP FOR THE PURPOSES OF INSPECTION AND MAINTENANCE OF THE STORMWATER FACILITIES.

SIGNAGE TABLE

Table with 3 columns: SIGN, REQUIREMENTS, PROPOSED. Rows include FREESTANDING, WALL, DIRECTIONAL. Includes details on number of signs, size, height, and placement.

- (N/S): NO STANDARD (N/A): NOT APPLICABLE (E): EXISTING NON-COMFORMANCE (V): VARIANCE NOTES: [1] UP TO TWO (2) ADDRESS SIGNS ARE ALLOWED ON NONRESIDENTIAL USES WITHOUT ANY PERMIT, SUBJECT TO EACH OF THE SIGNS BEING UNDER 5 SQUARE FEET IN AREA. (§170-1804.C)(2)) [2] ONE (1) PRIVATE DRIVE SIGN PER DRIVEWAY ENTRANCE IS ALLOWED, NOT TO EXCEED FOUR (4) SQUARE FEET IN AREA. (§170-1804.E) [3] THE "AREA OF A SIGN" SHALL MEAN THE AREA OF ALL LETTERING, WORDING, AND ACCOMPANYING DESIGNS, LOGOS, AND SYMBOLS. THE AREA OF THE SIGN SHALL NOT INCLUDE ANY SUPPORTING FRAMEWORK, BRACING OR TRIM WHICH IS INCIDENTAL TO THE DISPLAY, PROVIDED THAT IT DOES NOT CONTAIN ANY LETTERING, WORDING, OR SYMBOLS. (§170-1805.C)(1)) [4] WHERE THE SIGN CONSISTS OF INDIVIDUAL LETTERS, DESIGNS, OR SYMBOLS ATTACHED TO A BUILDING, AWNING, WALL, OR WINDOW, THE AREA SHALL BE THAT OF THE SMALLEST RECTANGLE WHICH ENCOMPASSES ALL OF THE LETTERS, DESIGNS, AND SYMBOLS. (§170-1805.C)(2)) [5] ONLY ONE (1) SIDE SHALL BE CONSIDERED WHEN DETERMINING THE SIGN AREA, PROVIDED THAT THE FACES ARE EQUAL IN SIZE, THE INTERIOR ANGLE FORMED BY THE FACES IS LESS THAN FORTY-FIVE (45) DEGREES, AND THE TWO (2) FACES ARE NOT MORE THAN EIGHTEEN (18) INCHES APART. (§170-1805.C)(3)(a)) [6] SIGNS ON NONRESIDENTIAL PROPERTIES MAY BE ILLUMINATED FROM 6:00 AM PREVAILING TIME UNTIL 11:00 PM PREVAILING TIME, OR 1/2 HOUR PAST THE CLOSE OF BUSINESS OF THE FACILITY LOCATED ON THE SAME LOT AS THE SIGN, WHICHEVER IS LATER. (§170-1805.F)(1)(b)(1)) [7] ILLUMINATED SIGNS SHALL PROVIDE AN AUTOMATIC TIMER TO COMPLY WITH HOURS OF OPERATION REGULATIONS. (§170-1805.F)(2)(a)(1)) [8] THE ILLUMINATION OF A SIGN SHALL BE SET SO AS NOT TO BE MORE THAN 0.3 FOOTCANDLE ABOVE AMBIENT LIGHTING CONDITIONS, MEASURED USING A FOOTCANDLE METER AT SEVENTY-FIVE (75) FEET PERPENDICULAR TO THE SIGN'S DISPLAY. (§170-1805.F)(1)(c)(1)) [9] EACH ILLUMINATED SIGN MUST HAVE A LIGHT-SENSING DEVICE THAT WILL AUTOMATICALLY ADJUST THE BRIGHTNESS OF THE DISPLAY AS THE NATURAL AMBIENT LIGHT CONDITIONS CHANGE TO COMPLY WITH THE LIMITS OF THE TOWNSHIP ORDINANCE. (§170-1805.F)(1)(c)(2)) [10] INTERNALLY ILLUMINATED SIGNS MUST BE STATIC IN INTENSITY AND COLOR. (§170-1805.F)(2)(a)(1)) [11] WHEN USED OTHER THAN AS A BILLBOARD, DIGITAL DISPLAYS SHALL NOT EXCEED MORE THAN THIRTY (30) PERCENT OF THE TOTAL SIGN AREA PERMITTED ON THE SITE. (§170-1805.F)(4)(c)(1)) [12] IF THE WALL SIGN PROTECTS LESS THAN THREE (3) INCHES FROM THE BUILDING WALL ON WHICH IT IS AFFIXED, THE TEN (10) FOOT HEIGHT REQUIREMENT NEED NOT BE MET. (§170-1806.A)(1)) [13] THE TOTAL AREA OF ALL WALL, AWNING/CANOPY, FREESTANDING, AND PROJECTING SIGNS ON LOTS WITH NONRESIDENTIAL USES SHALL NOT EXCEED AN AREA EQUAL TO TWO (2) SQUARE FEET FOR EVERY ONE (1) LINEAR FOOT OF BUILDING WALL PARALLEL TO, AND FACING, ANY PARTICULAR STREET. THE SIGN AREA FOR EACH STREET FRONTAGE SHALL BE COMPUTED SEPARATELY, AND ANY ALLOWABLE SIGN AREA NOT USED ON ONE (1) FRONTAGE MAY NOT BE USED ON ANOTHER STREET FRONTAGE. (§170-1813.B) [14] WHERE A STORE HAS AN ENTRANCE TO A STREET AND A PARKING LOT, A SECOND SIGN IS PERMITTED TO FACE THE PARKING LOT. (§170-1813.C)(1)) [15] FOR PERMITTED DRIVE-THROUGH ESTABLISHMENTS, ONE (1) ADDITIONAL FREESTANDING SIGN SHALL BE PERMITTED NEXT TO THE DRIVE-THROUGH LANE ONLY. (§170-1813.H)(b))

IMPERVIOUS COVERAGE TABLE

Table with 2 columns: EXISTING IMPERVIOUS AREAS PROPOSED TO BE REPLACED, 24,194 SF. EXISTING IMPERVIOUS SURFACES TO BE PERMANENTLY REMOVED AND REPLACED WITH PERVIOUS GROUND COVER, 1,498 SF. NEW IMPERVIOUS SURFACE AREAS, 633 SF.

SUPPLEMENTARY DATA

- SUPPLEMENTARY DATA PER SALDO §149-602.G(4) A. THE SITE IS SERVICED VIA WEST CHESTER PIKE (SR 0003) WHICH IS AN URBAN PRINCIPAL ARTERIAL ROADWAY UNDER PENNDOT JURISDICTION AND HAS A GENERAL EAST/WEST ORIENTATION. THE MARKETPLACE AT WESTOWN DRIVEWAY AND THE MAIN DRIVEWAY INTERSECT WEST CHESTER PIKE (SR 0003) TO FORM A FOUR-LEG INTERSECTION CONTROLLED BY A THREE-PHASE TRAFFIC SIGNAL BASED ON THE TRANSPORTATION IMPACT ASSESSMENT PROVIDED BY DYNAMIC TRAFFIC LLC. THE ADJACENT STREET SYSTEM OF THE TOWNSHIP OF WESTTOWN AND PENNDOT WILL NOT EXPERIENCE ANY SIGNIFICANT REGULATION IN OPERATING CONDITIONS WITH THE CONSTRUCTION OF THE PROJECT. B. THE SITE IS SERVICED WITH PUBLIC WATER AND SEWER, BOTH OF WHICH HAVE CAPACITY TO SERVICE THE PROJECT. C. SEWAGE IS COLLECTED AND TREATED BY WESTTOWN TOWNSHIP. WATER IS PROVIDED BY AQUA PENNSYLVANIA. ELECTRIC IS PROVIDED BY PECO. WEST CHESTER PIKE (SR 0003) IS A PENNDOT ROADWAY. D. EXISTING USES OF THE SITE ARE RETAIL SERVICES, BARBER SHOP, BANK, RESTAURANT, AND A GROCERY STORE. THE PROPOSED USES IS A BANK. E. THE INTENDED USE INCLUDES ALL OF THE EXISTING USES AS WELL AS A PROPOSED BANK. F. THE SITE DOES NOT HAVE ANY BERMING, PLANTINGS, OPEN SPACE, OR OTHER AREAS DEDICATED OR RESERVED FOR PUBLIC USE. G. THE SITE DOES NOT CONTAIN ANY BUFFER AREAS. H. SIGNAGE WILL BE PROVIDED UNDER SEPARATE PERMIT BY OTHERS. PROPOSED LIGHTING IS SHOWN ON THE LIGHTING PLAN AND IS COMPLIANT WITH WESTTOWN TOWNSHIP LIGHTING STANDARDS. I. THE SITE DOES NOT HAVE A GOVERNING ASSOCIATION. J. ZONING DATA CAN BE FOUND ON THE GENERAL NOTES SHEET, PREVIOUSLY APPROVED VARIANCES CAN BE FOUND BELOW. K. REQUESTED IMAGES CAN BE FOUND BELOW. L. THE EXISTING PROPERTY IS NOT BEING SUBDIVIDED AT THIS TIME.

APPROVED VARIANCES

VARIANCE APPROVED BY THE WESTTOWN TOWNSHIP ZONING HEARING BOARD ON MAY 8, 2023 A VARIANCE FROM SECTION 170-1104.A TO PERMIT PROPOSED PARKING LOCATED IN THE REQUIRED FRONT YARD.

REQUESTED VAIVERS

- 1. SALDO §149-600Z: A MAJOR IS REQUESTED TO ALLOW THE PRELIMINARY LAND DEVELOPMENT PLANS AND ALL SUPPORTING DATA TO PROCEED TO FINAL ACTION AT THE FIRST CONSIDERATION OF THE PLAN. 2. SALDO §149-925E(1): REQUIRES PERMIER TREE AND SHRUB INSTALLATION OF SEVEN (7) SHADE TREES AND FIVE (5) ORNAMENTAL TREES, WHEREAS NONE OF THE REQUIRED TREES ARE PROPOSED ALONG THE PERMIER. 3. SALDO §149-925E(2): REQUIRES PLANTER ISLAND TREE AND SHRUB INSTALLATION OF FIVE (5) TREES AND FIFTY (50) SHRUBS, WHEREAS ONE (1) SHADE TREE AND FIFTY (50) SHRUBS ARE PROPOSED WITHIN THE PLANTER ISLANDS.

LANDSCAPE AREA CALCULATION TABLE

Table with 2 columns: LANDSCAPED AREAS, EXISTING LANDSCAPED AREAS, 1,186 SF. PROPOSED LANDSCAPED AREAS, 1,815 SF. DIFFERENCE, 629 SF. PARKING AREAS, TOTAL DEMO'D PARKING AREA, 6,247 SF. REQUIRED LANDSCAPING (10% OF DEMO'D PARKING AREA), 625 SF. NET, 4 SF.

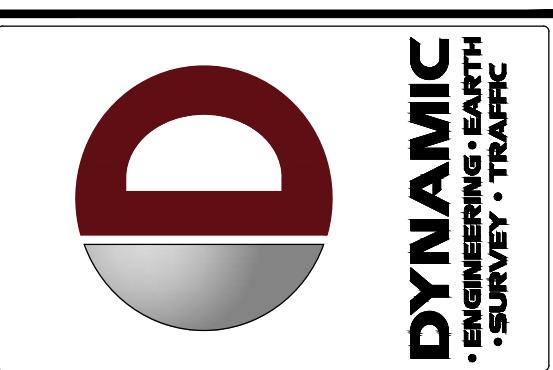


Table with 2 columns: REV. DATE, COMMENTS. Shows revision 1 on 09/30/24.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION. PROJECT: WESTTOWN AM WEST TIC LLC. CHASE O PROPOSED CHASE BANK. 1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 WEST CHESTER PIKE CHESTER COUNTY, PENNSYLVANIA.

811 logo. PROTECT YOURSELF. ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PERFORMING TO DEGRADE THE GROUND SURFACE ANYWHERE IN ANY STATE.

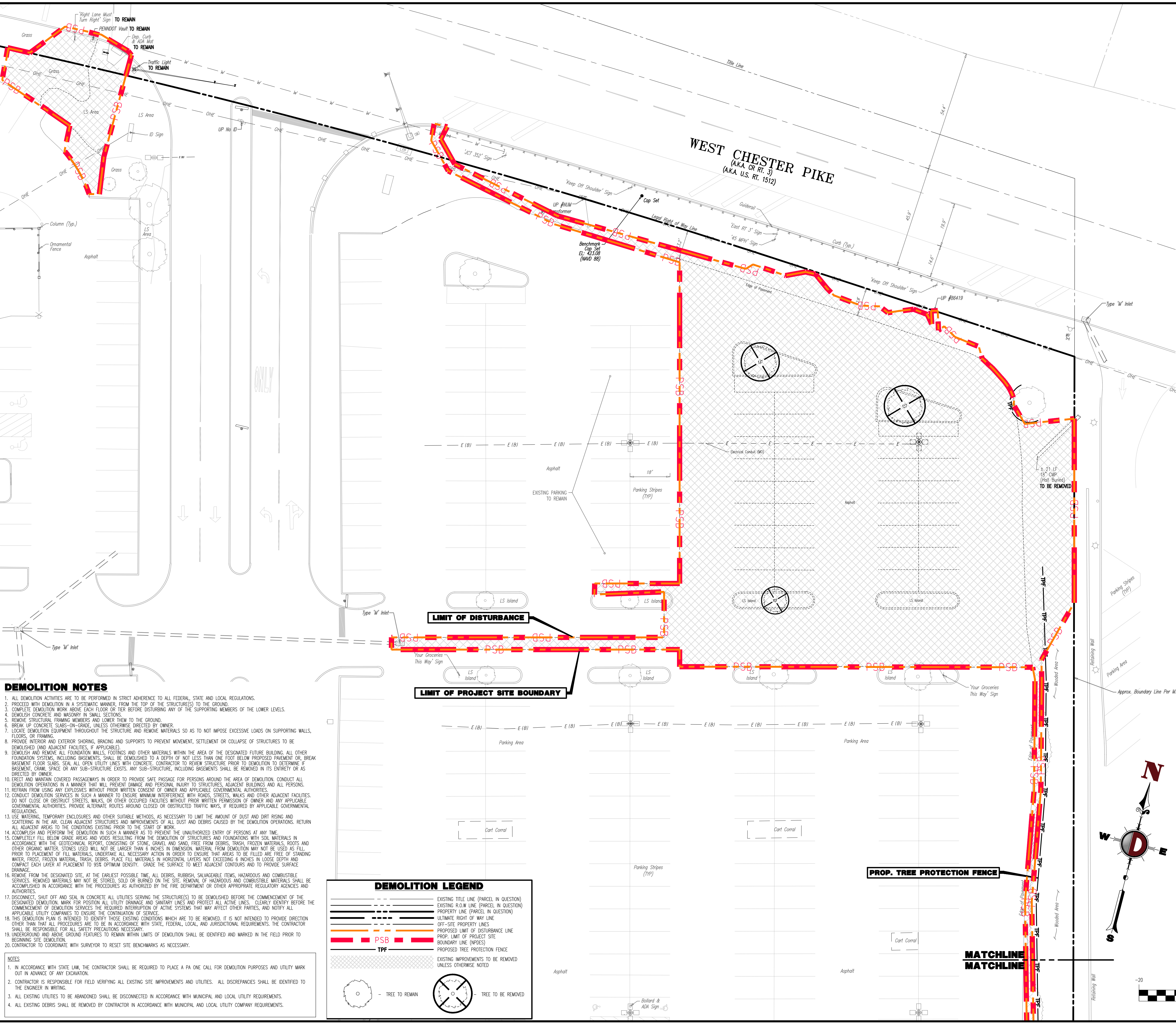
DYNAMIC ENGINEERING logo. LAND DEVELOPMENT CONSULTING • PERMITTING. TECHNICAL & ENVIRONMENTAL. TRAFFIC & SURVEY • PLANNING & ZONING. 826 Newtown Yardley Road Suite 201 Newtown, PA 18940 T: 267.685.0276 P: 267.685.0361

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MATTHEW SHARO logo. PROFESSIONAL ENGINEER. NEW JERSEY LICENSE NO. 52989

GENERAL NOTES. TITLE: SCALE: (H) NOT TO (V) SCALE. DATE: 07/12/2024. PROJECT No: 1478-99-191. SHEET No: 3. Rev. #: 1.

Plotted: 09/30/24 - 4:00 PM, By: mdolaney  
 File: P:\DCEPC PROJECTS\1476 Paramount Realty\1476 West Chester PA\DWG\4 Land Dev Plans\147699191SR1.dwg, ----> 04 DEMOLITION PLAN

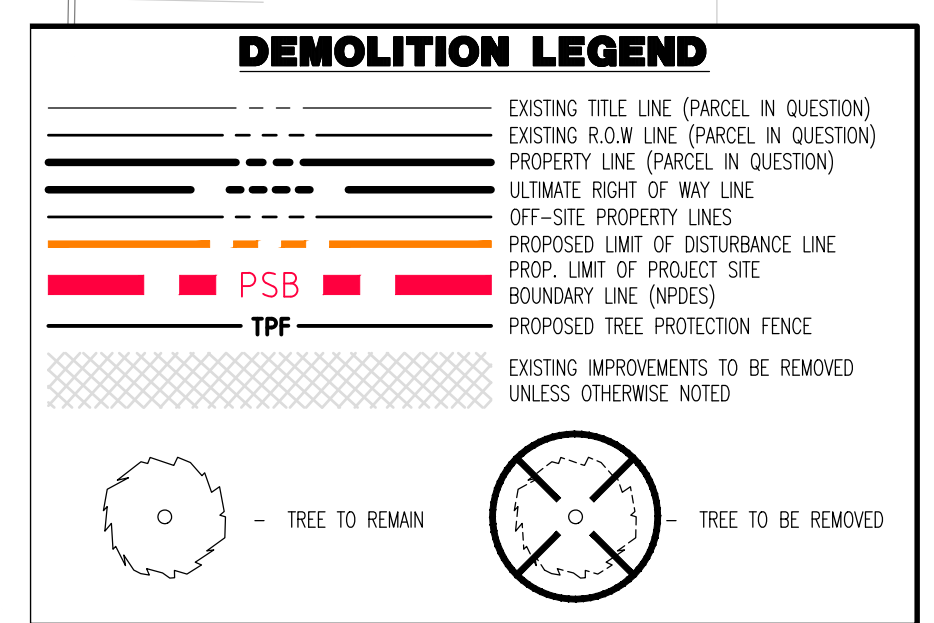


**DEMOLITION NOTES**

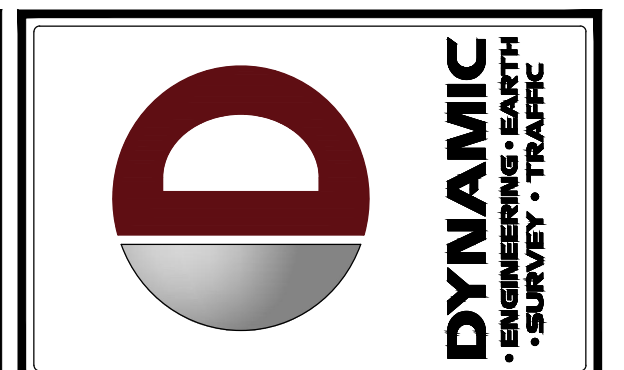
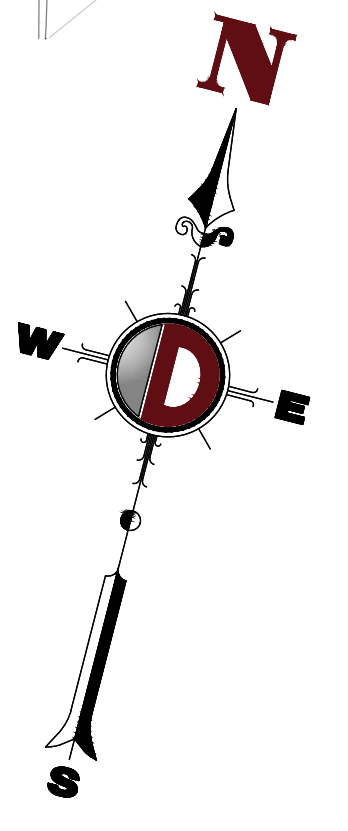
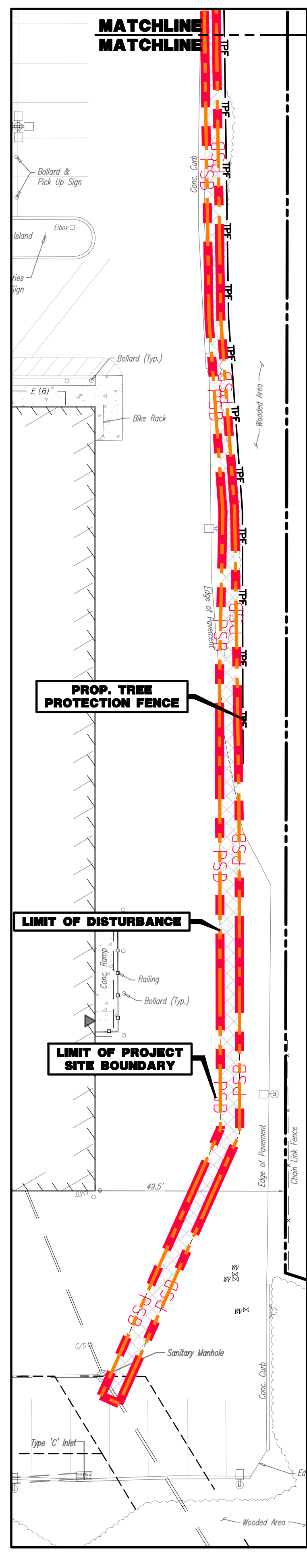
1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURES TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR TRUSSING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS, SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGeways IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS, AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND Voids RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 90% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
19. UNDERGROUND AND ABOVE GROUND FEATURES TO REMAIN WITHIN LIMITS OF DEMOLITION SHALL BE IDENTIFIED AND MARKED IN THE FIELD PRIOR TO BEGINNING SITE DEMOLITION.
20. CONTRACTOR TO COORDINATE WITH SURVEYOR TO RESET SITE BENCHMARKS AS NECESSARY.

**NOTES**

1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO PLACE A PA ONE CALL FOR DEMOLITION PURPOSES AND UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.



**LIMIT OF DISTURBANCE & PROJECT SITE BOUNDARY = 33,327 SF (0.76 AC)**



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

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PROJECT: **WESTTOWN AM WEST TIC LLC**  
 PROPOSED CHASE BANK  
 PARCEL NO. 67-2-2-42-4  
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
 CHESTER COUNTY, PENNSYLVANIA

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**JUSTIN A. GEONOTTI**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. 106269

**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52989

TITLE: **DEMOLITION PLAN**

SCALE: (H) 1" = 20'  
 (V) 1" = 20'

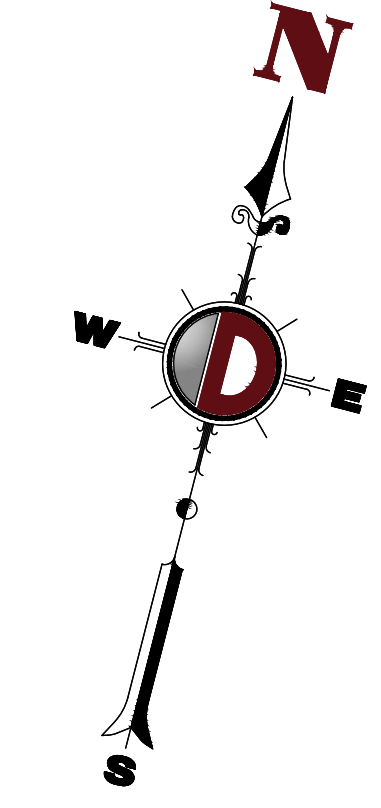
DATE: 07/12/2024

PROJECT NO: 1478-99-191

SHEET NO: **4** OF 25

**GENERAL NOTES**

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
  - PARTIAL TOPOGRAPHIC SURVEY  
DYNAMIC SURVEY, LLC  
826 NEWTOWN YARDELY ROAD, SUITE 201  
NEWTOWN, PENNSYLVANIA 18940  
DATED: 9/26/24  
FILE #: 1478-99-1915
  - PARTIAL TOPOGRAPHIC SURVEY  
DYNAMIC SURVEY, LLC  
826 NEWTOWN YARDELY ROAD, SUITE 201  
NEWTOWN, PENNSYLVANIA 18940  
DATED: 1/10/23  
LAST REVISED: 5/10/24  
FILE #: 1478-99-1915
  - ALTA/NSPS LAND TITLE SURVEY  
AMERICAN SURVEYING & MAPPING INC.  
3191 MADISON BOULEVARD, SUITE 200  
ORLANDO, FLORIDA 32803  
DATED: 4/21/2021  
LAST REVISED: 5/14/2021
- OWNER/APPLICANT: WESTTOWN AM WEST TIC LLC  
120 N. PRINCE BOULEVARD, SUITE 301  
LANCASTER, PA 17601  
PH: 732-861-8142
- PARCEL DATA: UPR: 67-2-42.4  
1508 WEST CHESTER PIKE (PA STATE HIGHWAY ROUTE 3)  
TOWNSHIP OF WESTTOWN  
CHESTER COUNTY, PENNSYLVANIA
- ZONE: C-1 (NEIGHBORHOOD AND HIGHWAY COMMERCIAL)
- EXISTING USE: RETAIL SERVICES (PERMITTED USE) (§170-1101)  
BARBER SHOP (PERMITTED USE) (§170-1101)  
BANK (PERMITTED USE) (§170-1101)  
RESTAURANT (PERMITTED USE) (§170-1101)
- PROPOSED USE: BANK (PERMITTED USE) (§170-1101)



ZONE REQUIREMENT	C-1 DISTRICT	EXISTING	PROPOSED
MINIMUM LOT AREA	2 AC	18.45 AC (803,818 SF)	18.45 AC (803,818 SF)
MINIMUM LOT WIDTH	300 FT [1]	±1,009.66 FT	±1,009.66 FT
MINIMUM FRONT YARD SETBACK	50 FT [2]	±12 FT (E)	±12 FT (E)
MINIMUM REAR YARD SETBACK	50 FT	±161.7 FT	±161.7 FT
MINIMUM SIDE YARD SETBACK	50 FT [3]	49.5 FT (E)	49.5 FT (E)
MAXIMUM BUILDING HEIGHT	38 FT	34 FT	34 FT
MAXIMUM BUILDING HEIGHT (STORIES)	3	1	1
MAXIMUM BUILDING COVERAGE	25%	±15.1% (121,531 SF)	±15.6% (125,296 SF)
MAXIMUM IMPERVIOUS COVERAGE	65%	±60.2% (484,203 SF)	±60.3% (484,362 SF)
MAXIMUM FLOOR AREA RATIO (FAR)	0.40	0.15	0.16

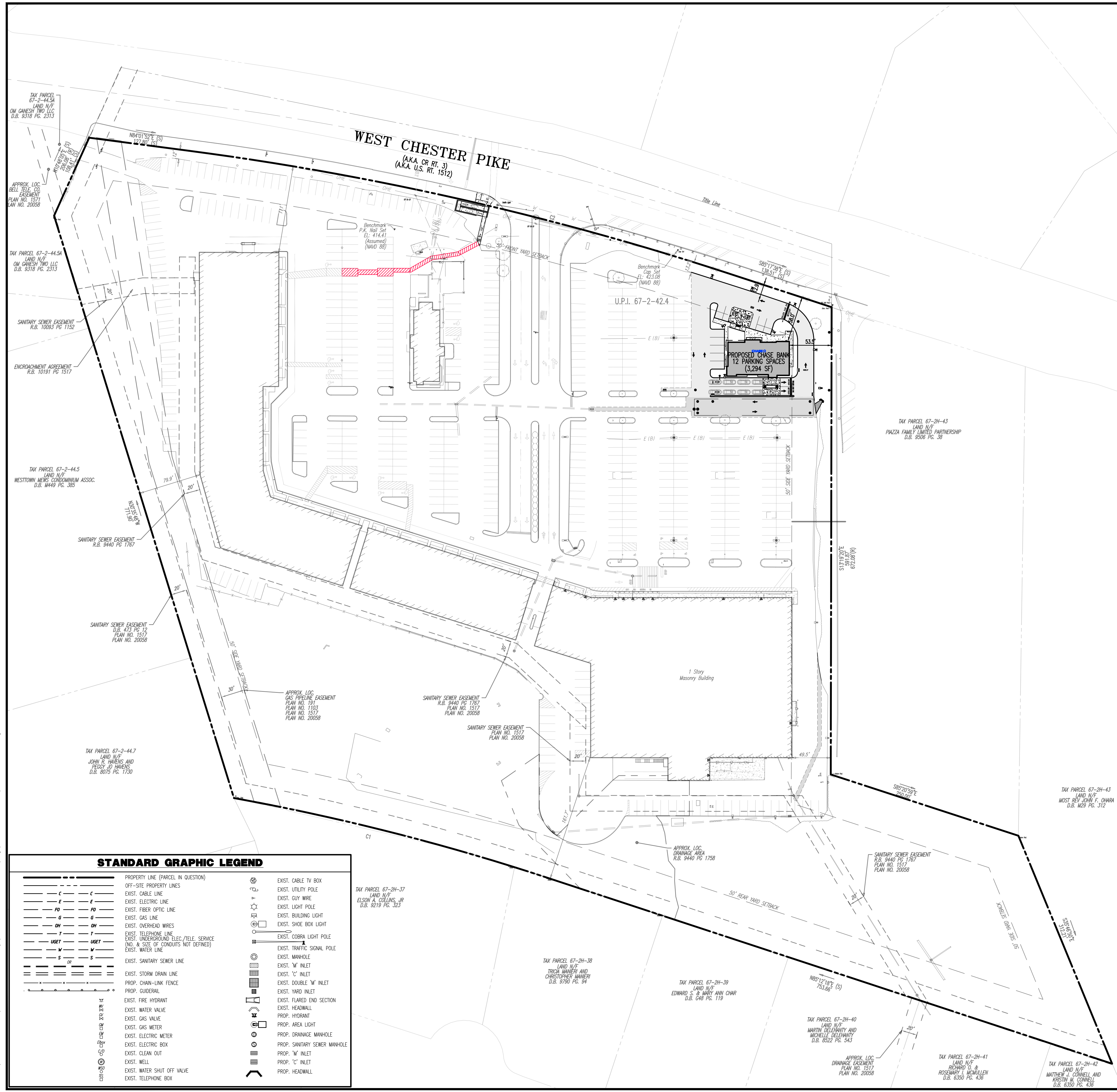
N/S: NOT STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-COMFORMANCE (V): VARIANCE

NOTES:  
 [1] MINIMUM LOT WIDTH: 300 FEET AT BUILDING SETBACK LINE; IN ADDITION, 300 FEET AT FUTURE RIGHT-OF-WAY LINE OF ROUTES 202, 926, 3 AND 352. (§170-1102.B)  
 [2] MINIMUM FRONT YARD SETBACK: 50 FEET FOR ANY BUILDING OR PARKING AREA. (§170-1102.F)  
 [3] MINIMUM SIDE YARDS: FIFTEEN (15) FEET MINIMUM FOR EACH, EXCEPT FIFTY (50) FEET FROM THE FUTURE RIGHT-OF-WAY LINE OF ROUTE 202 OR ROUTE 3 AND THIRTY (30) FEET FROM THE FUTURE RIGHT-OF-WAY LINE OF ROUTE 926 OR ROUTE 352. (§170-1102.G(1))  
 [4] ANY ACCESSORY USE OR STRUCTURE SHALL BE LOCATED IN COMPLIANCE WITH FRONT, SIDE AND REAR YARD REQUIREMENTS OF THIS DISTRICT. (§170-1102.J) (COMPLES)  
 [5] NO USE SHALL BE CONDUCTED IN THE REQUIRED FRONT, SIDE, AND REAR YARDS. (§170-1104.A)

**PAVEMENT LEGEND**

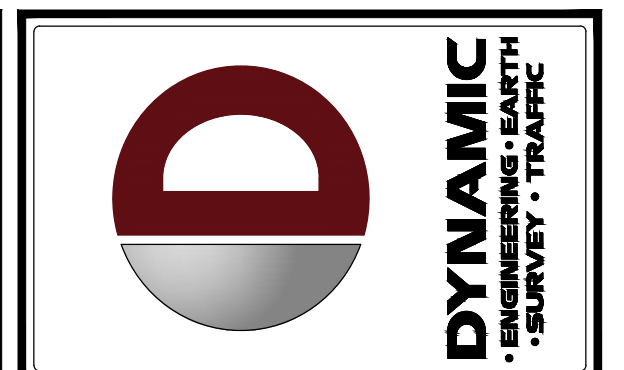
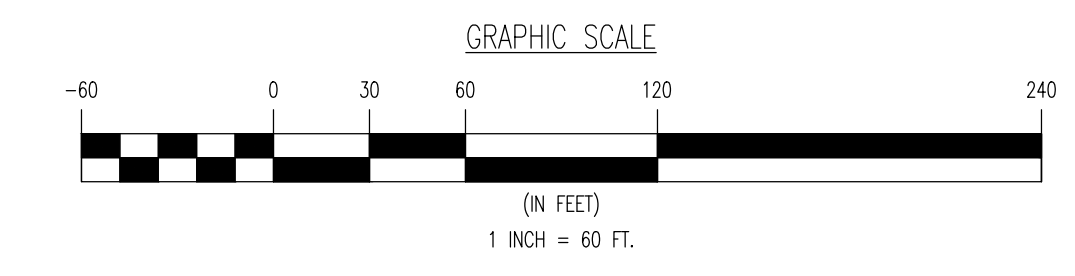
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	409.48'	2959.83'	7°55'58"	N89°10'06"W	409.15'
C2	700.51'	3759.83'	10°40'30"	N82°22'07"E	699.50'



**STANDARD GRAPHIC LEGEND**

	PROPERTY LINE (PARCEL IN QUESTION)		EXIST. CABLE TV BOX
	OFF-SITE PROPERTY LINES		EXIST. UTILITY POLE
	EXIST. CABLE LINE		EXIST. GUY WIRE
	EXIST. ELECTRIC LINE		EXIST. LIGHT POLE
	EXIST. FIBER OPTIC LINE		EXIST. BUILDING LIGHT
	EXIST. GAS LINE		EXIST. SHOE BOX LIGHT
	EXIST. OVERHEAD WIRES		EXIST. COBRA LIGHT POLE
	EXIST. TELEPHONE LINE		EXIST. TRAFFIC SIGNAL POLE
	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. MANHOLE
	EXIST. WATER LINE		EXIST. 'N' INLET
	EXIST. SANITARY SEWER LINE		EXIST. 'C' INLET
	EXIST. STORM DRAIN LINE		EXIST. DOUBLE 'W' INLET
	PROP. CHAIN-LINK FENCE		EXIST. FLARED END SECTION
	PROP. GUIDERAIL		EXIST. HEADWALL
	EXIST. FIRE HYDRANT		PROP. HYDRANT
	EXIST. WATER VALVE		PROP. AREA LIGHT
	EXIST. GAS VALVE		PROP. DRAINAGE MANHOLE
	EXIST. GAS METER		PROP. SANITARY SEWER MANHOLE
	EXIST. ELECTRIC METER		PROP. 'W' INLET
	EXIST. ELECTRIC BOX		PROP. 'C' INLET
	EXIST. WELL		PROP. HEADWALL
	EXIST. WATER SHUT OFF VALVE		
	EXIST. TELEPHONE BOX		



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

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PROJECT: WESTTOWN AM WEST TIC LLC  
 PROPOSED CHASE BANK  
 PARCEL NO. 67-2-42.4  
 1508 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)  
 CHESTER COUNTY, PENNSYLVANIA

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 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. 060629

**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52989

TITLE: **OVERALL SITE PLAN**

SCALE: (H) 1" = 60'  
 (V) 1" = 60'

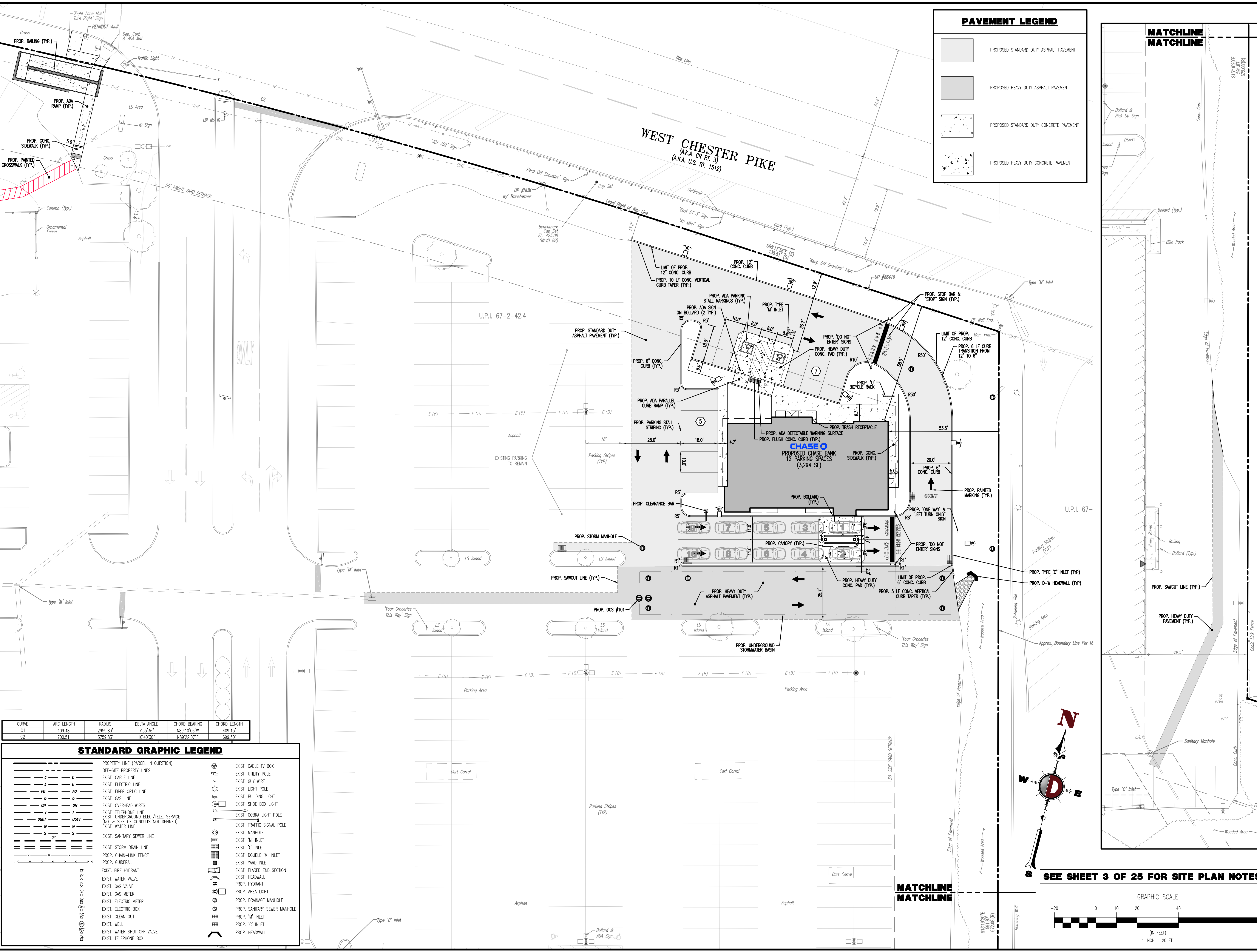
DATE: 07/12/2024

PROJECT NO: 1478-99-191

SHEET NO: **5** OF 25

Rev. #:

Plotted: 09/30/24 - 4:01 PM, By: mdelaney  
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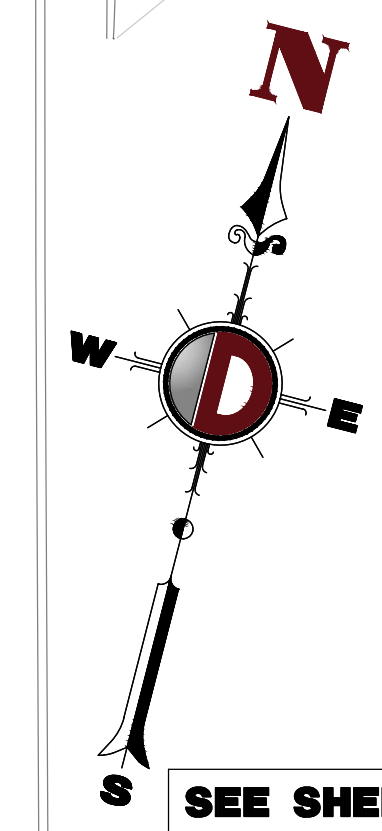
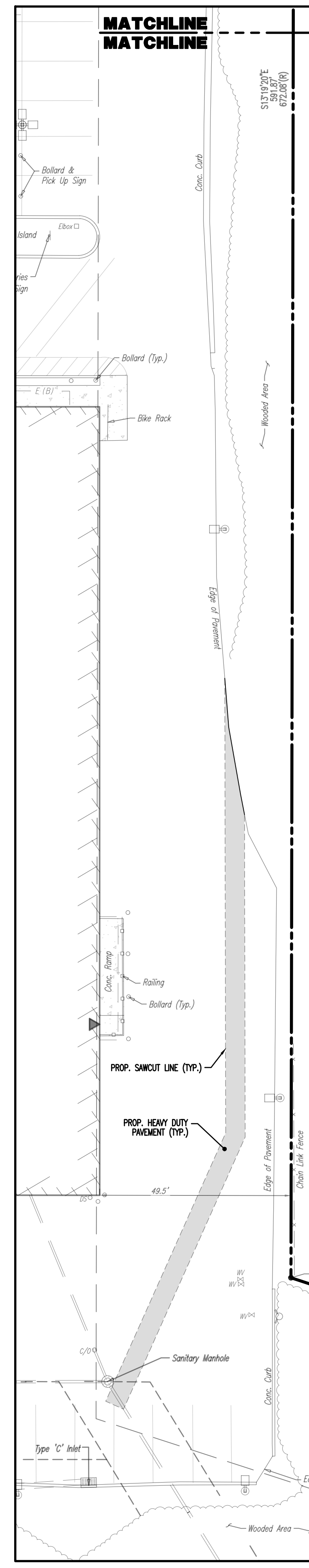
**PAVEMENT LEGEND**

