

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

FOR WESTTOWN AM WEST TIC, LLC PROPOSED CHASE BANK

PARCEL NO. 67-2-42.4

1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)
TOWNSHIP OF WESTTOWN
CHESTER COUNTY, PENNSYLVANIA

PROFESSIONAL SURVEYOR'S CERTIFICATION

I, JACK W. SHOEMAKER, P.L.S., a registered professional surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the metes and bounds, as shown, and the lots, land, streets, highways, easements and utilities as surveyed and plotted by me for the owners or agents. Additionally, the survey does not have an error of closure greater than one part in 10,000 (1:10,000).

_____, P.L.S. (REGISTERED PROFESSIONAL SURVEYOR) SU-051643-E (REGISTRATION NUMBER)

STATEMENT OF APPLICANT'S CERTIFICATION

I, _____, APPLICANT OF THE SAID PROPERTY, CERTIFIES TO THE BEST OF MY KNOWLEDGE, THE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS AND, IF THEY ARE NOT SO CONFORMING, DETAILING THE AREAS OF NONCONFORMANCE AND THE REASON FOR REQUESTING A MODIFICATION TO THE TOWNSHIP STANDARDS.

_____, (DATE)

PROPERTY OWNER CERTIFICATION

COMMONWEALTH OF PENNSYLVANIA
ON THE ____ DAY OF _____, 20____, BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____ PERSONALLY APPEARED PARCEL OWNER, AND THAT IN SUCH CAPACITY BEING AUTHORIZED TO DO SO, THEY EXECUTED THE FOREGOING PLAN AS THE REGISTERED OWNERS OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVALS OF THE PLAN HAVE BEEN OBTAINED AND IS ENDORSED THEREON, AND THAT THEY DESIRE THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.

PARCEL OWNER, OWNER PARCEL OWNER, OWNER

WITNESS MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 20____.

(NOTARY PUBLIC)
MY COMMISSION EXPIRES THE ____ DAY OF _____.

APPROVAL OF THE WESTTOWN TOWNSHIP PLANNING COMMISSION

WTPC No. _____
PROCESSED AND REVIEWED, REPORT PREPARED BY THE WESTTOWN TOWNSHIP PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE, CERTIFIED THIS DATE _____.

_____, CHAIRMAN, WESTTOWN TOWNSHIP PLANNING COMMISSION

_____, EXECUTIVE DIRECTOR, WESTTOWN TOWNSHIP PLANNING COMMISSION

APPROVAL OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WESTTOWN

THIS PLAN WAS APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WESTTOWN THIS ____ DAY OF _____, 20____.

_____, (DATE)
_____, (DATE)
_____, (DATE)

WESTTOWN TOWNSHIP ENGINEER

THIS LAND DEVELOPMENT PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER, _____, P.E., FOR WESTTOWN TOWNSHIP ON THIS ____ DAY OF _____, 20____.

_____, (TOWNSHIP ENGINEER) _____, (REGISTRATION NUMBER)

CERTIFICATION FOR RECORDING

RECORDED IN THE OFFICE OF RECORDER OF DEEDS, CHESTER COUNTY, PENNSYLVANIA IN PLAN BOOK ____ PAGE ____ ON THE ____ DAY OF _____, 20____.

_____, (RECORDER OF DEEDS) _____, (DATE)

APPROVAL OF THE CHESTER COUNTY PLANNING COMMISSION

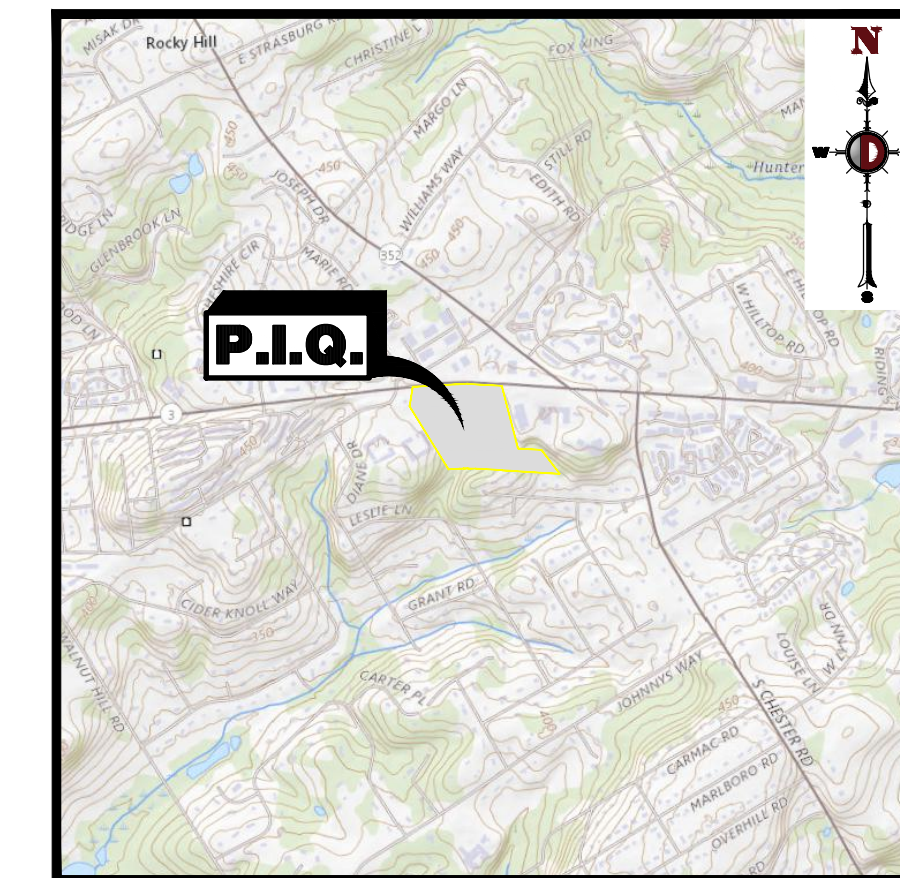
CCPC No. LD-07-24-18174
PROCESSED AND REVIEWED, REPORT PREPARED BY THE CHESTER COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE, CERTIFIED THIS DATE _____.

_____, CHAIRMAN, CHESTER COUNTY PLANNING COMMISSION

_____, EXECUTIVE DIRECTOR, CHESTER COUNTY PLANNING COMMISSION



AREA MAP
1" = 400'



USGS MAP
1" = 2,000'

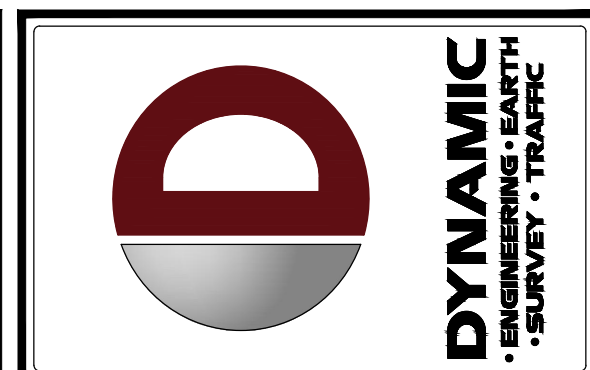
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PUBLIC UTILITY PROVIDERS

UTILITY SERVICE	COMPANY	CONTACT
ELECTRIC	PECO ADDRESS: 1050 W. SWEDENSTOWN ROAD, BERWYN, PA 19312	ATTN: JONATHAN ROBERTS EMAIL: JONATHAN.ROBERTS@PECO.COM PHONE: 860-389-2620
SANITARY SEWER	WESTTOWN TOWNSHIP ADDRESS: 1030 WILMINGTON PIKE, WEST CHESTER, PA 19382	ATTN: MARK GROSS EMAIL: MGROSS@WESTTOWN.COM PHONE: 610-692-9030
WATER	AQUA ADDRESS: 762 W LANCASTER AVE, BRYN MAWR, PA 19010	ATTN: DEANNA COTTI EMAIL: DCOTTI@AQUAAMERICA.COM PHONE: 610-541-4160

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
826 NEWTOWN YARDLEY ROAD - SUITE 201
NEWTOWN, PA 18940
WWW.DYNAMICCEC.COM



NO.	DATE	REV.	REV. PER	TOWNSHIP COMMENTS	DATE	REV.	REV. PER	TOWNSHIP COMMENTS
1	09/30/24	1	REV. PER	TOWNSHIP COMMENTS				
2	11/04/24	2	REV. PER	TOWNSHIP & CCDC COMMENTS				

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: WESTTOWN AM WEST TIC LLC
PROPOSED CHASE BANK
1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)
CHESTER COUNTY, PENNSYLVANIA

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FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

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PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. 1060629

MATTHEW SHARO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52989

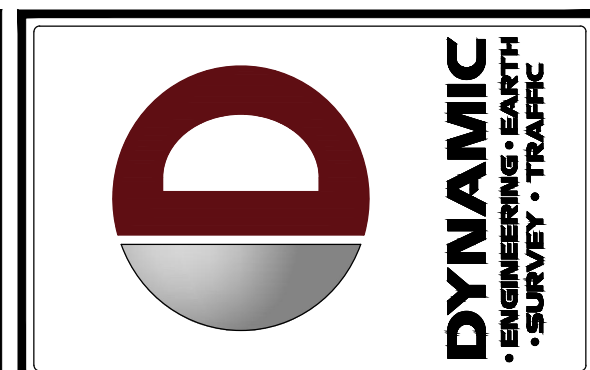
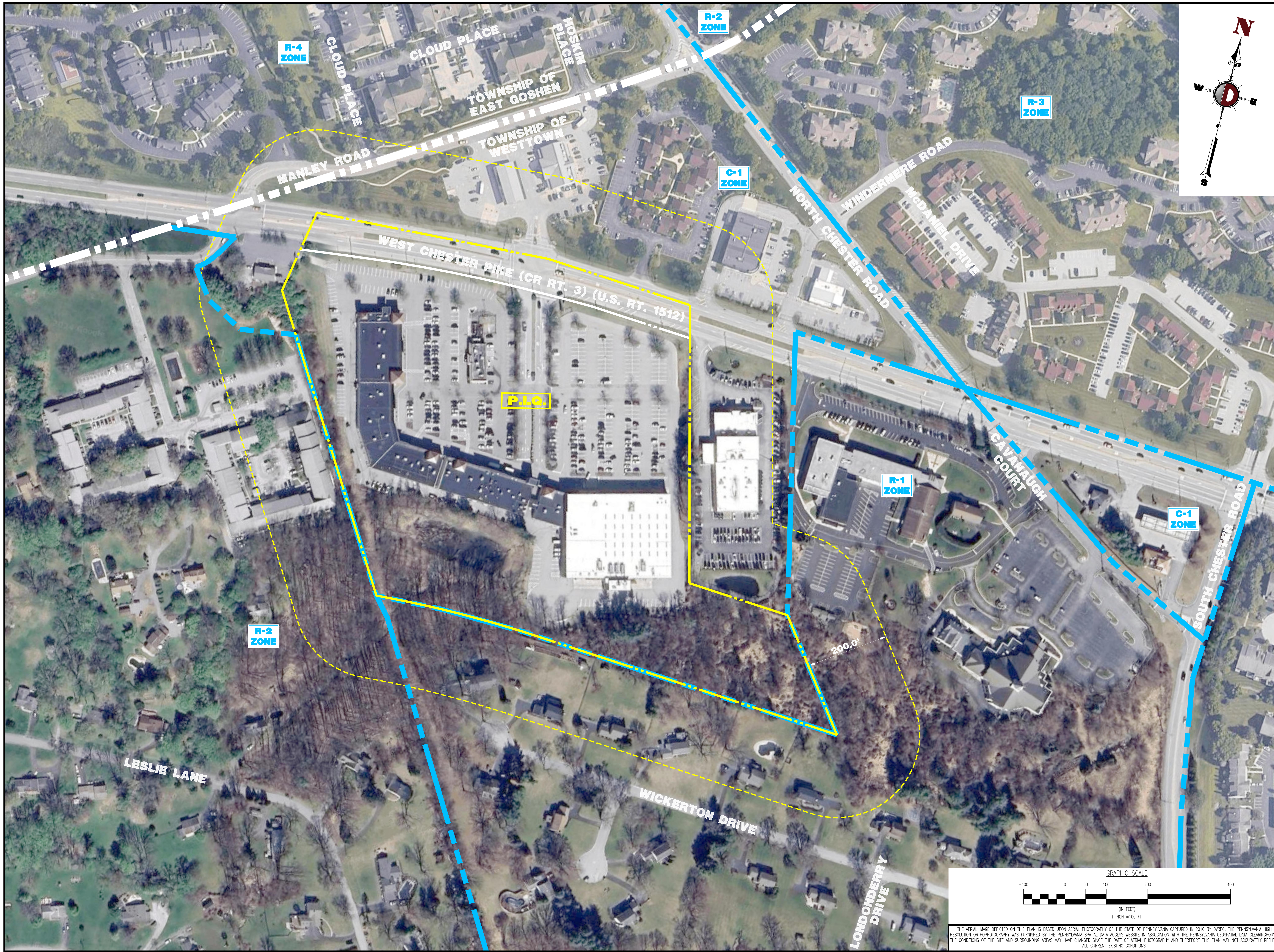
TITLE:
COVER SHEET

SCALE: (H) AS SHOWN DATE: 07/12/2024
PROJECT No: 1478-99-191

SHEET No: **1** OF 25 Rev. #: 2

Plotted: 11/08/24 - 3:03 PM, By: mdolaney
File: P:\CEPC PROJECTS\1478 Paramount Realty\4 Land Dev Plans\147899191SK2.dwg, ---> 01 COVER SHEET

Plotted: 11/08/24 - 3:03 PM, By: mdelaney
 File: P:\CEPC PROJECTS\1478 Paramount Realty\99-191 West Chester PA\DWG\4 Land Dev Plans\147899191S2.dwg, ----> 02 AERIAL MAP



REV.	DATE	COMMENTS	BY
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AM
2	11/04/24	REV. PER TOWNSHIP & CCD COMMENTS	AM

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: WESTTOWN AM WEST TIC LLC
 CHASEO PROPOSED CHASE BANK
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PKE)
 CHESTER COUNTY, PENNSYLVANIA

811 PROTECT YOURSELF
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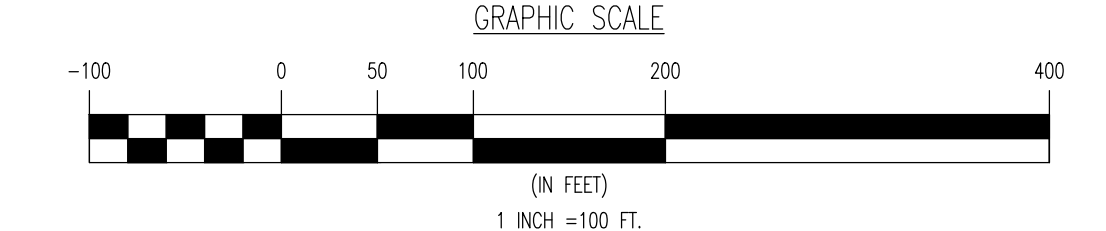
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MATTHEW SHARO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 52989