	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT

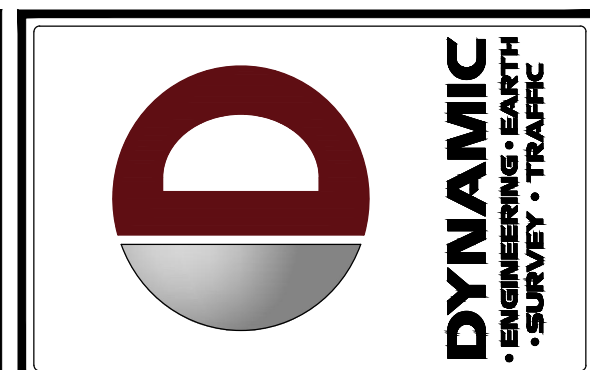
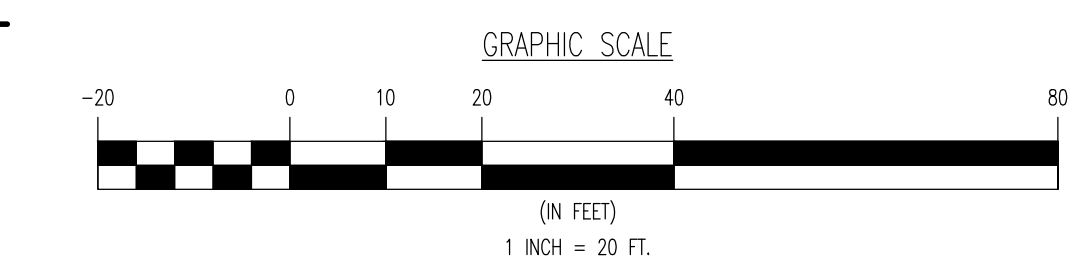
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
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C2	700.51'	3759.83'	10°40'30"	N89°22'07"E	699.50'

**STANDARD GRAPHIC LEGEND**

	PROPERTY LINE (PARCEL IN QUESTION)		EXIST. CABLE TV BOX
	OFF-SITE PROPERTY LINES		EXIST. UTILITY POLE
	EXIST. CABLE LINE		EXIST. GUY WIRE
	EXIST. ELECTRIC LINE		EXIST. LIGHT POLE
	EXIST. FIBER OPTIC LINE		EXIST. BUILDING LIGHT
	EXIST. GAS LINE		EXIST. SHOE BOX LIGHT
	EXIST. OVERHEAD WIRES		EXIST. COBRA LIGHT POLE
	EXIST. TELEPHONE LINE		EXIST. TRAFFIC SIGNAL POLE
	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. MANHOLE
	EXIST. WATER LINE		EXIST. "W" INLET
	EXIST. SANITARY SEWER LINE		EXIST. "C" INLET
	EXIST. STORM DRAIN LINE		EXIST. DOUBLE "W" INLET
	PROP. CHAIN-LINK FENCE		EXIST. YARD INLET
	PROP. GUARDRAIL		EXIST. FLARED END SECTION
	EXIST. FIRE HYDRANT		EXIST. HEADWALL
	EXIST. WATER VALVE		PROP. HYDRANT
	EXIST. GAS VALVE		PROP. AREA LIGHT
	EXIST. GAS METER		PROP. DRAINAGE MANHOLE
	EXIST. ELECTRIC METER		PROP. SANITARY SEWER MANHOLE
	EXIST. CLEAN OUT		PROP. "W" INLET
	EXIST. WELL		PROP. "C" INLET
	EXIST. WATER SHUT OFF VALVE		PROP. HEADWALL
	EXIST. TELEPHONE BOX		



SEE SHEET 3 OF 25 FOR SITE PLAN NOTES



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

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OWNER: ARK  
 DESIGNER: MS  
 CHECKER: MS

PROJECT: WESTTOWN AM WEST TIC LLC  
 PROPOSED CHASE BANK  
 PARCEL NO. 67-2-42.4  
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
 CHESTER COUNTY, PENNSYLVANIA

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 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. 160629

**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52989

TITLE:  
**SITE PLAN**

SCALE: (H) 1" = 20'  
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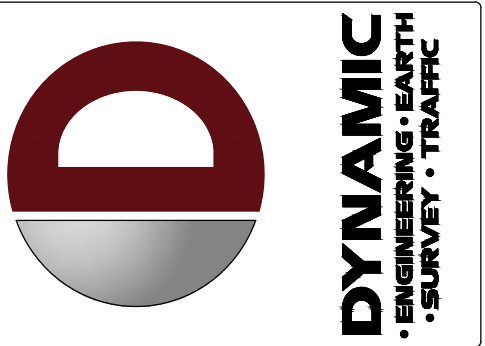
DATE: 07/12/2024

PROJECT NO: 1478-99-191

SHEET No: **6** OF 25

Rev. #: 1





REV.	DATE	COMMENTS	BY
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**JUSTIN A. GEONOTTI**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. 1060629

**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52989

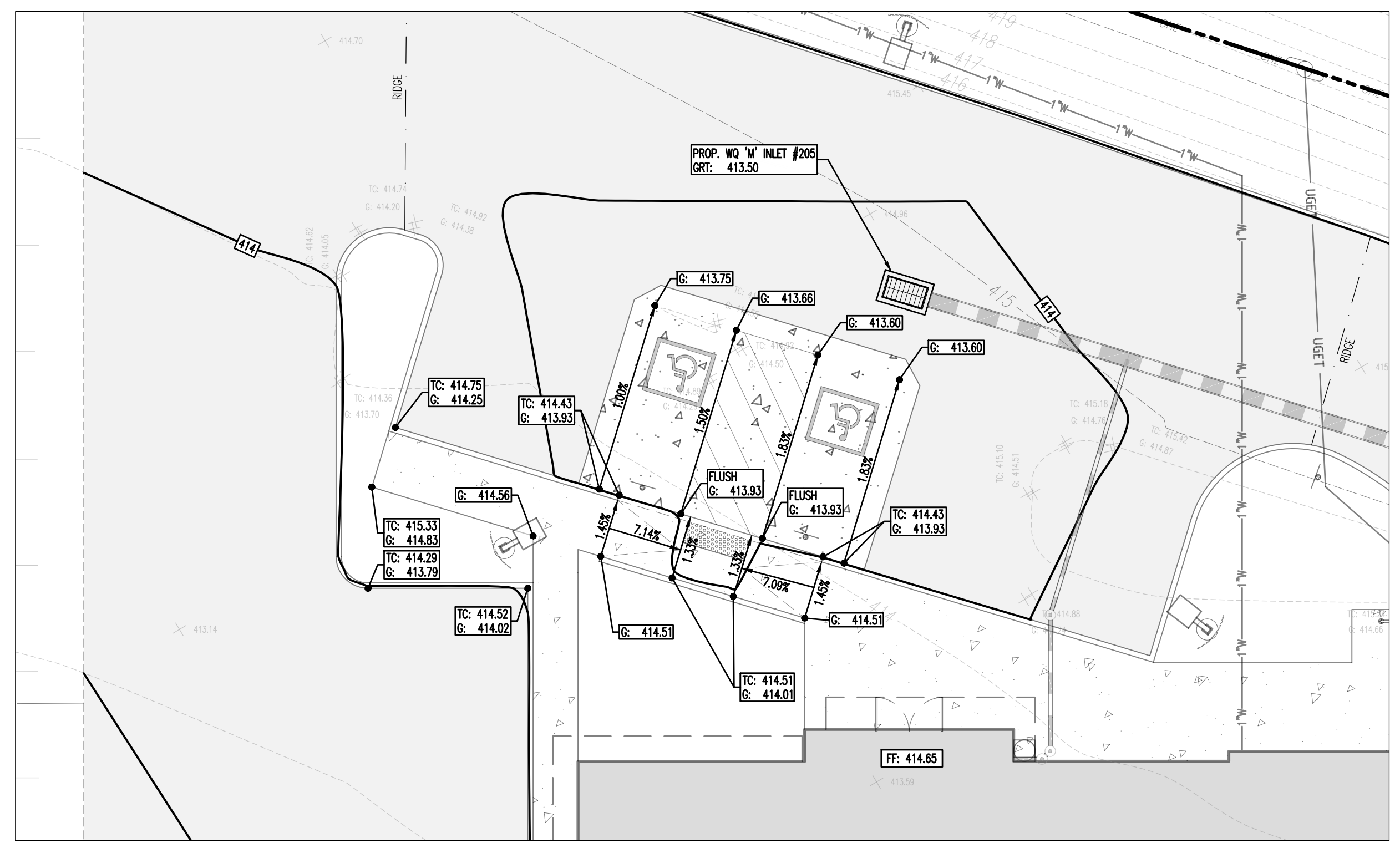
TITLE: ADA GRADING PLAN

SCALE: (H) 1" = 10'  
 (V) DATE: 07/12/2024  
 PROJECT No: 1478-99-191

SHEET No: 8 OF 25



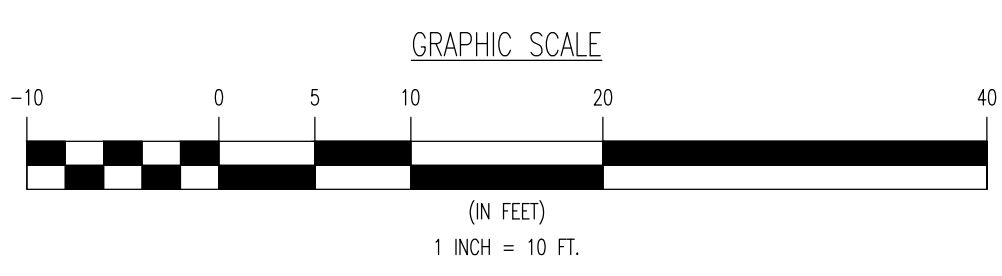
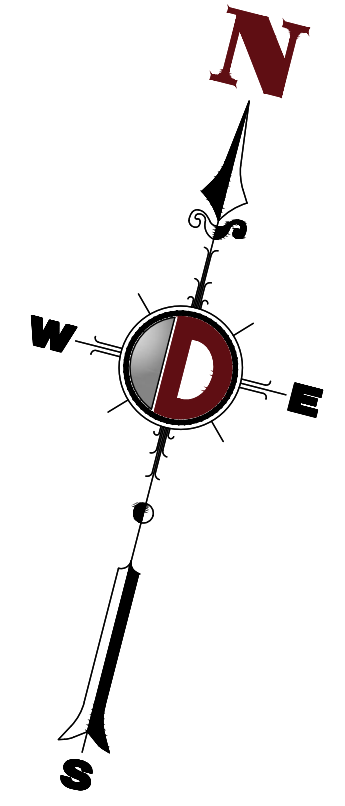
ADA INSET



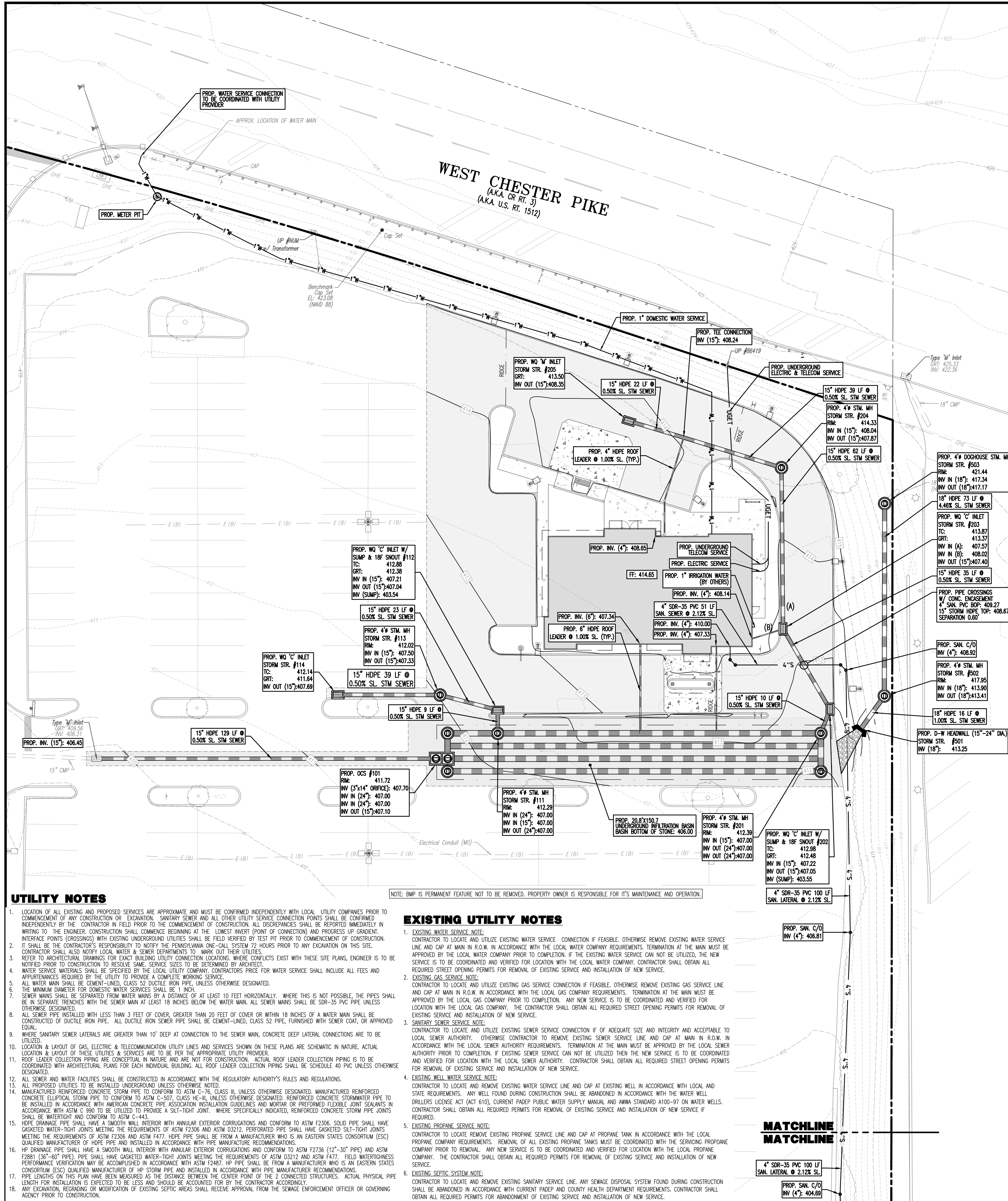
CHASE BANK ADA PARKING INSET

**ADA NOTES**

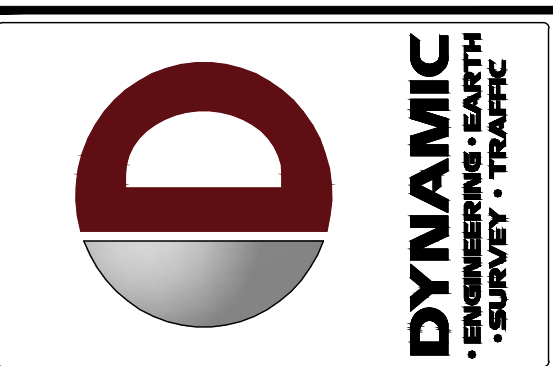
- ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO REFER TO LATEST ADA GUIDELINES FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:
- SIDEWALKS/ ACCESSIBLE ROUTES**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
  - CROSS SLOPE: 1:48 (2.08%) MAX. (1.0% MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
  - INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
  - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
  - CURBS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL
- CURB RAMP**
- SLOPE: 1:12 (8.3%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
  - SIDE FLARE SLOPE: 1:10 (10%) MAX. (WHERE FEELS CROSS RAMP)
  - BOTTOM LANDING: 48" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
  - TOP LANDING: 36" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)
- ACCESSIBILITY PARKING STALLS**
- SPACE AND ACCESSIBLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- CROSSWALKS**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
  - CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
  - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
  - CURBS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL
- RAMP**
- SLOPE: 1:12 (8.3%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
  - EXISTING RAMPS: SLOPE: 1:10 (10%) MAX. FOR RISE OF 6"; 1:8 (12.5%) MAX. FOR MAX. RISE OF 3"
  - MAX. RISE: 30"
  - MIN. CLEAR WIDTH: 36"
  - MIN. LANDING CLEAR LENGTH: 60"
  - MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)







**PROFESSIONAL ENGINEER**  
 I, JUSTIN A. GEONNOTTI, P.E., ON THIS DATE \_\_\_\_\_ HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE WESTTOWN TOWNSHIP CODE, CHAPTER 144, STORMWATER MANAGEMENT.  
 (REGISTERED PROFESSIONAL ENGINEER) P.E. 080629 (REGISTRATION NUMBER)  
**TOWNSHIP ENGINEER**  
 ON BEHALF OF WESTTOWN TOWNSHIP, MUNICIPAL OFFICIAL OR DESIGNEE, ON THIS DATE SIGNATURE DATE, HAS REVIEWED AND HEREBY CERTIFIES TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF WESTTOWN TOWNSHIP CODE, CHAPTER 144, STORMWATER MANAGEMENT.  
 (MUNICIPAL OFFICIAL OR DESIGNEE) \_\_\_\_\_ DATE \_\_\_\_\_  
 I, \_\_\_\_\_ ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.  
 (APPLICANT) \_\_\_\_\_ DATE \_\_\_\_\_



NO.	DATE	REVISIONS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

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PROJECT: WESTTOWN AM WEST TIC LLC  
 PROPOSED CHASE BANK  
 CHASE O  
 PARCEL NO. 67-2-42-4  
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)  
 CHESTER COUNTY, PENNSYLVANIA

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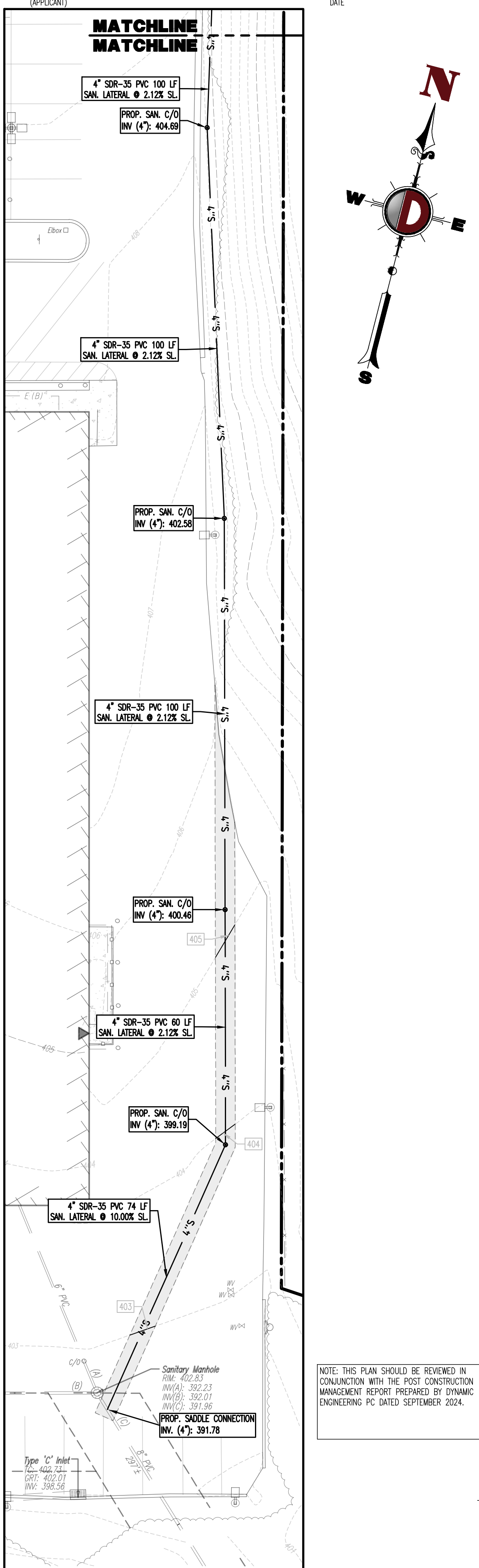
TITLE: **DRAINAGE & UTILITY PLAN**

SCALE: (H) 1" = 20'  
 (V) 1" = 40'

DATE: 07/12/2024

PROJECT No: 1478-99-191

SHEET No: **9** OF 25



**GRADING/UTILITY GRAPHIC LEGEND**

Symbol	Description
---	EXISTING TITLE LINE (PARCEL IN QUESTION)
---	EXISTING R.O.W. LINE (PARCEL IN QUESTION)
---	ULTIMATE RIGHT OF WAY LINE (OFF-SITE PROPERTY LINES)
---	EXIST. CABLE LINE
---	PROF. CABLE LINE
---	EXIST. ELECTRIC LINE
---	PROF. ELECTRIC LINE
---	EXIST. FIBER OPTIC LINE
---	PROF. FIBER OPTIC LINE
---	EXIST. GAS LINE
---	PROF. GAS LINE
---	EXIST. OVERHEAD WIRES
---	PROF. OVERHEAD WIRES
---	EXIST. TELEPHONE LINE
---	PROF. TELEPHONE LINE
---	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
---	PROF. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
---	EXIST. WATER LINE
---	PROF. WATER LINE
---	EXIST. SANITARY SEWER LINE
---	PROF. SANITARY SEWER LINE
---	EXIST. STORM DRAIN LINE
---	PROF. STORM DRAIN LINE
---	UNDERGROUND UTILITY QUALITY LEVEL
---	EXIST. MINOR CONTOUR & ELEVATION
---	EXIST. MAJOR CONTOUR & ELEVATION
---	PROF. FINISH GRADE CONTOUR & ELEVATION
---	EXIST. MONITORING WELL
---	APPROX. STORMWATER TEST PIT LOCATION
---	APPROX. BORING LOCATION
---	EXIST. SPOT ELEVATIONS
---	EXIST. TOP OF CURB ELEV.
---	EXIST. FINISH FLOOR ELEV.
---	EXIST. GARAGE FLOOR ELEV.
---	EXIST. FIRE HYDRANT
---	EXIST. WATER VALVE
---	EXIST. GAS VALVE
---	EXIST. GAS METER
---	EXIST. ELECTRIC METER
---	EXIST. CLEAN OUT
---	EXIST. WELL
---	EXIST. WATER SHUT OFF VALVE
---	EXIST. TELEPHONE BOX
---	EXIST. CABLE TV BOX
---	EXIST. UTILITY POLE
---	EXIST. SIGN/TRAFFIC LIGHT
---	EXIST. BUILDING LIGHT
---	EXIST. SHOE BOX LIGHT
---	EXIST. COBRA LIGHT POLE
---	EXIST. TRAFFIC SIGNAL POLE
---	EXIST. MANHOLE
---	EXIST. "M" INLET
---	EXIST. "C" INLET
---	EXIST. DOUBLE "M" INLET
---	EXIST. YARD INLET
---	EXIST. FLARED END SECTION
---	EXIST. HEADWALL
---	PROF. GRADE STOP ELEV.
---	PROF. TOP OF CURB & FINISHED GRADE ELEV.
---	PROF. FINISHED FLOOR ELEV.
---	PROF. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
---	PROF. TOP OF EXTENDED CURB (Q) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (Q2) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
---	PROF. DIRECTION OF DRAINAGE FLOW ARROW
---	PROF. HYDRANT
---	PROF. WATER VALVE
---	PROF. GAS VALVE
---	PROF. STORM CLEANOUT
---	PROF. SANITARY CLEANOUT
---	PROF. UTILITY POLE
---	PROF. AREA LIGHT
---	PROF. OUTLET CONTROL STRUCTURE
---	PROF. DRAINAGE MANHOLE
---	PROF. SANITARY SEWER MANHOLE
---	PROF. "M" INLET
---	PROF. "C" INLET
---	PROF. DOUBLE "M" INLET
---	PROF. YARD INLET
---	PROF. FLARED END SECTION
---	PROF. HEADWALL

NOTE: THIS PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE POST CONSTRUCTION MANAGEMENT REPORT PREPARED BY DYNAMIC ENGINEERING PC DATED SEPTEMBER 2024.

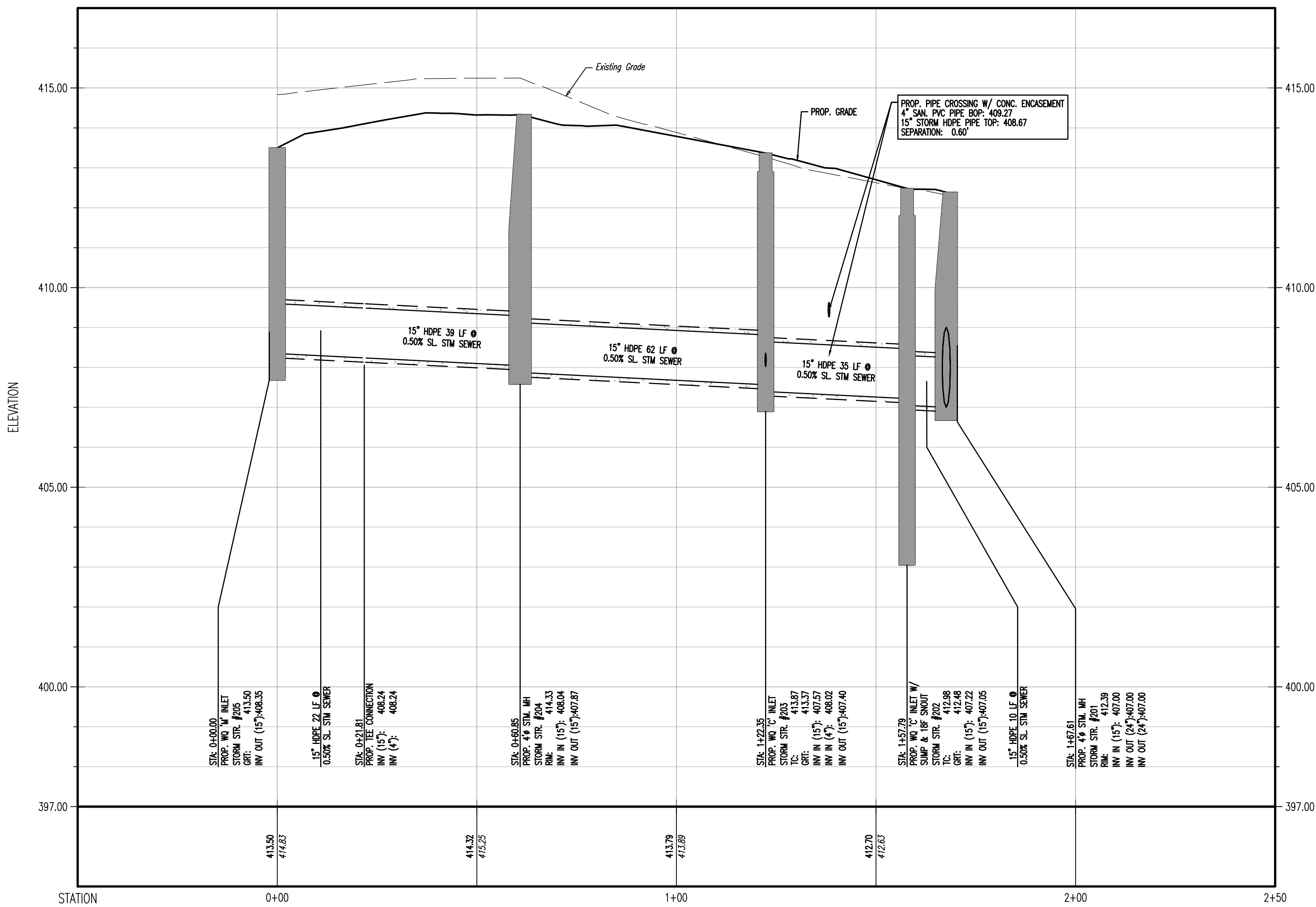
GRAPHIC SCALE  
 1 INCH = 20 FT.

**UTILITY NOTES**

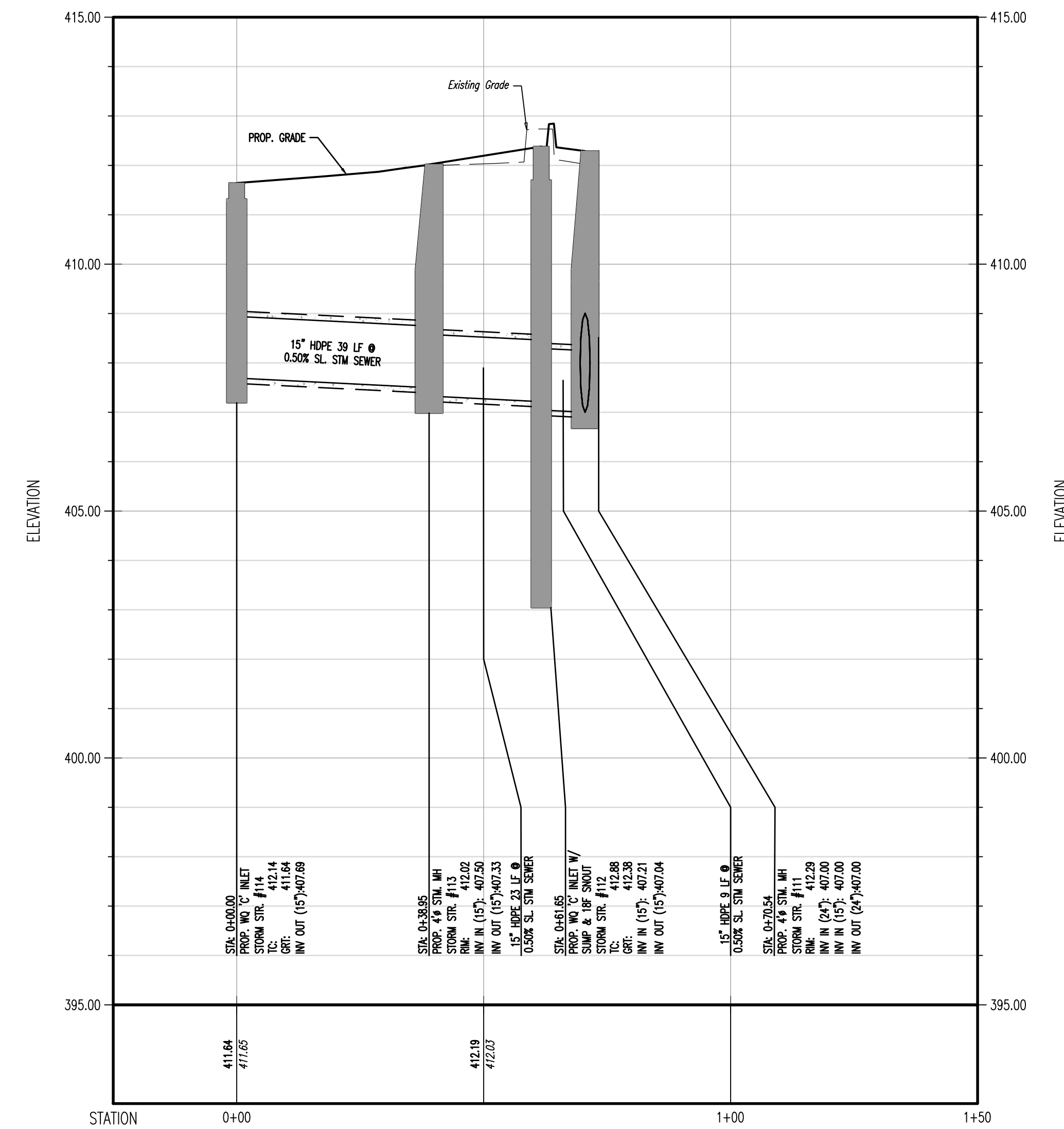
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE.
- CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPOINTMENTS REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
- ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
- LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED WITH ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS HE-III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND NOTICER OF PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SLIT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D2122. PERFORATED PIPE SHALL HAVE GASKETED SLIT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
- HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D2122 AND ASTM F477. FIELD WATER-TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.
- ANY EXCAVATION, REGARDING OR MODIFICATION OF EXISTING SEPTIC AREAS SHALL RECEIVE APPROVAL FROM THE SEWAGE ENFORCEMENT OFFICER OR GOVERNING AGENCY PRIOR TO CONSTRUCTION.

**EXISTING UTILITY NOTES**

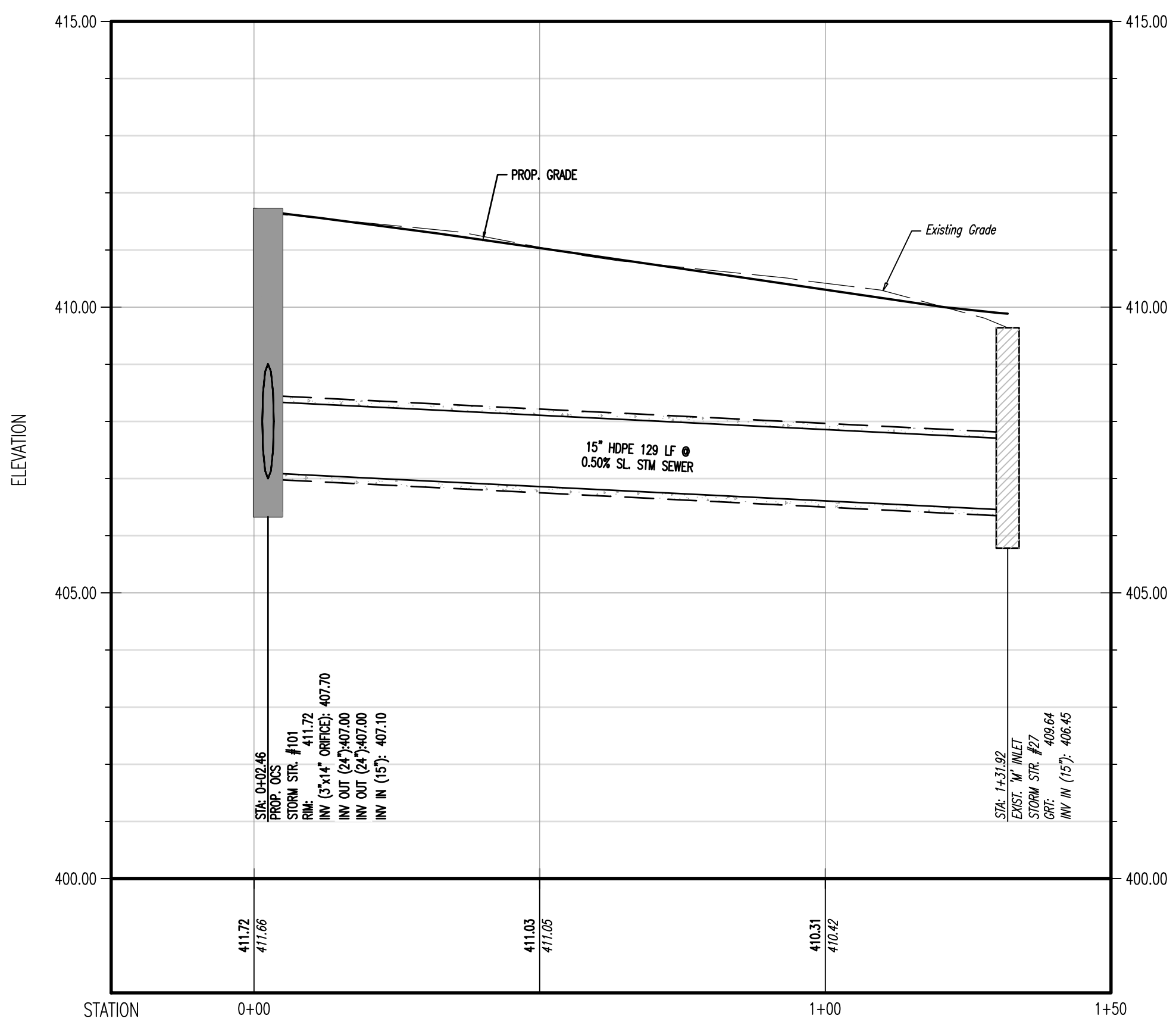
- EXISTING WATER SERVICE NOTE:**  
 CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- EXISTING GAS SERVICE NOTE:**  
 CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- SANITARY SEWER SERVICE NOTE:**  
 CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- EXISTING WELL WATER SERVICE NOTE:**  
 CONTRACTOR TO LOCATE AND REMOVE EXISTING WATER SERVICE LINE AND CAP AT EXISTING WELL IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS. ANY WELL FOUND DURING CONSTRUCTION SHALL BE ABANDONED IN ACCORDANCE WITH THE WATER WELL DRILLERS LICENSE ACT (ACT 610), CURRENT PAEPER PUBLIC WATER SUPPLY MANUAL AND ANNA STANDARD A100-97 ON WATER WELLS. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE IF REQUIRED.
- EXISTING PROPANE SERVICE NOTE:**  
 CONTRACTOR TO LOCATE REMOVE EXISTING PROPANE SERVICE LINE AND CAP AT PROPANE TANK IN ACCORDANCE WITH THE LOCAL PROPANE COMPANY REQUIREMENTS. REMOVAL OF ALL EXISTING PROPANE TANKS MUST BE COORDINATED WITH THE SERVING PROPANE COMPANY PRIOR TO REMOVAL. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL PROPANE COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- EXISTING SEPTIC SYSTEM NOTE:**  
 CONTRACTOR TO LOCATE AND REMOVE EXISTING SANITARY SEWER LINE. ANY SEWAGE DISPOSAL SYSTEM FOUND DURING CONSTRUCTION SHALL BE ABANDONED IN ACCORDANCE WITH CURRENT PAEPER AND COUNTY HEALTH DEPARTMENT REQUIREMENTS. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR ABANDONMENT OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.



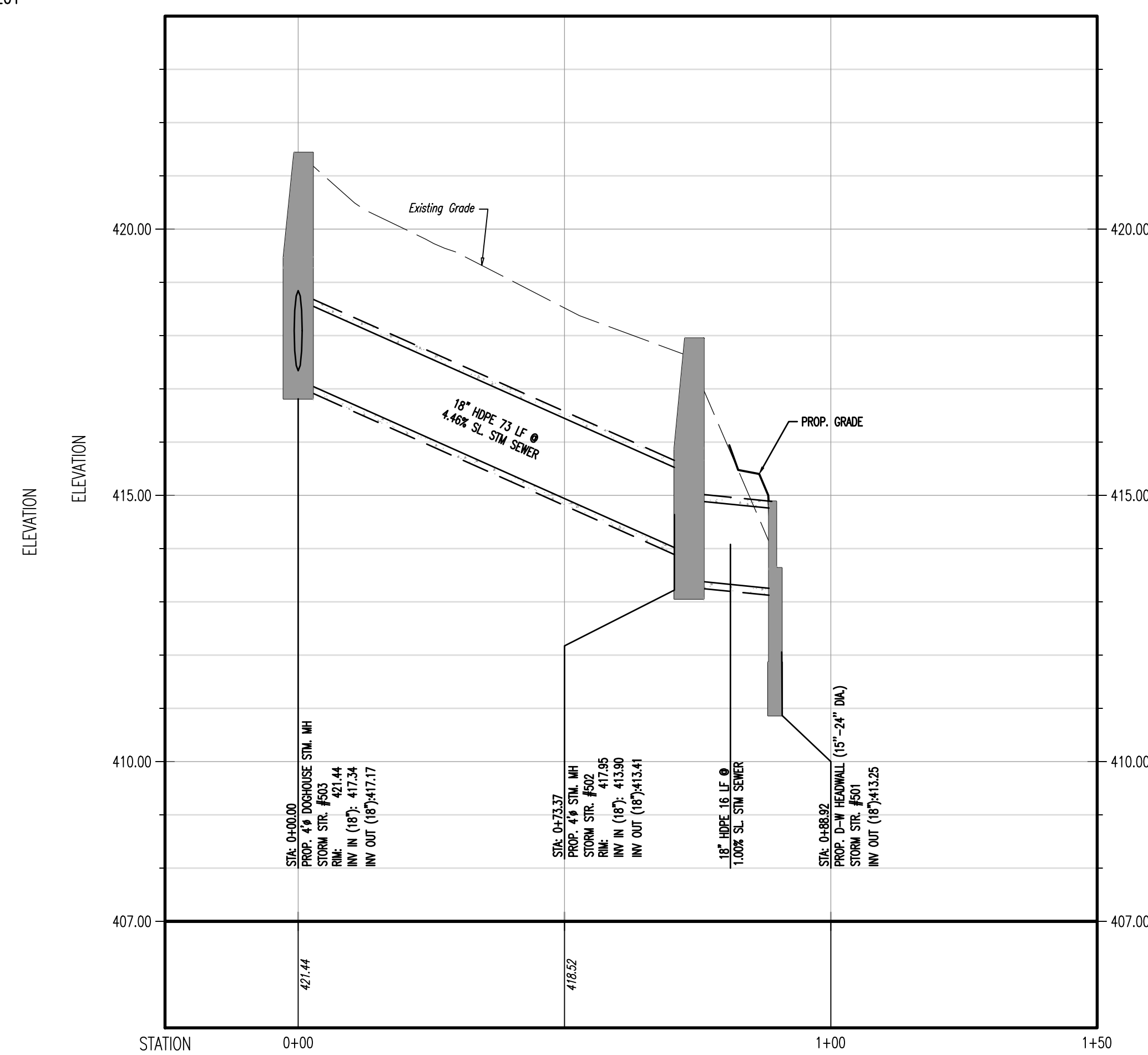
PROFILE VIEW OF 'M' INLET #205 TO STORM MANHOLE #201  
 HORIZONTAL SCALE: 1"=20'  
 VERTICAL SCALE: 1"=2'



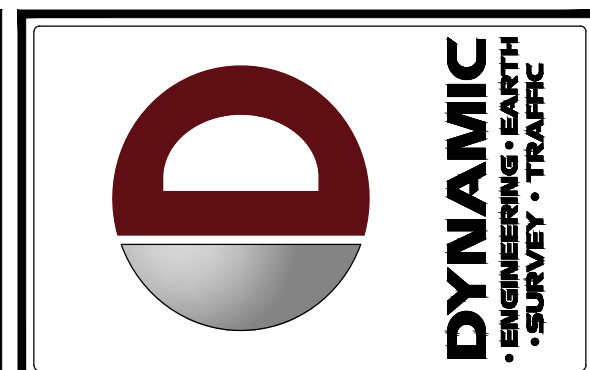
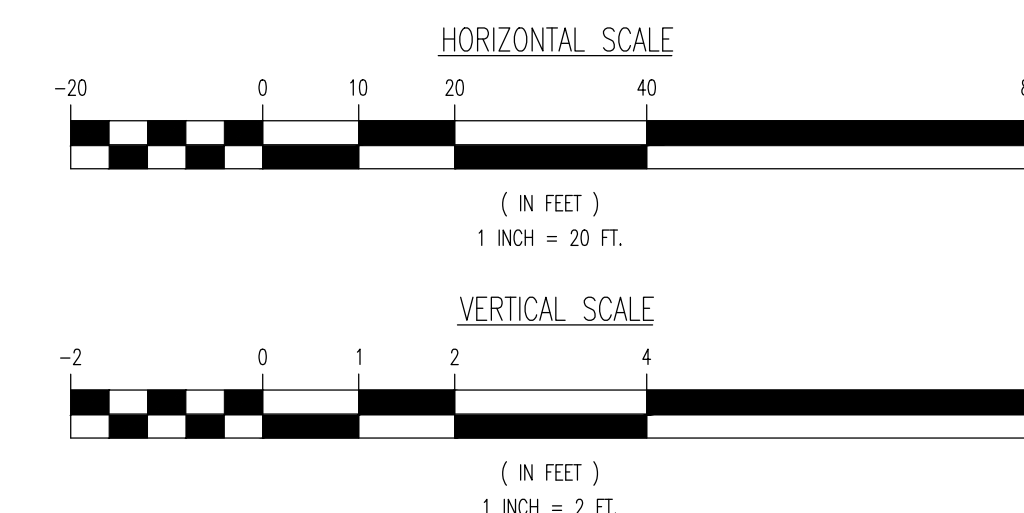
PROFILE VIEW OF 'C' INLET #114 TO STORM MANHOLE #111  
 HORIZONTAL SCALE: 1"=20'  
 VERTICAL SCALE: 1"=2'



PROFILE VIEW OF OCS #101 TO EXISTING 'M' INLET  
 HORIZONTAL SCALE: 1"=20'  
 VERTICAL SCALE: 1"=2'



PROFILE VIEW OF DOGHOUSE STM. MH #503 TO D-W HEADWALL #501  
 HORIZONTAL SCALE: 1"=20'  
 VERTICAL SCALE: 1"=2'



REV.	DATE	COMMENTS	BY
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AJM

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DESIGN BY: A/JW  
 CHECKED BY: MS  
 DRAWN BY: MS

PROJECT: WESTTOWN AM WEST TIC LLC  
 CHASE O PROPOSED CHASE BANK  
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
 CHESTER COUNTY, PENNSYLVANIA

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JUSTINA GEONOTTI  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE No. 160629

MATTHEW SHARO  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 52989

TITLE: **STORM PROFILES**

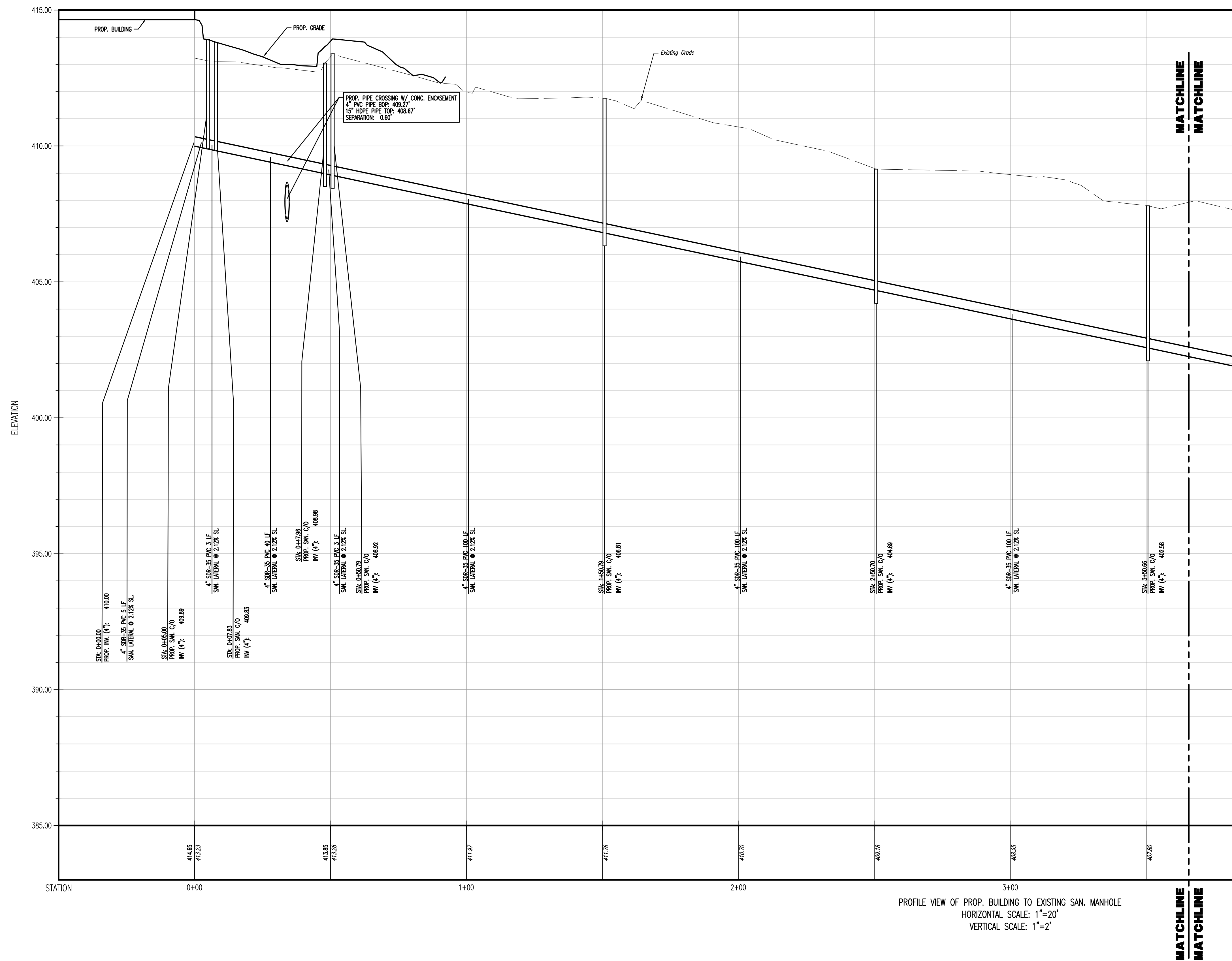
SCALE: (H) 1"=20'  
 (V) 1"=2'

DATE: 07/12/2024

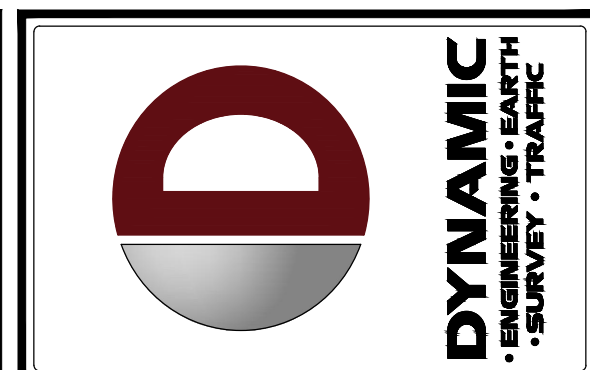
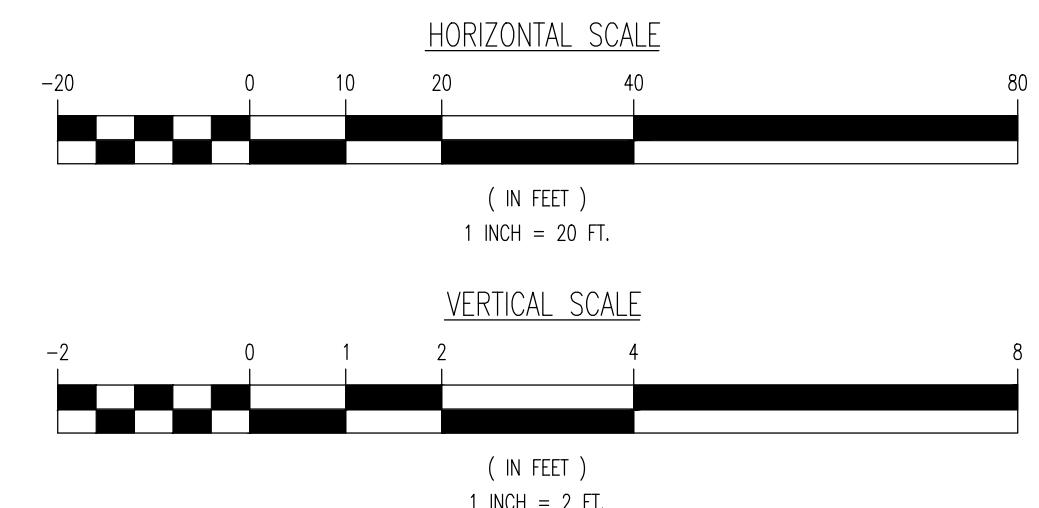
PROJECT No: 1478-99-191

SHEET No: **10** OF 25

Rev. #: 1



PROFILE VIEW OF PROP. BUILDING TO EXISTING SAN. MANHOLE  
 HORIZONTAL SCALE: 1"=20'  
 VERTICAL SCALE: 1"=2'



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

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PROJECT: WESTTOWN AM WEST TIC LLC  
 PROPOSED CHASE BANK  
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
 CHESTER COUNTY, PENNSYLVANIA

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**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52989

TITLE: **SANITARY PROFILES**

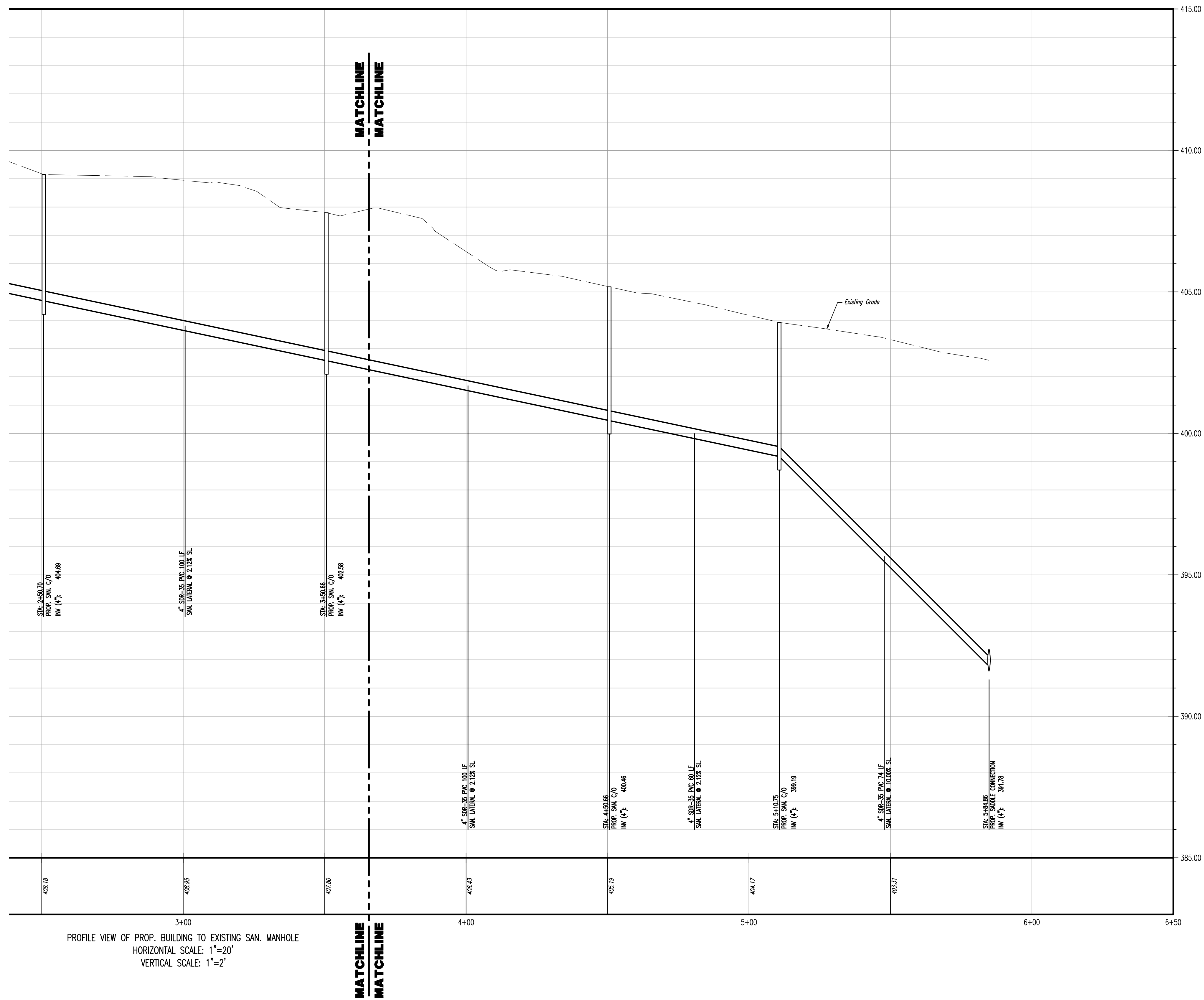
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DATE: 07/12/2024

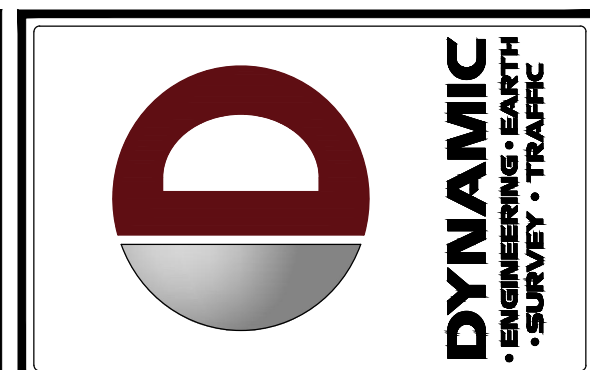
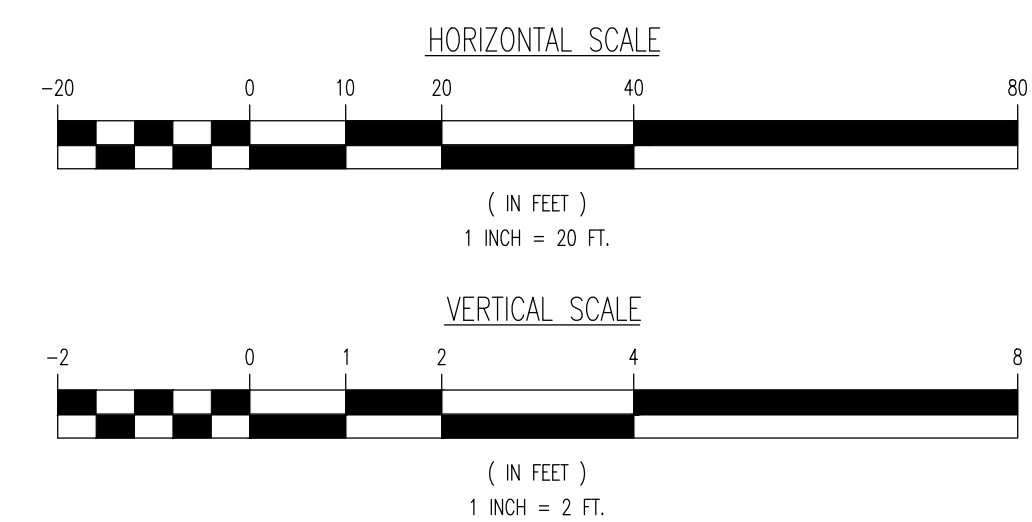
PROJECT No: 1478-99-191

SHEET No: **11** OF 25

Rev. #: 1



PROFILE VIEW OF PROP. BUILDING TO EXISTING SAN. MANHOLE  
 HORIZONTAL SCALE: 1"=20'  
 VERTICAL SCALE: 1"=2'



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **WESTTOWN AM WEST TIC LLC**  
 PROPOSED CHASE BANK  
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
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 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 52989

TITLE: **SANITARY PROFILES**

SCALE: (H) 1"=20'  
 (V) 1"=2'

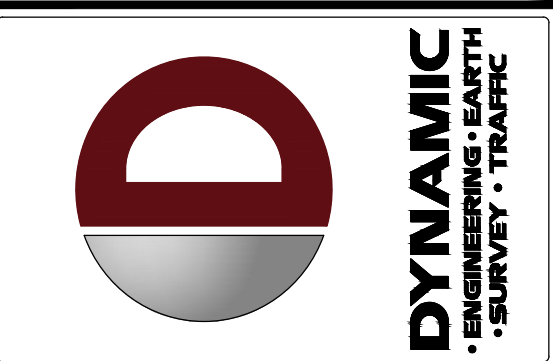
DATE: 07/12/2024

PROJECT No: 1478-99-191

SHEET No: **12** OF 25

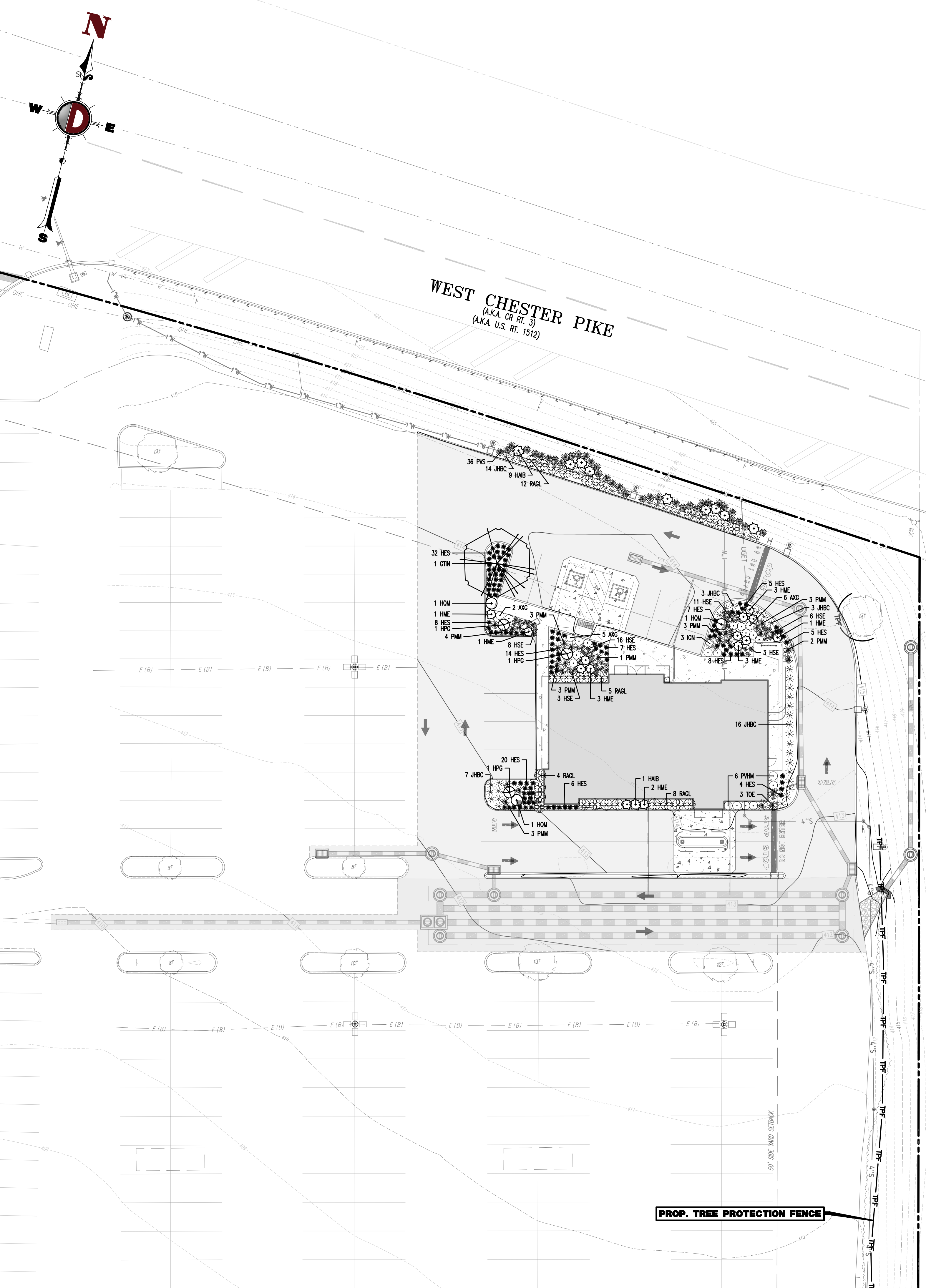
Rev. #: 1

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY  
SEE SHEET 14 OF 25 FOR LANDSCAPE PLAN NOTES & DETAILS**



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

SECTION	REQUIREMENTS	CALCULATIONS	PROPOSED	COMPLIANCE
§ 149-925(1)	LOT OR PERIMETER YARD REQUIREMENTS, EACH YARD SHALL BE LANDSCAPED AS FOLLOWS: LANDSCAPING PER 100 LINEAR FEET SHRUBS CANOPY TREES MATURE HEIGHT OVER 30 FEET ORNAMENTAL FLOWERING TREES NONRESIDENTIAL STREET FRONTS/ALL OTHER PROPERTY LINES	Total LF of Street frontage: 327 LF LF / 100 LF = (3.27) FACTOR 3.27 X 2 = 7 LARGE SHADE TREES 1.5 = 5 ORNAMENTAL TREES 3.27 X 6 = 20 SHRUBS	SHADE TREES: 1 ORNAMENTAL TREES: 3 (HPG) SHRUBS: 48	WAVES
§ 149-925(2)	(A) EACH PLANTER ISLAND WHICH IS 20 FEET OR LESS IN LENGTH SHALL CONTAIN ONE TREE AND 10 SHRUBS. (B) EACH PLANTER ISLAND WHICH IS MORE THAN 20 FEET IN LENGTH SHALL CONTAIN TWO TREES AND 20 SHRUBS.	(A) AMOUNT OF ISLANDS 20 FEET OR LESS IN LENGTH: 1 = 1 TREE 1 X 10 = 10 SHRUBS (B) AMOUNT OF ISLANDS MORE THAN 20 FEET IN LENGTH: 2 2 X 2 = 4 TREES 2 X 20 SHRUBS = 40 SHRUBS	(A) ORNAMENTAL TREE: 1 SHRUBS: 11 (B) TREES: 1 ORNAMENTAL 1 SHADE SHRUBS: 29	(A) - COMPLIES (B) - WAVES
§ 149-925(1)	ALL LANDSCAPE PLANS SHALL BE PREPARED AND SEALED BY A LANDSCAPE ARCHITECT REGISTERED IN THE COMMONWEALTH OF PENNSYLVANIA.	NA	NA	COMPLIES
§ 149-925(2)	A TWO-YEAR MAINTENANCE AND REPLACEMENT GUARANTY SHALL BE PROVIDED TO THE TOWNSHIP BY THE LANDSCAPE CONTRACTOR. ALL PLANTINGS WHICH DO NOT SURVIVE AFTER THE EXPIRATION OF THE MAINTENANCE GUARANTY SHALL BE REPLACED BY THE OWNER.	NA	NA	COMPLIES



**LANDSCAPE SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
CTN	1	GLEDITSIA TRIACANTHOS INERMIS 'SUNCOLE'	SUNBURST THORNLESS HONEYLOCUST	3 1/2-4" CAL.	B+B
EVERGREEN TREE(S)					
TOE	3	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	8"	B+B
IGN	3	ILEX GLABRA X 'CHAMZIN'	NORDIC INKBERRY	24-30"	#3 CAN
PMM	22	PINUS MUGO MUGUS	DWARF MUGO PINE	24-30"	#3 CAN
DECIDUOUS SHRUB(S)					
AVG	13	ABELIA X GRANDIFLORA	GLOSSY ABELIA	18-24"	#3 CAN
HAB	10	HYDRANGEA ABORESCENS 'INCREDIBALL BLUSH'	'INCREDIBALL BLUSH' HYDRANGEA	24-30"	#3 CAN
HME	14	HYDRANGEA MACROPHYLLA 'BALMER'	ENDLESS SUMMER HYDRANGEA	24-30"	#3 CAN
HFG	3	HYDRANGEA PANICULATA 'GRANDIFLORA'	'PEE GEE' HYDRANGEA	24-30"	#5 CAN
HGM	3	HYDRANGEA QUERCIFOLIA 'MUNCHWIG'	'MUNCHWIG OAKLEAF' HYDRANGEA	24-30"	#3 CAN
GROUND COVER					
JHBC	43	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP CREEPING JUNIPER	15-18" SPRD.	#3 CAN
RAGL	29	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	2 GAL.	CONTAINER
PERENNIAL(S)					
HSE	47	HOSTA 'SIEBOLDIANA ELEGANS'	SIEBOLDIANA ELEGANS HOSTA	2 GAL.	CONTAINER
ORNAMENTAL GRASS(ES)					
HES	116	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.	CONTAINER
PVMH	6	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	2 GAL.	CONTAINER
PVS	36	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER
TSS					

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.

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PROJECT: WESTTOWN AM WEST TIC LLC  
PROPOSED CHASE BANK  
PARCEL NO. 67-2-42-4  
1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)  
CHESTER COUNTY, PENNSYLVANIA

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**MARIA A. ROLLER**  
REGISTERED LANDSCAPE ARCHITECT  
PENNSYLVANIA LICENSE # 00002859

**MATTHEW SHARO**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52989

TITLE: **LANDSCAPING PLAN**

SCALE: (H) 1" = 20'  
(V) 1" = 20'

DATE: 07/12/2024

PROJECT No: 1478-99-191

SHEET No: **13** OF 25

Plotted: 09/30/24 - 4:03 PM, By: mdaloney  
File: P:\CEFC PROJECTS\1478 Paramount Realty\99-191 West Chester PA\DWG\4 Land Dev Plans\147899191SL1.dwg, ----> 13 LANDSCAPING PLAN

**PLANTING NOTES**

- PLANT MATERIAL SHALL BE FURNISHED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOULATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR BRANCH CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST TWO (2) YEARS FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REFUND REQUESTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar as it is PRACTICABLE, PLANTS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BE EXPOSED TO AN AMOUNT OF TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE PLANTING WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MOIST OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PROOF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT EXCEPT GROUND COVERS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- SET ALL PLANTS PLUMB AND STRAIGHT, SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL NURSERY ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- ALL CUTTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT EXPOSED ROOTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING PROTECTION FENCING AT THE DRAIN LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE-SHREDDED HARDWOOD BARK MULCH.
- NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE MUNICIPAL LANDSCAPE ARCHITECT. THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, LAWNS OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

TYPE	DATE
PLANTS	3/15 to 12/15
LAWN	3/15 to 6/15
	9/15 to 12/11

FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON.

ACER RUBRUM	POPULUS VARIETIES
BETULA VARIETIES	PRUNUS VARIETIES
CORYLUS VARIETIES	QUERCUS VARIETIES
CRATAEGUS VARIETIES	QUERCUS VARIETIES
KOELTZERIA	SALIX WEeping VARIETIES
LIQUIDAMBAR STRYACIFLUA	TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA	ZELKOVIA VARIETIES
PLATANUS ACERIFOLIA	

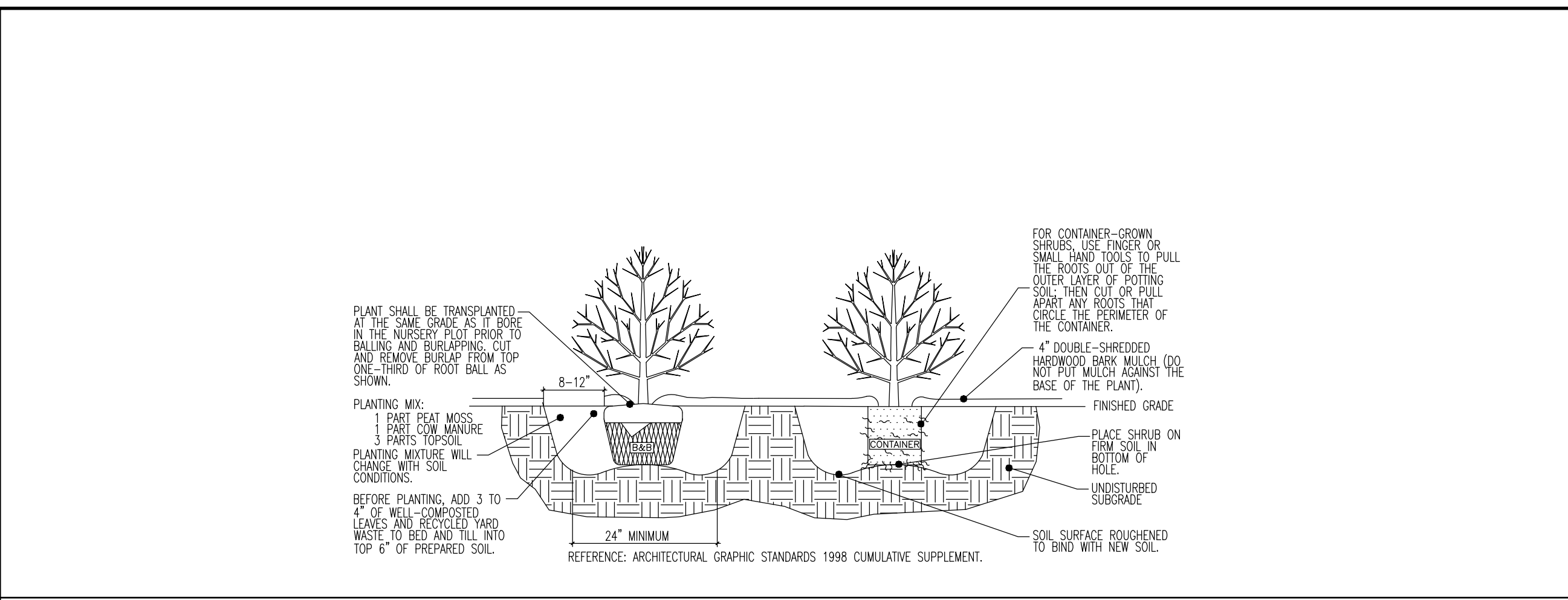
ANY VARIETIES INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.

19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL SEED SOD STABILIZATION METHOD.

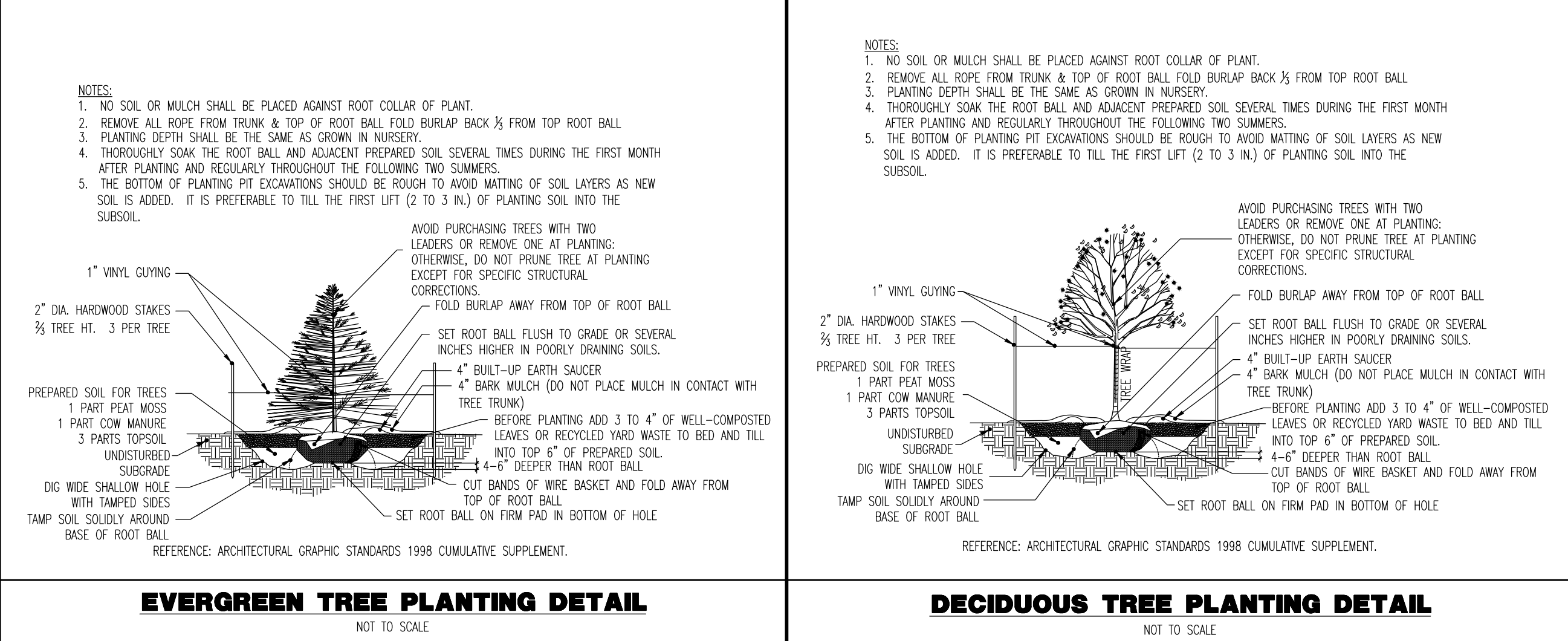
**PLANTING SPECIFICATIONS**

- SCOPE OF WORK
    - THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPLICANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
  - MATERIALS
    - GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION), OR APPROVED EQUAL.
    - PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
    - TOPSOIL - LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2") WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
    - MULCH - FOUR (4) DOUBLE-SHREDDED HARDWOOD BARK MULCH.
    - FERTILIZER AND SOIL CONDITIONER - PLANTED AREAS
      - ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO "NITROGEN"
      - ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE GRASS POWDER AND ORGANIC BASE MATERIALS COMPOSED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1); NITROGEN 5%, PHOSPHORUS 3%, POTASH 1%, 50% HUMUS AND 15% HUMIC ACIDS.
  - GENERAL WORK PROCEDURES
    - LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A GOOD STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEP CLEAN AT THE END OF EACH DAY'S WORK.
    - WEEDING
      - BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
    - TOPSOILING
      - CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS; ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
    - SOIL CONDITIONING
      - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXCAVED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
      - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXCAVED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
  - SOIL MODIFICATIONS
    - THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIALS WITH A pH HIGHER THAN 7.5.
    - MOODY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR CYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON BASED MOUNDS OR BEDS INCLUDING SUBGRADE DRAINAGE LINES.
    - MOODY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
  - PLANTING TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
    - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
      - PART PEAT MOSS BY VOLUME
      - PART COW MANURE BY VOLUME
      - 3 PARTS TOPSOIL BY VOLUME
      - 4 TABLETS PER 1 GAL. PLANT
      - 4 TABLETS PER 15 GAL. PLANT
    - LARGER PLANTS (2) TWO TABLETS PER 1/2" DIA. OF TRUNK CALIPER
  - PREPARED SOIL SHALL BE LOADED FROM BOTTOM OF PIT, FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.
  - ALL PLANTS SHALL BE SET SO THAT THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPORTED.
  - PREPARE BASED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE
  - WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
  - PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MAX. OF 7" BRANCHING HEIGHT.
- GROUND COVER
  - ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS SAVED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
  - SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
  - IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
  - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
- FINISH GRADING
  - ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS 1 FOOT OF FINISH GRADE.
  - LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.
  - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- GUARANTEE
  - CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF TWO (2) YEARS FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENTUM OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CLEANUP
  - UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
  - MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKES AND CUT SPRING STAKES AND REST TREES AND SHRUBS TO PROPER ORIGIN OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WEEDING SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF WEEDS AND PLAGUE.
  - MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF TROUD OR BARE AREAS.
- MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

- LANDSCAPING REQUIREMENTS
  - TREES AND SHRUBS SHALL BE OF NURSERY-GROWN STOCK OF NONCOLUMNAR VARIETIES, AND SHALL BE INSECT, PEST AND DISEASE RESISTANT. (§149-925.C) (COMPLIES)
  - IN THE DESIGN OF A LANDSCAPE PLAN, PLANTINGS SHALL BE PROVIDED IN THE VARIETIES, QUANTITIES AND SITE LOCATION NECESSARY TO PROVIDE SEASONAL COLOR VARIETY, REDUCE GLARE AND REFLECTION, AND TO BUFFER NOISE AND OBSCURABLE VIEW. MODERATE GROUND SURFACE, BUILDING AND STREAM WATER TEMPERATURES, PROVIDE MOISTURE RETENTION, SOIL STABILIZATION, WIND BREAKS AND AIR PURIFICATION. COMPLEMENT EXISTING LANDSCAPING ON ADJOINING PROPERTIES. (§149-925.D) (COMPLIES)
  - PLANTING VARIETIES SHALL BE SELECTED WITH DUE CONSIDERATION OF THEIR FUNCTION; LOCAL GROWING HABITS; ROOTING, BRANCHING AND LEAFING CHARACTERISTICS; AND CLIMATE, MOISTURE, SOIL AND NUTRIENT REQUIREMENTS. (§149-925.E) (COMPLIES)
  - DRAINAGE DITCHES SHALL NOT BE INSTALLED WHERE THEY WILL BLOCK, IMPIDE OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR OPERATION OF ROADWAYS, DRAINAGE FACILITIES, SANITARY SEWERS OR OTHER ABOVE- OR BELOW-GROUND UTILITIES. DIMINISH SIGHT DISTANCE ALONG ROADWAYS, EAST DENSE WINTER SHADOW ON ROADWAYS OR PUBLIC SPACES IN THE CASE OF EVERGREEN PLANTINGS. (§149-925.F) (COMPLIES)
  - MINIMUM PLANT QUANTITIES REQUIRED: ALL PORTIONS OF A PROPERTY NOT UTILIZED BY BUILDING OR PAVED SURFACES SHALL BE LANDSCAPED UTILIZING COMBINATIONS OF TREES, SHRUBS, LAWNS, FENCING, GROUND COVER, ROCK FORMATIONS, CONTAINERS AND EXISTING FOLIAGE IN THE QUANTITIES, SIZES AND LOCATIONS SPECIFIED BELOW.
    - LOT OR PERIMETER VIEW REQUIREMENTS: EACH YARD SHALL BE LANDSCAPED AS FOLLOWS FOR NONRESIDENTIAL:
      - STREET FRONTAGE: CANOPY TREES WITH MATURE HEIGHT OVER 30 FEET - 2.0 PER 100 LINEAR FEET, ORNAMENTAL FLOWERING TREES - 1.5 PER 100 LINEAR FEET, SHRUBS - 6.0 PER 100 LINEAR FEET.
      - ALL OTHER PROPERTY LINES: CANOPY TREES WITH MATURE HEIGHT OVER 30 FEET - 1.0 PER 100 LINEAR FEET, ORNAMENTAL FLOWERING TREES - 1.0 PER 100 LINEAR FEET, SHRUBS - 3.0 PER 100 LINEAR FEET. (§149-925.G(1)) (NA) (NA)
      - WHERE THE EXISTING TREE MASSES DO NOT FULLY SCREEN THE AREA OR WHERE THERE ARE NO EXISTING TREE MASSES, PLANTINGS SHALL BE ADDED TO COMPLETE THE VISUAL BARRIER WITHIN THE PRESCRIBED TIME PERIOD. (§149-922.B(2)) (NA)
      - THE LANDSCAPE SCREEN SHALL BE COMPOSED OF BOTH HIGH-LEVEL AND LOW-LEVEL PLANTINGS. THE HIGH-LEVEL SCREEN SHALL CONSIST OF A COMBINATION OF EVERGREEN TREES (INITIALLY NOT LESS THAN EIGHT FEET IN HEIGHT) AND DECIDUOUS TREES (INITIALLY WITH CALIPER OF NOT LESS THAN 2 1/2 INCHES MEASURED ONE FOOT FROM GROUND LEVEL). TREES SHALL BE PLANTED IN STAGGERED ROWS AND CENTERED NO MORE THAN 18 FEET APART. THE LOW-LEVEL SCREEN SHALL CONSIST OF EVERGREEN SHRUBS (INITIALLY NOT LESS THAN THREE FEET IN HEIGHT). SHRUBS SHALL BE SPACED IN STAGGERED ROWS AND CENTERED NO MORE THAN FIVE FEET APART. (§149-922.B(3)) (NA) (NA)
    - ALL SEASON-GROUND COVER, A MAJOR OBJECTIVE FOR SUCH GROUND COVER SHALL BE TO PREVENT SOIL EROSION AND SEDIMENTATION OFF THE SITE. (§170-1507.A) (COMPLIES)
    - THERE SHALL BE NO PLANTINGS, GROUND COVER OR OTHER OBJECTS PLACED WITHIN THE ROAD RIGHT-OF-WAY ABOVE 18 INCHES IN HEIGHT. (§170-1507.C) (COMPLIES)