TITLE:
AERIAL MAP

SCALE: (H) 1" = 100'
 (V) DATE: 07/12/2024
 PROJECT No: 1478-99-191
 SHEET No: **2** OF 25
 Rev. #:



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED UPON AERIAL PHOTOGRAPHY OF THE STATE OF PENNSYLVANIA CAPTURED IN 2010 BY DWPC. THE PENNSYLVANIA HIGH RESOLUTION ORTHOPHOTOGRAPHY WAS FURNISHED BY THE PENNSYLVANIA SPATIAL DATA ACCESS WEBSITE IN ASSOCIATION WITH THE PENNSYLVANIA GEOSPATIAL DATA CLEARINGHOUSE. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

GENERAL NOTES

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:

- PARTIAL TOPOGRAPHIC SURVEY
DYNAMIC SURVEY, LLC
826 NEWTOWN YARDLEY ROAD, SUITE 201
NEWTOWN, PENNSYLVANIA 18940
DATED: 9/26/24
FILE #: 1478-99-191S

- PARTIAL TOPOGRAPHIC SURVEY
DYNAMIC SURVEY, LLC
826 NEWTOWN YARDLEY ROAD, SUITE 201
NEWTOWN, PENNSYLVANIA 18940
DATED: 1/10/23
LAST REVISED: 5/10/24
FILE #: 1478-99-191S

- OWNER/APPLICANT: WESTONN AM WEST TIC LLC
120 N. POINTE BOULEVARD, SUITE 301
LANCASTER, PA 17601
PH: 732-961-8143

- PARCEL DATA: UPK 67-2-42.4
1506 WEST CHESTER PIKE (PA STATE HIGHWAY ROUTE 3)
TOWNSHIP OF WESTTOWN
CHESTER COUNTY, PENNSYLVANIA

- ZONE: C-1 (NEIGHBORHOOD AND HIGHWAY COMMERCIAL)

- EXISTING USE: RETAIL SERVICES (PERMITTED USE) (S170-1101)
BARBER SHOP (PERMITTED USE) (S170-1101)
BANK (PERMITTED USE) (S170-1101)
RESTAURANT (PERMITTED USE) (S170-1101)

- PROPOSED USE: BANK (PERMITTED USE) (S170-1101)

- SCHEDULE OF ZONING REQUIREMENTS (S170-1102)

Table with 3 columns: ZONE REQUIREMENT, EXISTING, PROPOSED. Rows include Minimum Lot Area, Minimum Front Yard Setback, Minimum Rear Yard Setback, etc.

NOTES: (1) MINIMUM LOT WIDTH: 300 FEET AT BUILDING SETBACK LINE... (2) MINIMUM FRONT YARD SETBACK: 50 FEET FOR ANY BUILDING OR PARKING AREA... (3) MINIMUM SIDE YARD: FIFTEEN (15) FEET MINIMUM FOR EACH, EXCEPT FIFTY (50) FEET FROM THE FUTURE RIGHT-OF-WAY LINE...

- 8. GENERAL REGULATIONS
A. ALL BUILDINGS SHALL FRONT UPON A MARGINAL STREET, SERVICE ROAD, COMMON PARKING LOT OR SIMILAR AREA...
B. THE MAXIMUM DENSITY FOR PERMITTED, SPECIAL EXCEPTION, OR CONDITIONAL USES IN THE C-1 DISTRICT SHALL BE THE PRODUCT OF THE TOTAL TRACT AREA AND D.S. (S170-1518.0)(1) (COMPLIES)
C. THE MAXIMUM TOTAL AMOUNT OF SQUARE FEET OF FLOOR AREA PER USE SHALL BE THE PRODUCT OF THE LOT AREA AND 0.40. (S170-1518.0)(2) (COMPLIES)

Table with 2 columns: SHOPPING CENTER, 3.5 SPACES PER 1,000 SF OF GROSS LEASABLE AREA. Rows include Total Required, Total Existing, Total Proposed.

Table with 2 columns: BANK PARKING, ONE (1) PARKING SPACE PER 75 SF OF FLOOR AREA DEVOTED TO CUSTOMER SERVICE... Rows include Chase Bank, Total Required, Total Existing, Total Proposed.

- 10. LOADING REQUIREMENTS
A. REQUIRED LOADING SPACES TO SERVE COMMERCIAL USES AND OTHER FACILITIES WITH SIMILAR NEEDS SHALL BE AT LEAST TWELVE (12) FEET IN WIDTH AND AT LEAST THIRTY-FIVE (35) FEET IN LENGTH...
B. COMMERCIAL OTHER USES WHICH DO NOT EXCEED 6,000 SQUARE FEET OF GROSS LEASABLE AREA AND WHICH INVOLVE REGULAR DELIVERIES AS PART OF THEIR OPERATION, SHALL BE PROVIDED WITH A MINIMUM OF ONE (1) OFF-STREET LOADING SPACE. (S170-1710.0)(2) (NOT APPLICABLE)

- 13. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED...
14. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
15. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE ENGINEER FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

- 16. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TAPES, PIPES, WELDS, ETC.
17. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
18. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE ENGINEER FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
19. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
20. ALL EXCAVATED UNDESIRABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
21. CONTRACTOR IS RESPONSIBLE FOR ALL SPRING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PRECAUTIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, TAPES, PIPES, WELDS, ETC.
22. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE. LOCAL ALL CONTRACTORS MUST HAVE THEIR CO. POLICES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTOR. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED COVERAGE PRIOR TO COMMENCING WORK AND UPON RESUMPTION OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY MANNER CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

GENERAL NOTES (CONT.)

- 23. NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCING, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
24. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS. COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT BE CONSIDERED AN ENDORSEMENT OR GUARANTEE OF THE DESIGN OR THE WORK. THE REVIEW OF THE DESIGN IS A COMPONENT OF DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

- 25. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO BINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
26. THE CONTRACTOR SHALL INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR A PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL SUCH AGREEMENTS.
27. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREIN, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THEREOF AND ALL COMPENSATION OF THIRD PARTY DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND COSTS OF ANY NATURE RESULTING THEREFROM.
28. CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTANDS THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
29. CONTRACTOR TO BE ADVISED THAT THE ENGINEER HAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION, THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMPS AND ACCESSIBLE ROUTE MUST COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.
30. CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO THE START OF CONSTRUCTION AS REQUIRED BY PENNSYLVANIA ACT 172 (FORMER ACT 287). CONTACT PENNSYLVANIA ONE CALL AT (800) 947-1776 PRIOR TO BREAKING GROUND.
31. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH WESTTOWN TOWNSHIP CODES AND SPECIFICATIONS AND PADOT PUBLICATION 408 LATEST REVISION, OR AS LATER AMENDED, UNLESS OTHERWISE NOTED.
32. DRIVEWAY ACCESS TO A STATE HIGHWAY SHALL BE AUTHORIZED ONLY BY THE DEPARTMENT OF TRANSPORTATION AS REQUIRED BY SECTION 410 OF THE ACT OF JUNE 1, 1945 (P.P. 1242 NO. 428) KNOWN AS THE STATE HIGHWAY LAW.
33. ANY WELL FOUND DURING CONSTRUCTION SHALL BE ABANDONED IN ACCORDANCE WITH THE WATER WELL DRILLERS LICENSE ACT AND CURRENT PADEP REQUIREMENTS, SECTION 3.3.5.11 OF THE PADEP PUBLIC WATER SUPPLY AND AWWA STANDARD A100-97 ON WATER WELLS.
34. ANY SEWAGE DISPOSAL SYSTEM FOUND DURING CONSTRUCTION SHALL BE ABANDONED IN ACCORDANCE WITH CURRENT PADEP AND CHESTER COUNTY HEALTH DEPARTMENT REQUIREMENTS.
35. THE TOWNSHIP ENGINEER AND CHESTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED BY THE OWNER OR CONTRACTOR AT LEAST SEVENTY-TWO (72) HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY WORK ON REQUIRED IMPROVEMENTS.
36. THE SITE DOES NOT HAVE ANY METHODS OR WATERCOURSES WITHIN THE PROJECT AREA.
37. THE SANITARY SEWER SYSTEMS SHOWN ON THE PLANS MEET THE STANDARDS AND SPECIFICATIONS ADOPTED BY WESTTOWN TOWNSHIP.
38. EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION SHALL BE PROVIDED WITH THE USE OF COMPOST FILTER SOCK WHICH WILL BE INSTALLED PRIOR TO EARTH DISTURBANCE. CONSTRUCTION OF THE PROJECT IS EXPECTED TO BEGIN IN DECEMBER 2024 AND BE COMPLETED SPRING OF 2025. INSTALLATION OF THE PROPOSED UNDERGROUND INFILTRATION BASIN IS EXPECTED TO TAKE 2 WEEKS. SEE EROSION AND SEDIMENT CONTROL PLANS, SHEETS 25-25 OF THIS PLAN SET FOR MORE DETAIL ON THE CONSTRUCTION OF THE PROJECT AND THE SEQUENCE OF CONSTRUCTION.
39. A BLANKET STORMWATER EASEMENT IS HEREBY OFFERED TO THE TOWNSHIP GRANTING THE RIGHT, BUT NOT THE OBLIGATION FOR THE PURPOSES OF INSPECTION AND MAINTENANCE OF THE STORMWATER FACILITIES.
40. THIS SITE WILL BE SERVICED BY AQUA PENNSYLVANIA PER ABILITY TO SERVE CONFIRMATION OF 413 GALLONS PER DAY RECEIVED ON OCTOBER 24, 2024.
41. THIS SITE WILL BE CONNECTED TO THE WESTTOWN TOWNSHIP COLLECTION SYSTEM AND WILL GENERATE 413 GALLONS OF SEWERAGE PER DAY TO BE TREATED AT THE WESTTOWN TOWNSHIP - CHESTER CREEK WASTEWATER TREATMENT FACILITY. ABILITY TO SERVE CONFIRMATION RECEIVED ON SEPTEMBER 17, 2024.

SIGNAGE TABLE

Table with 3 columns: SIGN, REQUIREMENTS, PROPOSED. Rows include Freestanding, Wall, Directional signs.

(N/S): NO STANDARD (N/A): NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE

- NOTES:
(1) UP TO TWO (2) ADDRESS SIGNS ARE ALLOWED ON NONRESIDENTIAL USES WITHOUT ANY PERMIT, SUBJECT TO EACH OF THE SIGNS BEING UNDER 5 SQUARE FEET IN AREA. (S170-1804.0)(2))
(2) ONE (1) PRIVATE DRIVE SIGN FOR DRIVEWAY ENTRANCE IS ALLOWED, NOT TO EXCEED FOUR (4) SQUARE FEET IN AREA. (S170-1804.0)
(3) THE AREA OF A SIGN SHALL MEAN THE AREA OF ALL LETTERING, WORDING, AND ACCOMPANYING DESIGNS, LOGOS, AND SYMBOLS. THE AREA OF THE SIGN SHALL NOT INCLUDE ANY SUPPORTING FRAMEWORK, BRACING OR TRIM WHICH IS INCIDENTAL TO THE DISPLAY, PROVIDED THAT IT DOES NOT CONTAIN ANY LETTERING, WORDING, OR SYMBOLS. (S170-1805.0)(1)
(4) WHERE THE SIGN CONSISTS OF INDIVIDUAL LETTERS, DESIGNS, OR SYMBOLS ATTACHED TO A BUILDING, AWNING, WALL OR WINDOW, THE AREA SHALL BE THAT OF THE SMALLEST RECTANGLE WHICH ENCOMPASSES ALL OF THE LETTERS, DESIGNS, AND SYMBOLS. (S170-1805.0)(2)
(5) ONLY ONE (1) SIDE SHALL BE CONSIDERED WHEN DETERMINING THE SIGN AREA, PROVIDED THAT THE FACES ARE EQUAL IN SIZE, THE INTERIOR ANGLE FORMED BY THE FACES IS LESS THAN FORTY-FIVE (45) DEGREES, AND THE TWO (2) FACES ARE NOT MORE THAN EIGHTEEN (18) INCHES APART. (S170-1805.0)(3)(a)
(6) SIGNS ON NONRESIDENTIAL PROPERTIES MAY BE ILLUMINATED FROM 6:00 AM PREVALENT TIME UNTIL 11:00 PM PREVALENT TIME, OR 1/2 HOUR PAST THE CLOSE OF BUSINESS OF THE FACILITY LOCATED ON THE SAME LOT AS THE SIGN, WHICHEVER IS LATER. (S170-1805.0)(1)(b)(1)
(7) ILLUMINATED SIGNS SHALL PROVIDE AN AUTOMATIC TIMER TO COMPLY WITH HOURS OF OPERATION REGULATIONS. (S170-1805.0)(1)(b)(2)
(8) THE ILLUMINATION OF A SIGN SHALL BE SET SO AS NOT TO BE MORE THAN 0.3 FOOTCANDLE ABOVE AMBIENT LIGHTING CONDITIONS, MEASURED USING A FOOTCANDLE METER AT SEVENTY-FIVE (75) FEET PERPENDICULAR TO THE SIGN'S DISPLAY. (S170-1805.0)(1)(c)(1)
(9) EACH ILLUMINATED SIGN MUST HAVE A LIGHT-SENSING DEVICE THAT WILL AUTOMATICALLY ADJUST THE BRIGHTNESS OF THE DISPLAY AS THE NATURAL AMBIENT LIGHT CONDITIONS CHANGE TO COMPLY WITH THE LIMITS OF THE TOWN ORDINANCE. (S170-1805.0)(1)(c)(2)
(10) INTERNALLY ILLUMINATED SIGNS MUST BE STATIC IN INTENSITY AND COLOR. (S170-1805.0)(2)(a)(1)
(11) WHEN USED OTHER THAN AS A BILLBOARD, DIGITAL DISPLAYS SHALL NOT EXCEED MORE THAN THIRTY (30) PERCENT OF THE TOTAL SIGN AREA PERMITTED ON THE SITE. (S170-1805.0)(4)(c)(1)(i)
(12) IF THE WALL SIGN PRODUCTS LESS THAN THREE (3) INCHES FROM THE BUILDING WALL ON WHICH IT IS AFFIXED, THE TEN (10) FOOT HEIGHT REQUIREMENT NEED NOT BE MET. (S170-1806.0)(1)
(13) THE TOTAL AREA OF ALL WALL, AWNING/CANOPY, FREESTANDING, AND PROJECTING SIGNS ON LOTS WITH NONRESIDENTIAL USES SHALL NOT EXCEED AN AREA EQUAL TO TWO (2) SQUARE FEET FOR EVERY ONE (1) LINEAL FOOT OF BUILDING WALL PARALLEL TO, AND FACING, ANY PARTICULAR STREET. THE SIGN AREA FOR EACH STREET FRONTAGE SHALL BE COMPUTED SEPARATELY, AND ANY ALLOWABLE SIGN AREA NOT USED ON ONE (1) FRONTAGE MAY NOT BE USED ON ANOTHER STREET FRONTAGE. (S170-1813.0)
(14) WHERE A STORE HAS ENTRANCES FACING BOTH A STREET AND A PARKING LOT, A SECOND SIGN IS PERMITTED TO FACE THE PARKING LOT. (S170-1813.0)(1)
(15) FOR PERMITTED DRIVE-THROUGH ESTABLISHMENTS, ONE (1) ADDITIONAL FREESTANDING SIGN SHALL BE PERMITTED NEXT TO THE DRIVE-THROUGH LANE ONLY. (S170-1813.0)(1)(b))

IMPERVIOUS COVERAGE TABLE

Table with 2 columns: EXISTING IMPERVIOUS AREAS PROPOSED TO BE REPLACED, 24,194 SF. Rows include Existing ImperVIOUS Surfaces to be Permanently Removed and New ImperVIOUS Surface Areas.

SUPPLEMENTARY DATA

- SUPPLEMENTARY DATA PER SALDO (S149-602.0)(4)
A. THE SITE IS SERVICED VIA WEST CHESTER PIKE (SR 0003) WHICH IS AN URBAN PRINCIPAL ARTERIAL JURISDICTION AND HAS A GENERAL EAST/WEST ORIENTATION. THE MARKETPLACE AT WESTTOWN DRIVEWAY AND THE WAHA DRIVEWAY INTERSECT WEST CHESTER PIKE (SR 0003) TO FORM A FOUR-LEG INTERSECTION CONTROLLED BY A THREE-PHASE TRAFFIC SIGNAL. SIGN DEGRADATION IN OPERATING CONDITIONS DUE TO THE DEGRADATION OF THE ADJACENT STREET SYSTEM OF THE TOWNSHIP OF WESTTOWN AND PENNDOT WILL NOT EXPERIENCE ANY SIGNIFICANT IMPACT ON THE SAFETY OF THE PROJECT.
B. THE SITE IS SERVICED WITH PUBLIC WATER AND SEWER, BOTH OF WHICH HAVE CAPACITY TO SERVE THE PROJECT.
C. SEWERAGE IS COLLECTED AND TREATED BY WESTTOWN TOWNSHIP. WATER IS PROVIDED BY AQUA PENNSYLVANIA. ELECTRIC IS PROVIDED BY PECO. WEST CHESTER PIKE (SR 0003) IS A PENNDOT ROADWAY.
D. EXISTING USES OF THE SITE ARE RETAIL SERVICES, BARBER SHOP, BANK, RESTAURANT, AND A GROCERY STORE. THE PROPOSED USE IS A BANK.
E. THE INTENDED USE INCLUDES ALL OF THE EXISTING USES AS WELL AS A PROPOSED BANK.
F. THE SITE DOES NOT HAVE ANY PARKS, PLAYGROUNDS, OPEN SPACE, OR OTHER AREAS DEDICATED OR RESERVED FOR PUBLIC USE.
G. THE SITE DOES NOT CONTAIN ANY BUFFER AREAS.
H. LIGHTING SHALL BE PROVIDED BY OTHERS. PROPOSED LIGHTING IS SHOWN ON THE LIGHTING PLAN AND IS COMPLIANT WITH WESTTOWN TOWNSHIP LIGHTING STANDARDS.
I. THE SITE DOES NOT HAVE A GOVERNING ASSOCIATION.
J. TOWNHOMES CAN BE FOUND ON THE GENERAL NOTES SHEET, PREVIOUSLY APPROVED VARIANCES CAN BE FOUND BELOW.
K. REQUESTED WALKERS CAN BE FOUND BELOW.
L. THE EXISTING PAVED IS NOT BEING SUBMITTED AT THIS TIME.

APPROVED VARIANCES

VARIANCE APPROVED BY THE WESTTOWN TOWNSHIP ZONING HEARING BOARD ON MAY 8, 2023
A. VARIANCE FROM SECTION 170-1104.A TO PERMIT PROPOSED PARKING LOCATED IN THE REQUIRED FRONT YARD.

REQUESTED WALKERS

- 1. SALDO.S149-6002: A WALKER IS REQUESTED TO ALLOW THE PRELIMINARY LAND DEVELOPMENT PLANS AND ALL SUPPORTING DATA TO PROCEED TO FINAL ACTION AT THE FIRST CONSIDERATION OF THE PLAN.
2. SALDO.S149-6252(1): REQUIRES PIONEER TREE AND SHRUB INSTALLATION OF SEVEN (7) SHADE TREES AND FIVE (5) ORNAMENTAL TREES, WHEREAS NONE OF THE REQUIRED TREES ARE PROPOSED ALONG THE PERMETER.
3. SALDO.S149-6252(2): REQUIRES PLANTER ISLAND TREE AND SHRUB INSTALLATION OF FIVE (5) TREES AND FIFTY (50) SHRUBS, WHEREAS ONE (1) SHADE TREE AND FIFTY (50) SHRUBS ARE PROPOSED WITHIN THE PLANTER ISLANDS.

LANDSCAPE AREA CALCULATION TABLE

Table with 2 columns: LANDSCAPED AREAS, 1,186 SF. Rows include Existing Landscaped Areas, Proposed Landscaped Areas, Difference, Parking Areas, Total Demolished Parking Area, Required Landscaping, Net.

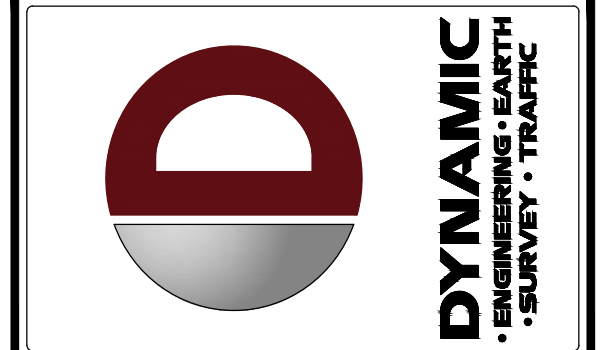


Table with 4 columns: SUB, REV, DATE, COMMENTS. Rows include 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION. PROJECT: WESTTOWN AM WEST TIC LLC. CHASE O PROPOSED CHASE BANK. 1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE) CHESTER COUNTY, PENNSYLVANIA.

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JUSTIN A. GEONNOTTI PROFESSIONAL ENGINEER PENNSYLVANIA LICENSE #61060629

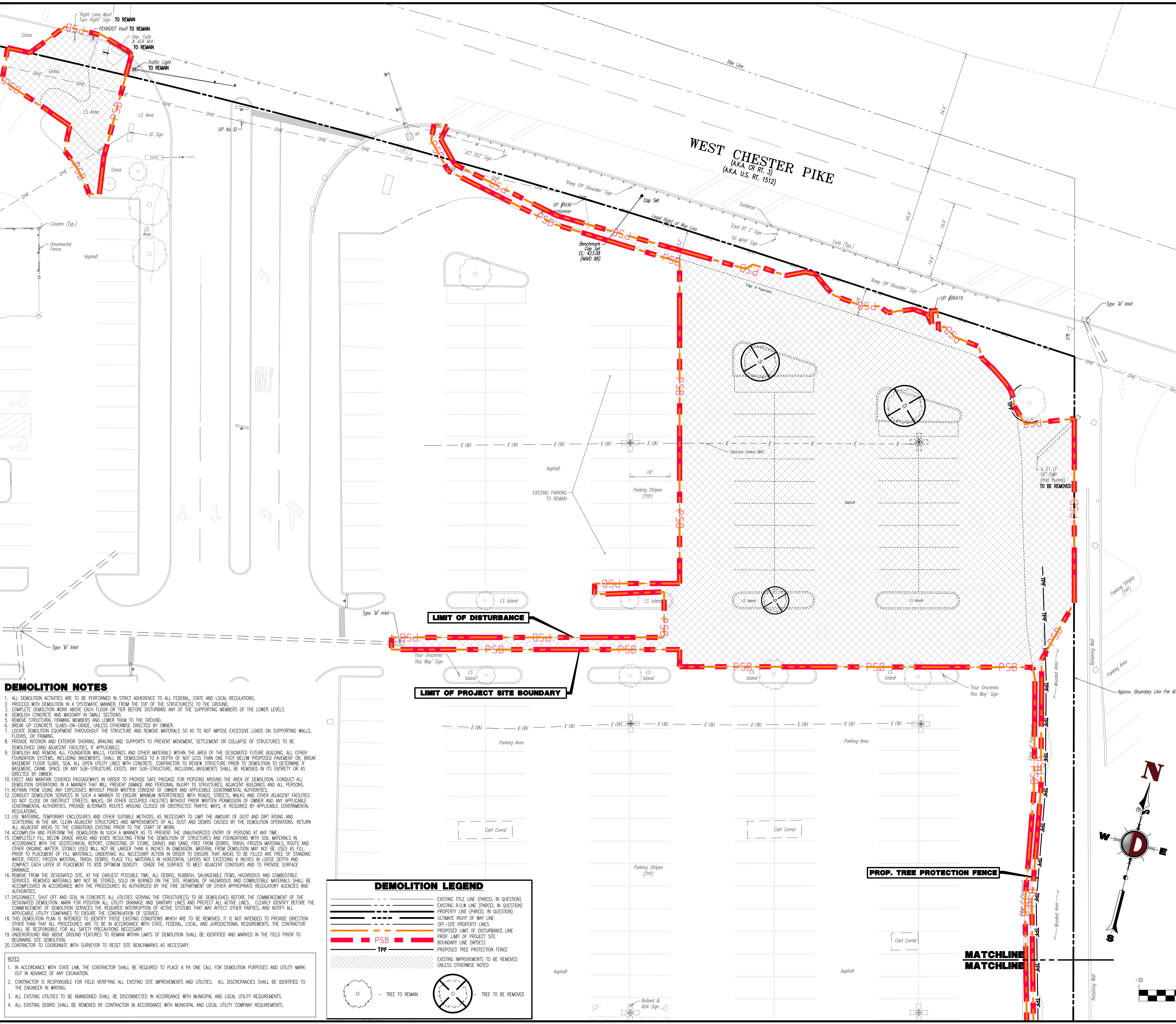
MATTHEW SHARO PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 52989

GENERAL NOTES

SCALE: (H) NOT TO (V) SCALE DATE: 07/12/2024 PROJECT No: 1478-99-191

SHEET No: 3 OF 25 Rev. #: 2

Plotted: 11/09/24 - 3:04 PM, By: mdolaney
 File: P:\CEPC PROJECTS\1476 Paramount Realty\191 West Chester PA.Dwg V4 Land Dev Plans\147699191SR2.dwg, ----> 04: DEMOLITION PLAN
 COPYRIGHT © 2024 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED

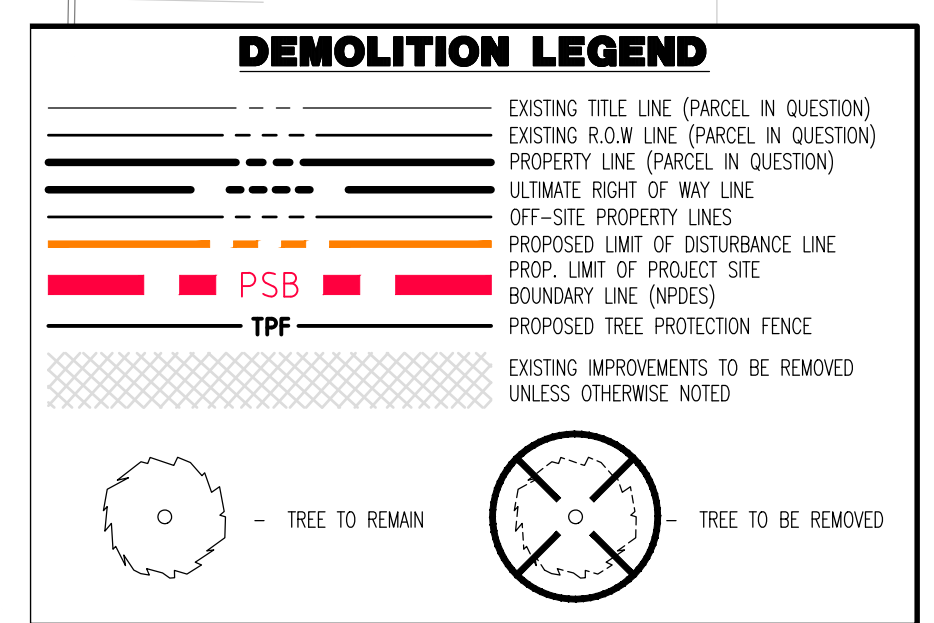


DEMOLITION NOTES

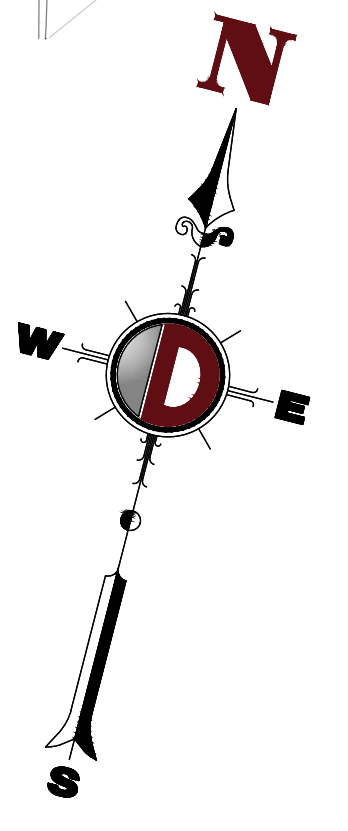
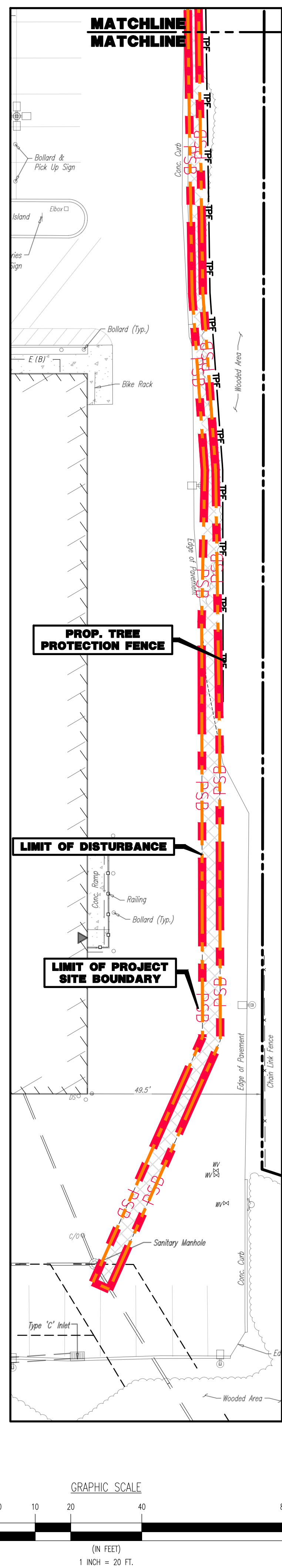
1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURES TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR TRUSSING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS, SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGeways IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND Voids RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 90% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
19. UNDERGROUND AND ABOVE GROUND FEATURES TO REMAIN WITHIN LIMITS OF DEMOLITION SHALL BE IDENTIFIED AND MARKED IN THE FIELD PRIOR TO BEGINNING SITE DEMOLITION.
20. CONTRACTOR TO COORDINATE WITH SURVEYOR TO RESET SITE BENCHMARKS AS NECESSARY.