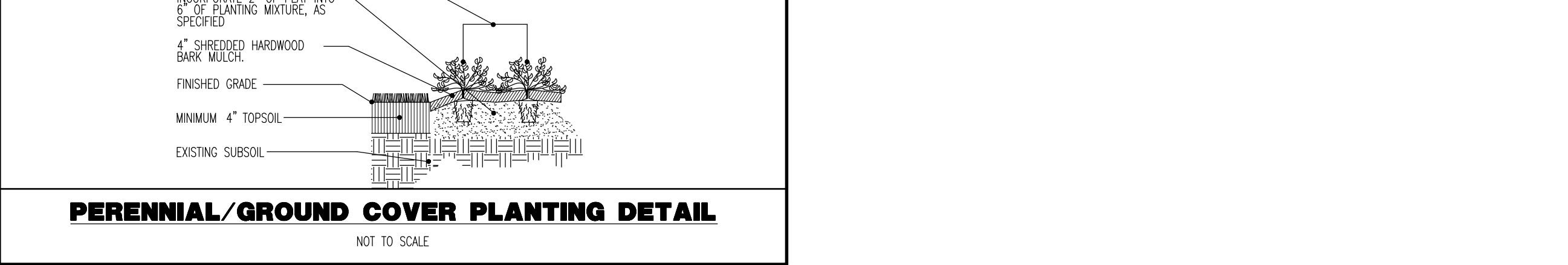


**DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL**  
NOT TO SCALE

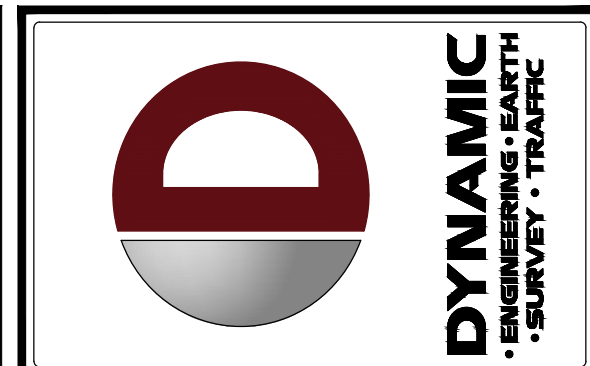


**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE

**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



**PERENNIAL/GROUND COVER PLANTING DETAIL**  
NOT TO SCALE



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: WESTTOWN AM WEST TIC LLC  
PROPOSED CHASE BANK  
CHASE O  
1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)  
CHESTER COUNTY, PENNSYLVANIA

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**MARIA A. ROLLER**  
REGISTERED PROFESSIONAL ARCHITECT  
PENNSYLVANIA LICENSE # 0012859

**MATTHEW SHARO**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 52989

TITLE: **LANDSCAPING NOTES & DETAILS**

SCALE: (H) AS NOTED DATE: 07/12/2024  
PROJECT No: 1478-99-191

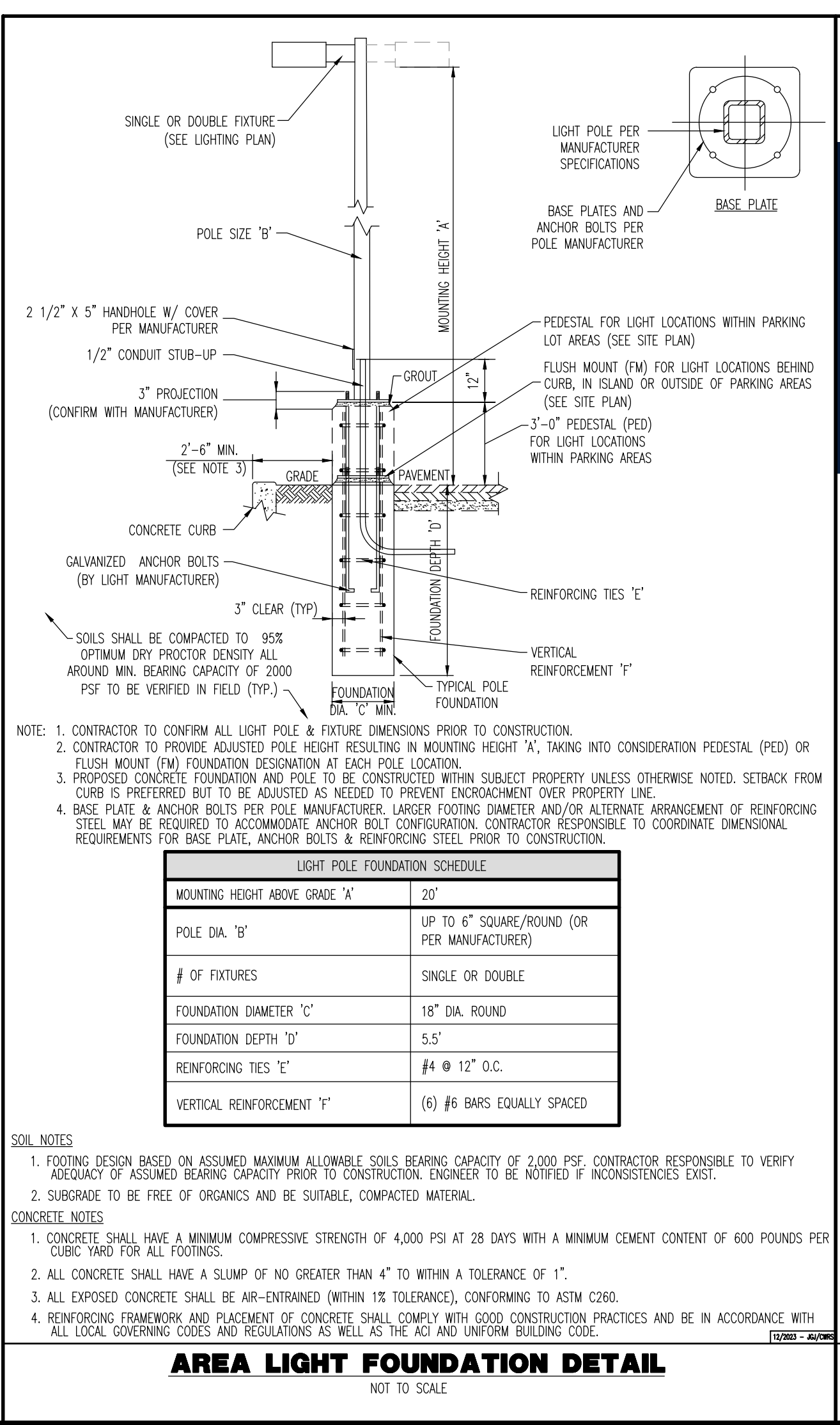
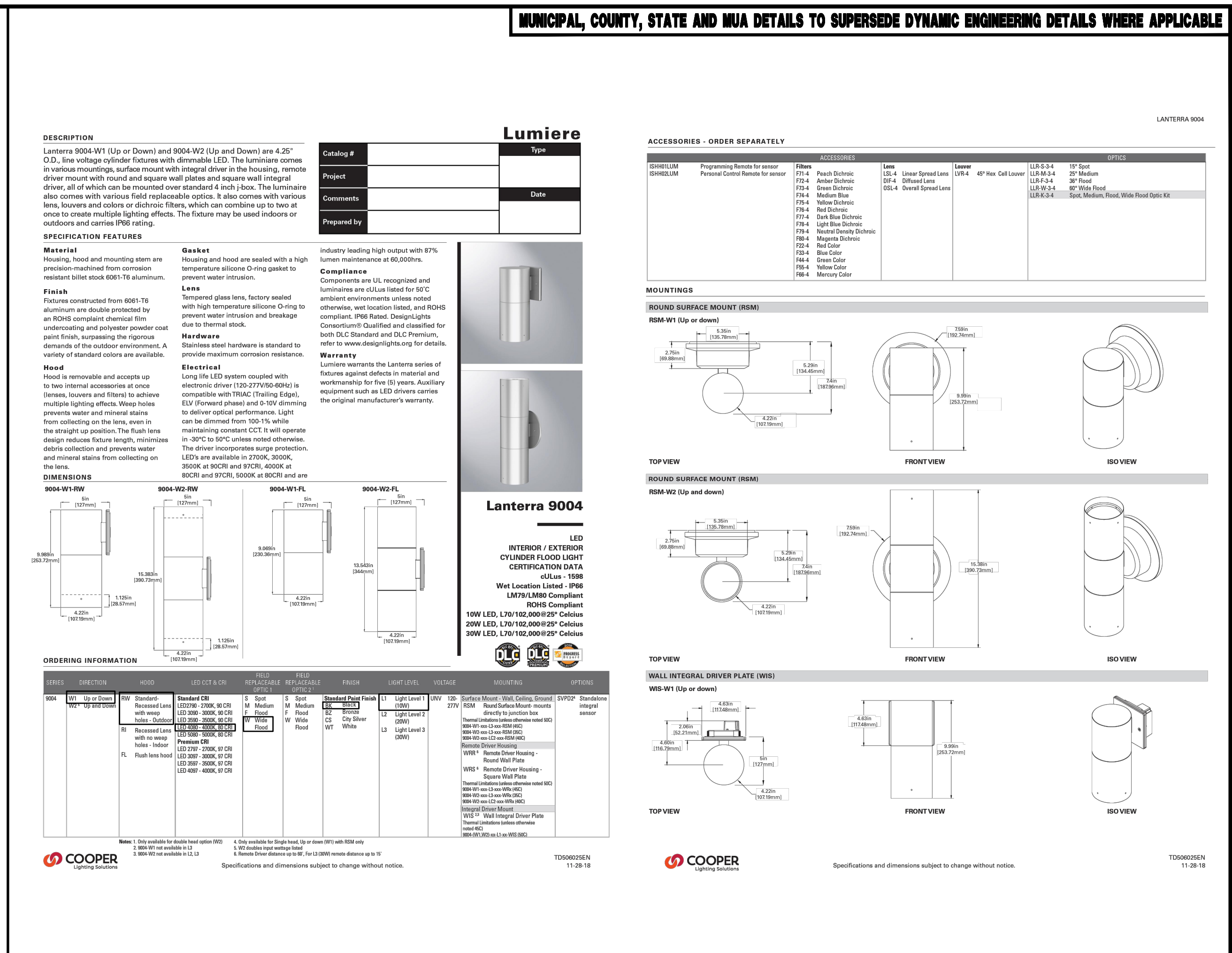
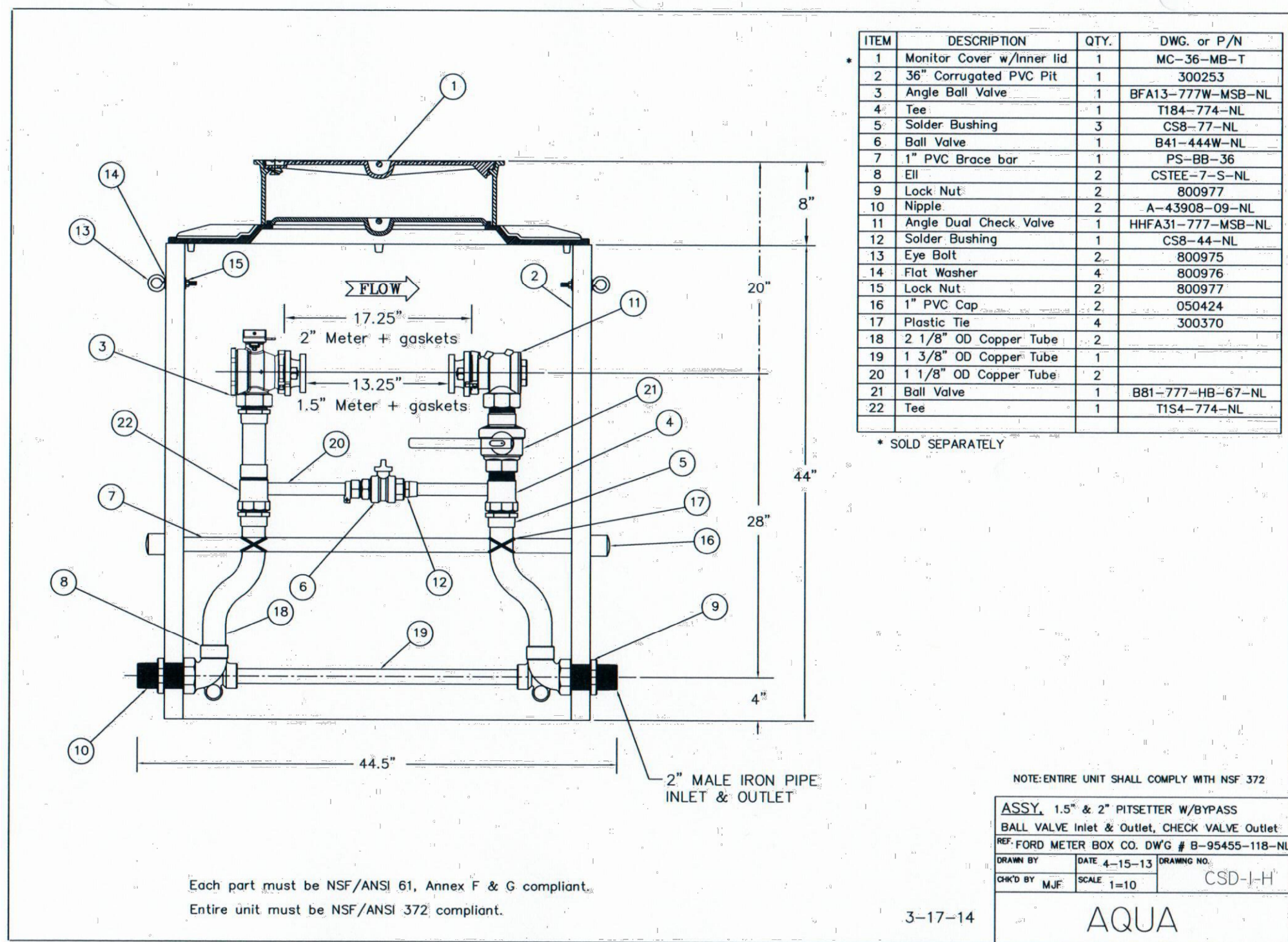
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OF 25 1

Plotted: 09/30/24 - 4:03 PM, By: mdolaney  
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Plotted: 09/20/24 - 4:03 PM, By: mdolaney File: P:\CECPC PROJECTS\1478 Paramount Realty\191-191 West Chester PA\dwg\4 Land Dev Plans\DWG17899191SD1.dwg, --> 16 CONSTRUCTION DETAILS



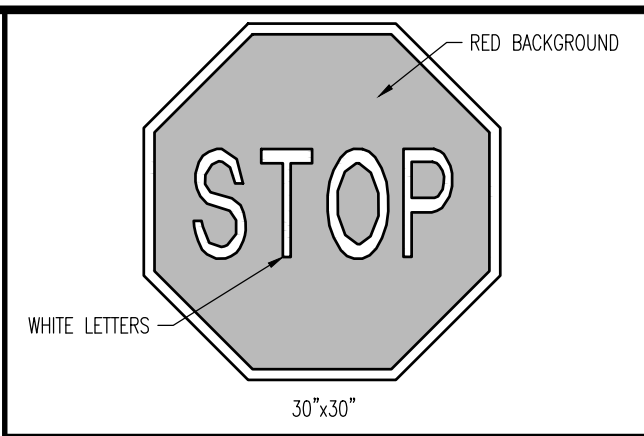
EVOLVE EACL Series LED Area Light/Compact Low Wattage. Includes technical specifications for lumens, optical system, ratings, and controls. Features a table for lumen codes and a diagram of the luminaire.

EVOLVE EACL Series LED Area Light/Compact Low Wattage. Includes ordering information table with columns for optical code, wattage, distribution, and options. Includes a table for typical loadings and system wattage.

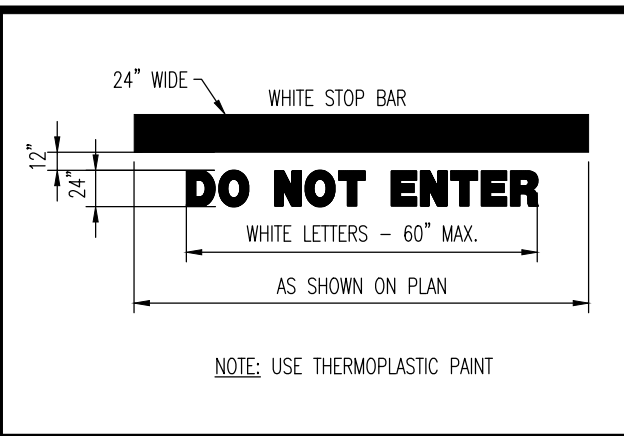
EVOLVE EACL Series LED Area Light/Compact Low Wattage. Includes a table for typical loadings and system wattage, and a table for typical system wattage. Includes notes on non-shielded and shielded EACL ES files.

Professional engineering stamps and title blocks. Includes the DYNAMIC logo, WESTTOWN AM WEST TIC LLC project information, and CONSTRUCTION DETAILS title block with scale and date.

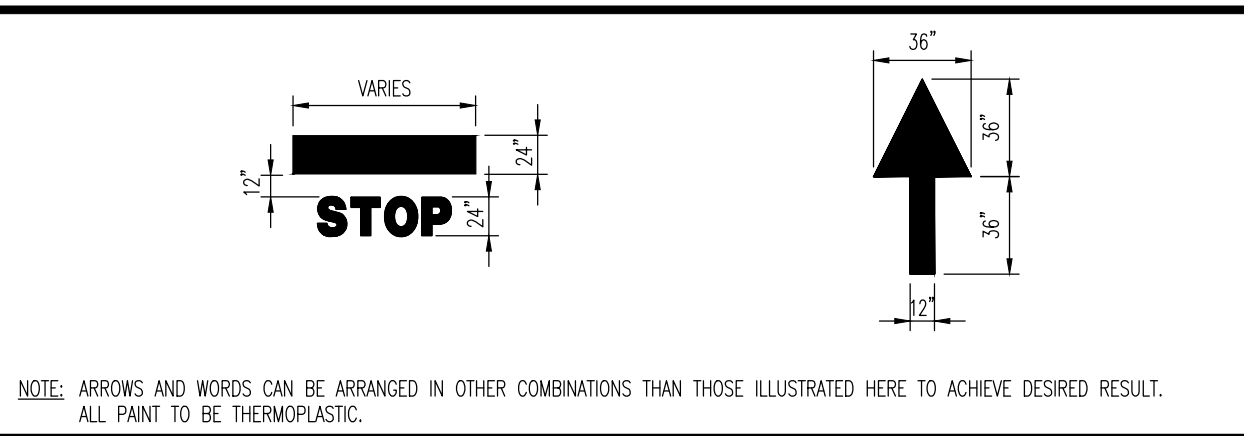




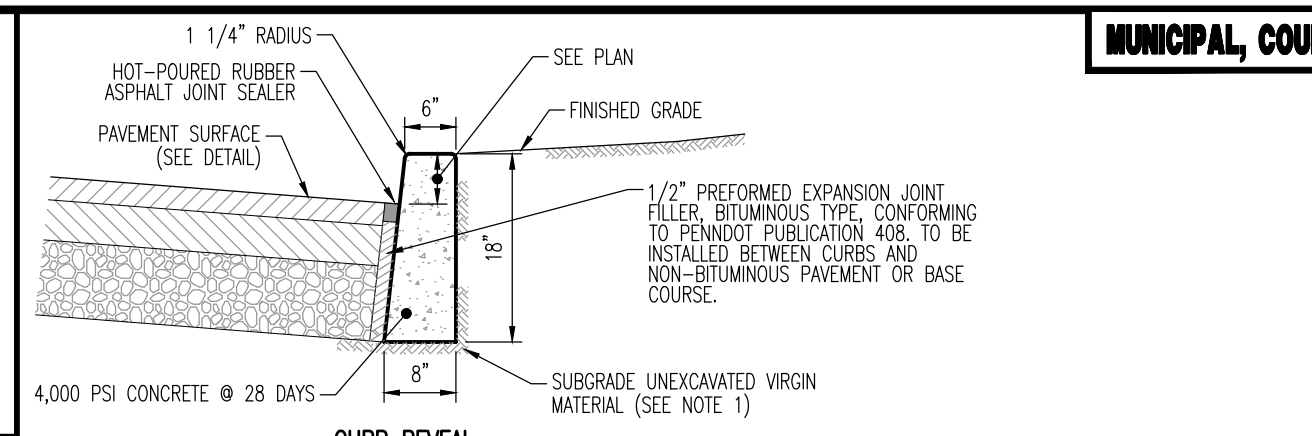
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**DO NOT ENTER STRIPING DETAIL**  
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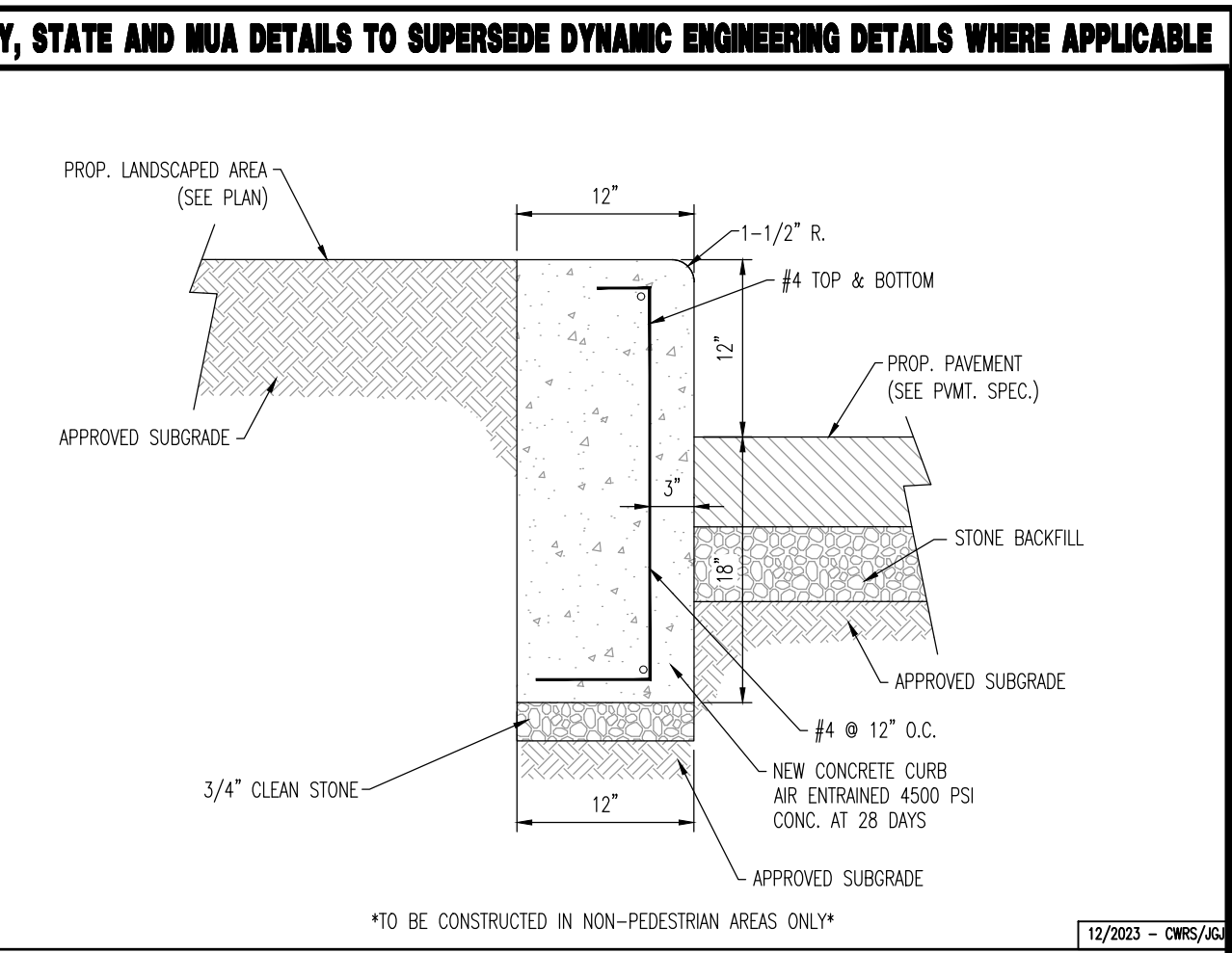


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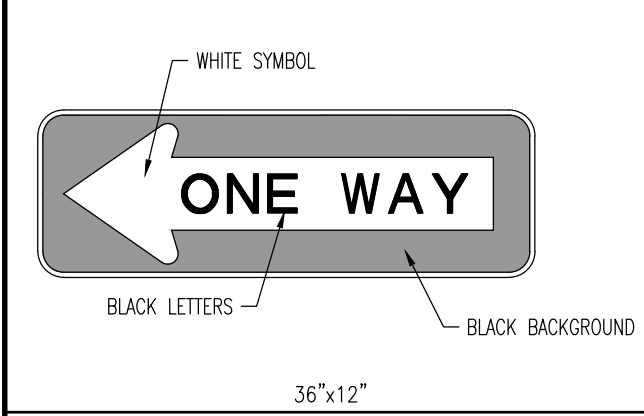


- NOTES:**
- ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH PENNDOT NO. 2A STONE. ALL SUBGRADES SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO POURING.
  - TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20"-0" APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF PENNDOT PUBLICATION 408, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB.
  - DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
  - WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2".
  - ANY CHANGE IN LEVELS SHALL BE 1" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE SLOPE OF 1:2 (50%) MAX.

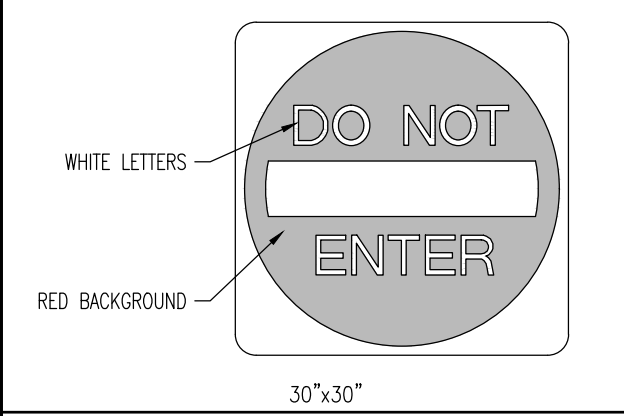
**CONCRETE CURB DETAIL**  
NOT TO SCALE



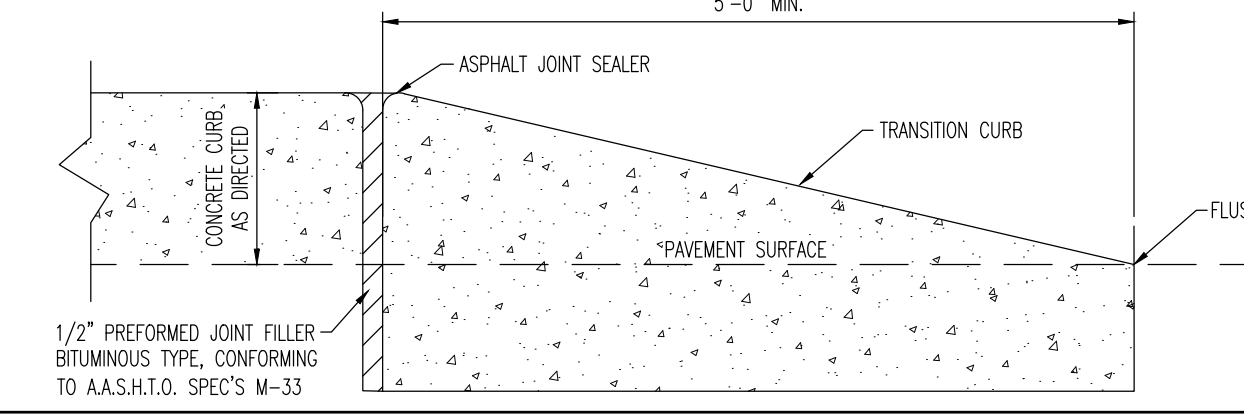
**12" CONCRETE CURB DETAIL**  
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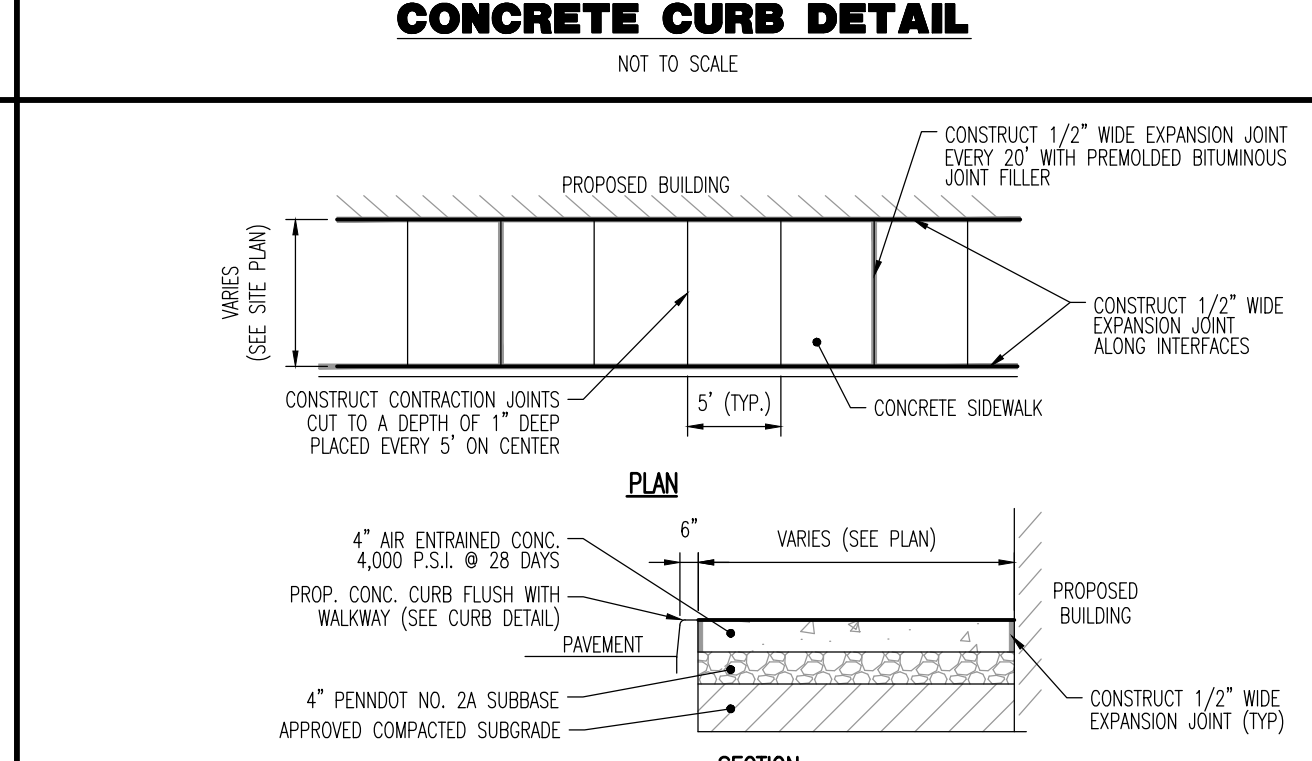
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**R5-1 SIGN DETAIL**  
NOT TO SCALE

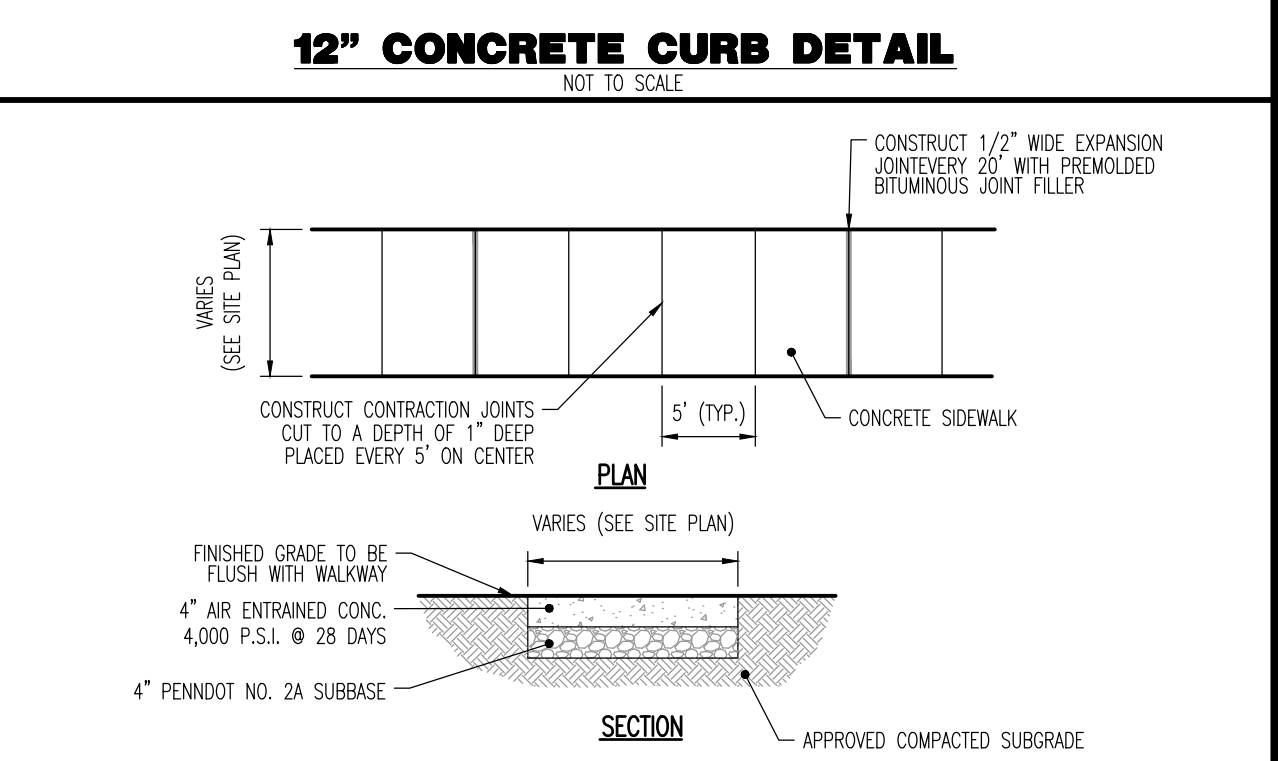


**VERTICAL CURB TAPER DETAIL**  
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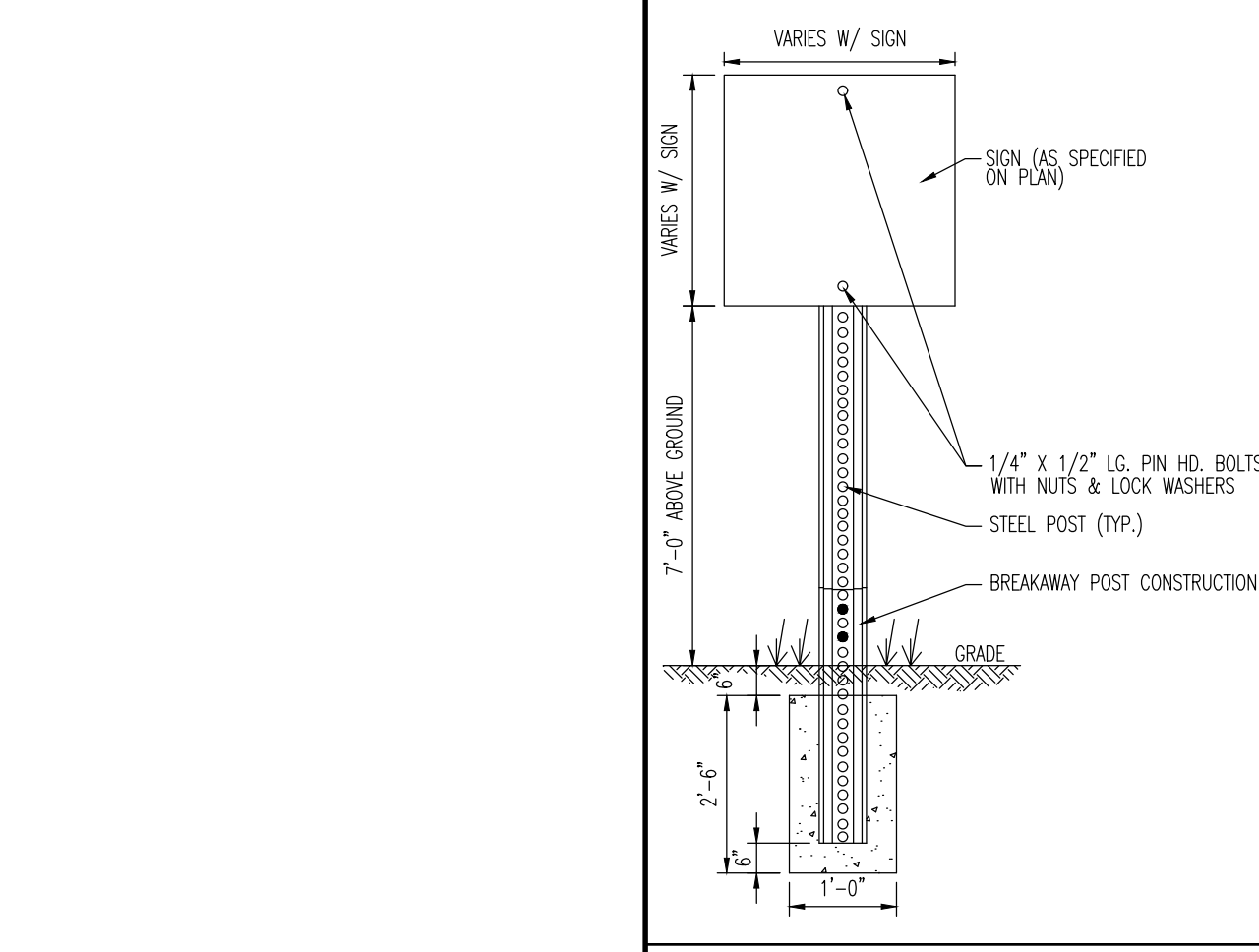
- NOTES:**
- MAX. CROSS SLOPE 1/4" PER FOOT PITCHED AWAY FROM BUILDING.
  - PROVIDE 1/2" WIDE PREMOULDED BITUMINOUS EXPANSION JOINT AT 20' INTERVALS, OPPOSITE EXPANSION JOINTS IN ADJACENT CURB, BETWEEN THE SIDEWALK AND CURB, AND BETWEEN THE SIDEWALK AND RIGID STRUCTURES.
  - FORM CONTRACTION JOINTS AT 5-FOOT INTERVALS, APPROXIMATELY 1/8" WIDE AND AT LEAST 1-INCH DEEP.
  - REFER TO SITE PLAN FOR SIDEWALK WIDTH.
  - PROVIDE A BROOM FINISH TO PROVIDE A SLIP RESISTANT WEARING SURFACE IN ACCORDANCE WITH A.D.A. REGULATIONS. FINISH THE EDGES OF THE GROOVES USING AN EDGING TOOL WITH A 1/4" RADIUS.
  - CONTRACTOR MAY UTILIZE RECYCLED CONCRETE AGGREGATE (RCA) IN LIEU OF PENNDOT 2A STONE. THE RCA MUST BE CRUSHED AND SCREENED TO MEET THE SPECIFICATIONS OF PENNDOT PUB 408, SECTION 703.2 TABLE C FOR 2A STONE AND CONTAIN LESS THAN 10% FINES. THE RCA MUST BE CERTIFIED DURING CONSTRUCTION TO CONFIRM ADEQUACY.