NOTES

1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO PLACE A PA ONE CALL FOR DEMOLITION PURPOSES AND UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.



LIMIT OF DISTURBANCE & PROJECT SITE BOUNDARY = 33,327 SF (0.76 AC)



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REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS
2	11/04/24	REV. PER TOWNSHIP & CCD COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **WESTTOWN AM WEST TIC LLC**
 PROPOSED CHASE BANK
 PARCEL NO. 67-2-2-42-4
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)
 CHESTER COUNTY, PENNSYLVANIA

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 PENNSYLVANIA LICENSE NO. 060629

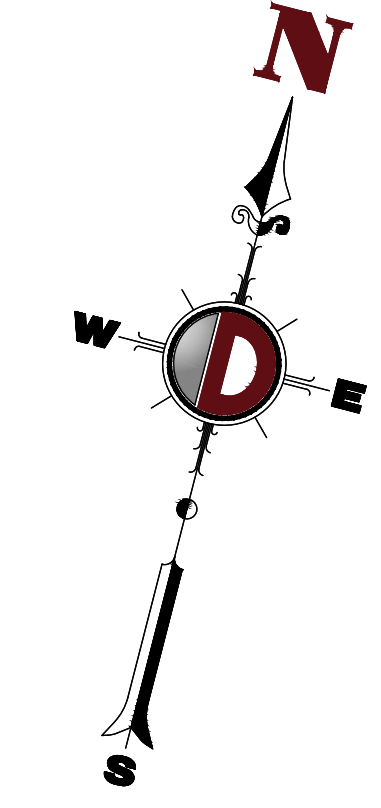
MATTHEW SHARO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 52989

TITLE: **DEMOLITION PLAN**

SCALE: (H) 1"=20' (V)	DATE: 07/12/2024
PROJECT No: 1478-99-191	Rev. #: 4
SHEET No: 4	OF 25

GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
 - PARTIAL TOPOGRAPHIC SURVEY
DYNAMIC SURVEY, LLC
826 NEWTOWN YARLEY ROAD, SUITE 201
NEWTOWN, PENNSYLVANIA 18940
DATED: 9/26/24
FILE #: 1478-99-1915
 - PARTIAL TOPOGRAPHIC SURVEY
DYNAMIC SURVEY, LLC
826 NEWTOWN YARLEY ROAD, SUITE 201
NEWTOWN, PENNSYLVANIA 18940
DATED: 1/10/23
LAST REVISED: 5/10/24
FILE #: 1478-99-1915
 - ALTA/NSPS LAND TITLE SURVEY
AMERICAN SURVEYING & MAPPING INC.
3191 MAGUIRE BOULEVARD, SUITE 200
ORLANDO, FLORIDA 32803
DATED: 4/21/2021
LAST REVISED: 5/14/2021
- OWNER/APPLICANT: WESTTOWN AM WEST TIC LLC
120 N. PRINCE BOULEVARD, SUITE 301
LANCASTER, PA 17601
PH: 732-861-8142
- PARCEL DATA: UPR: 67-2-42.4
1508 WEST CHESTER PIKE (PA STATE HIGHWAY ROUTE 3)
TOWNSHIP OF WESTTOWN
CHESTER COUNTY, PENNSYLVANIA
- ZONE: C-1 (NEIGHBORHOOD AND HIGHWAY COMMERCIAL)
- EXISTING USE: RETAIL SERVICES (PERMITTED USE) (§170-1101)
BARBER SHOP (PERMITTED USE) (§170-1101)
BANK (PERMITTED USE) (§170-1101)
RESTAURANT (PERMITTED USE) (§170-1101)
- PROPOSED USE: BANK (PERMITTED USE) (§170-1101)



ZONE REQUIREMENT	C-1 DISTRICT	EXISTING	PROPOSED
MINIMUM LOT AREA	2 AC	18.45 AC (803,818 SF)	18.45 AC (803,818 SF)
MINIMUM LOT WIDTH	300 FT [1]	±1,009.66 FT	±1,009.66 FT
MINIMUM FRONT YARD SETBACK	50 FT [2]	±12 FT (E)	±12 FT (E)
MINIMUM REAR YARD SETBACK	50 FT	±161.7 FT	±161.7 FT
MINIMUM SIDE YARD SETBACK	50 FT [3]	49.5 FT (E)	49.5 FT (E)
MAXIMUM BUILDING HEIGHT	38 FT	34 FT	34 FT
MAXIMUM BUILDING HEIGHT (STORIES)	3	1	1
MAXIMUM BUILDING COVERAGE	25%	±15.1% (121,531 SF)	±15.6% (125,296 SF)
MAXIMUM IMPERVIOUS COVERAGE	65%	±60.2% (484,203 SF)	±60.3% (484,362 SF)
MAXIMUM FLOOR AREA RATIO (FAR)	0.40	0.15	0.16

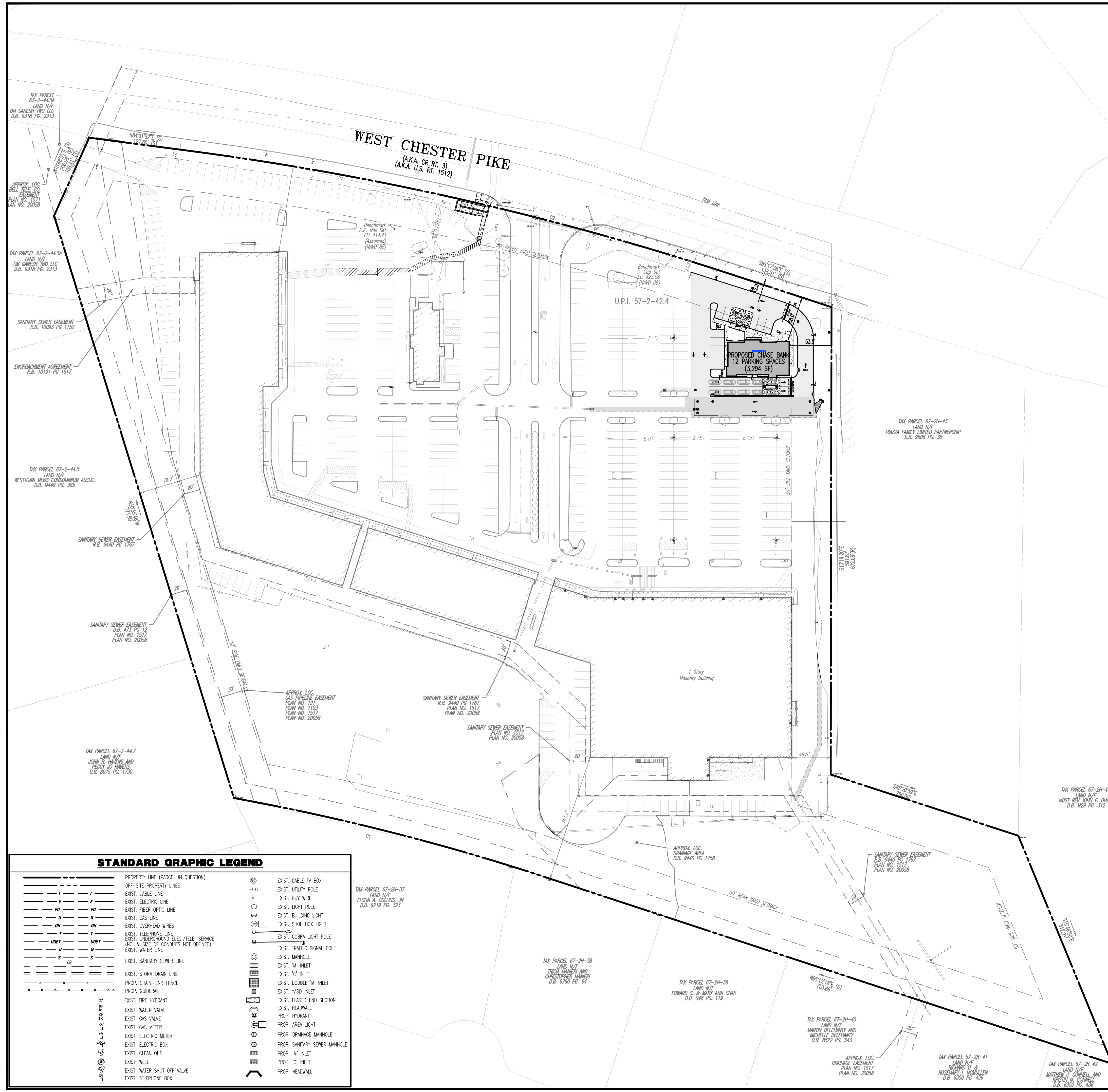
N/S: NOT STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-COMFORMANCE (V): VARIANCE

NOTES:
 [1] MINIMUM LOT WIDTH: 300 FEET AT BUILDING SETBACK LINE; IN ADDITION, 300 FEET AT FUTURE RIGHT-OF-WAY LINE OF ROUTES 202, 926, 3 AND 352. (§170-1102.B)
 [2] MINIMUM FRONT YARD SETBACK: 50 FEET FOR ANY BUILDING OR PARKING AREA. (§170-1102.F)
 [3] MINIMUM SIDE YARDS: FIFTEEN (15) FEET MINIMUM FOR EACH, EXCEPT FIFTY (50) FEET FROM THE FUTURE RIGHT-OF-WAY LINE OF ROUTE 202 OR ROUTE 3 AND THIRTY (30) FEET FROM THE FUTURE RIGHT-OF-WAY LINE OF ROUTE 926 OR ROUTE 352. (§170-1102.G(1))
 [4] ANY ACCESSORY USE OR STRUCTURE SHALL BE LOCATED IN COMPLIANCE WITH FRONT, SIDE AND REAR YARD REQUIREMENTS OF THIS DISTRICT. (§170-1102.J) (COMPLIES)
 [5] NO USE SHALL BE CONDUCTED IN THE REQUIRED FRONT, SIDE, AND REAR YARDS. (§170-1104.A)

PAVEMENT LEGEND

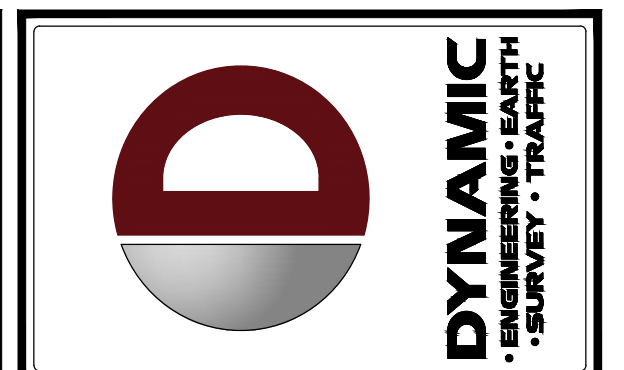
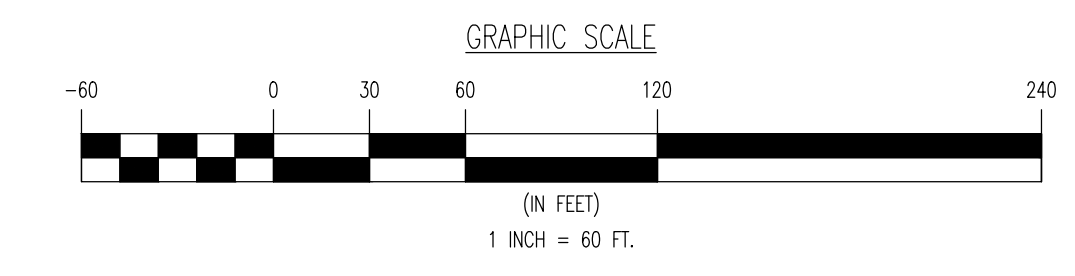
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	409.48'	2959.83'	7°55'56"	N89°10'06"W	409.15'
C2	700.51'	3759.83'	10°40'30"	N82°22'07"E	699.50'



STANDARD GRAPHIC LEGEND

	PROPERTY LINE (PARCEL IN QUESTION)		EXIST. CABLE TV BOX
	OFF-SITE PROPERTY LINES		EXIST. UTILITY POLE
	EXIST. CABLE LINE		EXIST. GUY WIRE
	EXIST. ELECTRIC LINE		EXIST. LIGHT POLE
	EXIST. FIBER OPTIC LINE		EXIST. BUILDING LIGHT
	EXIST. GAS LINE		EXIST. SHOE BOX LIGHT
	EXIST. OVERHEAD WIRES		EXIST. COBRA LIGHT POLE
	EXIST. TELEPHONE LINE		EXIST. TRAFFIC SIGNAL POLE
	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. MANHOLE
	EXIST. WATER LINE		EXIST. 'W' INLET
	EXIST. SANITARY SEWER LINE		EXIST. 'C' INLET
	EXIST. STORM DRAIN LINE		EXIST. DOUBLE 'W' INLET
	PROP. CHAIN-LINK FENCE		EXIST. FLARED END SECTION
	PROP. GUIDERAIL		EXIST. HEADWALL
	EXIST. FIRE HYDRANT		PROP. HYDRANT
	EXIST. WATER VALVE		PROP. AREA LIGHT
	EXIST. GAS VALVE		PROP. DRAINAGE MANHOLE
	EXIST. GAS METER		PROP. SANITARY SEWER MANHOLE
	EXIST. ELECTRIC METER		PROP. 'W' INLET
	EXIST. ELECTRIC BOX		PROP. 'C' INLET
	EXIST. WELL		PROP. HEADWALL
	EXIST. WATER SHUT OFF VALVE		
	EXIST. TELEPHONE BOX		



NO.	DATE	REV.	BY	COMMENTS
1	09/30/24			
2	11/04/24			

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PROJECT: WESTTOWN AM WEST TIC LLC
 PROPOSED CHASE BANK
 PARCEL NO. 67-2-42.4
 1508 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)
 CHESTER COUNTY, PENNSYLVANIA

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JUSTIN A. GEONOTTI
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. 060629

MATTHEW SHARO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 52989

TITLE: **OVERALL SITE PLAN**

SCALE: (H) 1" = 60'
 (V)

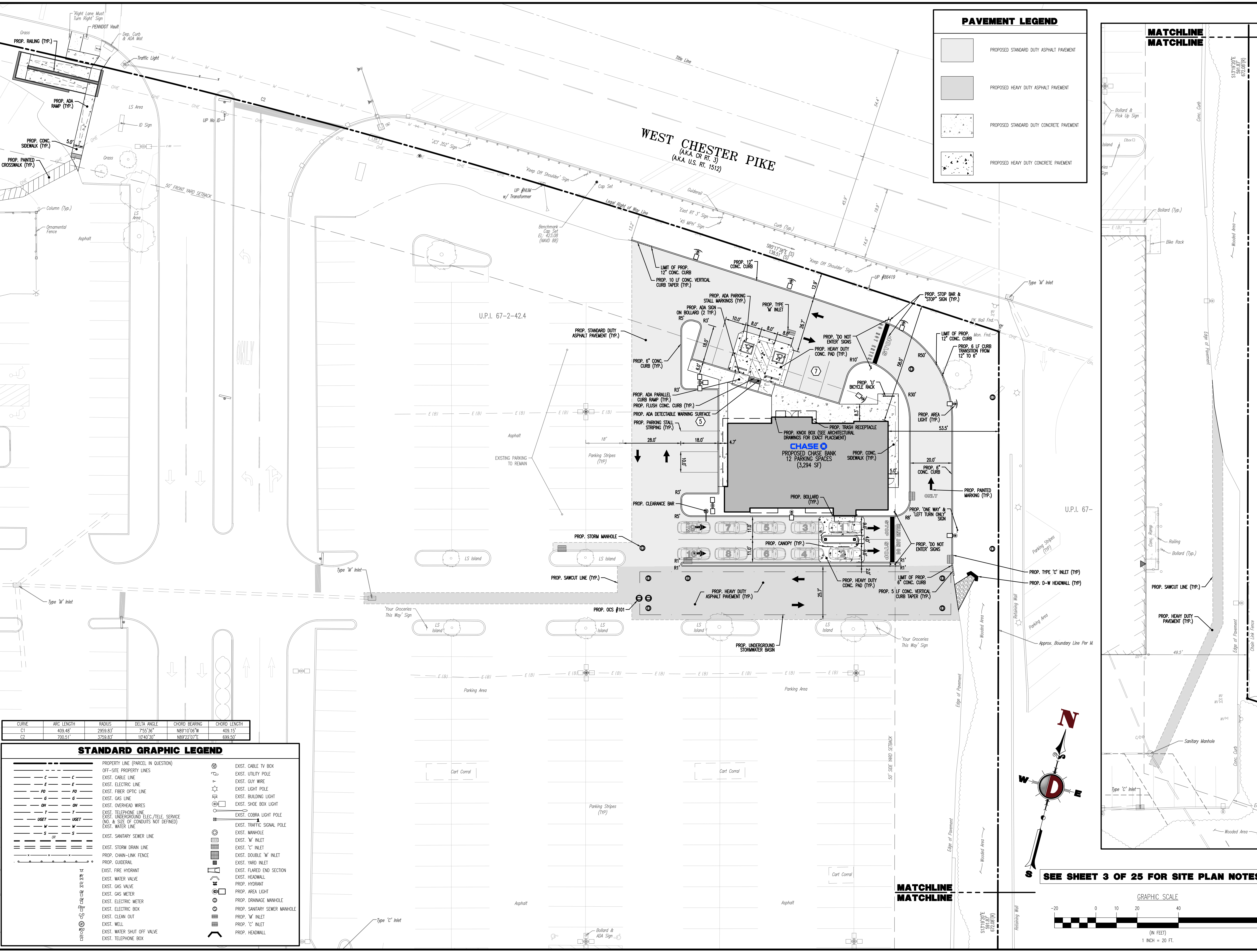
DATE: 07/12/2024

PROJECT NO: 1478-99-191

SHEET NO: **5** OF 25

Rev. #: 2

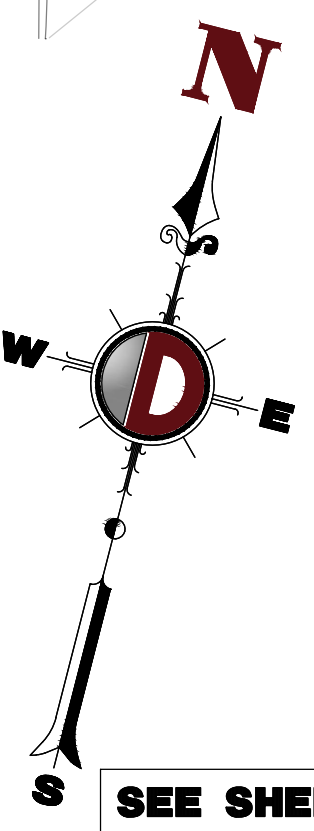
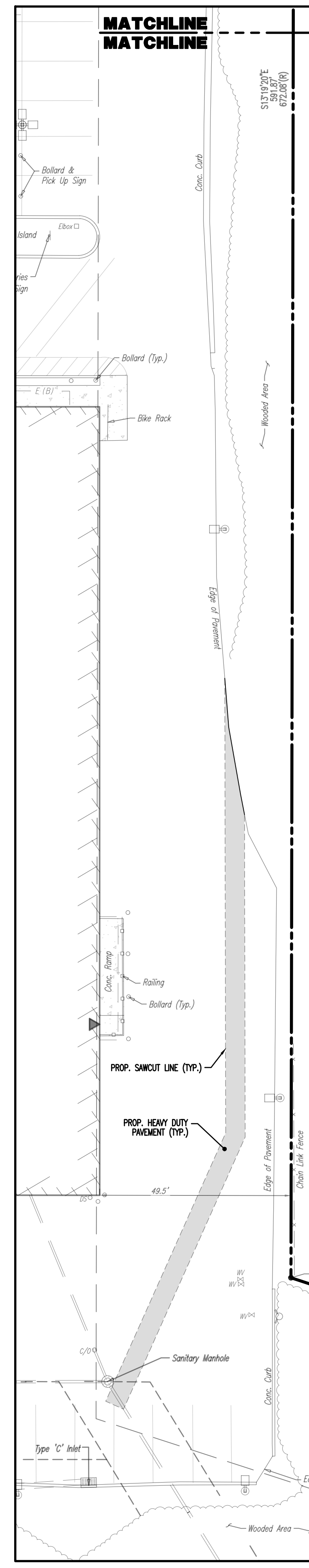
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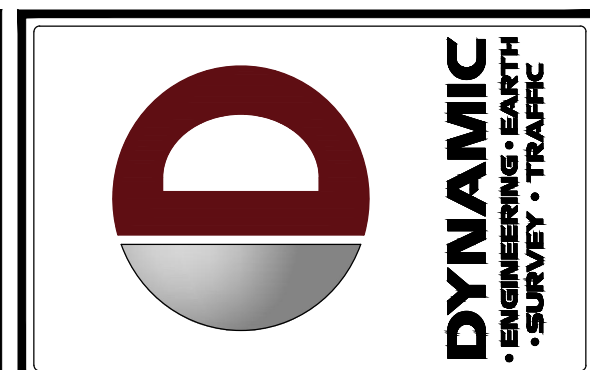
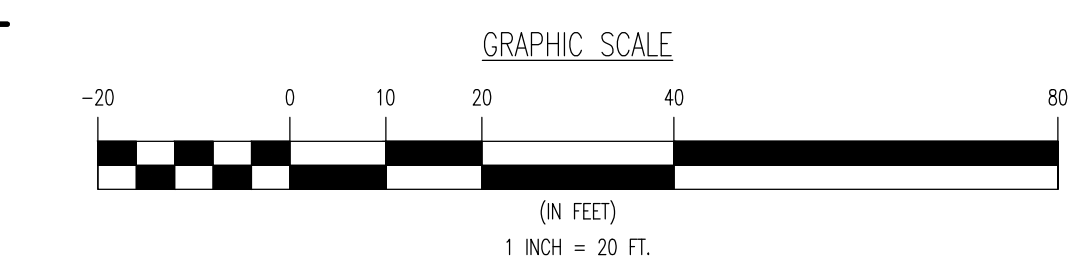
PAVEMENT LEGEND	
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	409.48'	2959.83'	7°55'56"	N89°10'06"W	409.15'
C2	700.51'	3759.83'	10°40'30"	N89°22'07"E	699.50'

STANDARD GRAPHIC LEGEND	
	PROPERTY LINE (PARCEL IN QUESTION)
	OFF-SITE PROPERTY LINES
	EXIST. CABLE LINE
	EXIST. ELECTRIC LINE
	EXIST. FIBER OPTIC LINE
	EXIST. GAS LINE
	EXIST. OVERHEAD WIRES
	EXIST. TELEPHONE LINE
	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
	EXIST. WATER LINE
	EXIST. SANITARY SEWER LINE
	EXIST. STORM DRAIN LINE
	PROP. CHAIN-LINK FENCE
	PROP. GUARDRAIL
	EXIST. FIRE HYDRANT
	EXIST. WATER VALVE
	EXIST. GAS VALVE
	EXIST. GAS METER
	EXIST. ELECTRIC METER
	EXIST. ELECTRIC BOX
	EXIST. CLEAN OUT
	EXIST. WELL
	EXIST. WATER SHUT OFF VALVE
	EXIST. TELEPHONE BOX
	EXIST. CABLE TV BOX
	EXIST. UTILITY POLE
	EXIST. GUY WIRE
	EXIST. LIGHT POLE
	EXIST. BUILDING LIGHT
	EXIST. SHOE BOX LIGHT
	EXIST. COBRA LIGHT POLE
	EXIST. TRAFFIC SIGNAL POLE
	EXIST. MANHOLE
	EXIST. 'M' INLET
	EXIST. 'C' INLET
	EXIST. DOUBLE 'M' INLET
	EXIST. YARD INLET
	EXIST. FLARED END SECTION
	EXIST. HEADWALL
	PROP. HYDRANT
	PROP. AREA LIGHT
	PROP. DRAINAGE MANHOLE
	PROP. SANITARY SEWER MANHOLE
	PROP. 'M' INLET
	PROP. 'C' INLET
	PROP. HEADWALL



SEE SHEET 3 OF 25 FOR SITE PLAN NOTES



REV.	DATE	COMMENTS	BY
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AJM
2	11/04/24	REV. PER TOWNSHIP & CCD COMMENTS	AJM

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OWNER: CHASE BANK
 DESIGNER: WESTTOWN AM WEST TIC LLC
 PROJECT: PROPOSED CHASE BANK
 PARCEL NO. 67-2-42.4
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)
 CHESTER COUNTY, PENNSYLVANIA

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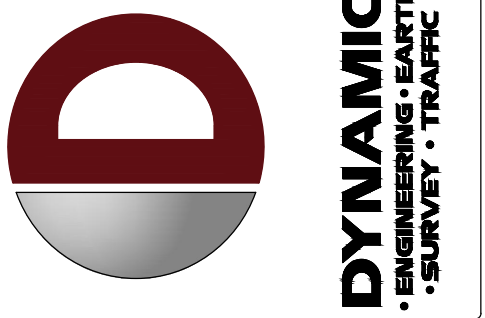
JUSTIN A. GEONOTTI
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. 160629

MATTHEW SHARO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 52989

TITLE:
SITE PLAN

SCALE: (H) 1" = 20'
 (V) 1" = 20'
 PROJECT NO.: 1478-99-191
 SHEET NO.: **6**

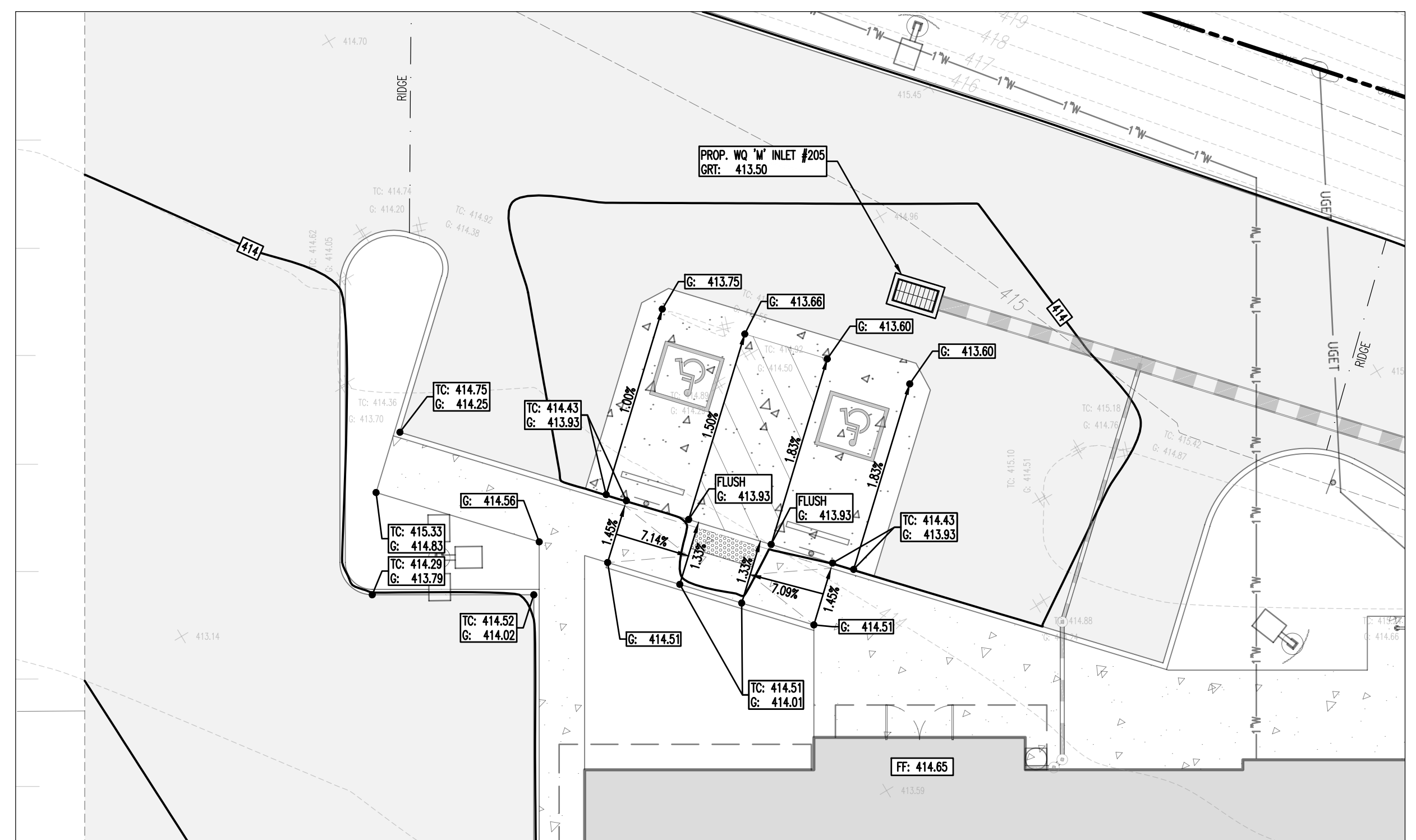
DATE: 07/12/2024
 REV. #:
 OF 25
 2



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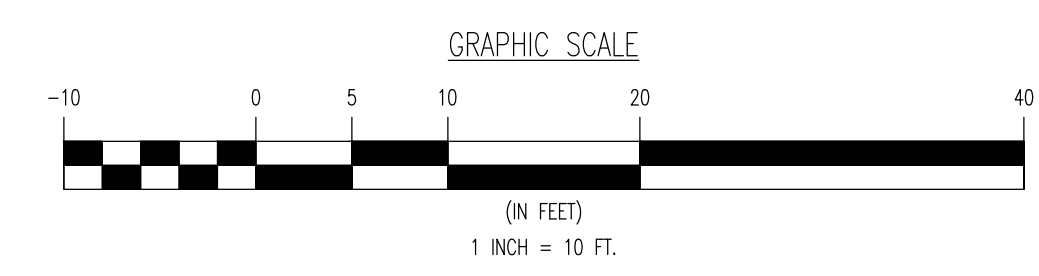
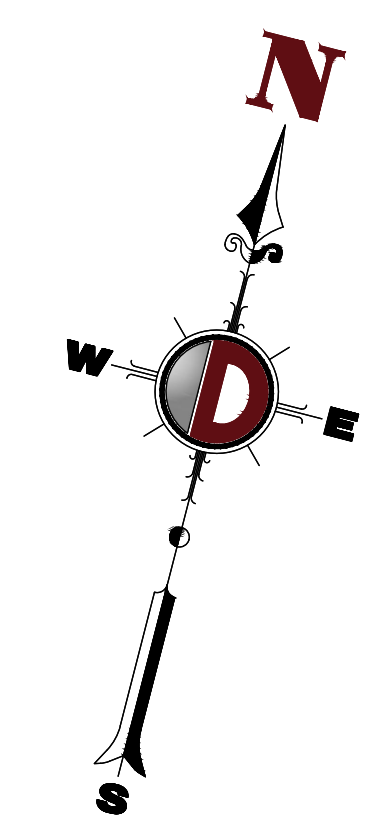
ADA INSET