**CURB AND SIDEWALK DETAIL AT BUILDING**  
NOT TO SCALE

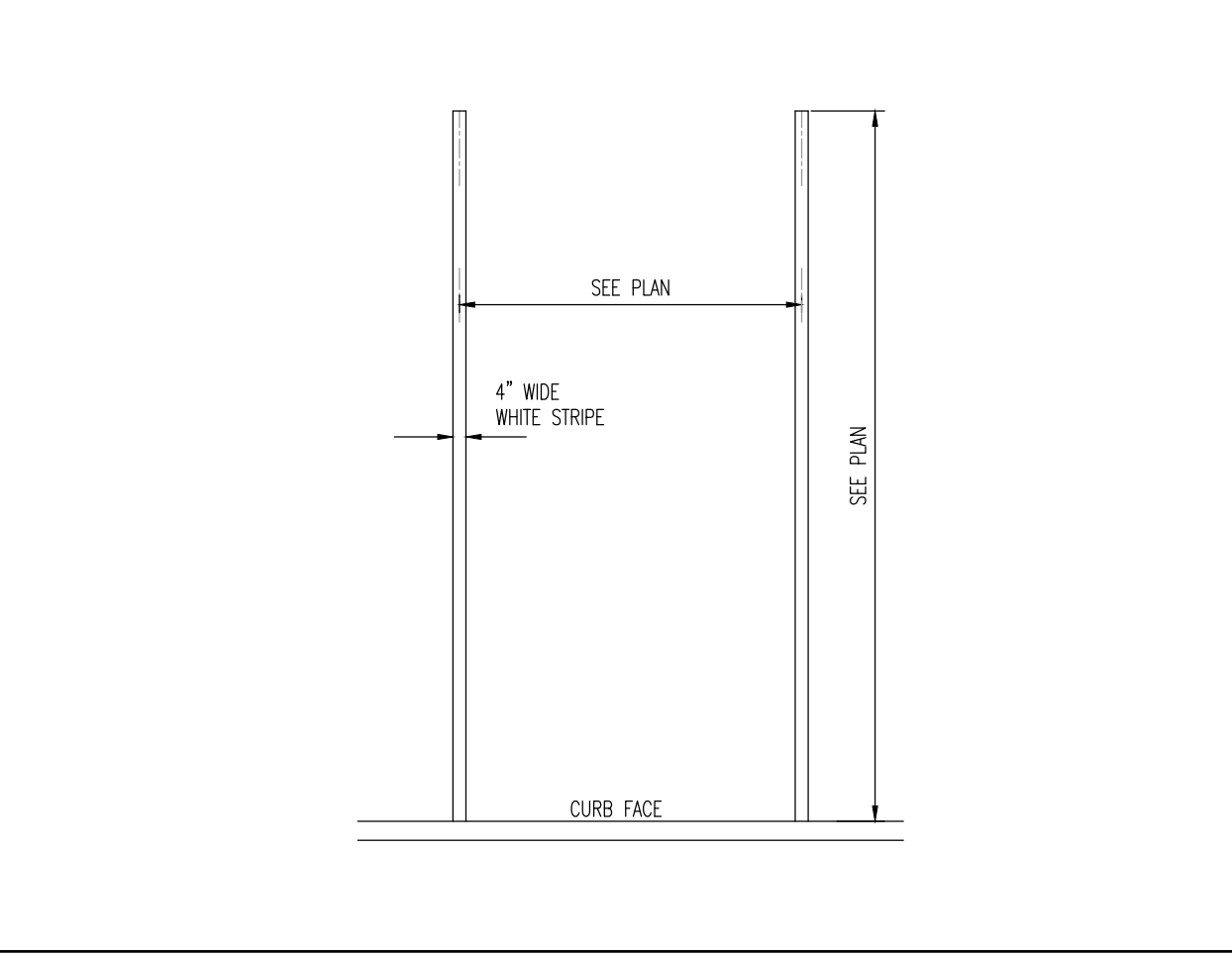


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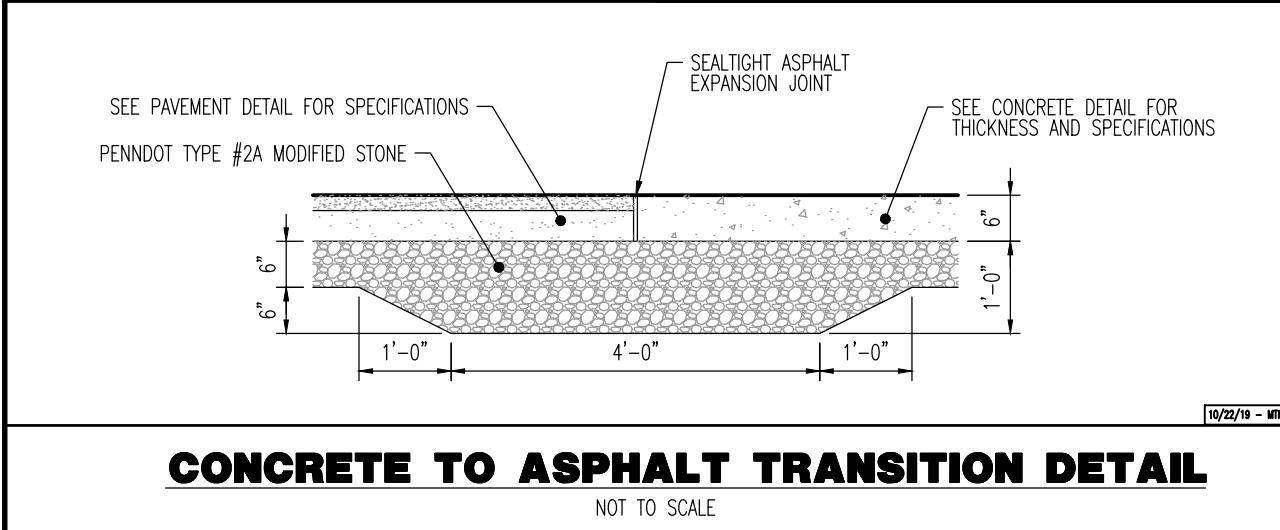
**SIDEWALK DETAIL**  
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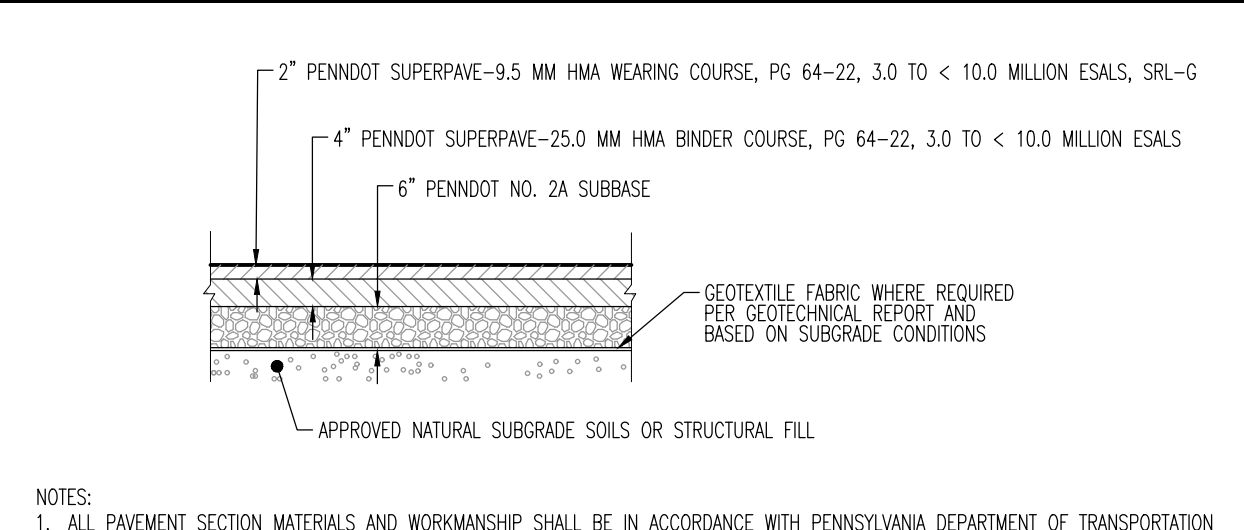
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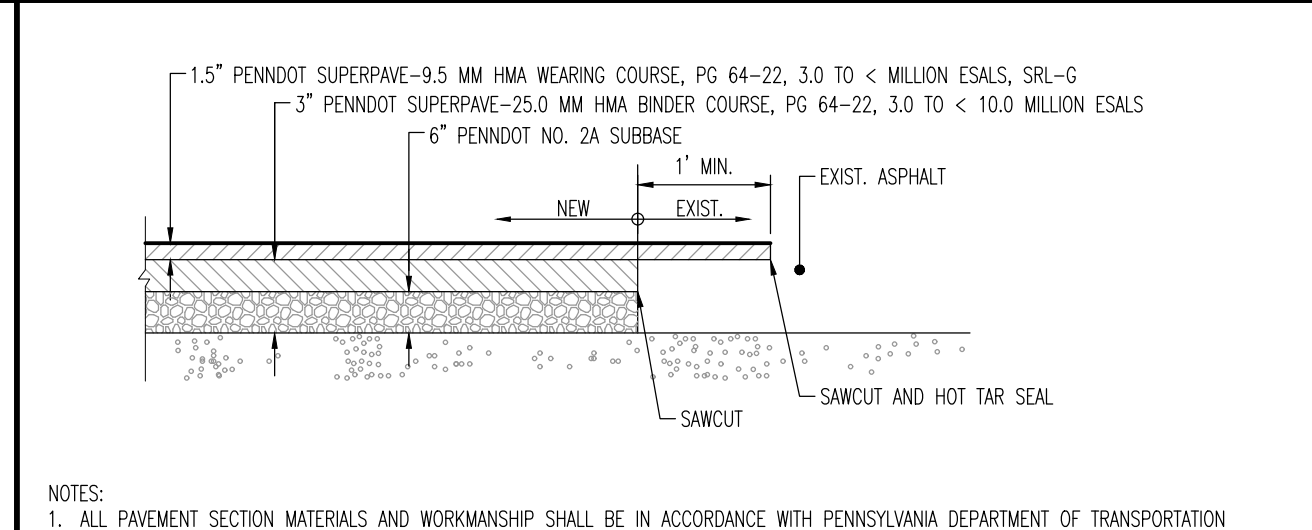
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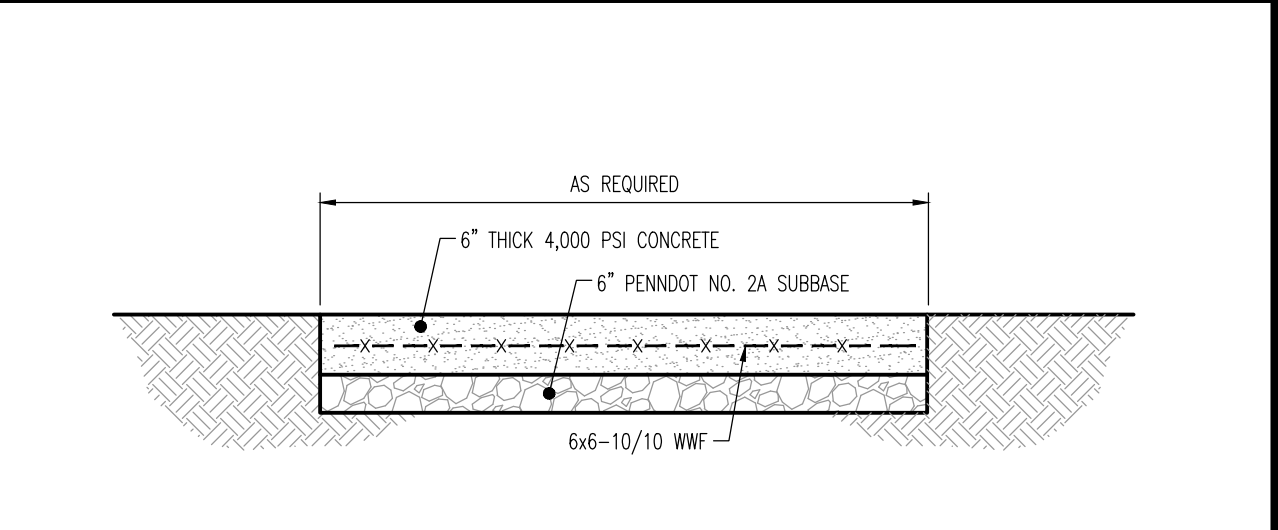
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**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
NOT TO SCALE



**STANDARD DUTY ASPHALT PAVEMENT SECTION**  
NOT TO SCALE



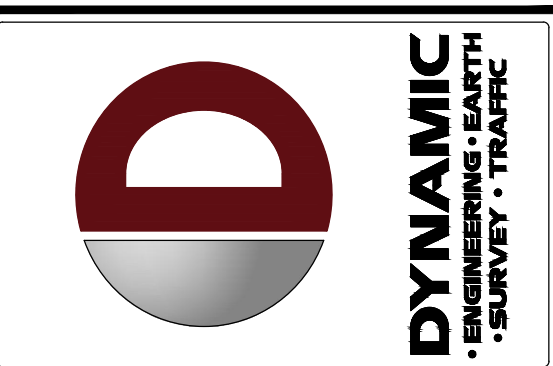
**ADA CONCRETE PAD DETAIL**  
NOT TO SCALE

- NOTES:**
- ALL PAVEMENT SECTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOUND IN PUBLICATION 408.
  - OWNER SHALL CONTACT AND ENGAGE DYNAMIC EARTH, LLC. TO INSPECT AND TEST SUBGRADE SOILS. CONTRACTOR SHALL CONTACT DYNAMIC EARTH, LLC. AT (908) 879-7095 (WWW.DYNAMIC-EARTH.COM) AT ONSET OF CONSTRUCTION TO CONFIRM REQUIREMENTS AND COORDINATE INSPECTIONS.
  - SUBGRADE SOILS SHALL BE APPROVED BY DYNAMIC EARTH, LLC. APPROVED NATURAL SOILS SHALL BE COMPACTED AND PROOFROLLED WITH A LOADED TANDEM AXLE TRUCK TO A FIRM AND UNWEAVING CONDITION. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL OR STABILIZED AS DIRECTED BY DYNAMIC EARTH, LLC. ANY STRUCTURAL FILL AT OR BELOW PAVEMENT SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM-D1557.
  - CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTION DESCRIPTION.
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  - SUBGRADE SOILS SHALL BE APPROVED BY DYNAMIC EARTH, LLC. APPROVED NATURAL SOILS SHALL BE COMPACTED AND PROOFROLLED WITH A LOADED TANDEM AXLE TRUCK TO A FIRM AND UNWEAVING CONDITION. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL OR STABILIZED AS DIRECTED BY DYNAMIC EARTH, LLC. ANY STRUCTURAL FILL AT OR BELOW PAVEMENT SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM-D1557.
  - CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTION DESCRIPTION.
  - CONTRACTOR MAY UTILIZE RECYCLED CONCRETE AGGREGATE (RCA) IN LIEU OF PENNDOT 2A STONE. THE RCA MUST BE CRUSHED AND SCREENED TO MEET THE SPECIFICATIONS OF PENNDOT PUB 408, SECTION 703.2 TABLE C FOR 2A STONE AND CONTAIN LESS THAN 10% FINES. THE RCA MUST BE CERTIFIED DURING CONSTRUCTION TO CONFIRM ADEQUACY.

- NOTES:**
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
  - ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
  - ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED, (6% WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
  - REINFORCING STEEL BARS SHALL BE A MINIMUM ASTM A615, GRADE 60, AND SHALL BE FIELD WIRE IN PLACE.
  - ALL FRAMEWORK, AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS, AS WELL AS THE ACI AND UNIFORM BUILDING CODE.
  - CONCRETE EXPANSION JOINTS ALONG ADA PATH OF TRAVEL AND PARKING STALLS SHALL NOT EXCEED 1/4 INCH MAXIMUM CHANGE IN LEVEL.
  - CONTRACTOR MAY UTILIZE RECYCLED CONCRETE AGGREGATE (RCA) IN LIEU OF PENNDOT 2A STONE. THE RCA MUST BE CRUSHED AND SCREENED TO MEET THE SPECIFICATIONS OF PENNDOT PUB 408, SECTION 703.2 TABLE C FOR 2A STONE AND CONTAIN LESS THAN 10% FINES. THE RCA MUST BE CERTIFIED DURING CONSTRUCTION TO CONFIRM ADEQUACY.

MUNICIPAL, COUNTY, STATE AND MUA DETAILS TO SUPERSEDE DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

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PROJECT: WESTTOWN AM WEST TIC LLC  
PROPOSED CHASE BANK  
1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
CHESTER COUNTY, PENNSYLVANIA

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**JUSTIN A. GEONNOTI**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 160629

**MATTHEW SHARO**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52989

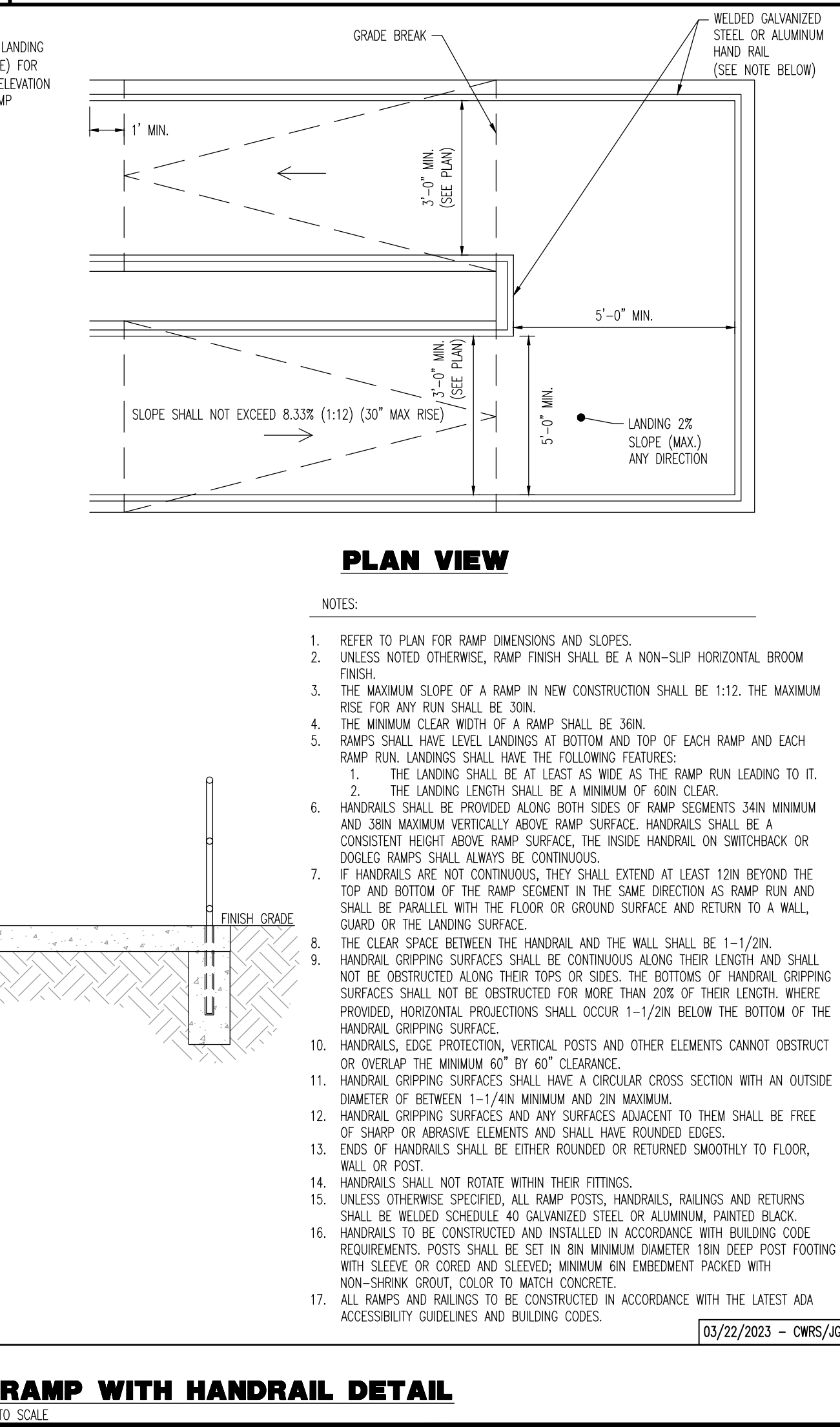
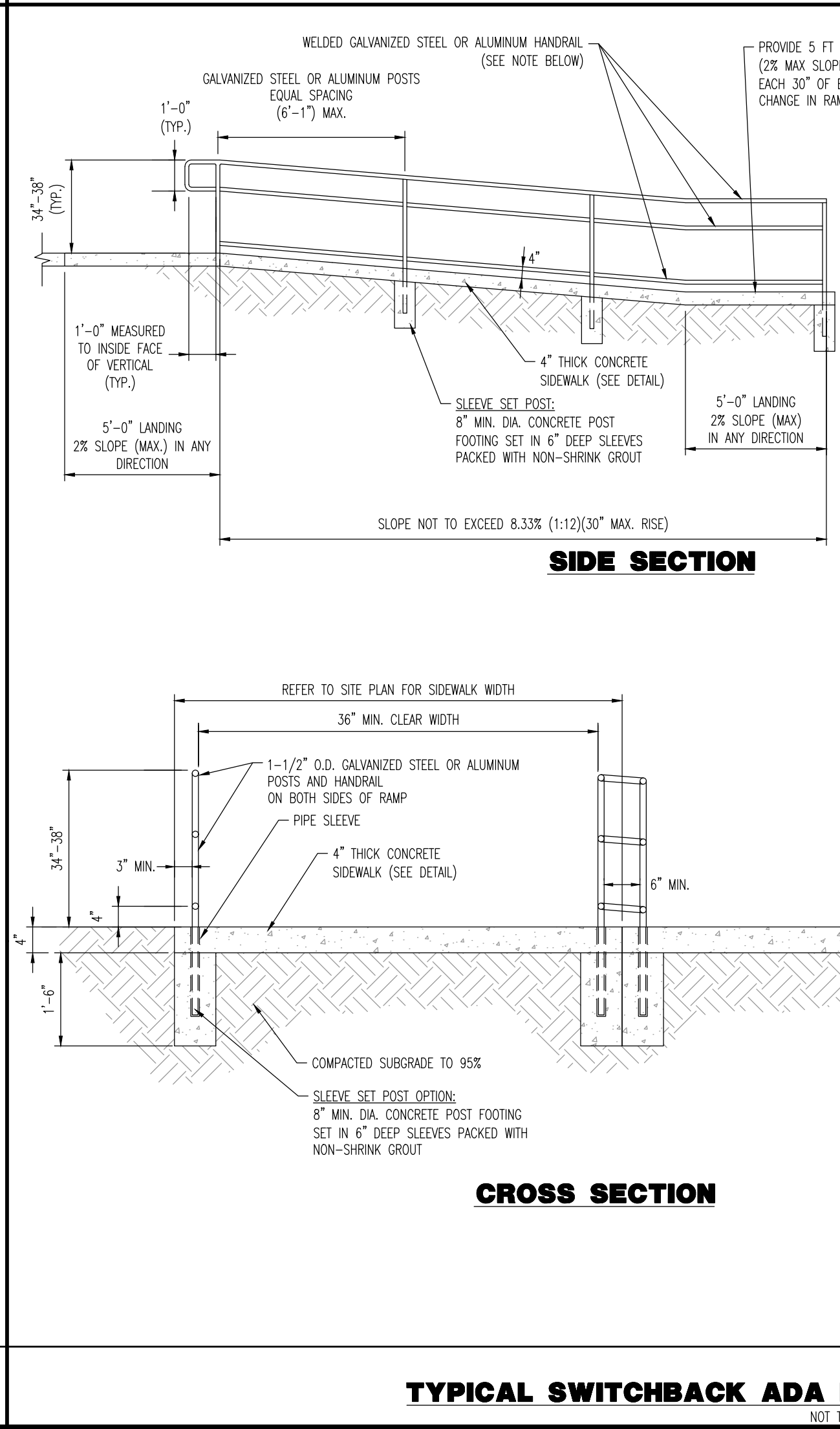
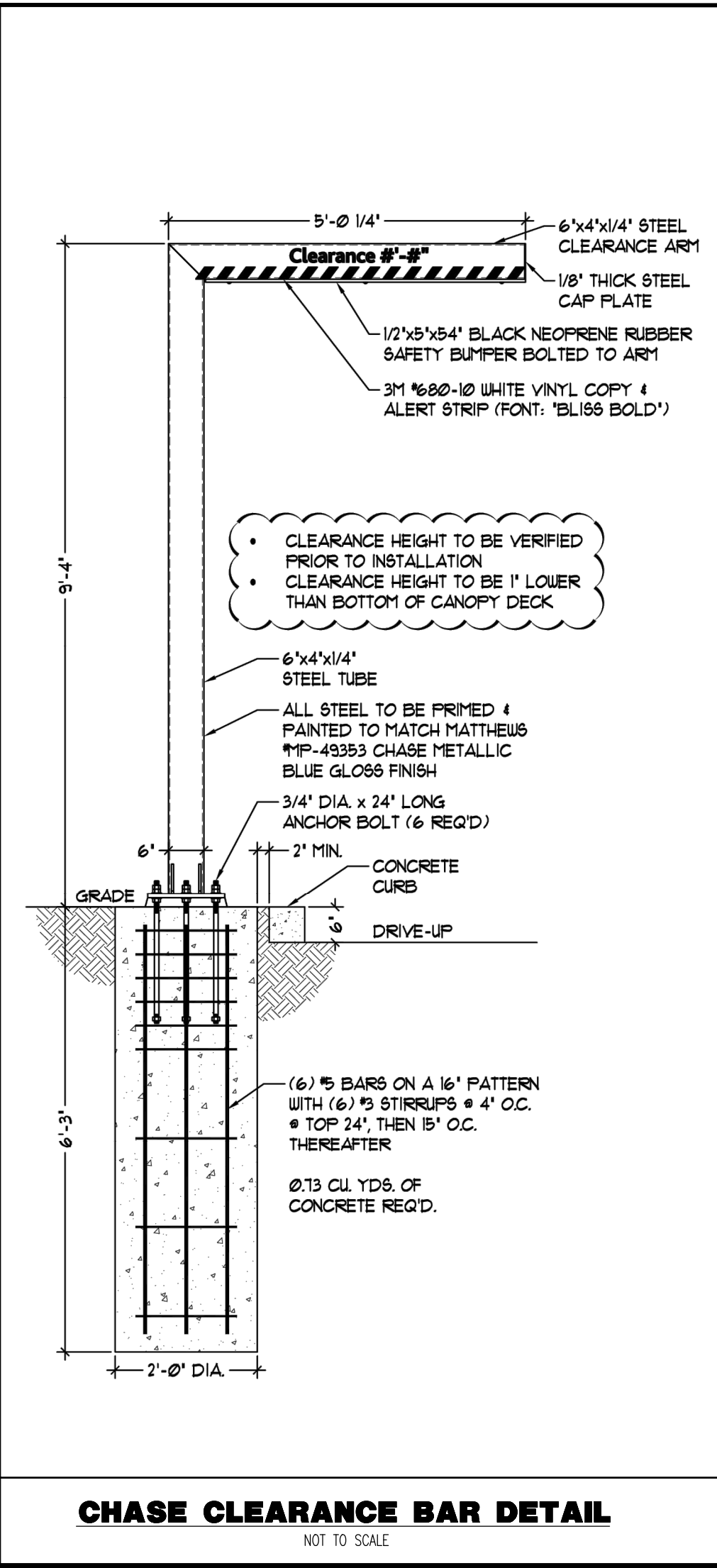
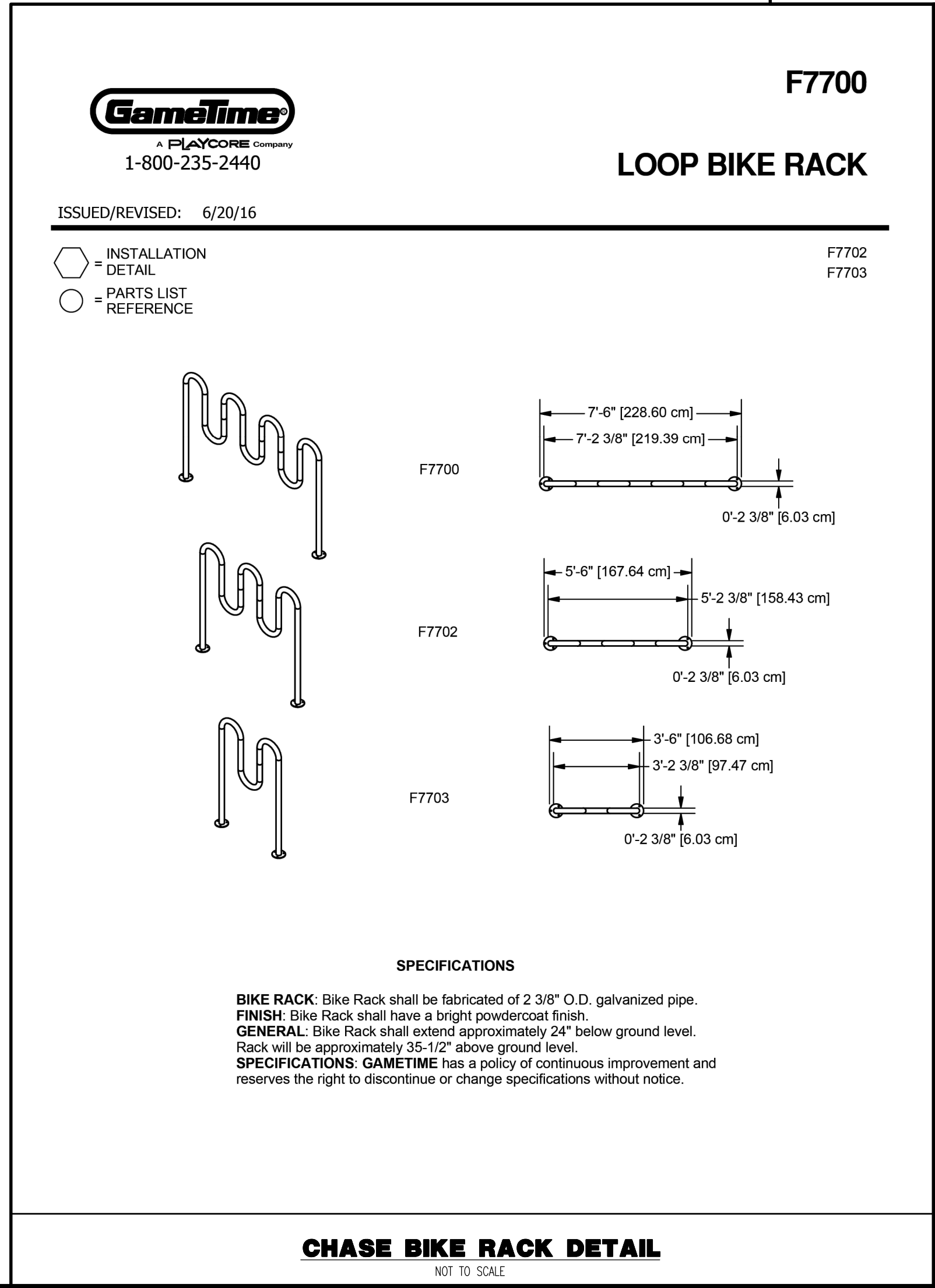
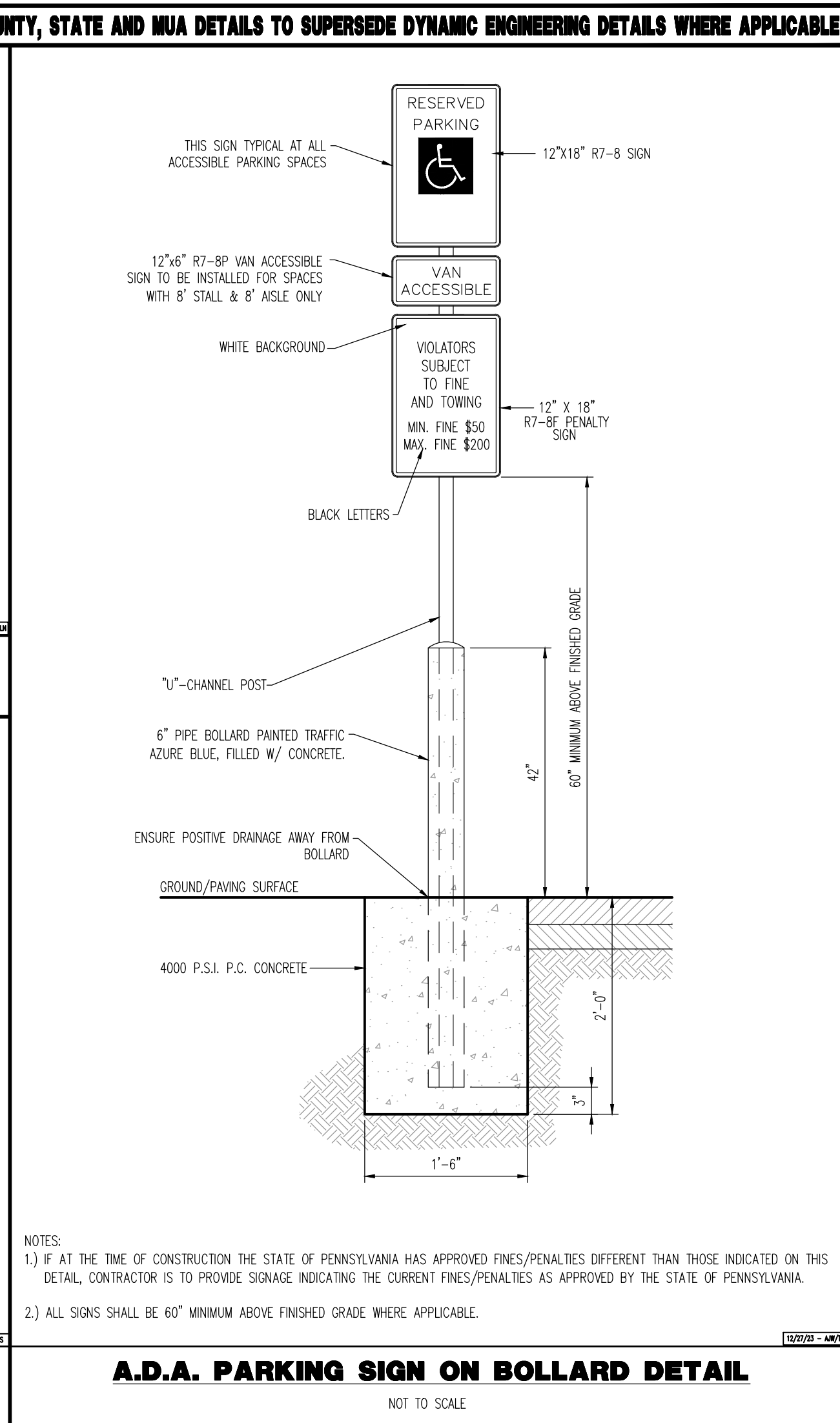
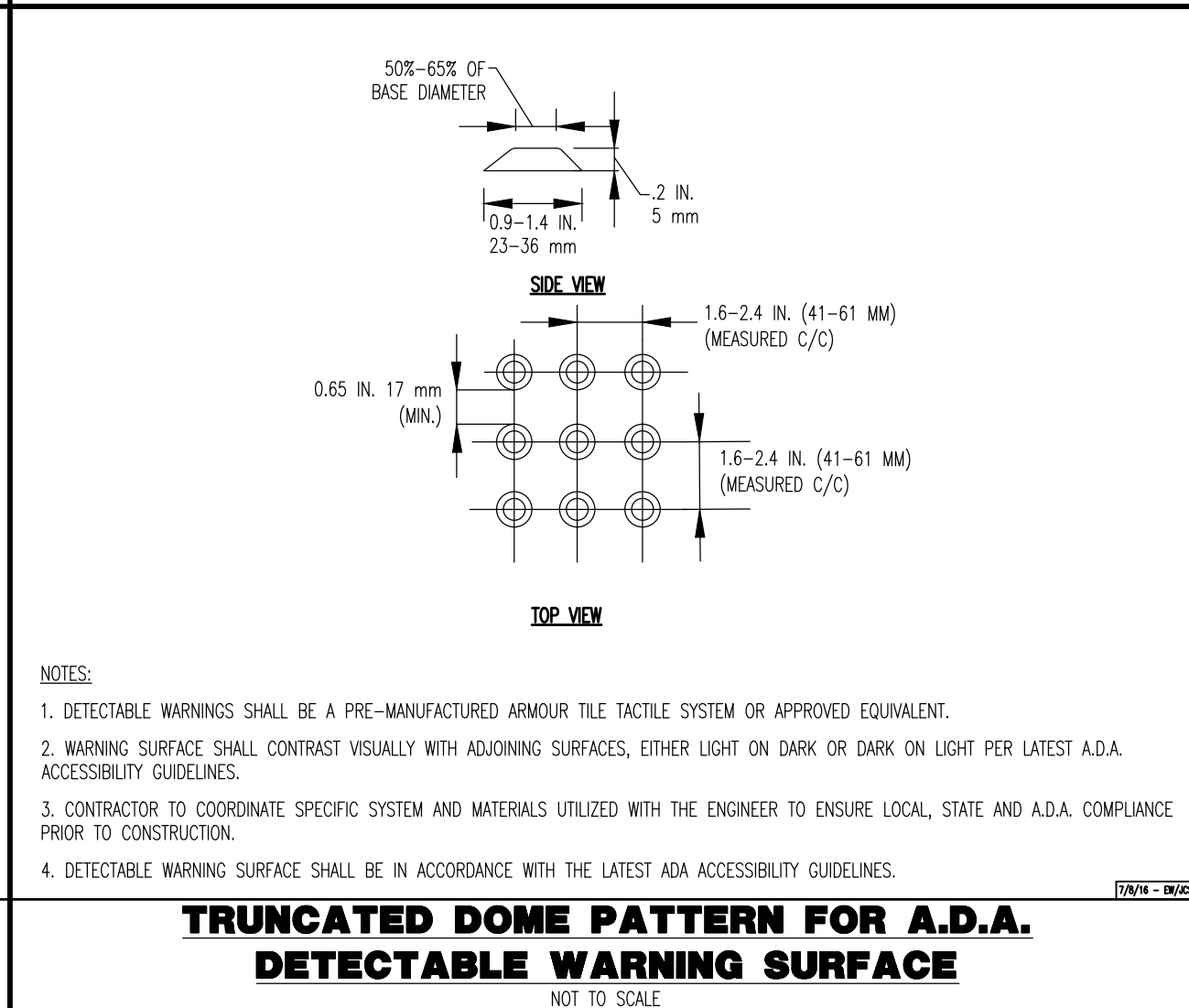
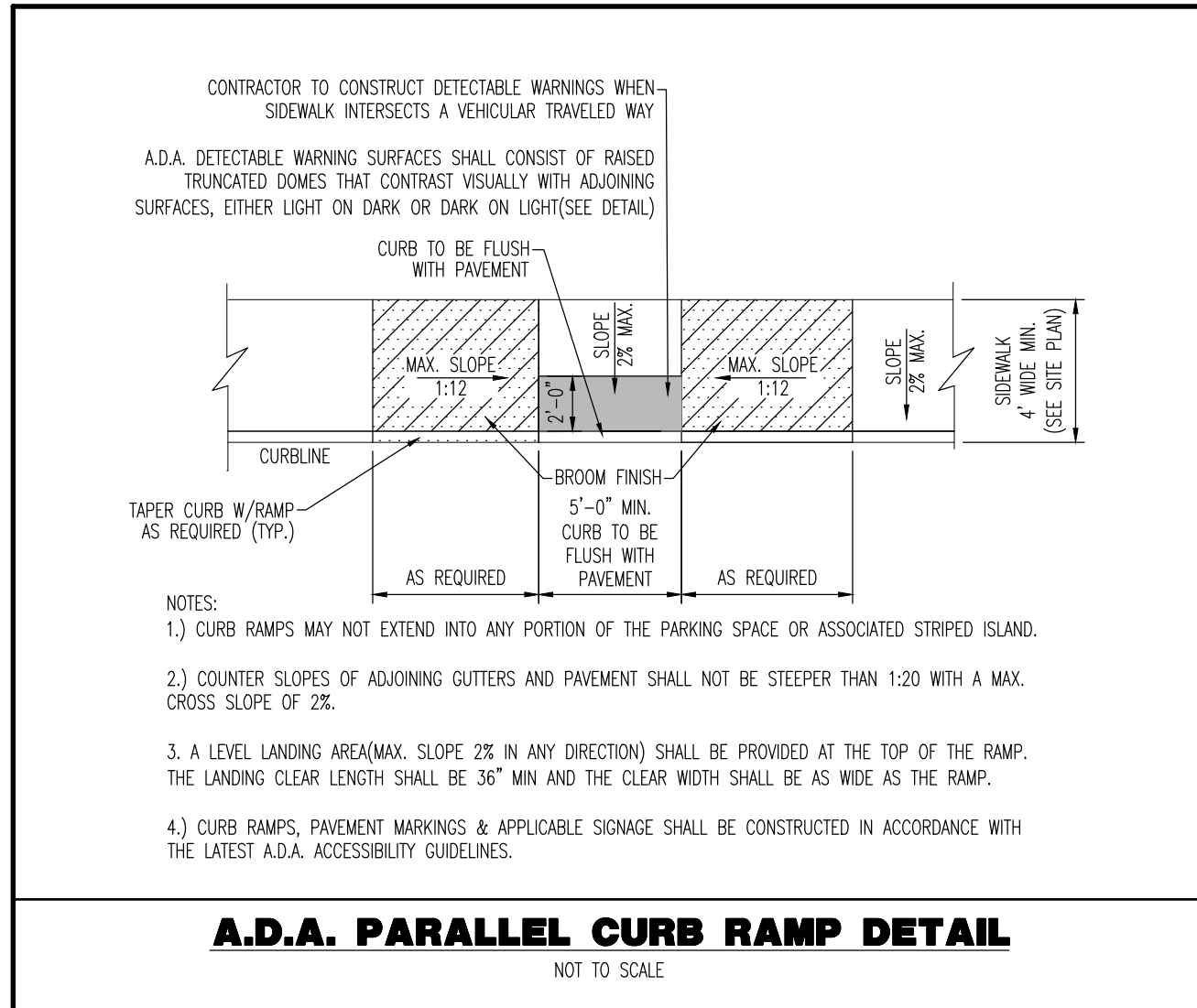
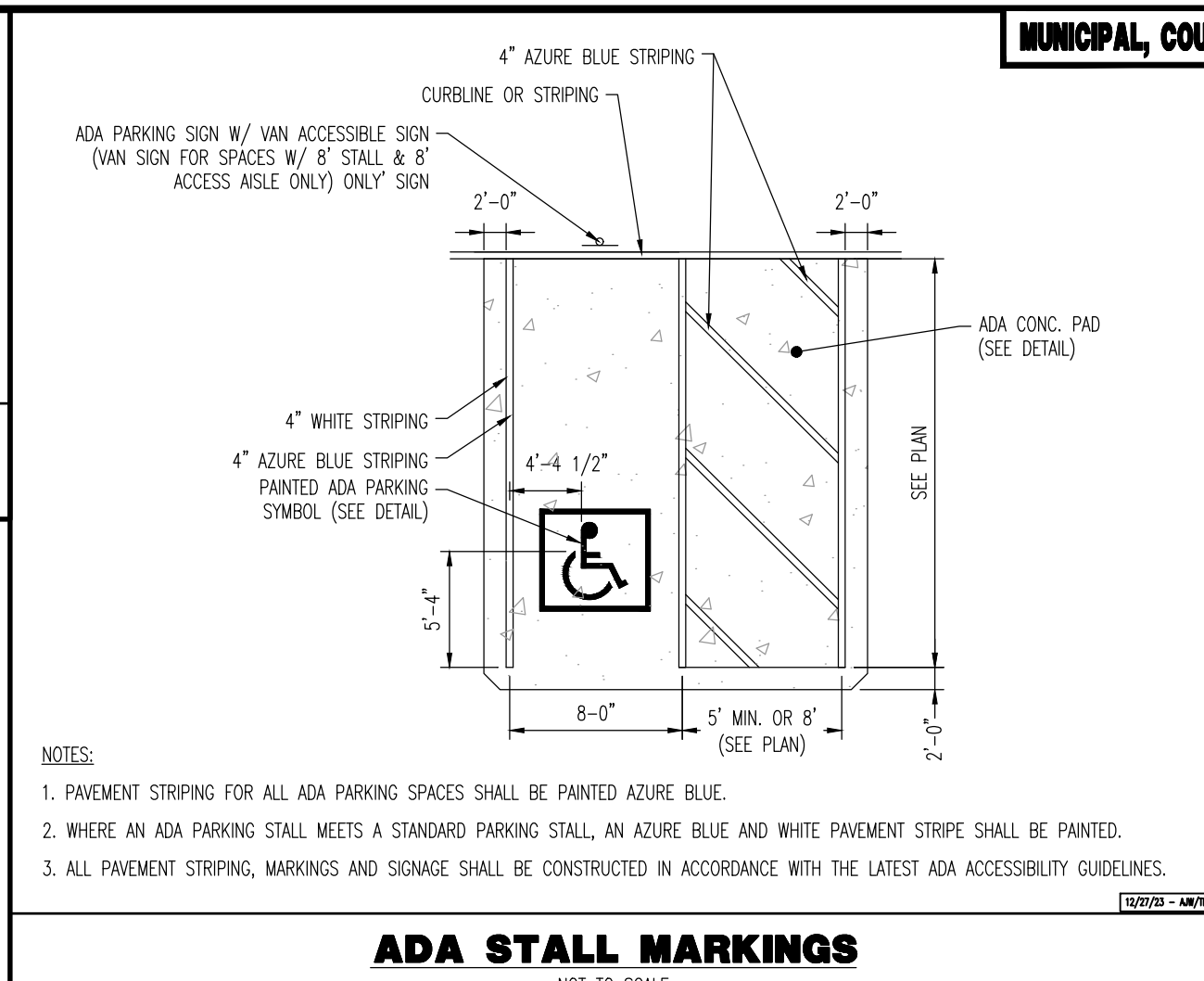
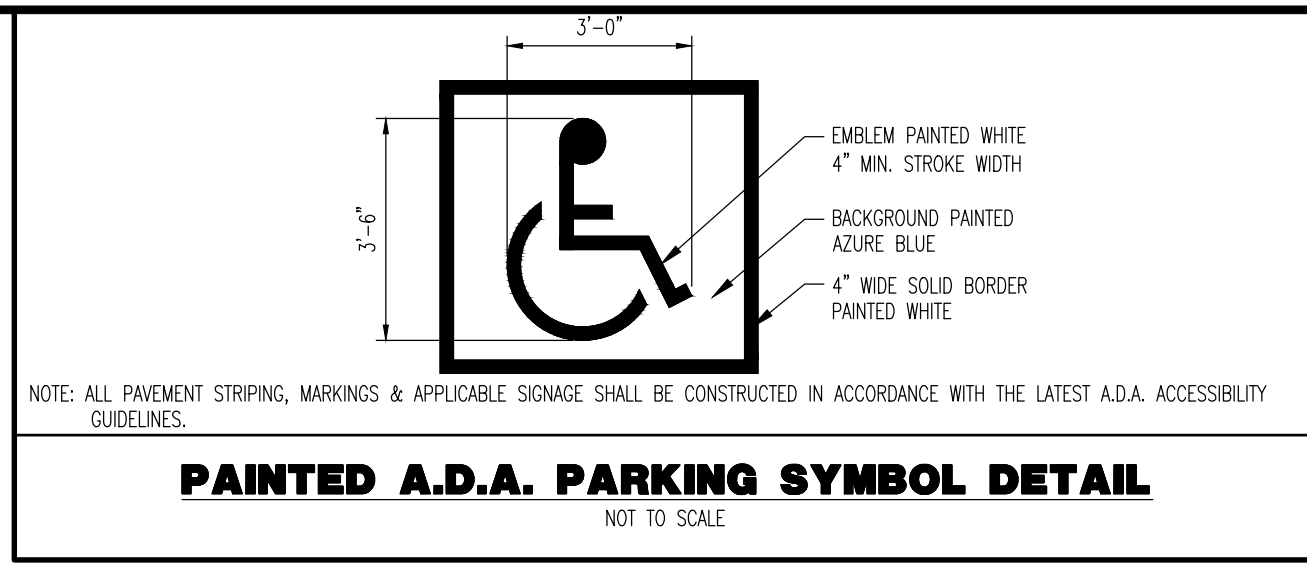
TITLE: **CONSTRUCTION DETAILS**