CHASE BANK ADA PARKING INSET

ADA NOTES

- ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO REFER TO LATEST ADA GUIDELINES FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:
- SIDEWALKS/ ACCESSIBLE ROUTES**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
 - CROSS SLOPE: 1:48 (2.08%) MAX. (1.0% MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
 - INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
 - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - CURBS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL
- CURB RAMP**
- SLOPE: 1:12 (8.3%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
 - SIDE FLARE SLOPE: 1:10 (10%) MAX. (WHERE FEELS CROSS RAMP)
 - BOTTOM LANDING: 48" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
 - TOP LANDING: 36" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)
- ACCESSIBILITY PARKING STALLS**
- SPACE AND ACCESSIBLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- CROSSWALKS**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
 - CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
 - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - CURBS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL
- RAMP**
- SLOPE: 1:12 (8.3%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
 - EXISTING RAMPS: SLOPE: 1:10 (10%) MAX. FOR RISE OF 6"; 1:8 (12.5%) MAX. FOR MAX. RISE OF 3"
 - MAX. RISE: 30"
 - MIN. CLEAR WIDTH: 36"
 - MIN. LANDING CLEAR LENGTH: 60"
 - MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)



Plotted: 11/09/24 - 3:05 PM, By: mdaloney
File: P:\CEPC PROJECTS\1478 Paramount Realty\99-191 West Chester PA\DWG\4 Land Dev Plans\147899191SDAD2.dwg, -----> 08 ADA GRADING PLAN

REV.	DATE	COMMENTS	BY
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AM
2	11/04/24	REV. PER TOWNSHIP & CCD COMMENTS	AM

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DESIGNED BY: MWD
CHECKED BY: MMS
DATE: MS

PROJECT: **WESTTOWN AM WEST TIC LLC**
PROPOSED CHASE BANK
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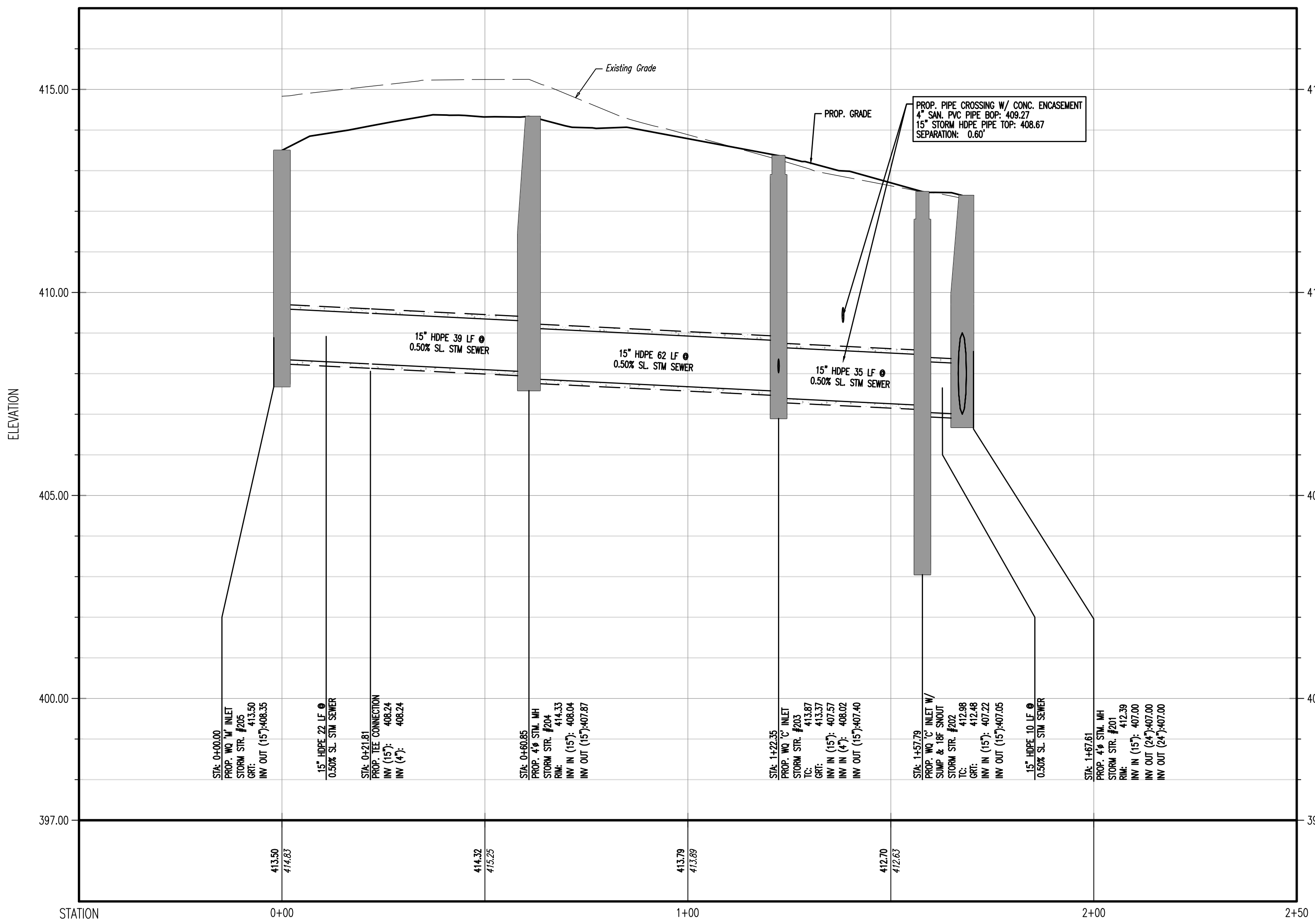
JUSTIN A. GEONOTTI
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE # 1060629

MATTHEW SHARO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

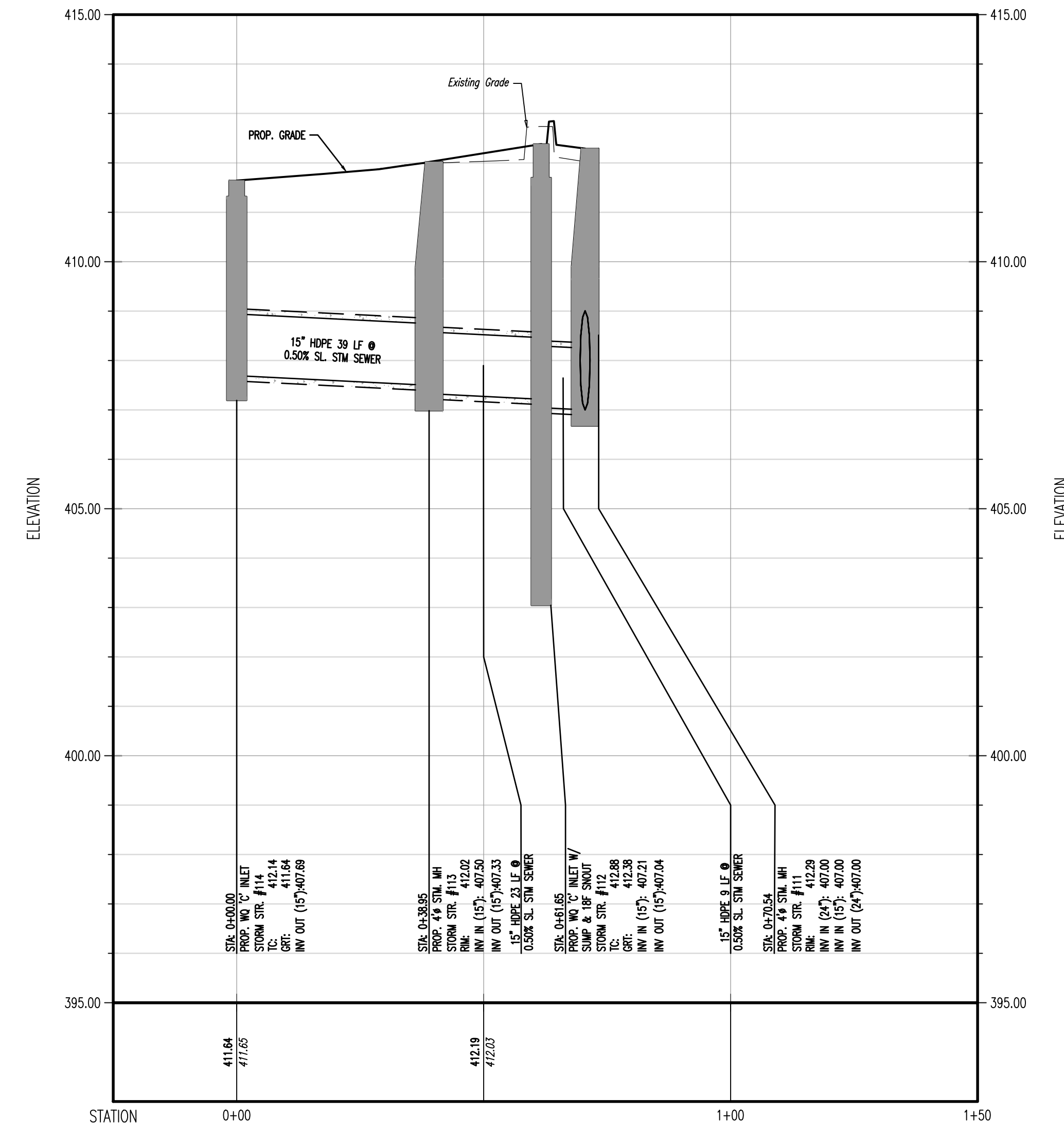
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SCALE: (H) 1" = 10'
(V) DATE: 07/12/2024
PROJECT No: 1478-99-191