SCALE: (H) NOT TO SCALE (V) SCALE  
DATE: 07/12/2024  
PROJECT No: 1478-99-191

SHEET No: **17** Rev. #:  
OF 25 1

Plotted: 09/30/24 - 4:04 PM, By: mdaloney  
File: P:\CEPC PROJECTS\1478 Paramount Realty\99-191 West Chester PA\DWG\4 Land Dev Plans\147899191SD1.dwg, ---> 17 CONSTRUCTION DETAILS

Plotted: 09/30/24 - 4:04 PM, By: mdelaney  
 File: P:\CEPC PROJECTS\1476 Paramount Realty\09-191 West Chester PA\DWG\4 Land Dev Plans\147699191SD1.dwg, ---> 18 CONSTRUCTION DETAILS



MUNICIPAL, COUNTY, STATE AND MUA DETAILS TO SUPERSEDE DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE

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<p>THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION</p>	<p>PROJECT: <b>WESTTOWN AM WEST TIC LLC</b>          PROPOSED CHASE BANK          PARCEL NO. 67-2-2-42-4          1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)          CHESTER COUNTY, PENNSYLVANIA</p>
<p>DATE: 09/30/24</p>	<p>REV. PER TOWNSHIP COMMENTS</p>
<p>DATE: 09/30/24</p>	<p>REV. PER TOWNSHIP COMMENTS</p>

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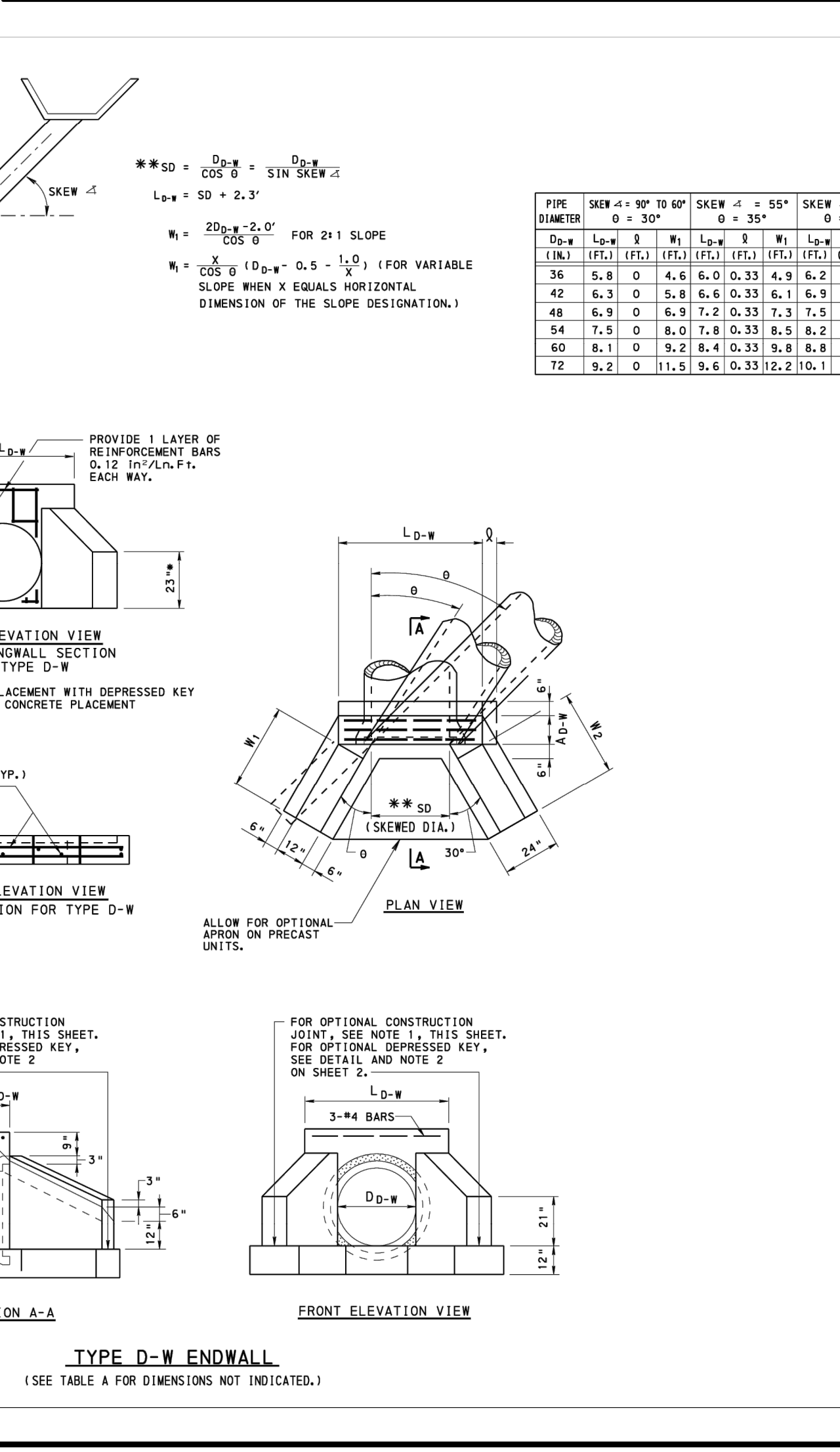
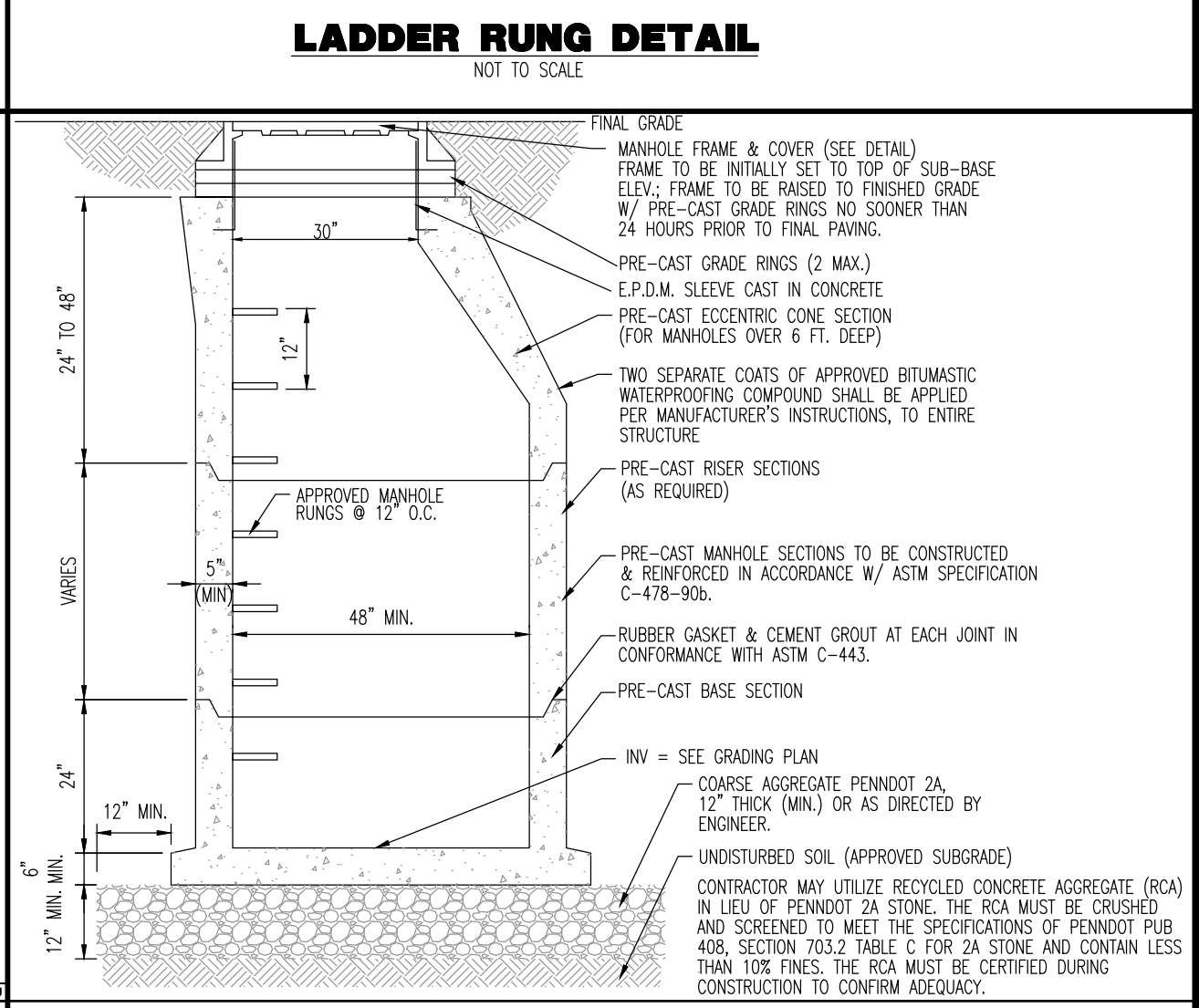
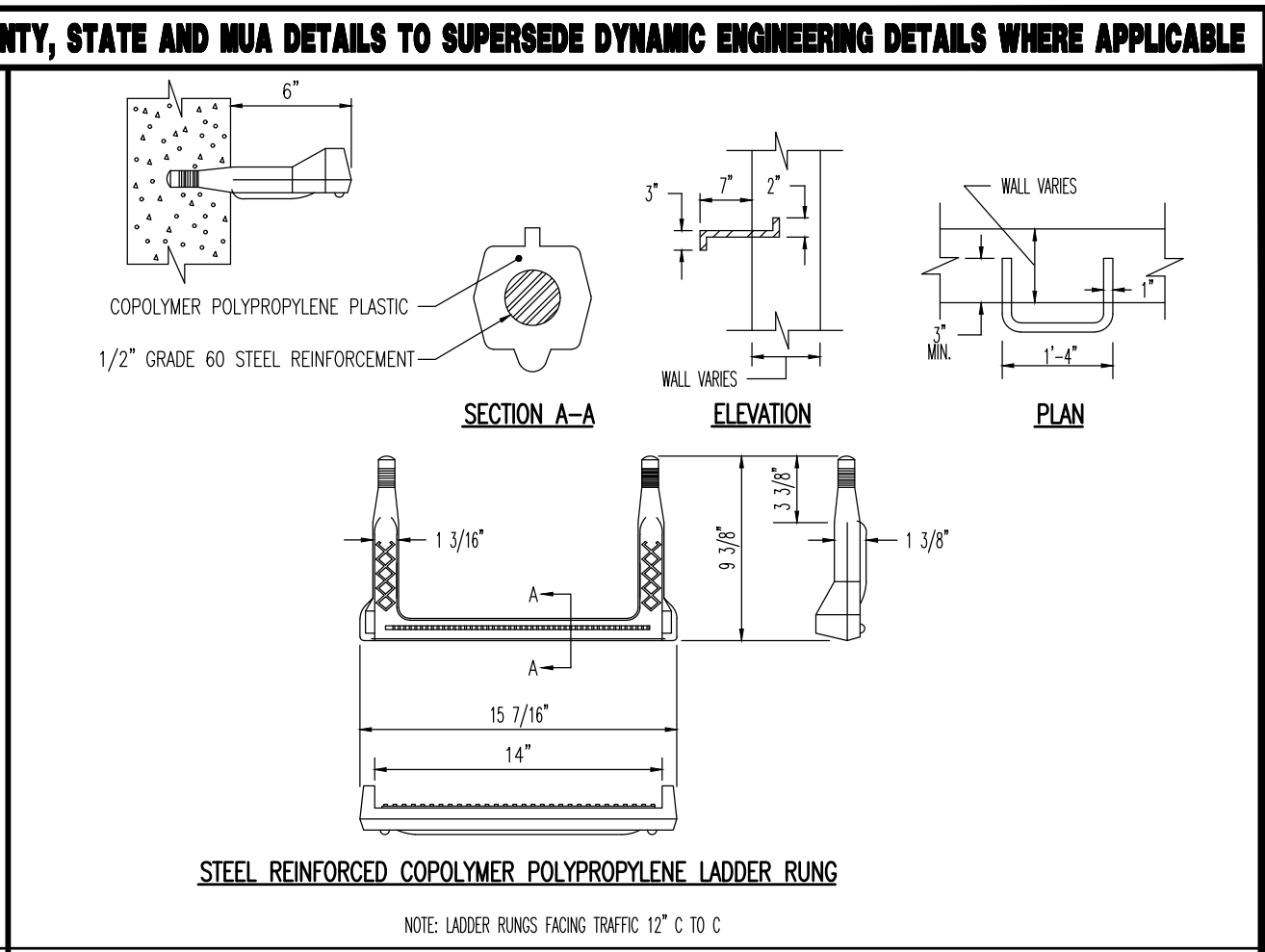
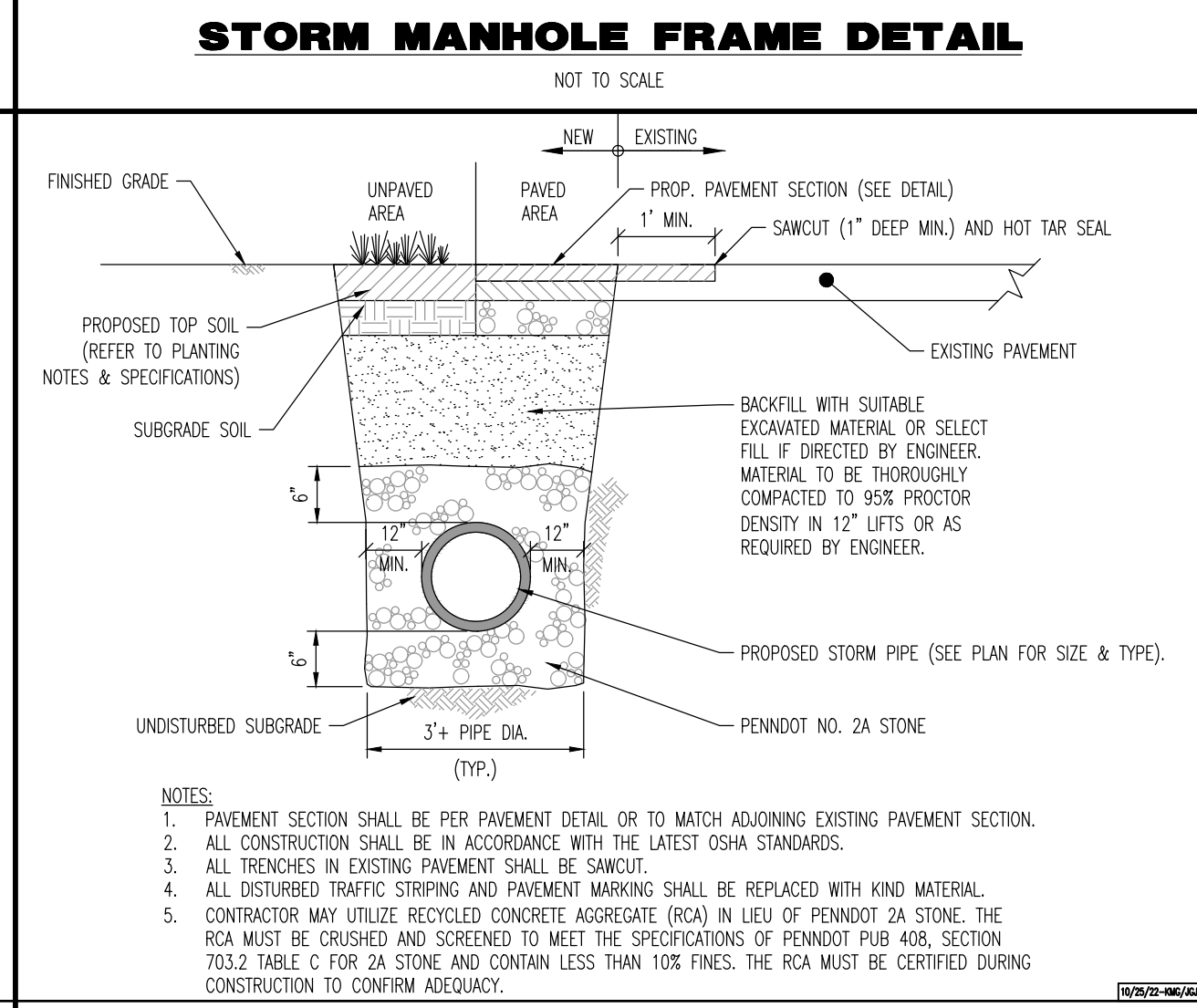
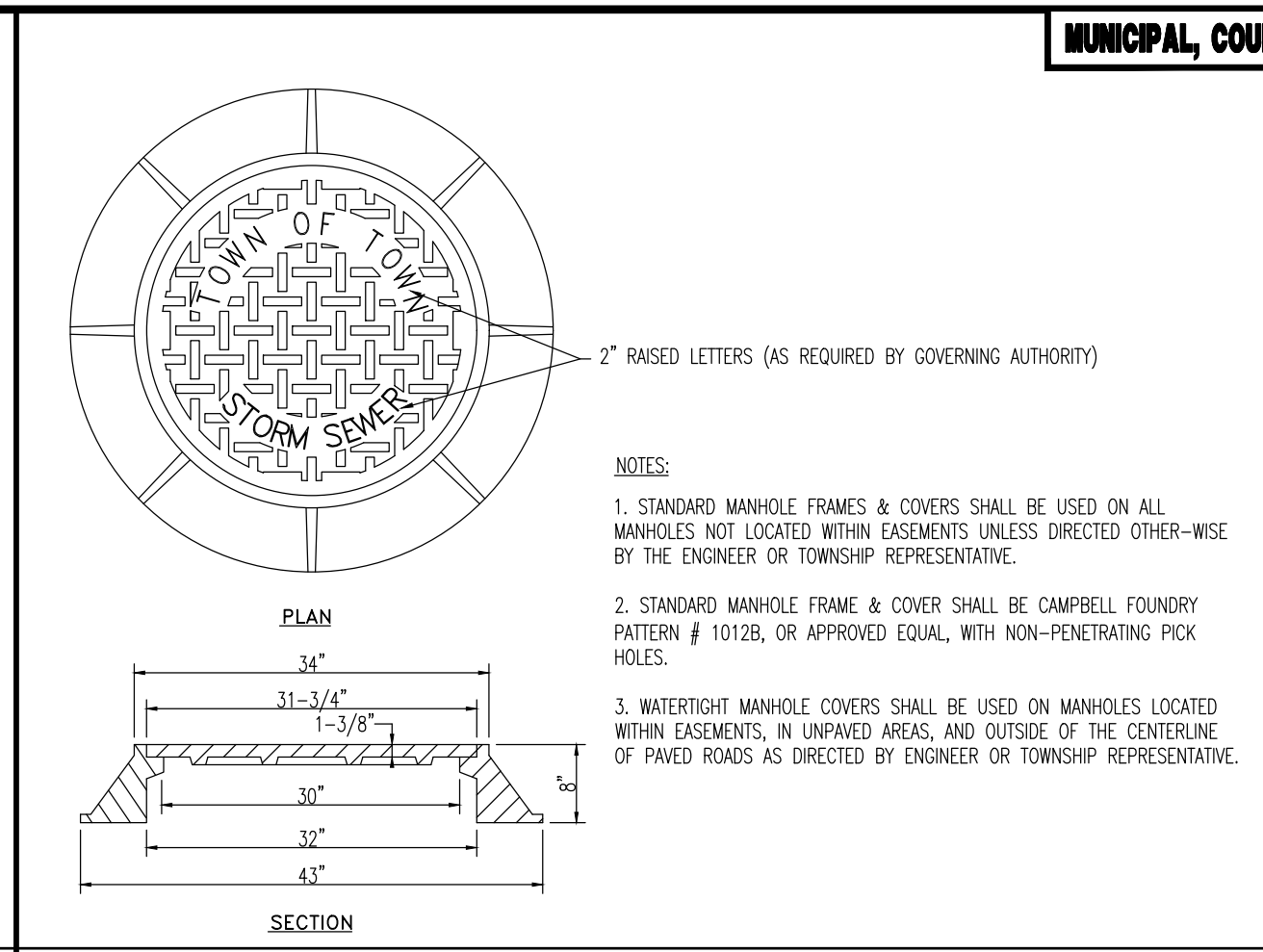
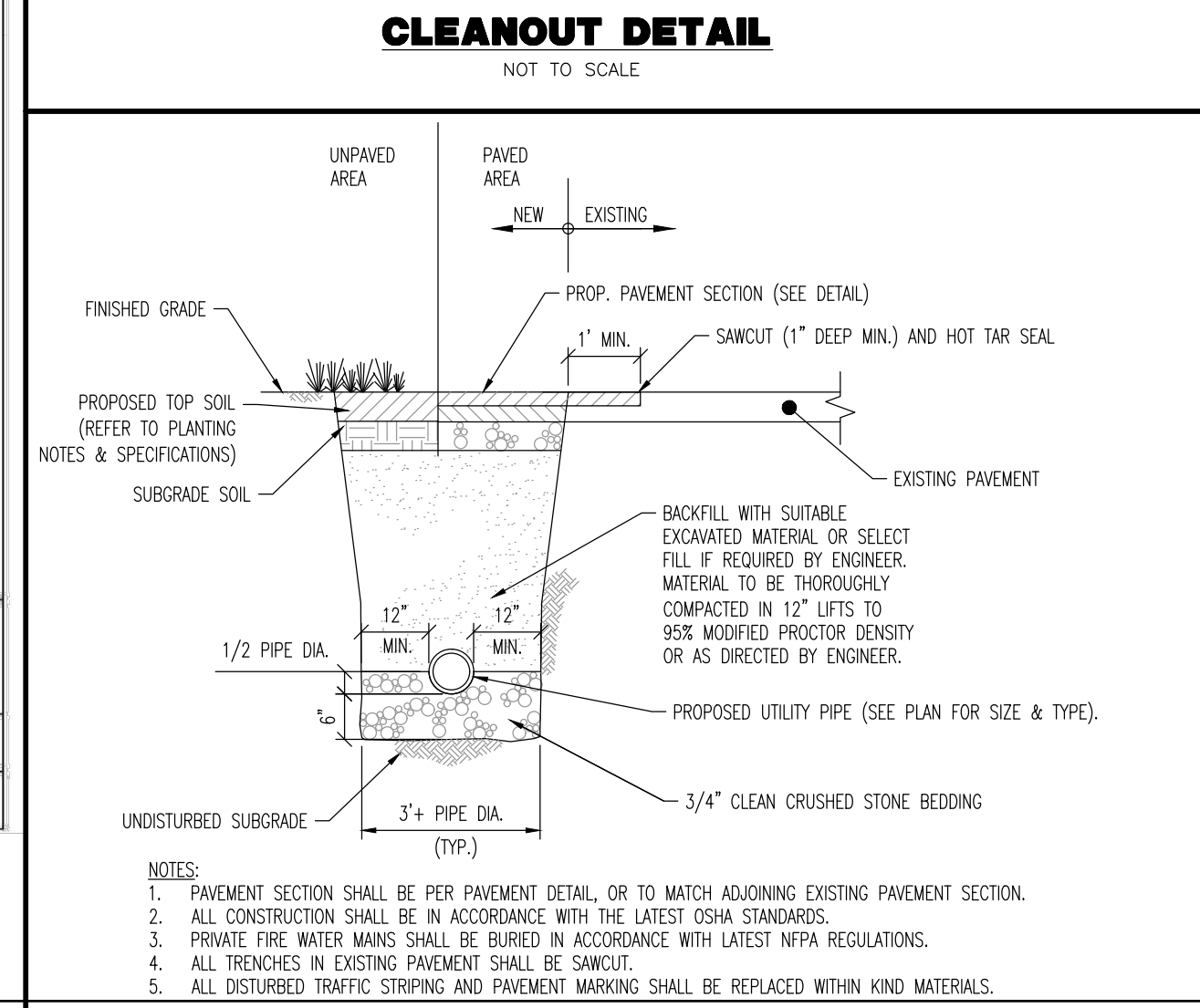
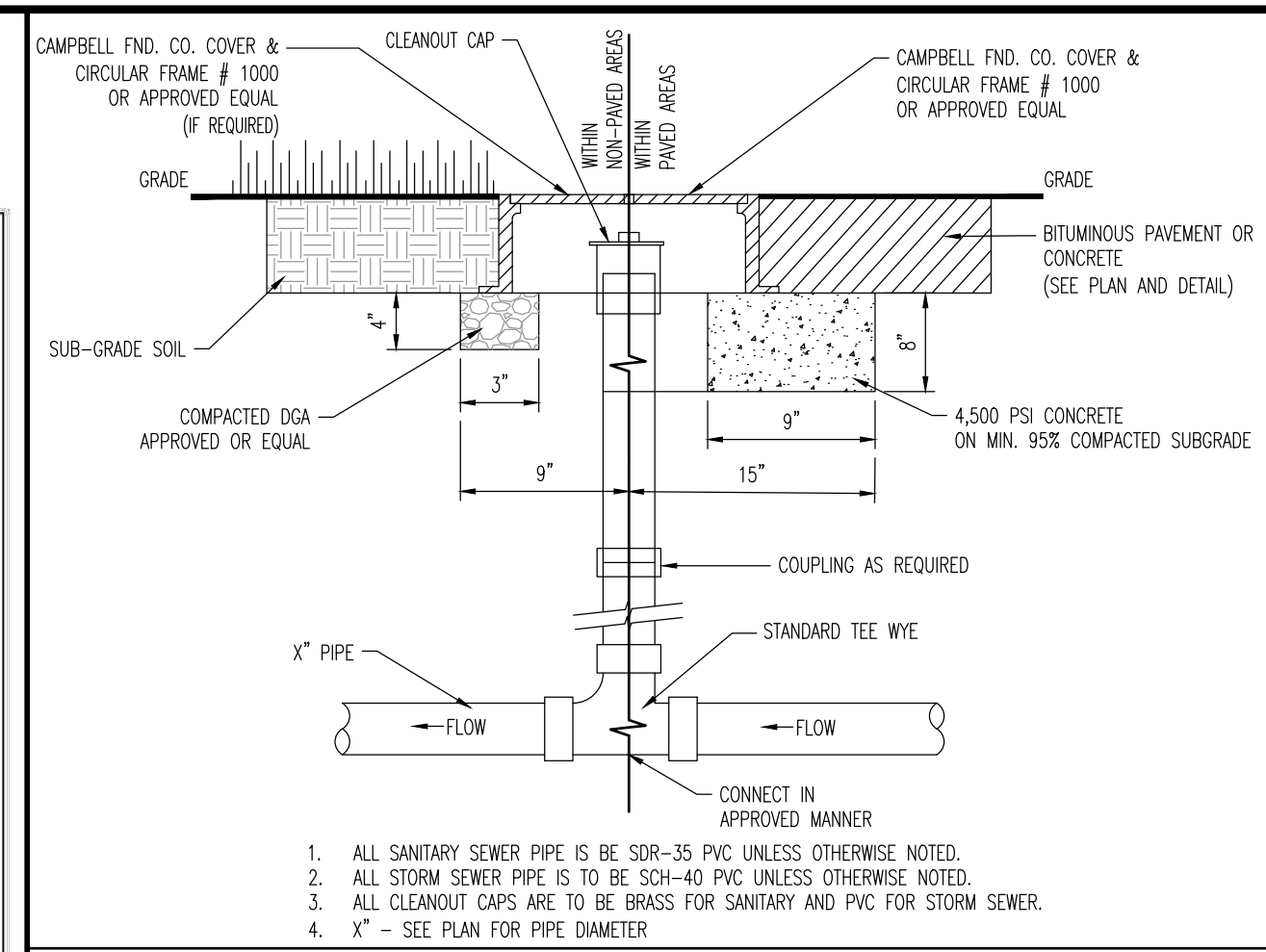
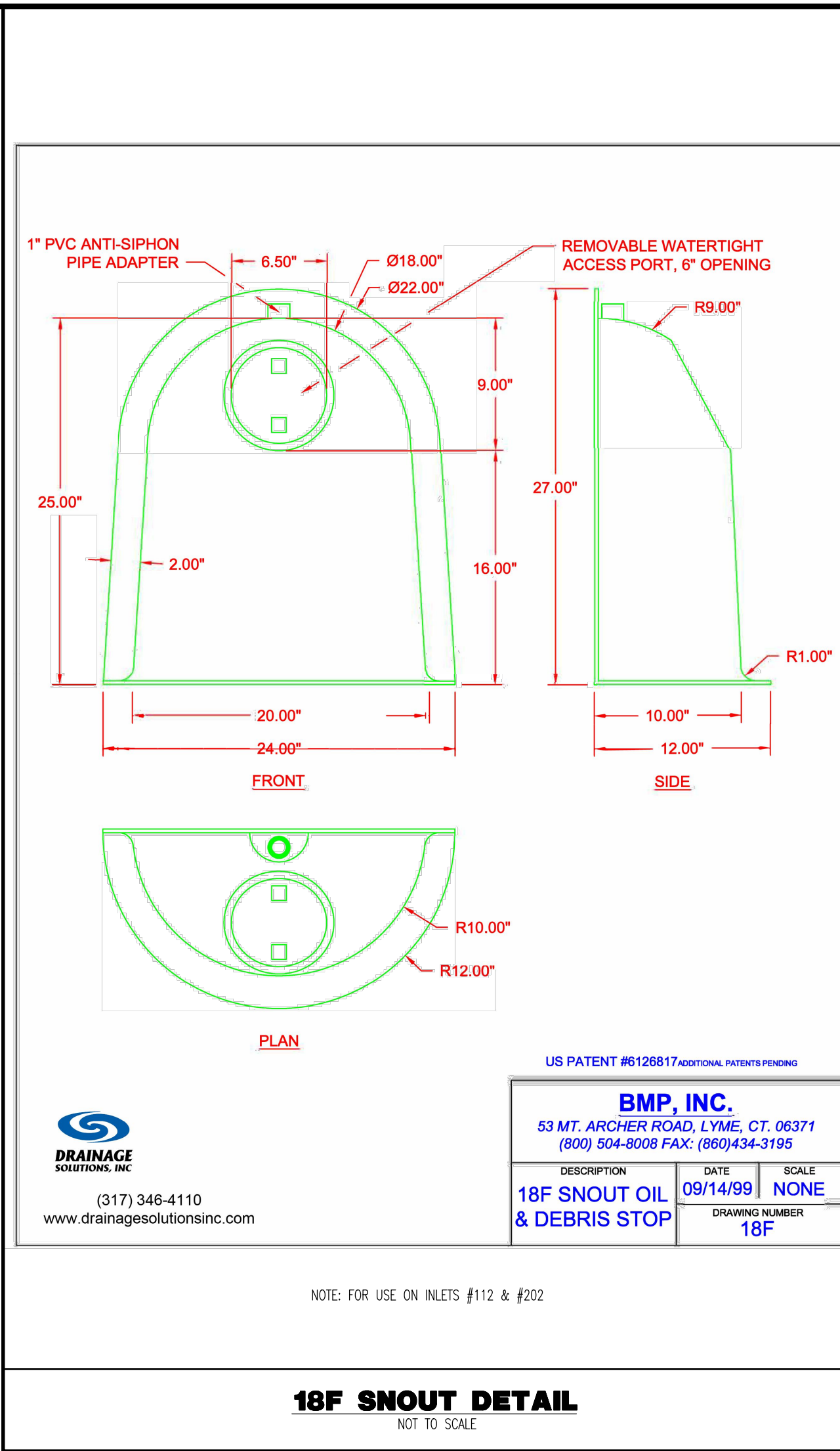
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**JUSTIN A. GEONOTTI**  
 PROFESSIONAL ENGINEER  
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**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE # 52989

**CONSTRUCTION DETAILS**

SCALE: (H) AS SHOWN DATE: 07/12/2024  
 PROJECT No: 1478-99-191  
 SHEET No: 18 OF 25



NOTE: 1. FOR OPTIONAL CONSTRUCTION JOINT WITHOUT A DERESSED KEY, APPLY EPOXY BONDING COMPOUND AT THE LOCATION INDICATED TO ENSURE ADEQUATE BOND WITH THE BASE SECTION OF THE ENDWALL (NEW CONCRETE). CAST THE ENDWALL SECTION OF THE ENDWALL ON TOP OF THE BASE SECTION OF THE ENDWALL.