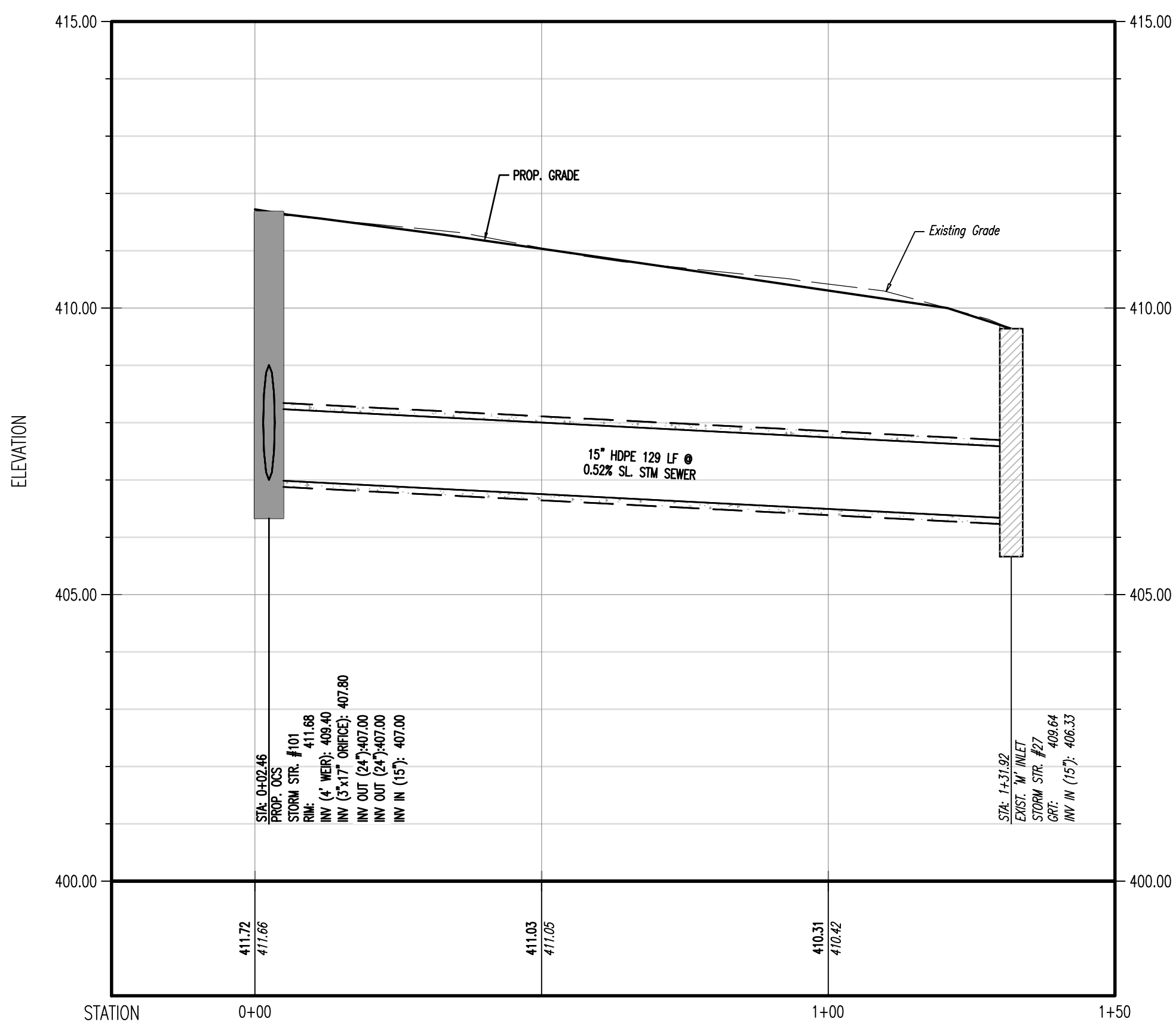
SHEET No: **8** OF 25
Rev. #: 2



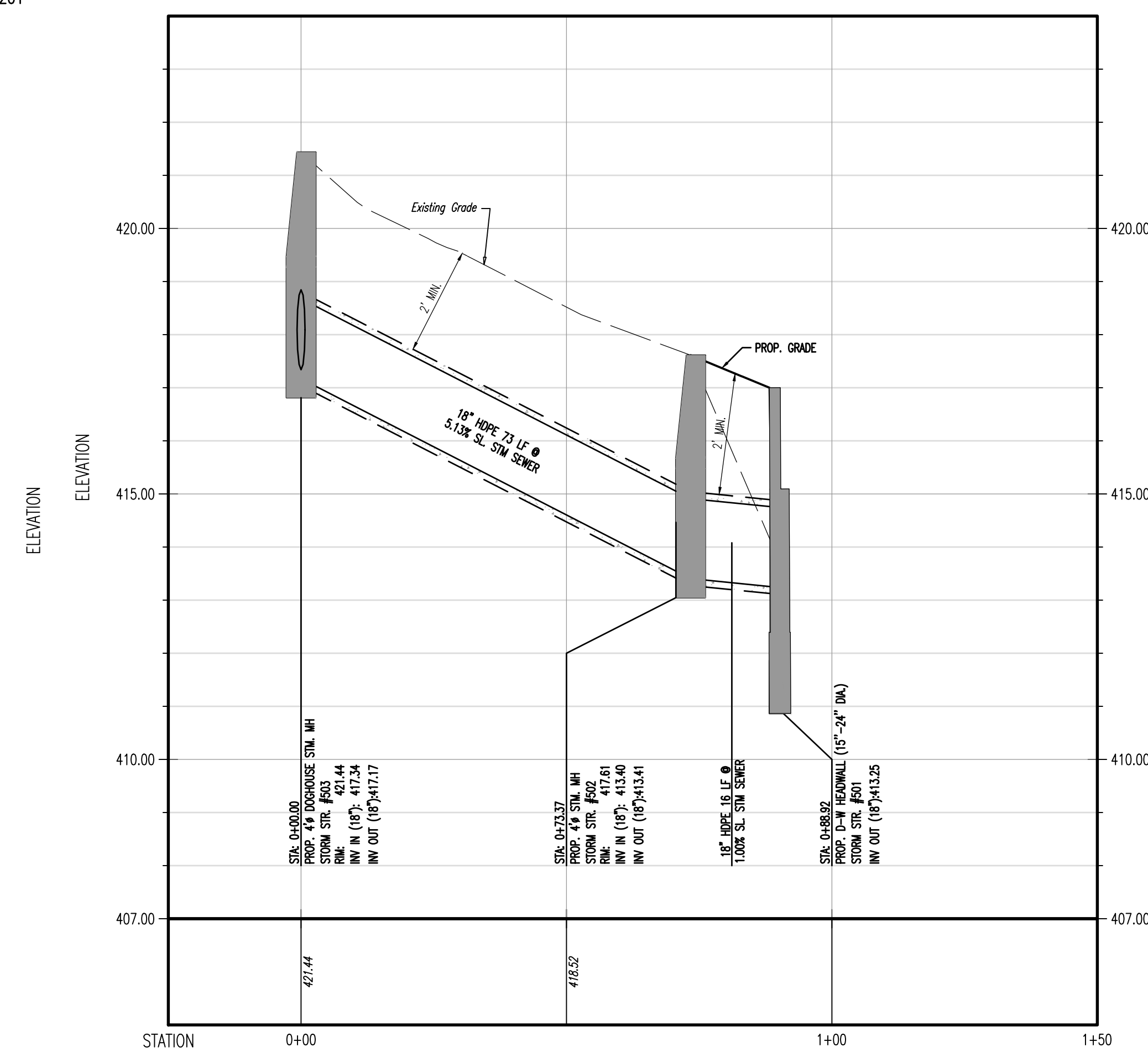
PROFILE VIEW OF 'M' INLET #205 TO STORM MANHOLE #201
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=2'



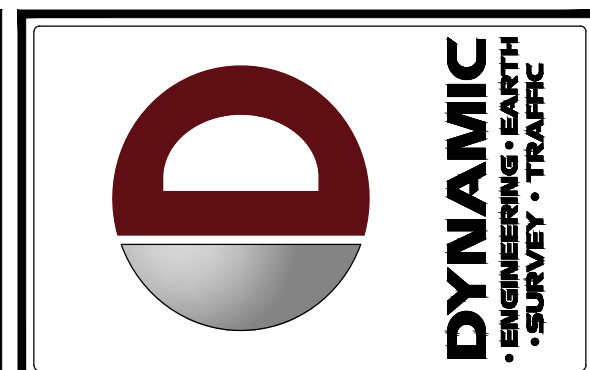
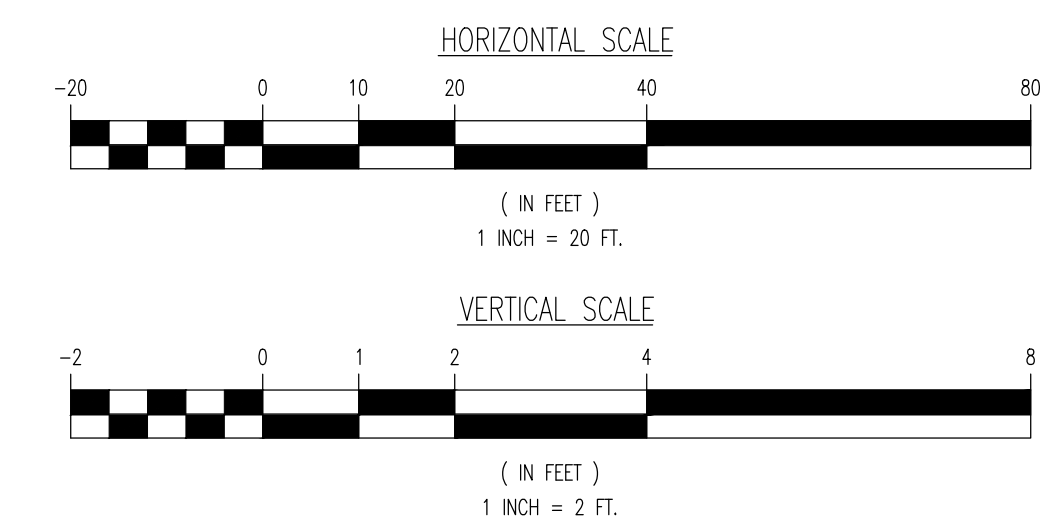
PROFILE VIEW OF 'C' INLET #114 TO STORM MANHOLE #111
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=2'



PROFILE VIEW OF OCS #101 TO EXISTING 'M' INLET
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=2'



PROFILE VIEW OF DOGHOUSE STM. MH #503 TO D-W HEADWALL #501
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=2'



REV.	DATE	COMMENTS	BY
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AJM
2	11/09/24	REV. PER TOWNSHIP & CDD COMMENTS	AJM

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PROJECT: WESTTOWN AM WEST TIC LLC
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 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE No. 160629

MATTHEW SHARO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52989

TITLE: **STORM PROFILES**

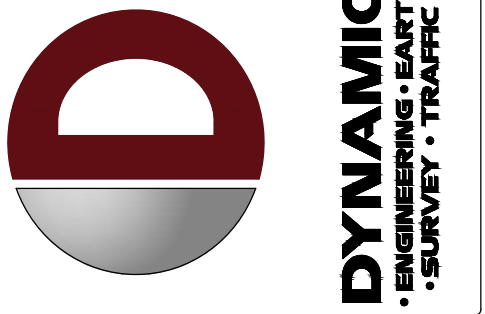
SCALE: (H) 1"=20'
 (V) 1"=2'

DATE: 07/12/2024

PROJECT No: 1478-99-191

SHEET No: **10** OF 25

Rev. #: 2



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REV.	DATE	COMMENTS	BY
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AJM
2	11/04/24	REV. PER TOWNSHIP & CCD COMMENTS	SJB

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DESIGNER: PSJ
CHECKED BY: MS
DATE: MS

PROJECT: **WESTTOWN AM WEST TIC LLC**
PROPOSED CHASE BANK
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PENNSYLVANIA LICENSE NO. 160629

MATTHEW SHARO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52989

TITLE: **SANITARY PROFILES**

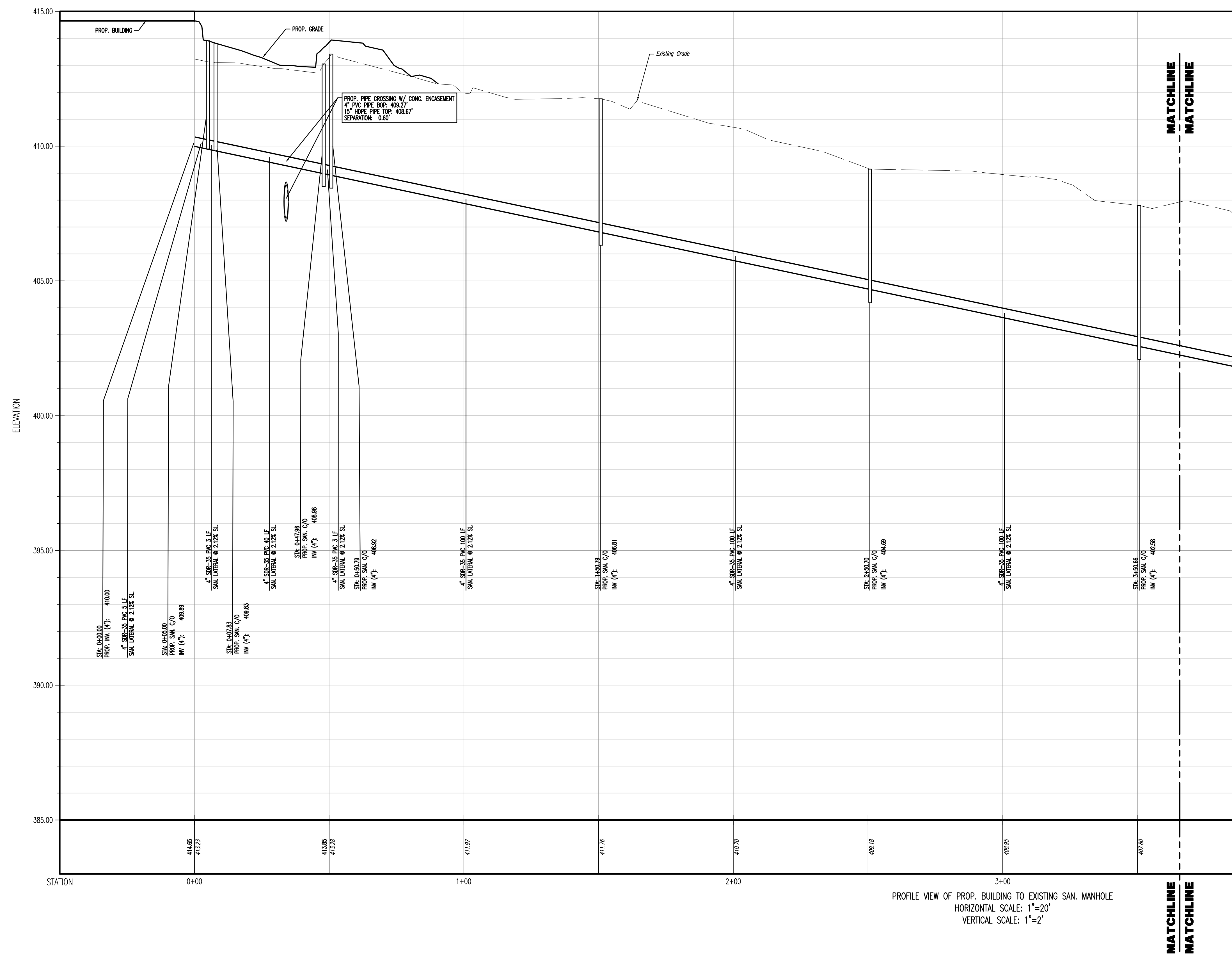
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(V) 1"=2'