TABLE A  
2 : 1 EMBANKMENT SLOPES

PIPE DIAMETER (IN.)	SKEN 45° TO 60°	SKEN 45° TO 55°	SKEN 45° TO 50°	SKEN 45° TO 45°	SKEN 45° TO 40°	SKEN 45° TO 35°	SKEN 45° TO 30°	SKEN 45° TO 25°	SKEN 45° TO 20°	SKEN 45° TO 15°	SKEN 45° TO 10°															
36	5.8	0	4.6	6.0	0.33	4.9	6.2	0.5	5.2	6.5	0.67	5.7	7.0	0.15	6.2	8.3	1.33	8.0	11.1	1.75	11.7	19.6	5.0	23.0	4.6	12
42	6.3	0	5.8	6.6	0.33	6.1	6.9	0.5	6.5	7.3	0.67	7.1	7.8	0.15	7.8	9.3	1.33	10.0	12.5	1.75	14.6	22.5	5.0	28.8	5.8	12
48	6.9	0	6.9	7.2	0.33	7.3	7.5	0.5	7.8	8.0	0.67	8.5	8.5	0.15	9.4	10.3	1.33	12.0	14.0	1.75	17.5	25.3	5.0	34.6	6.9	12
54	7.5	0	8.0	7.8	0.33	8.5	8.2	0.5	9.1	8.7	0.67	9.9	9.3	0.15	10.9	11.3	1.33	14.0	15.5	1.75	20.0	28.3	5.0	40.3	8.0	12
60	8.1	0	9.2	8.4	0.33	9.8	8.8	0.5	10.4	9.4	0.67	11.3	10.1	0.15	12.5	12.3	1.33	16.0	16.9	1.75	23.4	31.1	5.0	46.0	9.2	15
72	9.2	0	11.5	9.6	0.33	12.0	11.2	0.5	13.0	10.8	0.67	14.1	11.1	0.15	17.5	16.6	1.33	20.0	19.8	1.75	29.3	36.9	5.0	57.6	11.5	15

FOR OPTIONAL CONSTRUCTION JOINT, SEE NOTE 1, THIS SHEET, FOR OPTIONAL DERESSED KEY, SEE DETAIL AND NOTE 2 ON SHEET 2.

FOR OPTIONAL CONSTRUCTION JOINT, SEE NOTE 1, THIS SHEET, FOR OPTIONAL DERESSED KEY, SEE DETAIL AND NOTE 2 ON SHEET 2.

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FOR OPTIONAL CONSTRUCTION JOINT, SEE NOTE 1, THIS SHEET, FOR OPTIONAL DERESSED KEY, SEE DETAIL AND NOTE 2 ON SHEET 2.

EMK TECHNOLOGIES

### LMT AND LMK SADDLE TECHNICAL DATA SHEET

**TECHNICAL DATA SHEET**

The LMT™ (Lined Main Tap) Saddle Installation System is engineered to connect a lateral sewer service pipe to a liner inside a rehabilitated mainline.

The LMK Saddle Installation System is designed to connect a lateral sewer service pipe directly to a mainline pipe.

- The saddle is sized to surround the liner or pipe beyond the spring line, which creates a clamping effect that draws the saddle firmly on to the liner or the pipe.
- The universal LMK Adhesive bonds the saddle to the liner or host pipe, providing a flexible non-leaking main/lateral connection. A special two part adhesive is available for HDPE liners/pipes.
- The saddle is compatible with a variety of lining materials including polyethylene used in Fold & Form liners and pipe bursting, CIPP liners, and PVC folded liners.
- The saddle is also compatible with a variety of pipes including cast iron, clay, PVC and HDPE.
- A variety of saddle sizes are available - for pipes ranging from 6 inch to 24 inch.
- Many saddle sizes are stocked but not all; contact LMK customer service for availability.

Each Saddle Kit Contains:

1. Type 1 SCH 40 PVC Saddle
2. Appropriate amount of LMK Adhesive
3. 4 to 8 appropriately sized Quick Bands
4. Applicator Stick

Each Saddle:

1. Accepts a 6 inch SDR35 lateral pipe
2. Has a gasketed connection fitting
3. Is available in a TEE or WYE configuration

INSTALLATION NOTES:

An LMT Saddle installation requires a pit excavation in order to expose the host pipe and to allow room to remove the host pipe wall where the connection will be made, exposing the liner inside.

An LMK Saddle connected directly to a host pipe can be installed through either hydro excavation or through a pit excavation. A WYE connection or a non-90 degree TEE connection would need to be performed through a pit excavation.

The saddle must be clamped to the lining to keep pressure and to prevent slippage during bedding/backfill.

COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION  
BUREAU OF DESIGN AND DELIVERY

ENDWALLS  
CAST-IN-PLACE & PRECAST

RECOMMENDED NOV. 30, 2021  
Chris K. St. ...  
SHT. 3 OF 3  
RC-31M

SADDLE CONNECTION DETAIL  
NOT TO SCALE

SADDLE DIMENSIONS

Pipe Size	Length of Saddle	Inside Diameter of Saddle		
		Clay	Cast Iron	PVC
6"	13"	8.6"	6.5"	6.5"
8" - 24"				

Mandrel Formed Saddles are available to fit HDPE, Concrete, Vitrified Clay, Cast Iron and PVC. The outside dimension (O.D.) of the pipe and pipe connection are needed so that saddle size can be selected that will fit the pipe. Call LMK, Customer Service, for more information on availability. CIPP saddles are formed to 6 inch-24 inch O.D's.

SADDLE TECHNICAL DATA

Property	Nominal Value (English)	Nominal Value (SI)	Test Method
Specific Gravity	1.40	1.40 g/cm <sup>3</sup>	ASTM D792
PVC Cell Classification	12454	12454	ASTM D1784
Tensile Modulus	400000psi	3030 MPa	ASTM D638
Tensile Strength (Yield)	7200 psi	49.6 MPa	ASTM D638
Flexural Modulus	450000 psi	3120 MPa	ASTM D790
Flexural Strength	13500 psi	91.0 MPa	ASTM D790
Notched Iod Impact 73°F (23°C), 0.125 in (3.18mm), Injection Molded	1.0 ft-lb/in	53 J/m	ASTM D256A
Notched Iod Impact 73°F (23°C), 0.250 in (6.35mm), Injection Molded	0.70 ft-lb/in	37 J/m	ASTM D256A
Durometer Hardness (Shore D)	81	81	ASTM D2240
Deflection Temperature Under Load 66 psi (0.45MPa), Unannealed, 0.250 in (6.35mm)	162°F	72.2°C	ASTM D668
Deflection Temperature Under Load 264 psi (1.8 MPa), Unannealed, 0.250 in (6.35mm)	162°F	72.2°C	ASTM D668
Flame Rating (0.600 in (1.60mm), ALL)	V-0	V-0	UL 94

Agency Ratings: NSF 34, NSF 61, NSF Type 1  
PVC Grade: Type 1, Schedule 40

Storage: Store indoors. At time of installation saddles should be brought to temperatures between 60°F and 80°F.

#1654 V.0 2/16 (16-02-506)

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PROPOSED CHASE BANK  
1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)  
CHESTER COUNTY, PENNSYLVANIA

DATE: 09/30/24  
REV. PER TOWNSHIP COMMENTS

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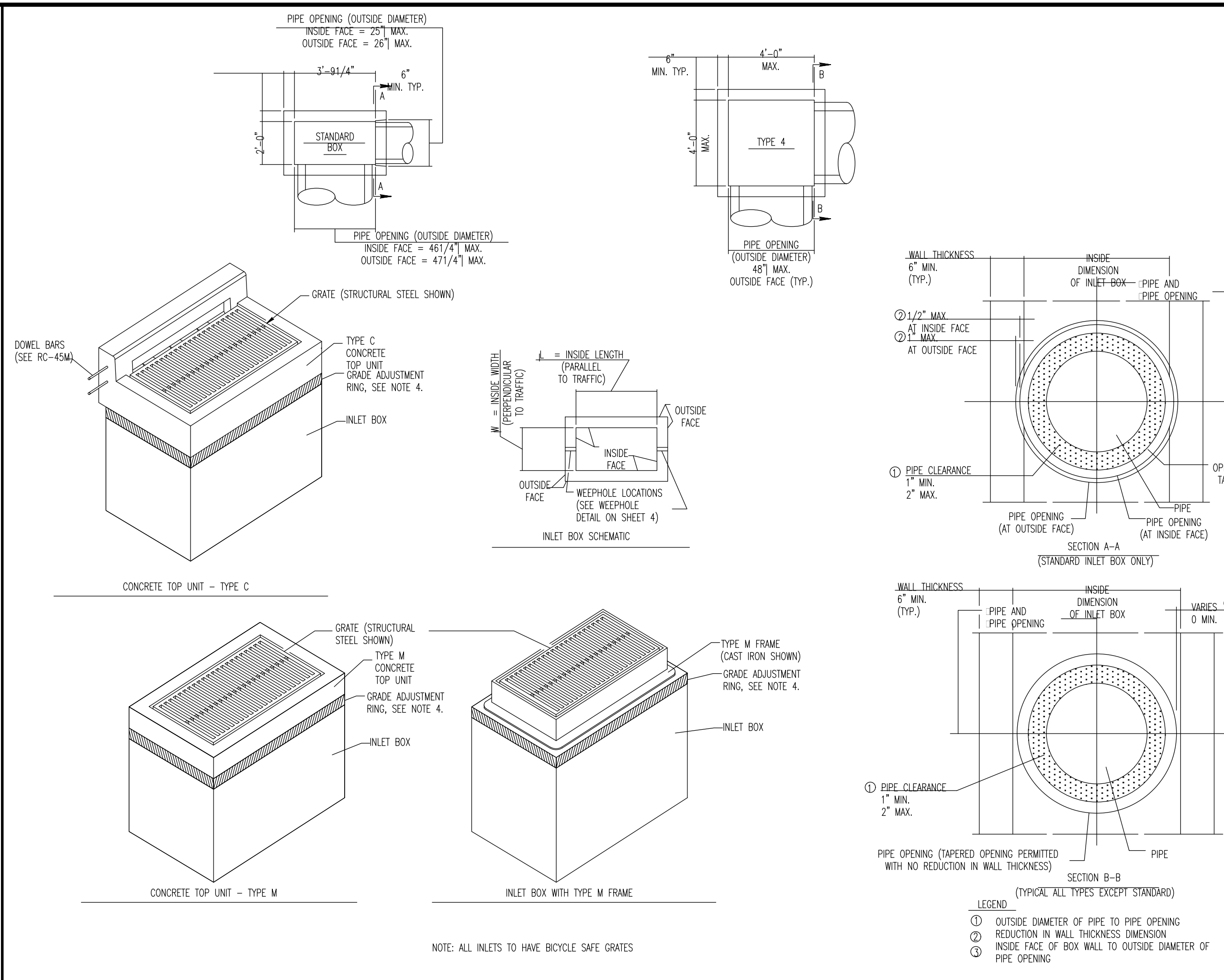
JUSTIN A. GEONOTTI  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 060629

MATTHEW SHARO  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52989

TITLE: CONSTRUCTION DETAILS

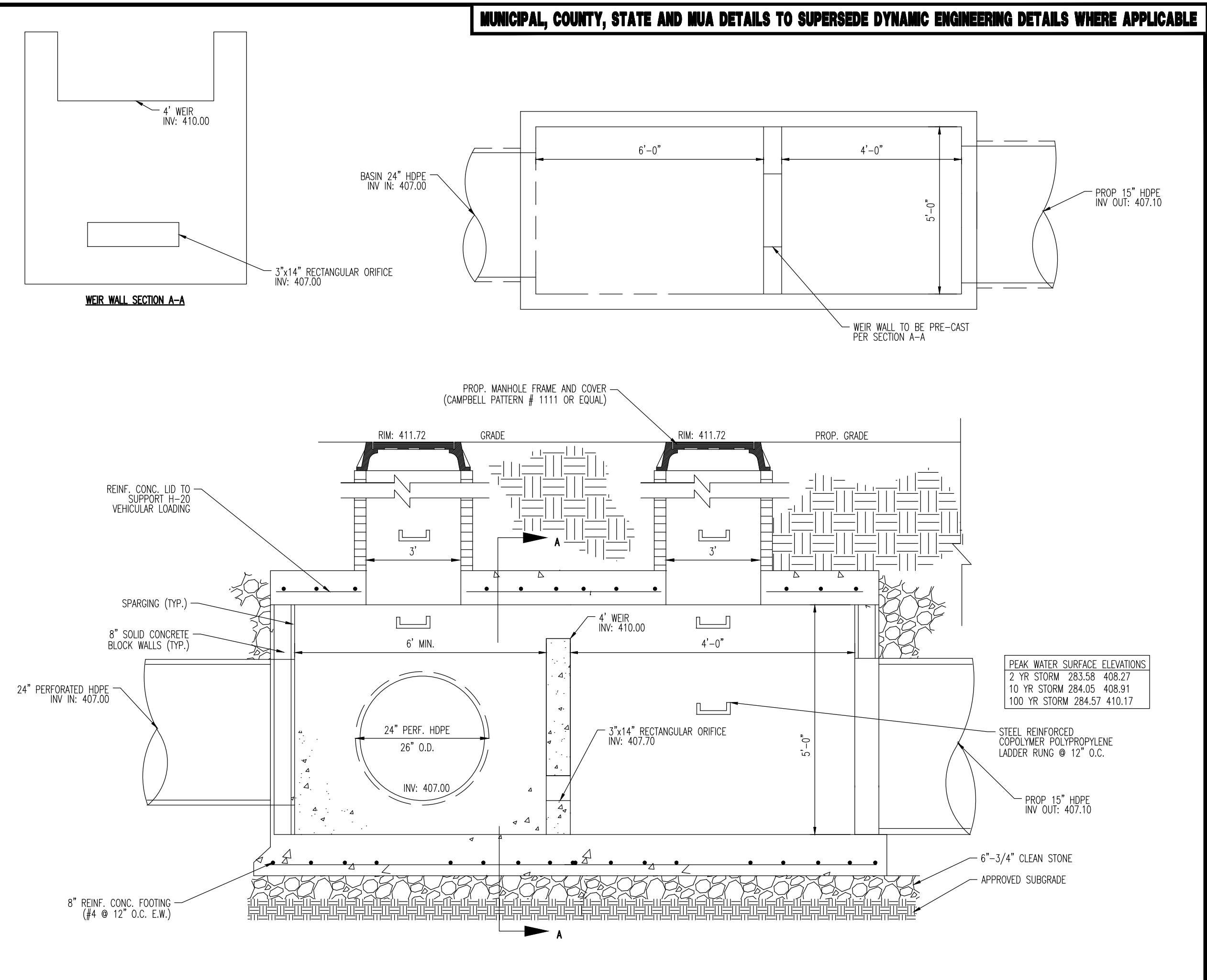
SCALE: (H) NOT TO SCALE (V) SCALE  
DATE: 07/12/2024  
PROJECT No: 1478-99-191  
SHEET No: 19 OF 25

Plotted: 09/30/24 - 4:04 PM, By: mdolaney  
File: P:\VEPC PROJECTS\1478 Paramount Realty\99-191 West Chester PA\DWG\4 Land Dev Plans\147899191SD1.dwg, ---> 19 CONSTRUCTION DETAILS



**PENNDOT TYPE 'M' & TYPE 'C' INLET BOXES & ASSEMBLIES DETAIL**

NOT TO SCALE



**OUTLET STRUCTURE DETAIL BASIN (OCS STR 101)**

NOT TO SCALE

**FLEXSTORM PURE FILTERS FOR PERMANENT INLET PROTECTION**  
**PRODUCT SELECTION AND SPECIFICATION DRAWING**

Descrip	Inlet Type	Grate Size	Opening Size	Bag Cap (ft²)	Flow Ratings (CFS)				FX	FX+	PC	PC+
					FX/FX+	PC/PC+	Bypass					
2' x 2' Frame and Grate	Square/Rect (SQ)	24 x 24	22 x 22	3.3	1.8	1.6	4.8	62MHD22FX	62MHD22FXP	62MHD22PC	62MHD22PCP	
2' x 4' PennDOT Type M & C	Square/Rect (SQ)	26.5 x 48	24 x 44.5	6.3	3.1	2.2	9.5	62PENMHDFX	62PENMHDFXP	62PENMHDP	62PENMHDP	
2' x 6' Frame and Grate	Concrete Box (HD4)	26.5 x 75	24 x 72	10.0	4.8	4.1	13.0	62PENHD26FX	62PENHD26FXP	62PENHD26PC	62PENHD26PCP	
3 x 3 Frame and Grate	Square/Rect (SQ)	37.5 x 37.5	36 x 36	7.2	4.4	3.2	9.6	62HDXLFX	62HDXLFXP	62HDXLPC	62HDXLPCP	
48" Open Throat Curb Inlet	Wall Mount (WM)	N/A	48	3.3	2.5	4.2	N/A*	62HDWM48FX	62HDWM48FXP	62HDWM48PC	62HDWM48PCP	

\*FLOW RATINGS SHOWN ARE 50% MAXIMUM

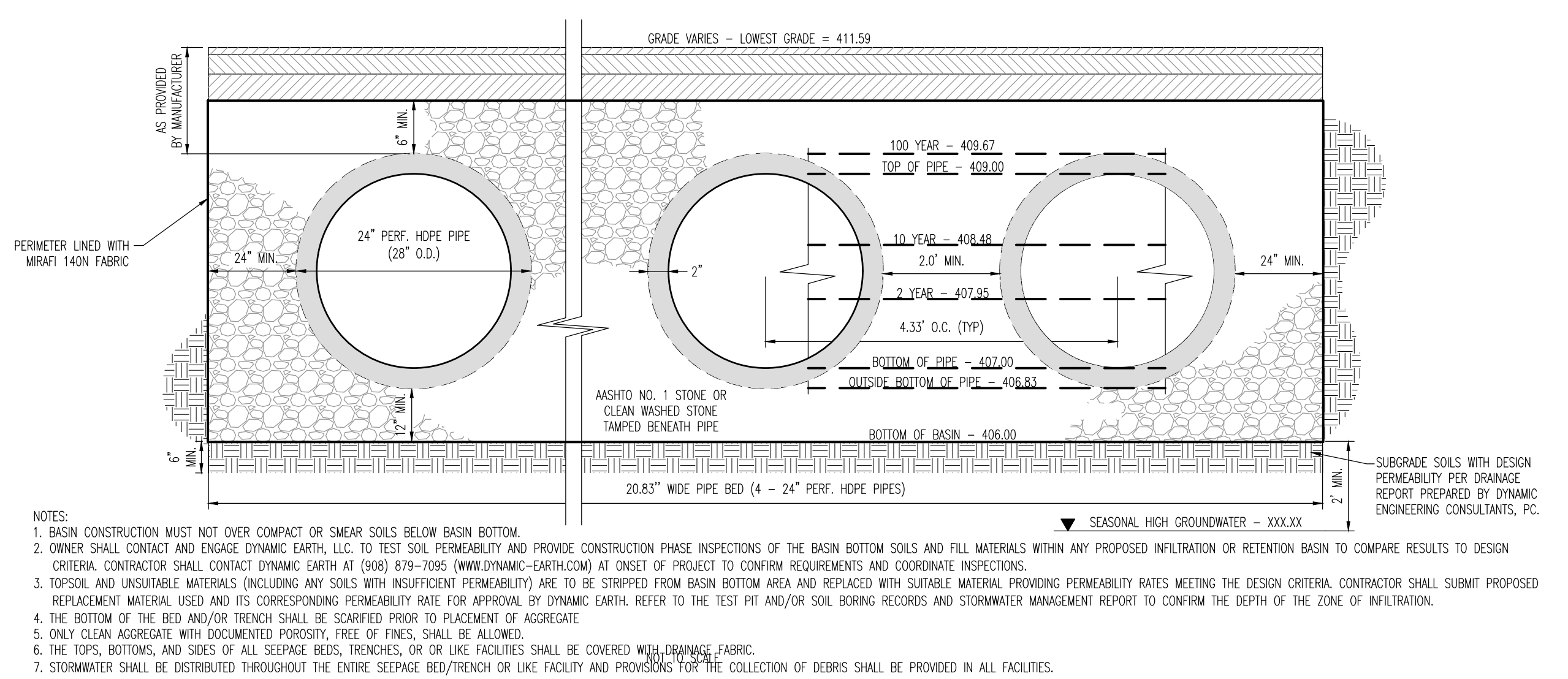
**NOTES:**

- ALL FRAMING IS CONSTRUCTED OF 304 STAINLESS STEEL FOR 25 YEAR SERVICE LIFE RATING
- TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE.
- UPON ORDERING ADS P/N CONFIRMATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
- FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

**INSTALLATION:**

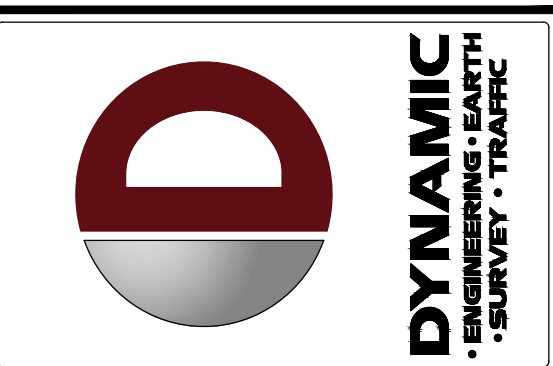
- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

DATE: 1/12/2016  
 DRAWN: [Name]  
 CHECKED: [Name]  
 TITLE: [Title]  
 SCALE: [Scale]  
 DWG NO: Penndot pure for submittal  
 SHEET 1 OF 1



**24" HDPE SCHEMATIC UNDERGROUND BASIN DETAIL**

NOT TO SCALE



REV.	DATE	COMMENTS
1	09/30/24	

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PROJECT: **WESTTOWN AM WEST TIC LLC**  
 PROPOSED CHASE BANK  
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
 CHESTER COUNTY, PENNSYLVANIA

DATE: 07/12/2024

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**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE # 52989

TITLE: **CONSTRUCTION DETAILS**

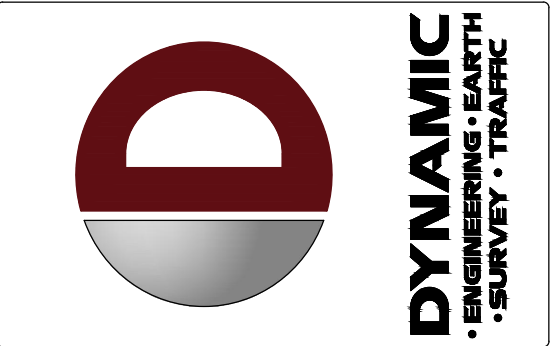
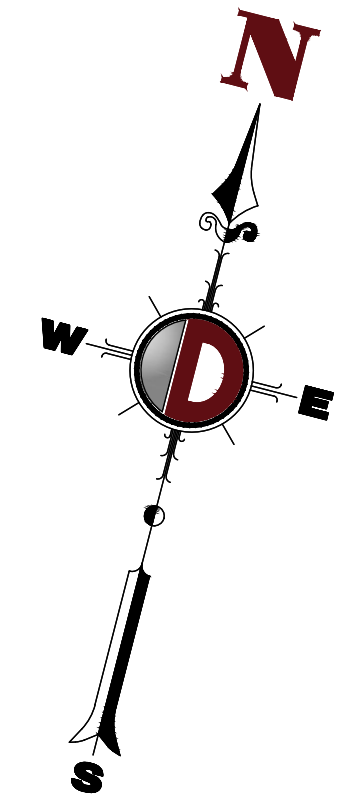
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 DATE: 07/12/2024

PROJECT No: 1478-99-191

SHEET No: **20** OF 25

Plotted: 09/30/24 - 4:04 PM, By: mdlaney  
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THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



REV.	DATE	COMMENTS	BY
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AMJ

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: WESTTOWN AM WEST TIC LLC  
 CHASE O PROPOSED CHASE BANK  
 PARCEL NO. 67-2-42-4  
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
 CHESTER COUNTY, PENNSYLVANIA

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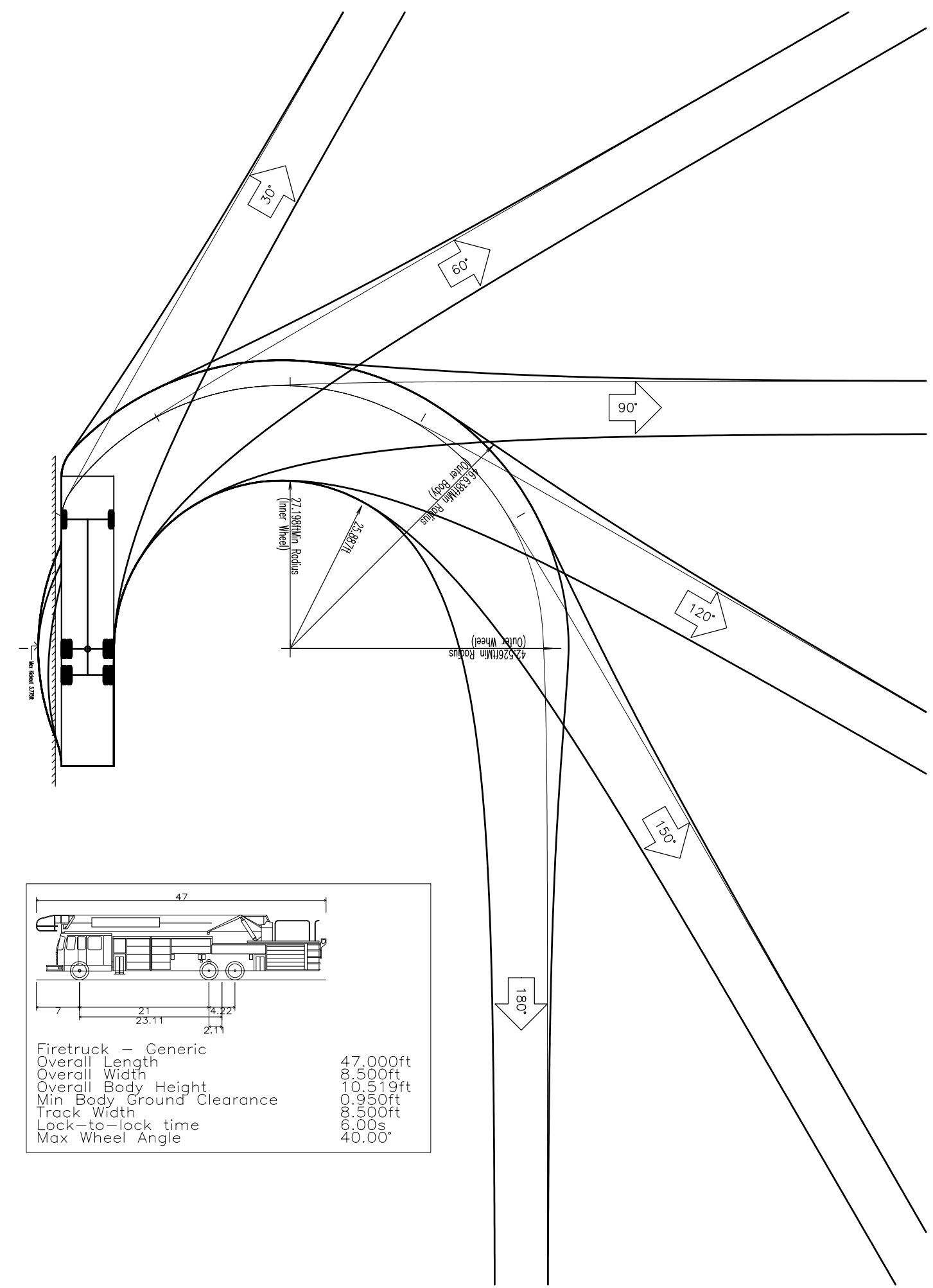
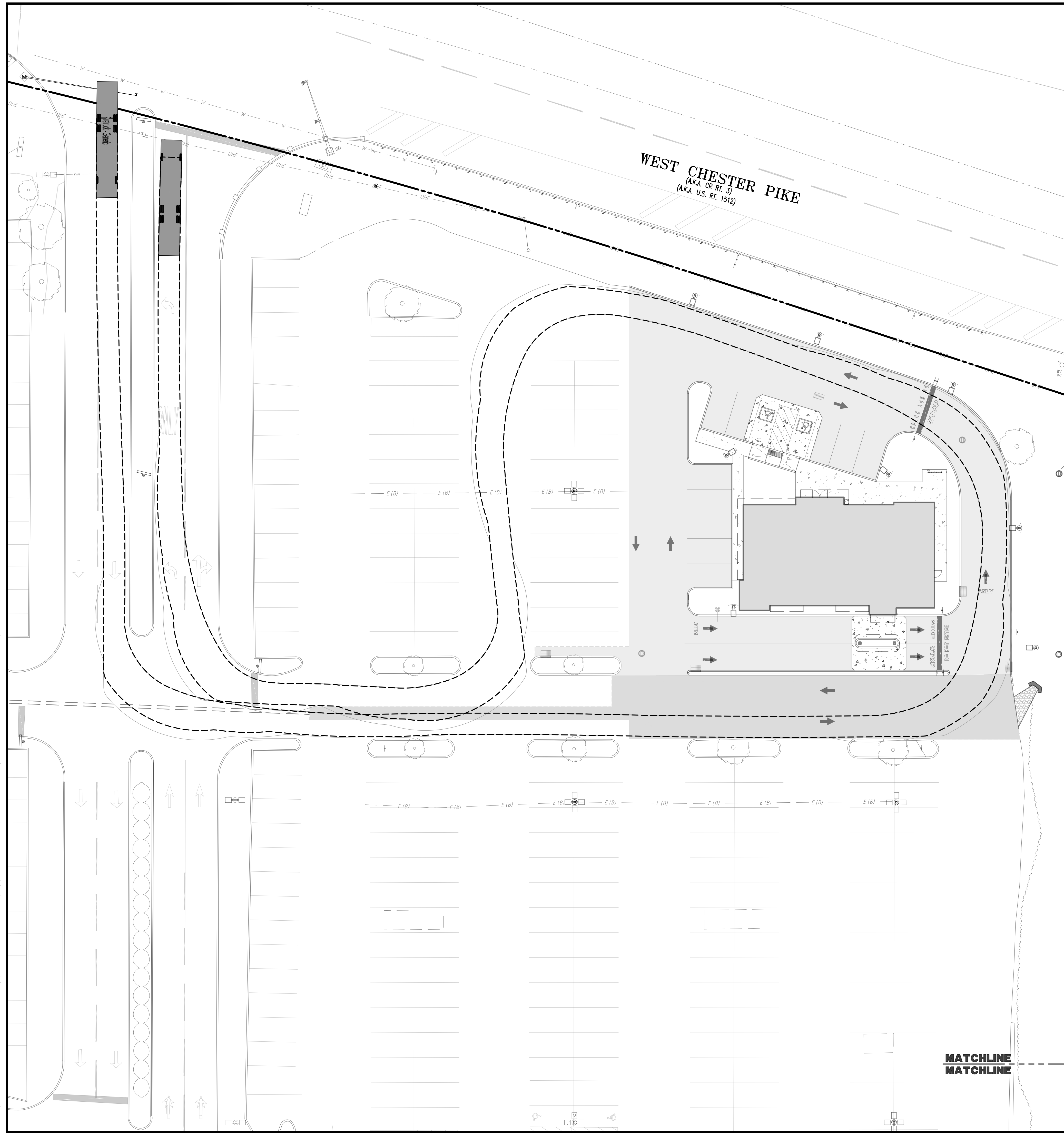
**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52989

TITLE: VEHICLE CIRCULATION PLAN (FIRE TRUCK)

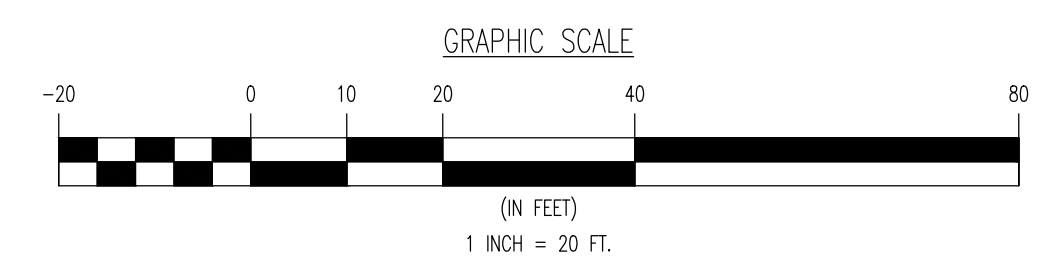
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 PROJECT No: 1478-99-191

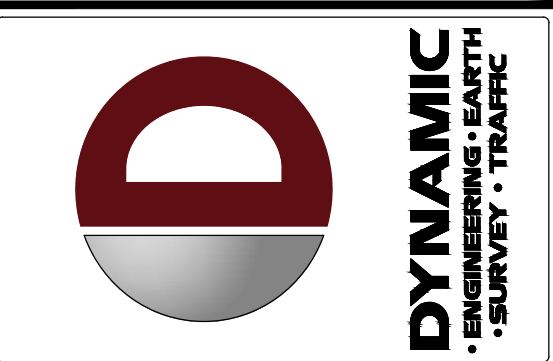
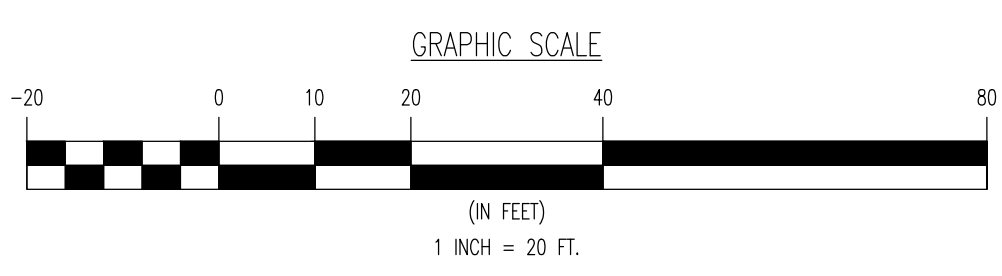
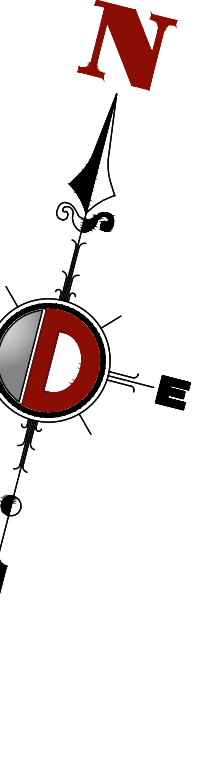
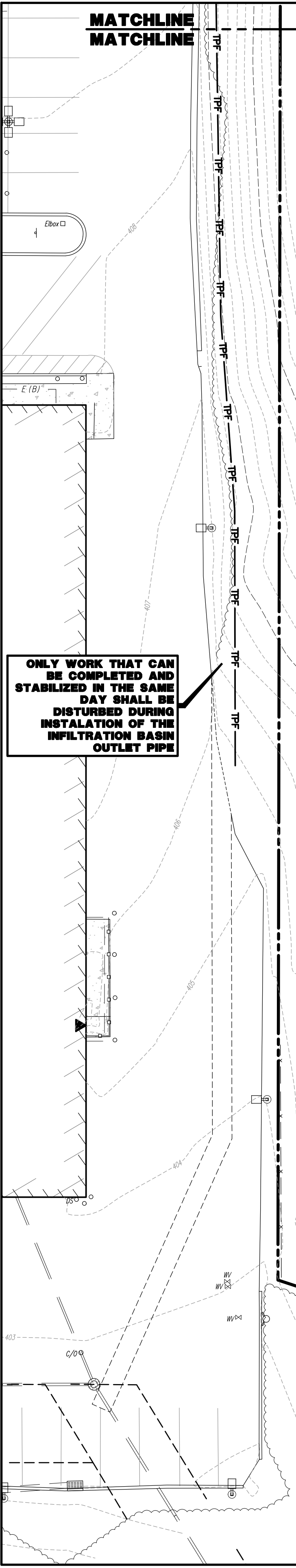
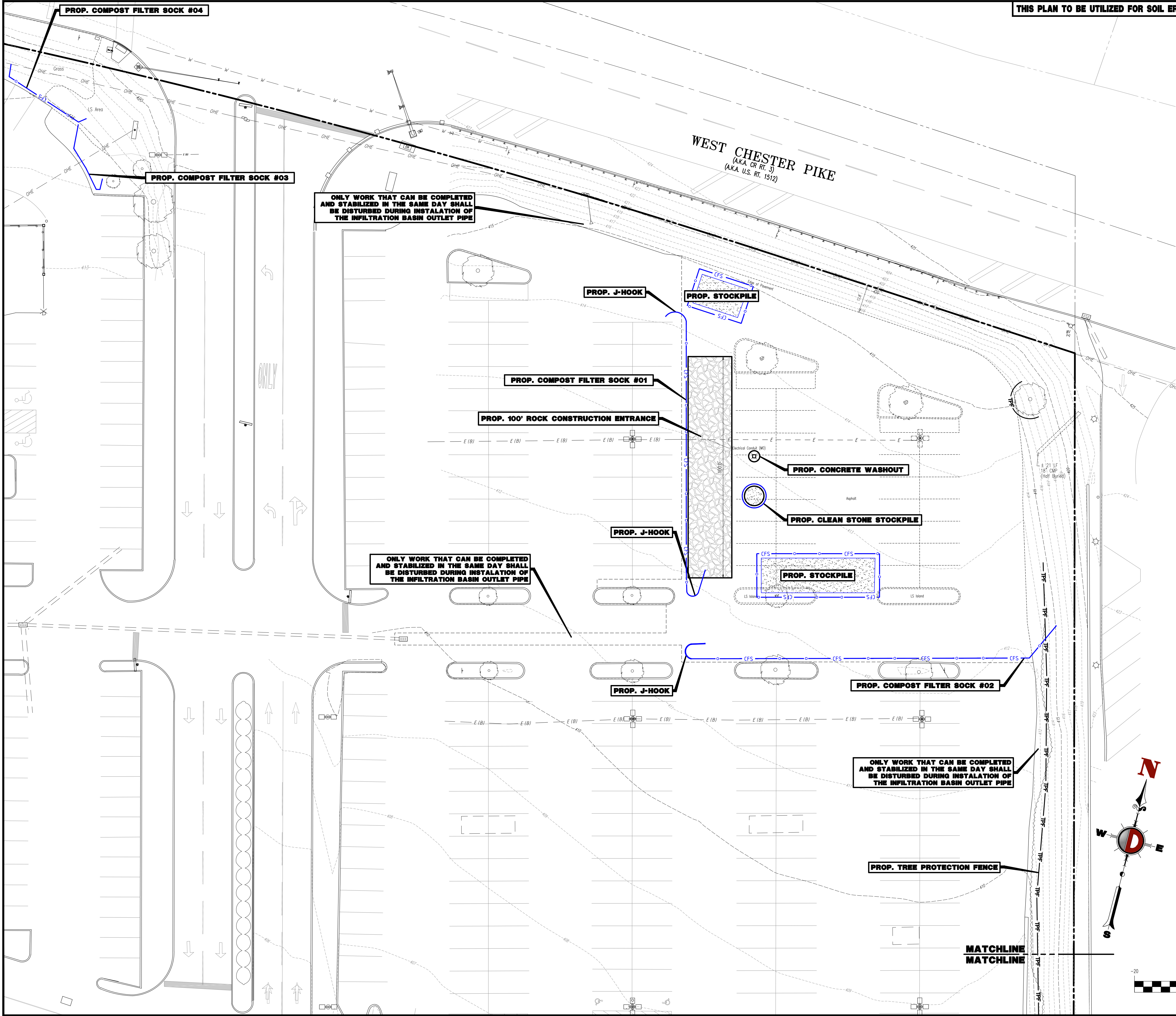
SHEET No: 21 OF 25 Rev. #: 1

Plotted: 09/30/24 - 4:04 PM, By: mdolaney  
 File: P:\CEFC PROJECTS\1478 Paramount Realty\99-191 West Chester PA\DWG\4 Land Dev Plans\147899191S1.dwg, ----> 21 VEHICLE CIRCULATION PLAN (FIRE TRUCK)



Firetruck - Generic	47.000ft
Overall Length	8.500ft
Overall Width	10.519ft
Min Body Ground Clearance	0.950ft
Track Width	8.500ft
Lock-to-lock time	6.00s
Max Wheel Angle	40.00°





REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

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DESIGNED BY: [ ]  
CHECKED BY: [ ]  
DRAWN BY: [ ]  
SCALE: [ ]

PROJECT: **WESTTOWN AM WEST TIC LLC**  
**PROPOSED CHASE BANK**  
PARCEL NO. 67-2-42-4  
1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
CHESTER COUNTY, PENNSYLVANIA

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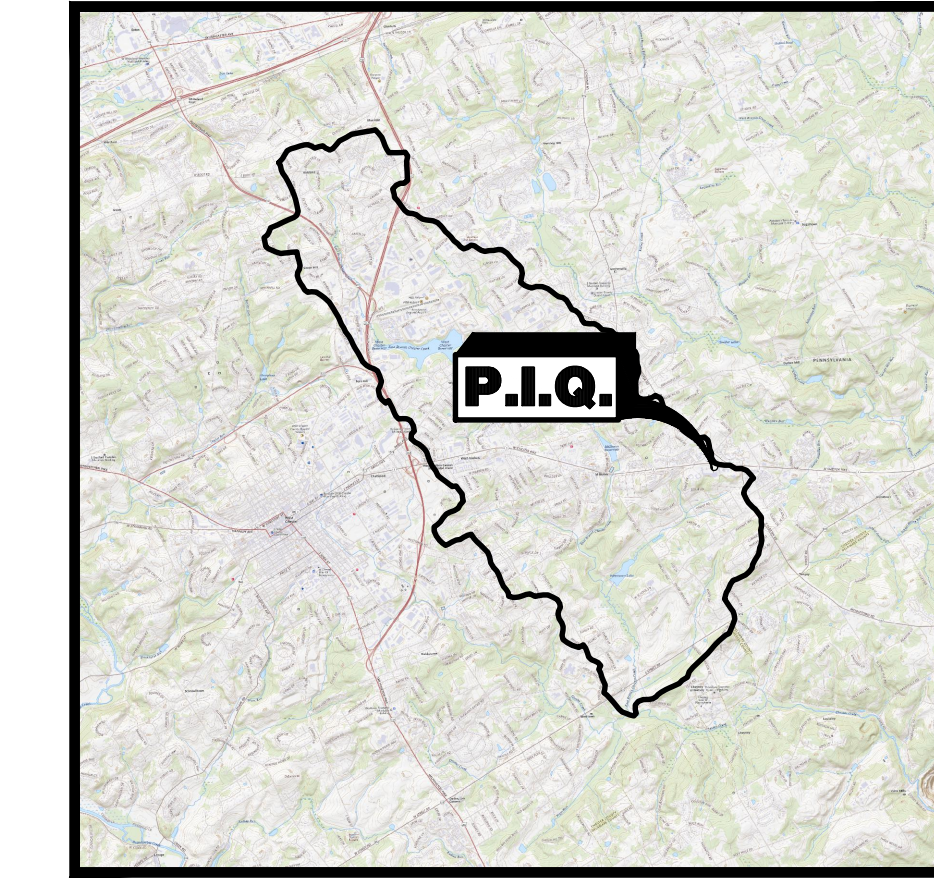
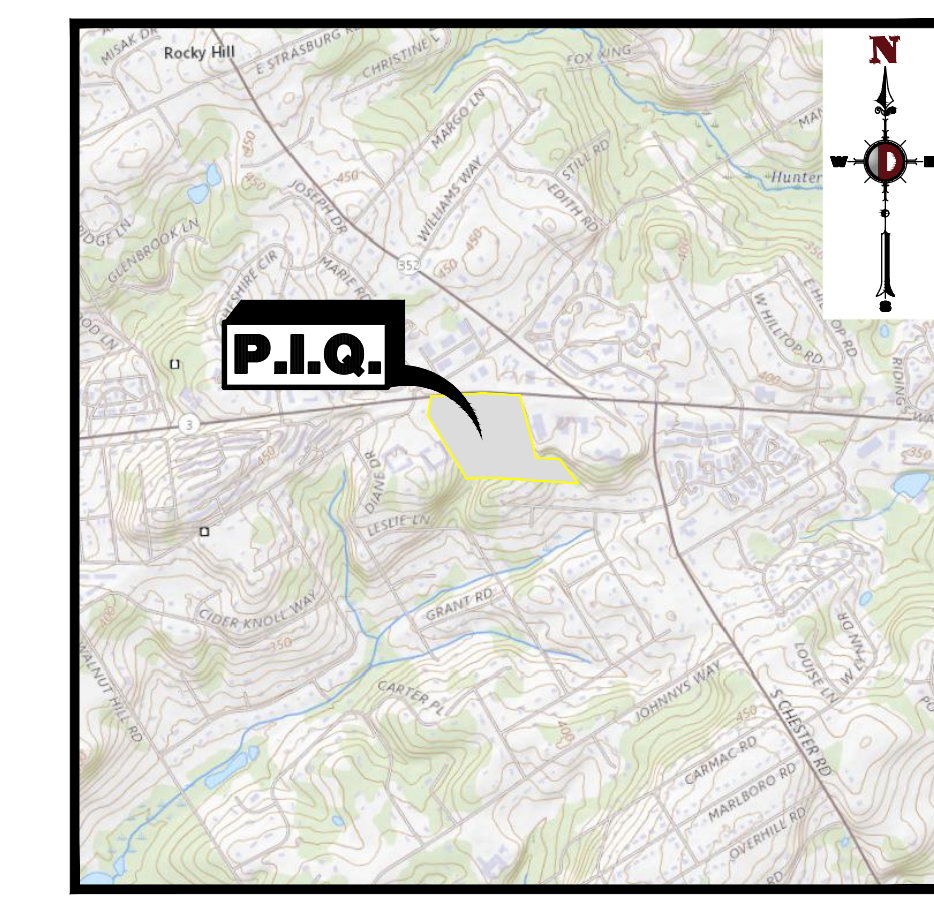
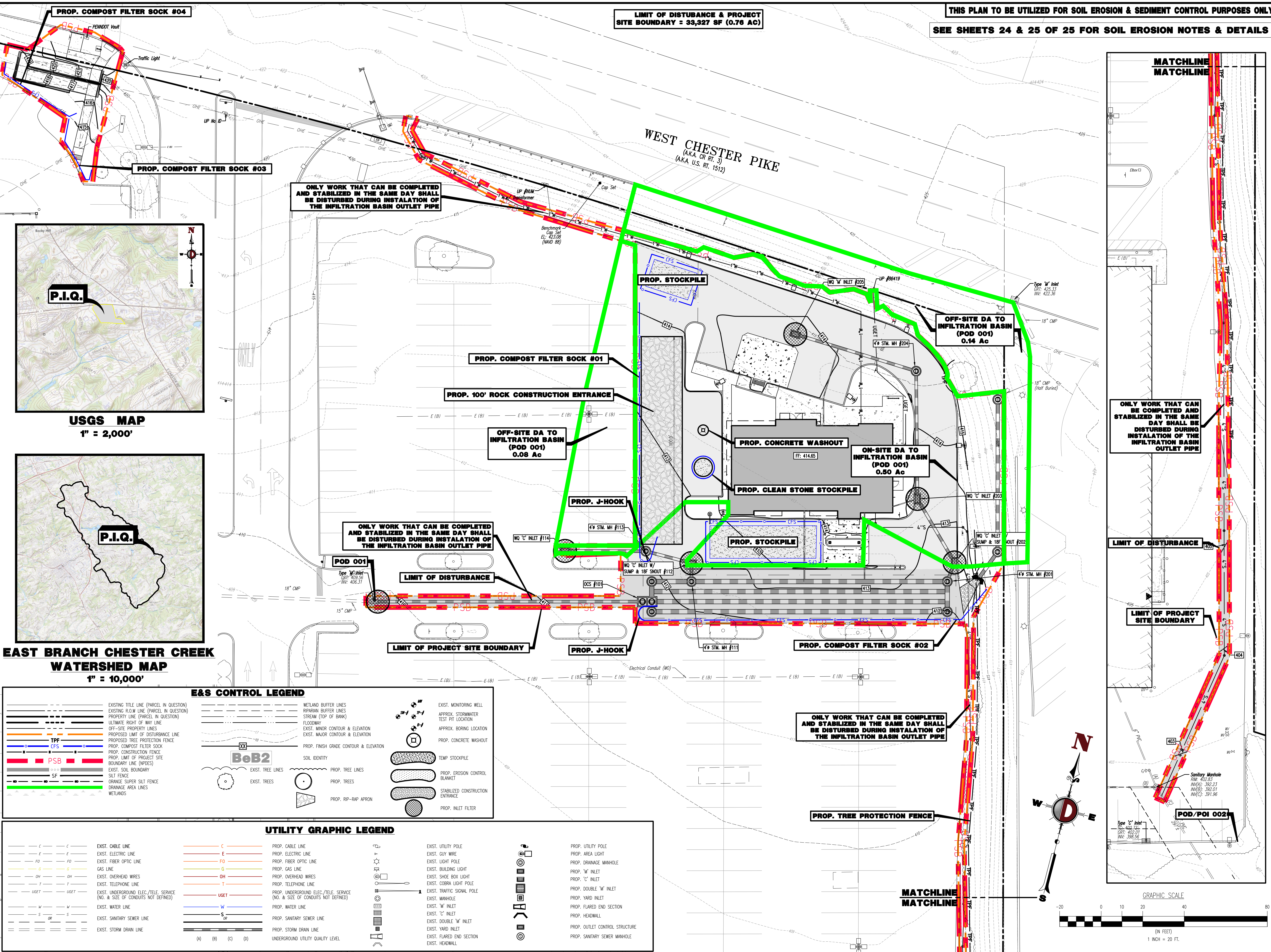
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PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 1060629

**MATTHEW SHARO**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52989

TITLE: **CONSERVATION PLAN**

SCALE: (H) 1" = 20'  
(V) DATE: 07/12/2024  
PROJECT No: 1478-99-191

SHEET No: **22** OF 25  
Rev. #: 1



**E&S CONTROL LEGEND**

EXISTING TITLE LINE (PARCEL IN QUESTION)	METLAND BUFFER LINES	EXIST. MONITORING WELL
EXISTING ROW LINE (PARCEL IN QUESTION)	RIPARIAN BUFFER LINES	APPROX. STORMWATER TEST PIT LOCATION
PROPERTY LINE (PARCEL IN QUESTION)	FLOWWAY	APPROX. BORING LOCATION
ULTIMATE RIGHT OF WAY LINE	EXIST. MINOR CONTOUR & ELEVATION	PROP. CONCRETE WASHOUT
OFF-SITE PROPERTY LINES	EXIST. MAJOR CONTOUR & ELEVATION	TEMP. STOCKPILE
PROPOSED LIMIT OF DISTURBANCE LINE	PROP. FINISH GRADE CONTOUR & ELEVATION	PROP. EROSION CONTROL BLANKET
PROPOSED TREE PROTECTION FENCE	SOIL IDENTITY	STABILIZED CONSTRUCTION ENTRANCE
PROP. COMPOST FILTER SOCK	PROP. TREE LINES	PROP. INLET FILTER
PROP. CONSTRUCTION FENCE	EXIST. TREES	
PROP. LIMIT OF PROJECT SITE BOUNDARY LINE (NPODES)	PROP. RIP-RAP APRON	
EXIST. SOIL BOUNDARY		
SILT FENCE		
ORANGE SUPER SILT FENCE		
DRAINAGE AREA LINES		
METLANDS		

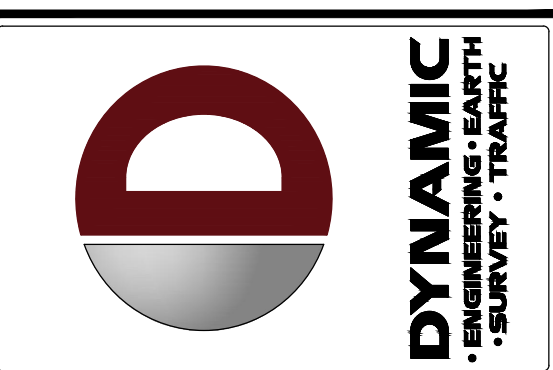
**UTILITY GRAPHIC LEGEND**

EXIST. CABLE LINE	PROP. CABLE LINE	EXIST. UTILITY POLE	PROP. UTILITY POLE
EXIST. ELECTRIC LINE	PROP. ELECTRIC LINE	EXIST. GUY WIRE	PROP. AREA LIGHT
EXIST. FIBER OPTIC LINE	PROP. FIBER OPTIC LINE	EXIST. BUILDING LIGHT	PROP. DRAINAGE MANHOLE
GAS LINE	PROP. GAS LINE	EXIST. SHOE BOX LIGHT	PROP. 'M' INLET
EXIST. OVERHEAD WIRES	PROP. OVERHEAD WIRES	EXIST. COBRA LIGHT POLE	PROP. 'C' INLET
EXIST. TELEPHONE LINE	PROP. TELEPHONE LINE	EXIST. TRAFFIC SIGNAL POLE	PROP. DOUBLE 'M' INLET
EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	EXIST. MANHOLE	PROP. YARD INLET
EXIST. WATER LINE	PROP. WATER LINE	EXIST. 'M' INLET	PROP. FLARED END SECTION
EXIST. SANITARY SEWER LINE	PROP. SANITARY SEWER LINE	EXIST. 'C' INLET	PROP. HEADWALL
EXIST. STORM DRAIN LINE	PROP. STORM DRAIN LINE	EXIST. DOUBLE 'M' INLET	PROP. OUTLET CONTROL STRUCTURE
	UNDERGROUND UTILITY QUALITY LEVEL	EXIST. YARD INLET	PROP. SANITARY SEWER MANHOLE
		EXIST. FLARED END SECTION	
		EXIST. HEADWALL	

Plotted: 09/30/24 - 4:05 PM, By: mdolaney  
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**LIMIT OF DISTURBANCE & PROJECT SITE BOUNDARY = 33,327 SF (0.76 AC)**

**THIS PLAN TO BE UTILIZED FOR SOIL EROSION & SEDIMENT CONTROL PURPOSES ONLY**  
**SEE SHEETS 24 & 25 OF 25 FOR SOIL EROSION NOTES & DETAILS**



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS

**EROSION & SEDIMENT CONTROL PLANS**

DESIGNED BY: MS  
 CHECKED BY: MS  
 DRAWN BY: ARK

**PROJECT: WESTTOWN AM WEST TIC LLC**  
**PROPOSED CHASE BANK**  
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**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52989

TITLE: **E&S PLAN**

SCALE: (H) 1" = 20'  
 (V) 1" = 20'

DATE: 07/12/2024

PROJECT No: 1478-99-191

SHEET No: **23** OF 25

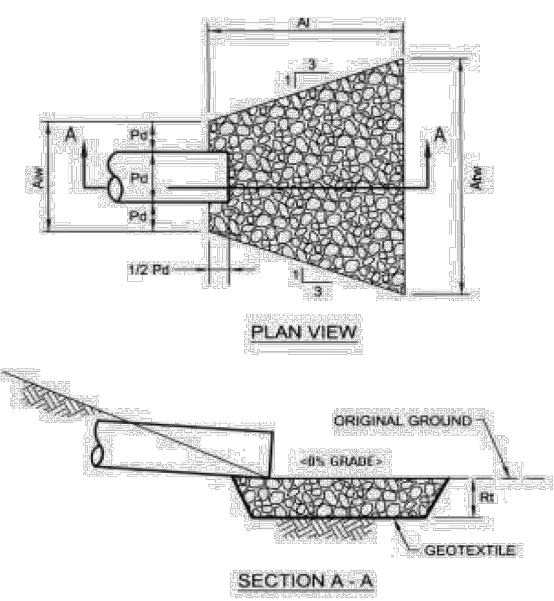




**EROSION AND SEDIMENTATION CONTROL PLAN**

**STANDARD WORKSHEET #20  
Riprap Apron Outlet Protection**

PROJECT NAME: Proposed Chase Bank  
 LOCATION: Westtown Township, PA  
 PREPARED BY: MSW DATE: 9/27/2024  
 CHECKED BY: SRM DATE: 9/27/2024



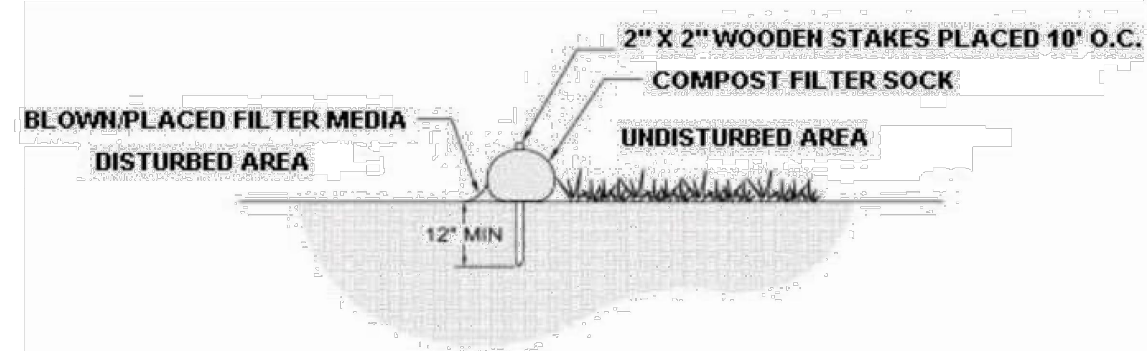
NO	PIPE DIA. Do (in.)	TAIL WATER COND. (Ma x or Min)	MAN. "n" FOR PIPE	PIPE SLOPE (F/T)	Q (CFS)	V* (FPS)	RIPRAP SIZE	Rt (in)	Al (ft)	Aw (ft)	Atw (ft)
HW #501	18		0.012	0.01	4.06	2.34	R-3	9	8	1.5	12.5

\* The anticipated velocity (V) should not exceed the maximum permissible shown in Table 6.6 for the proposed riprap protection. Adjust for less than full pipe flow. Use Manning's equation to calculate velocity for pipe slopes ≥ 0.05 ft/ft.

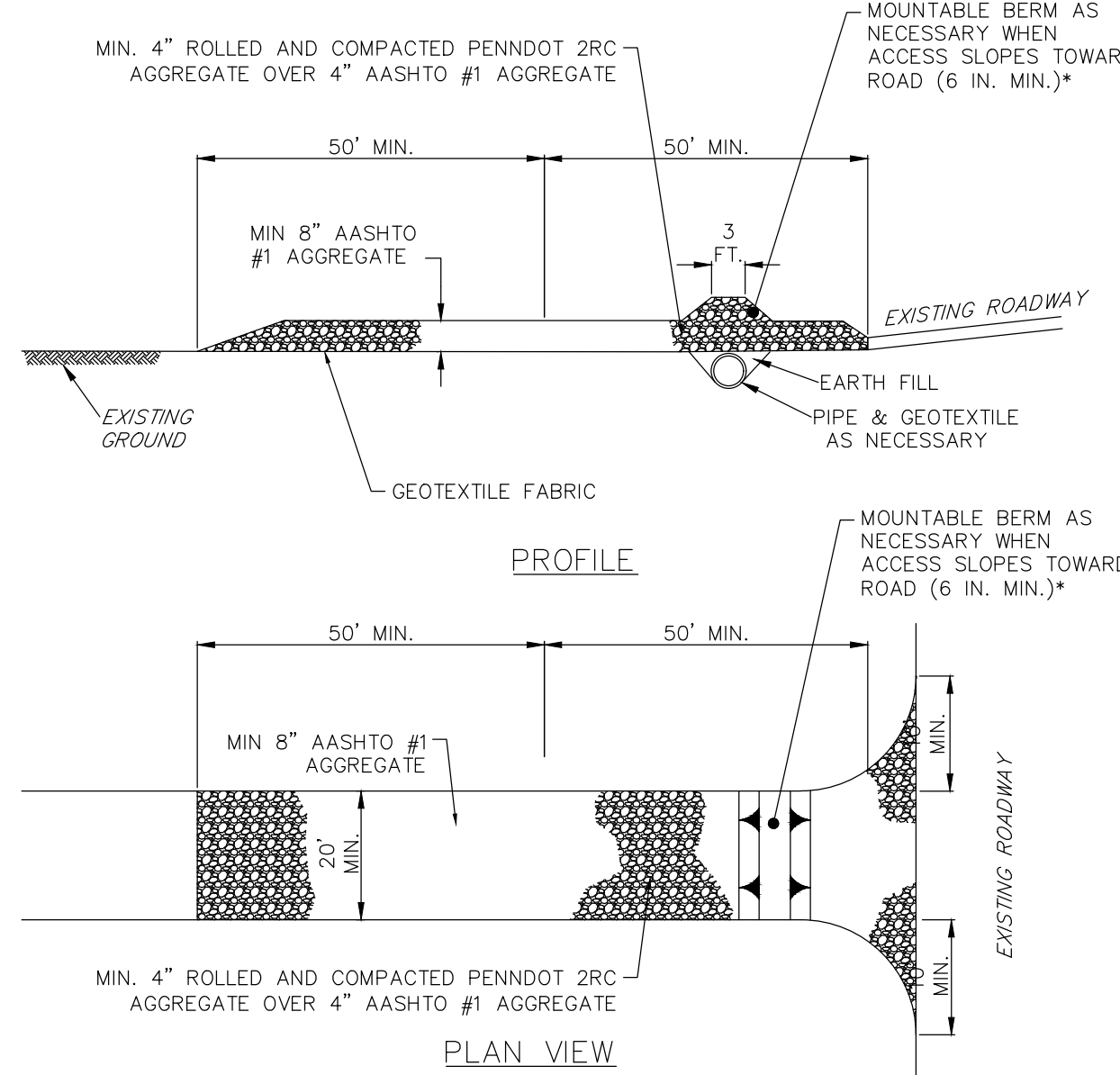
**EROSION AND SEDIMENTATION CONTROL PLAN**

**STANDARD WORKSHEET #1  
Compost Filter Socks**

PROJECT NAME: Proposed Chase Bank  
 LOCATION: Westtown Township, PA  
 PREPARED BY: KDS DATE: 9/27/2024  
 CHECKED BY: SRM DATE: 9/27/2024



SOCK NO.	DIA. IN.	LOCATION	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER (FT)
1	12"	Southwest Drive Aisle	3%	44
2	12"	Southeast Drive Aisle	4%	49
3	18"	Bus Stop Access	19%	38
4	18"	Bus Stop Access	15%	47



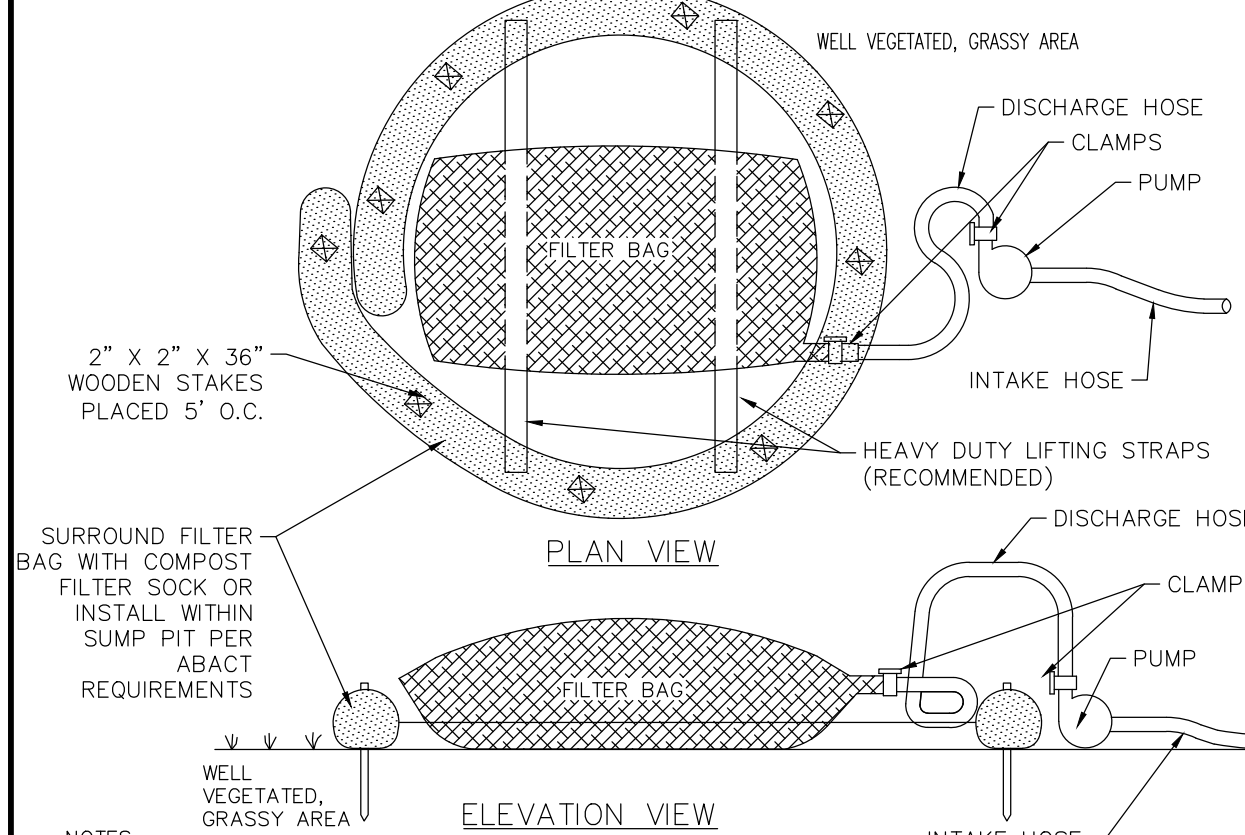
\* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

**NOTES:**

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.  
 RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.  
 MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.  
 MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-1  
ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE



**NOTES:**

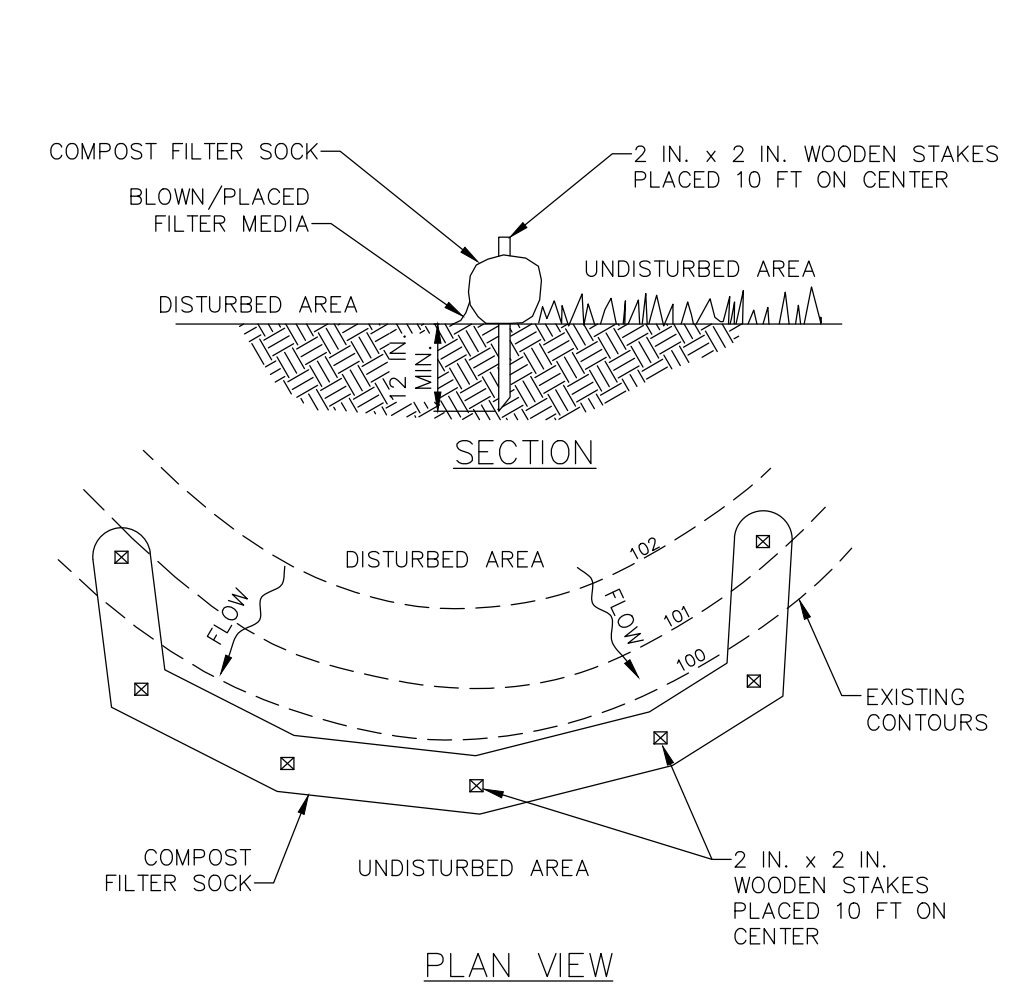
LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "Y" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4832	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.  
 BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.  
 NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.  
 THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.  
 THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.  
 FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #3-16  
PUMPED WATER FILTER BAG**

NOT TO SCALE

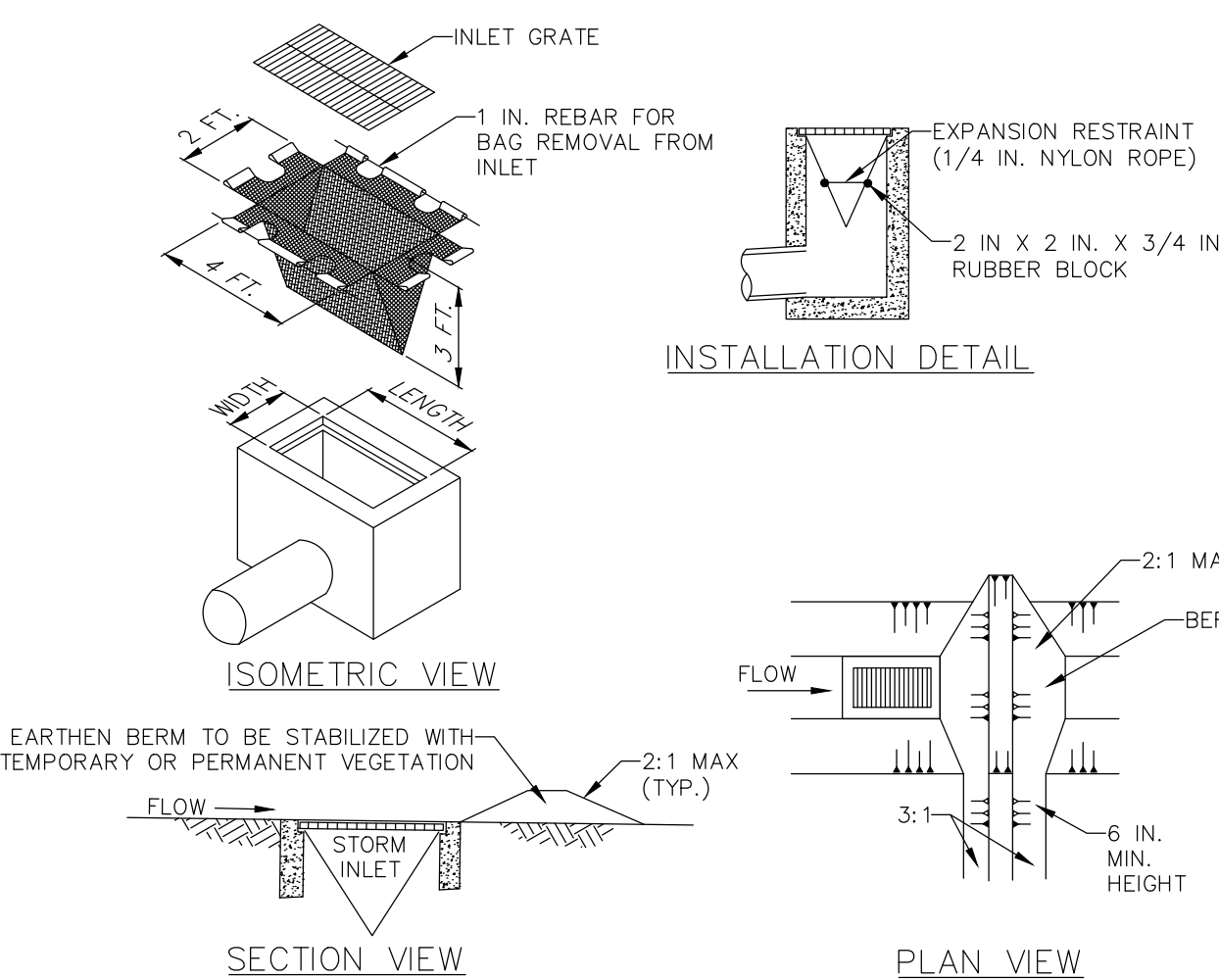


**NOTES:**

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.  
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP-SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.  
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.  
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.  
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.  
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK**

NOT TO SCALE



**NOTES:**

MAXIMUM DRAINAGE AREA = 1/2 ACRE.  
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.  
 ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.  
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.  
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.  
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-16  
FILTER BAG INLET PROTECTION - TYPE M INLET**

NOT TO SCALE

**TABLE 4.1  
Compost Sock Fabric Minimum Specifications**

Material Type	3 mil HDPE				5 mil HDPE		5 mil HDPE		Heavy Duty Polypropylene (MFPF)		Heavy Duty Multi-Filament Polypropylene (HDMFPF)	
	Photo-degradable	Photo-degradable	Photo-degradable	Photo-degradable	Photo-degradable	Photo-degradable	Photo-degradable	Photo-degradable	Photo-degradable	Photo-degradable	Photo-degradable	Photo-degradable
<b>Material Characteristics</b>	12"	18"	24"	24"	12"	12"	12"	12"	12"	12"	12"	12"
<b>Sock Diameters</b>	12"	18"	24"	24"	12"	12"	12"	12"	12"	12"	12"	12"
<b>Mesh Opening</b>	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"
<b>Tensile Strength</b>	26 psi	26 psi	26 psi	26 psi	44 psi	44 psi	44 psi	202 psi	202 psi	202 psi	202 psi	202 psi
<b>Ultraviolet Stability % Original 1000 hr.</b>	23% at 1000 hr.	23% at 1000 hr.	23% at 1000 hr.	23% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.
<b>Minimum Functional Longevity</b>	6 months	9 months	6 months	6 months	1 year	1 year	1 year	2 years	2 years	2 years	2 years	2 years

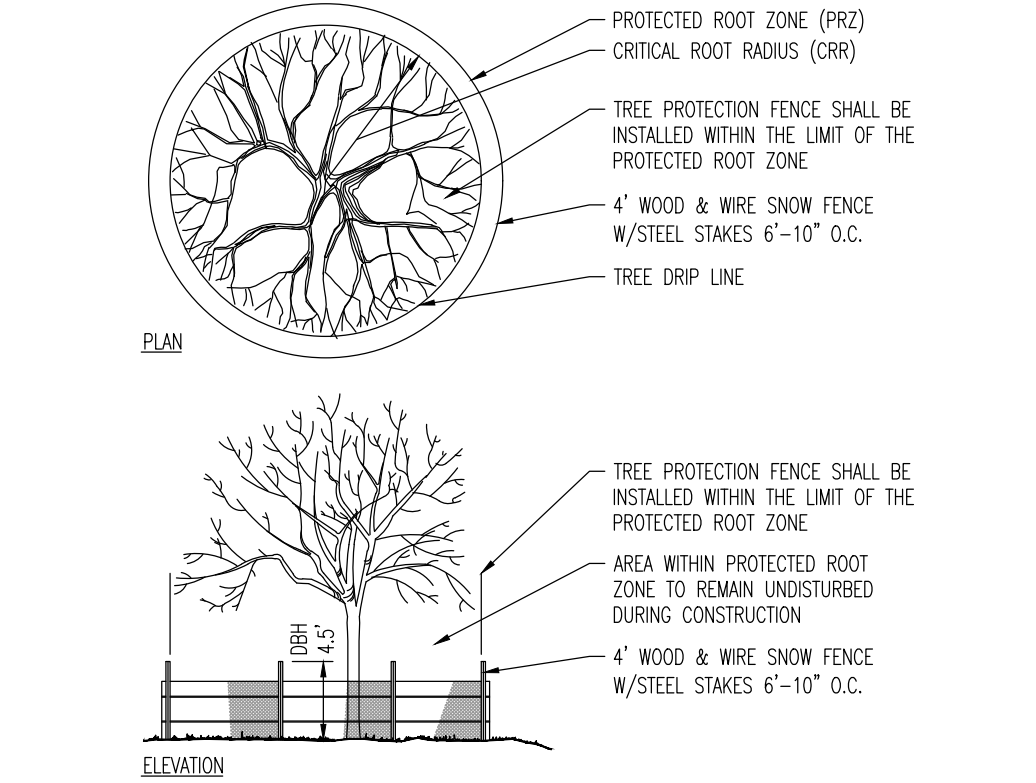
**Two-ply systems**

System	HDPE biaxial net	Continuously wound Fusion-welded junctures	3/4" x 3/4" Max. aperture size Composite Polypropylene Fabric (Woven layer and non-woven fleec mechanically fused via needle punch)	3/16" Max. aperture size
Inner Containment Netting				
Outer Filtration Mesh				

Sock fabrics composed of burlap may be used on projects lasting 6 months or less.  
 Filmetex & JMD

**COMPOST SOCK SPECIFICATIONS**

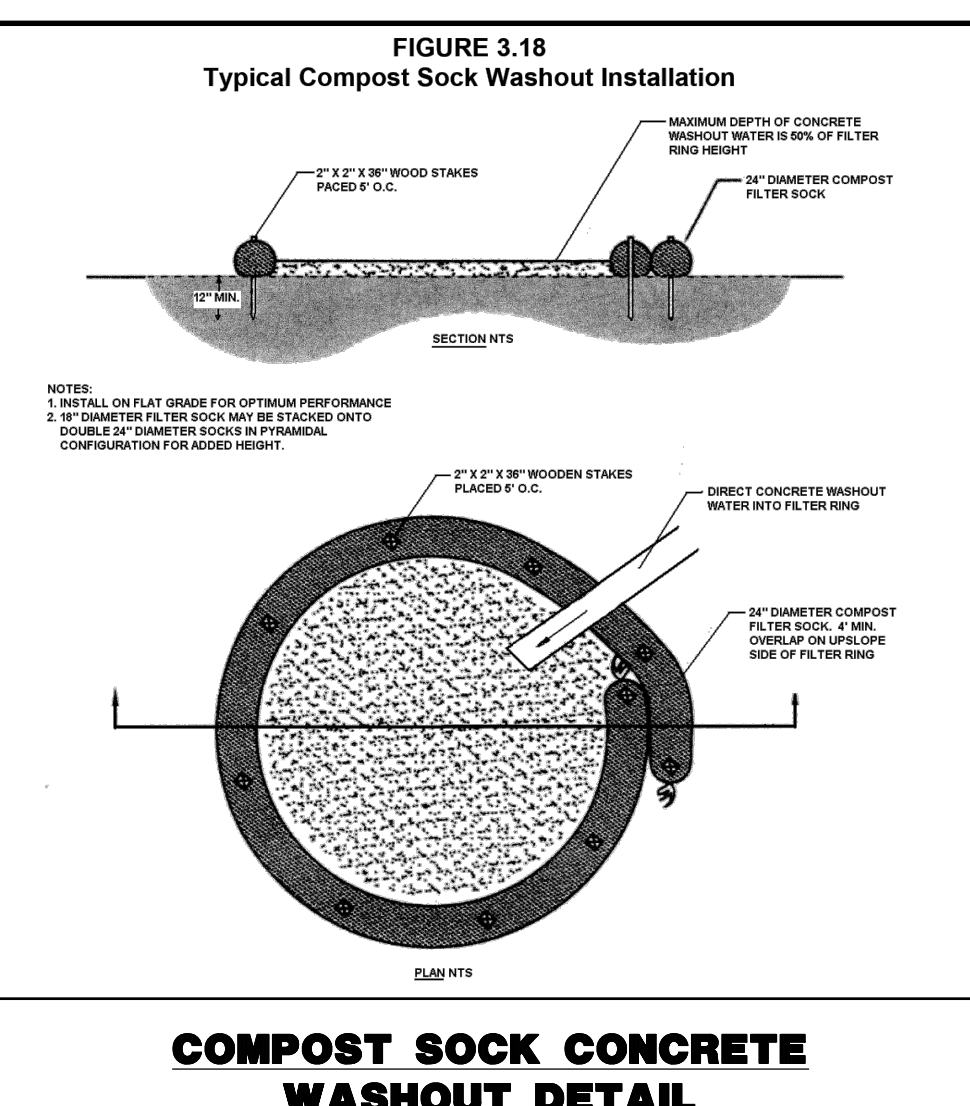
NOT TO SCALE



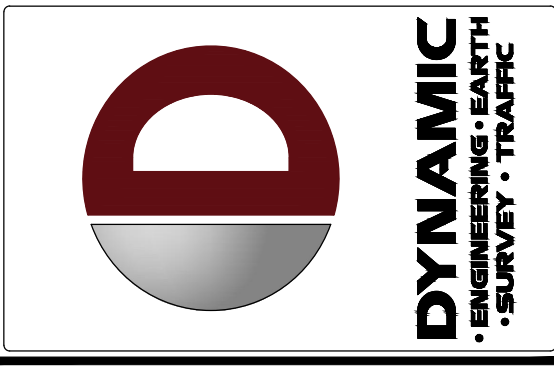
ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).  
 1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5' ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.  
 2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.  
 DBH x 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.  
 DBH x 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.

**TREE PROTECTION DURING SITE CONSTRUCTION DETAIL**

NOT TO SCALE



**COMPOST SOCK CONCRETE WASHOUT DETAIL**



NO.	DATE	REVISION	BY
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AM

**EROSION & SEDIMENT CONTROL PLANS**

PROJECT: WESTTOWN AM WEST TIC LLC  
 PROPOSED CHASE BANK  
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)  
 CHESTER COUNTY, PENNSYLVANIA

**811** PROTECT YOURSELF  
 ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DIGGING THE EARTH'S SURFACE ANYWHERE IN ANY STATE.  
 FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

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**MATTHEW SHARO**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 52989

TITLE: **E&S DETAILS**

SCALE: (H) NOT TO SCALE (V) SCALE DATE: 07/12/2024

PROJECT No: 1478-99-191

SHEET No: **25** OF 25