DATE: 07/12/2024

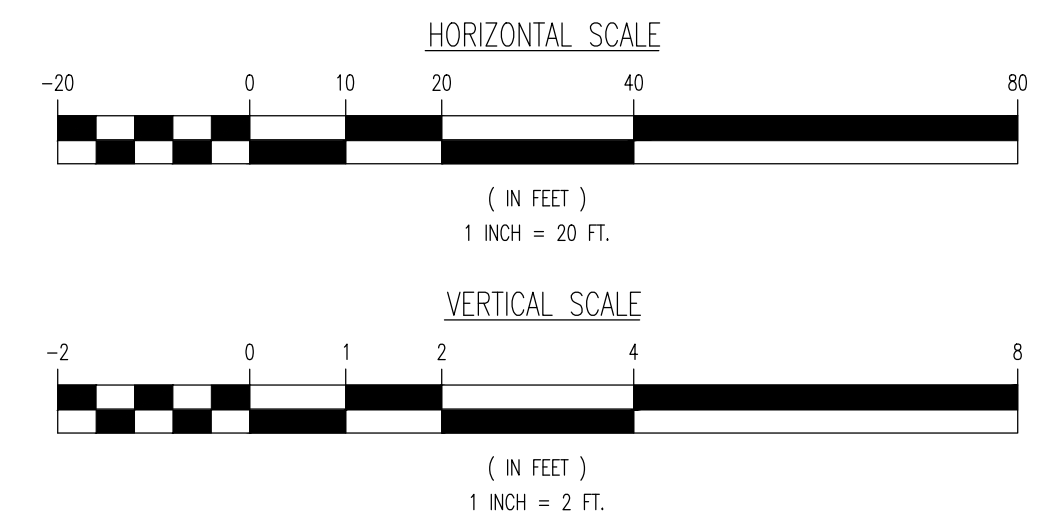
PROJECT No: 1478-99-191

SHEET No: **11** OF 25

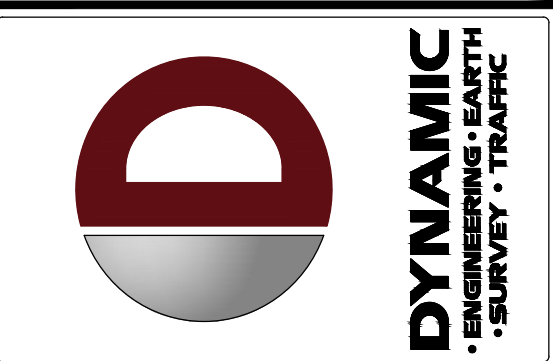
Rev. #: 2



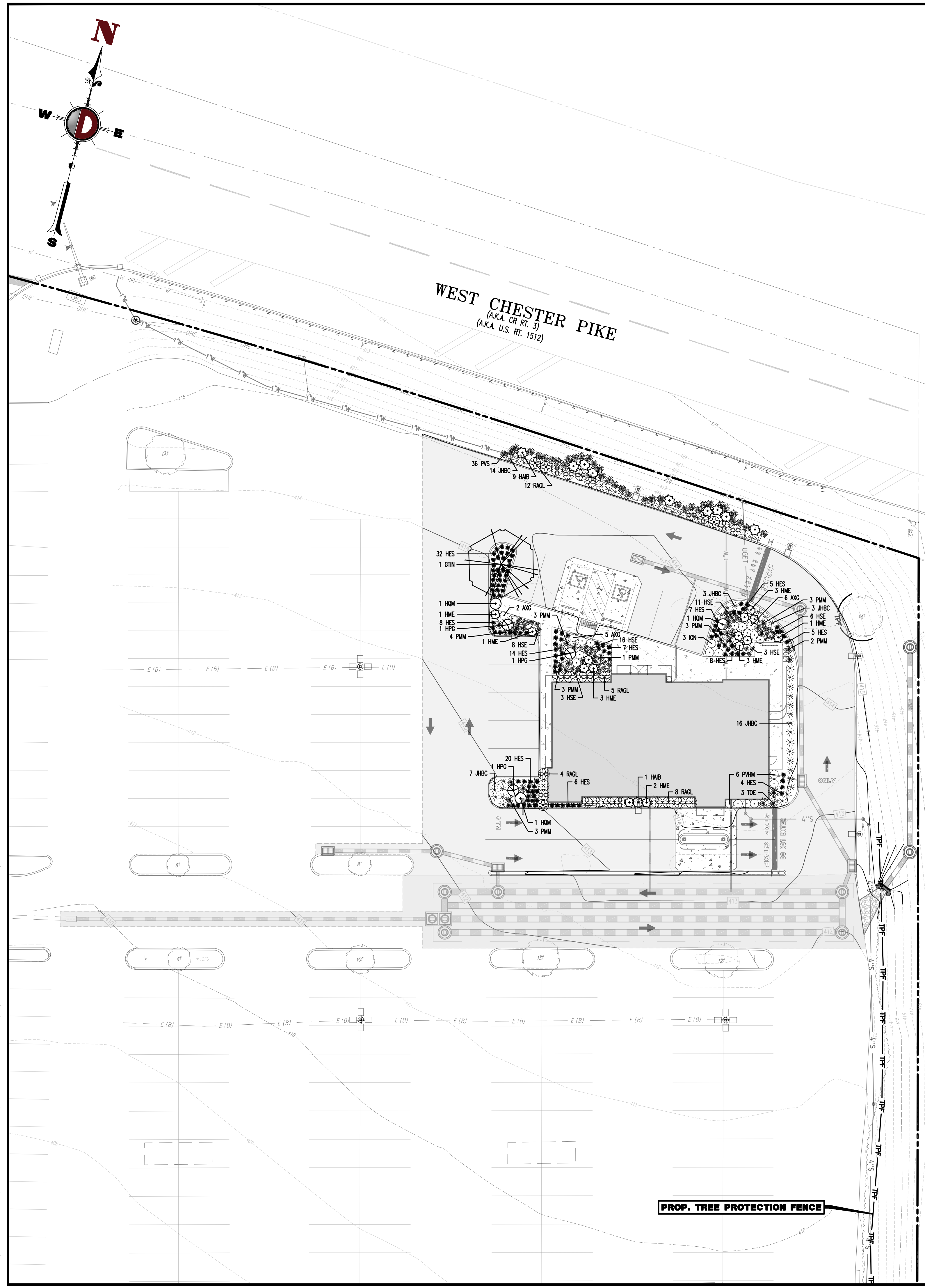
PROFILE VIEW OF PROP. BUILDING TO EXISTING SAN. MANHOLE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY
SEE SHEET 14 OF 25 FOR LANDSCAPE PLAN NOTES & DETAILS**



SECTION	REQUIREMENTS	CALCULATIONS	PROPOSED	COMPLIANCE
§ 149-9250(1)	LOT OR PERIMETER YARD REQUIREMENTS, EACH YARD SHALL BE LANDSCAPED AS FOLLOWS: LANDSCAPING PER 100 LINEAR FEET SHRUBS CANOPY TREES MATURE HEIGHT OVER 30 FEET ORNAMENTAL FLOWERING TREES NONRESIDENTIAL STREET FRONTS (S) ALL OTHER PROPERTY LINES 2.0 1.5 6.0 1.0 3.0	Total LF of Street frontage: 327 LF 327 LF / 100 LF = (3.27) FACTOR 3.27 X 2 = 7 LARGE SHADE TREES 3.27 X 1.5 = 5 ORNAMENTAL TREES 3.27 X 6 = 20 SHRUBS	SHADE TREES: 1 ORNAMENTAL TREES: 3 (HPG) SHRUBS: 48	WAVES
§ 149-9250(2)	(A) EACH PLANTER ISLAND WHICH IS 20 FEET OR LESS IN LENGTH SHALL CONTAIN ONE TREE AND 10 SHRUBS. (B) EACH PLANTER ISLAND WHICH IS MORE THAN 20 FEET IN LENGTH SHALL CONTAIN TWO TREES AND 20 SHRUBS.	(A) AMOUNT OF ISLANDS 20 FEET OR LESS IN LENGTH: 1 1 X 1 = 1 TREE 1 X 10 = 10 SHRUBS (B) AMOUNT OF ISLANDS MORE THAN 20 FEET IN LENGTH: 2 2 X 2 = 4 TREES 2 X 20 SHRUBS = 40 SHRUBS	(A) ORNAMENTAL TREE: 1 SHRUBS: 11 (B) TREES: 1 ORNAMENTAL 1 SHADE SHRUBS: 29	(A) - COMPLIES (B) - WAVES
§ 149-925(1)	ALL LANDSCAPE PLANS SHALL BE PREPARED AND SEALED BY A LANDSCAPE ARCHITECT REGISTERED IN THE COMMONWEALTH OF PENNSYLVANIA.	NA	NA	COMPLIES
§ 149-925(2)	A TWO-YEAR MAINTENANCE AND REPLACEMENT GUARANTY SHALL BE PROVIDED TO THE TOWNSHIP BY THE LANDSCAPE CONTRACTOR. ALL PLANTINGS WHICH DO NOT SURVIVE AFTER THE EXPIRATION OF THE MAINTENANCE GUARANTY SHALL BE REPLACED BY THE OWNER.	NA	NA	COMPLIES



LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
CTN	1	GLEDITSIA TRIACANTHOS INERMIS 'SUNCOLE'	SUNBURST THORNLESS HONEYLOCUST	3 1/2-4' CAL.	B+B
EVERGREEN TREE(S)					
TOE	3	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	8'	B+B
EVERGREEN SHRUB(S)					
IGN	3	ILEX GLABRA X 'CHAMZIN'	NORDIC INKBERRY	24-30"	#3 CAN
PMM	22	PINUS MUGO MUGUS	DWARF MUGO PINE	24-30"	#3 CAN
DECIDUOUS SHRUB(S)					
AVG	13	ABELIA X GRANDIFLORA	GLOSSY ABELIA	18-24"	#3 CAN
HAB	10	HYDRANGEA ABROSCENS 'INCREDIBALL BLUSH'	'INCREDIBALL BLUSH' HYDRANGEA	24-30"	#3 CAN
HME	14	HYDRANGEA MACROPHYLLA 'BALMER'	ENDLESS SUMMER HYDRANGEA	24-30"	#3 CAN
HPG	3	HYDRANGEA PANICULATA 'GRANDIFLORA'	'PEE GEE' HYDRANGEA	24-30"	#5 CAN
HOM	3	HYDRANGEA QUERCIFOLIA 'MUNCHWIG'	'MUNCHWIG' OAKLEAF HYDRANGEA	24-30"	#3 CAN
GROUND COVER					
JHBC	43	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP CREEPING JUNIPER	15-18" SPRD.	#3 CAN
RAGL	29	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	2 GAL.	CONTAINER
PERENNIAL(S)					
HSE	47	HOSTA 'SIEBOLDIANA ELEGANS'	SIEBOLDIANA ELEGANS HOSTA	2 GAL.	CONTAINER
ORNAMENTAL GRASS(ES)					
HES	116	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.	CONTAINER
PVMH	6	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	2 GAL.	CONTAINER
PVS	36	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER
TSB					

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.

NO.	DATE	REV.	BY	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AM	
2	11/04/24	REV. PER TOWNSHIP & CDD COMMENTS	AM	

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: WESTTOWN AM WEST TIC LLC
PROPOSED CHASE BANK
PARCEL NO. 67-2-42-4
1506 PENNSYLVANIA STATE HIGHWAY ROUTE 3 (WEST CHESTER PIKE)
CHESTER COUNTY, PENNSYLVANIA

DATE: 07/12/2024

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MARIA A. ROLLER
REGISTERED LANDSCAPE ARCHITECT
PENNSYLVANIA LICENSE # 00002859

MATTHEW SHARO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

TITLE: **LANDSCAPING PLAN**

SCALE: (H) 1" = 20'
(V) 1" = 20'
DATE: 07/12/2024
PROJECT No: 1478-99-191

SHEET No: **13** OF 25
Rev. #: 2

Plotted: 11/08/24 - 3:07 PM, By: mdaloney
File: P:\VEPC PROJECTS\1478 Paramount Realty\1478 West Chester PA\DWG\4 Land Dev Plans\147899191SL2.dwg, ----> 13 LANDSCAPING PLAN

PLANTING NOTES

- PLANT MATERIAL SHALL BE FURNISHED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOULATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR BRANCH CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST TWO (2) YEARS FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REFUND REQUESTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar as it is PRACTICABLE, PLANTS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BE EXPOSED TO AN AMOUNT OF TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE PLANTED WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MOIST OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PROOF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT EXCEPT GROUND COVERS SHALL BE PLANTED ON THE DAY OF DELIVERY.
- SET ALL PLANTS PLUMB AND STRAIGHT, SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL NURSERY ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- ALL CUTTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT EXPOSED ROOTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING PROTECTION FENCES AT THE DRAIN LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE-SHREDDED HARDWOOD BARK MULCH.
- NEW PLANTING AREAS AND SOIL SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE MUNICIPAL LANDSCAPE ARCHITECT. THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, LINES OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

TYPE	DATES
PLANTS	3/15 to 12/15
LAWN	3/15 to 6/15
	9/15 to 12/15

FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON.

ACER RUBRUM	POPULUS VARIETIES
BETULA VARIETIES	PRUNUS VARIETIES
CORYLUS VARIETIES	QUERCUS VARIETIES
CRATAEGUS VARIETIES	SALIX WEeping VARIETIES
KOELERIA	TILIA TOMENTOSA
LIQUIDAMBAR STRYACIFLUA	ZELKOVIA VARIETIES
LIRIODENDRON TULIPIFERA	
PLATANUS ACERIFOLIA	

ANY VARIETIES INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT. PRIOR TO PLANTING, FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.

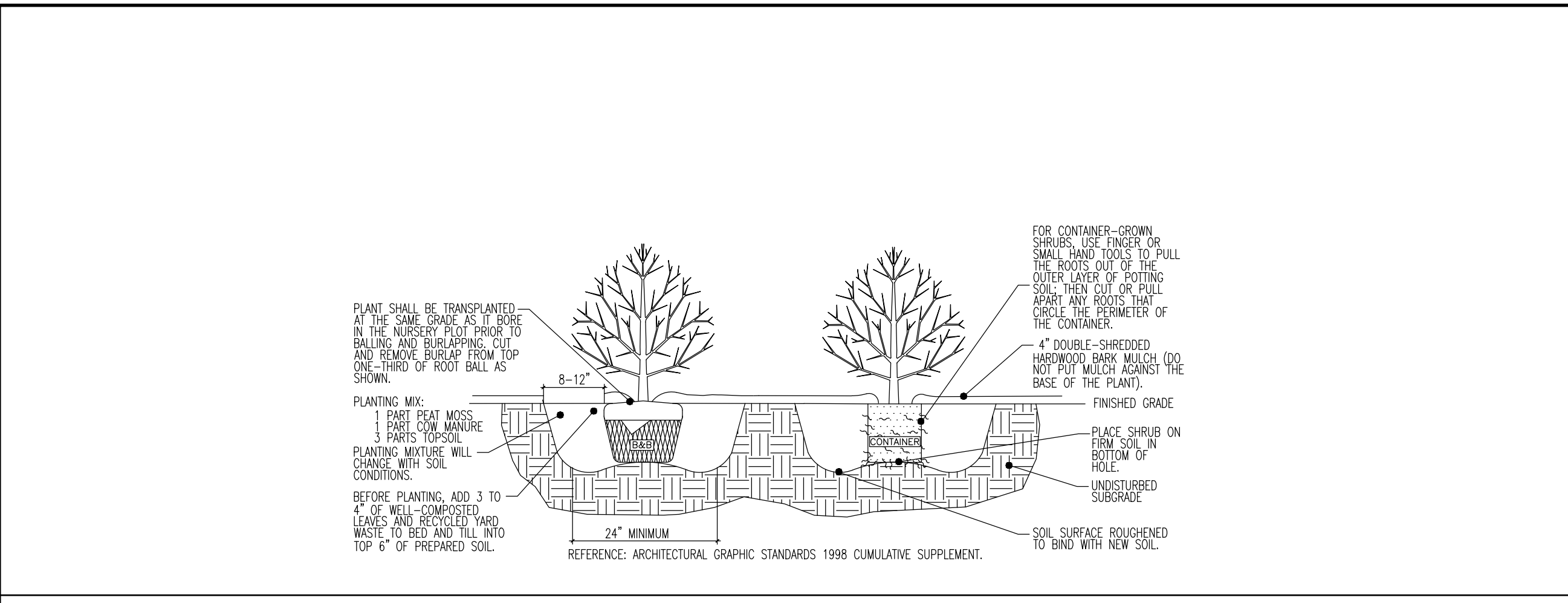
PLANTING SPECIFICATIONS

- SCOPE OF WORK
 - THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPLICANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- MATERIALS
 - GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.
 - PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
 - TOPSOIL - LOAMY Silt, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2") WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - MULCH - FOUR (4) INCHES DOUBLE-SHREDDED HARDWOOD BARK MULCH.
- FERTILIZER AND SOIL CONDITIONER - PLANTED AREAS
 - ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO "NITROGEN"
 - ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE GRASS POWDER AND ORGANIC BASE MATERIALS COMPOSED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1); NITROGEN 5%, PHOSPHORUS 3%, POTASH 1%, 50% HUMUS AND 15% HUMIC ACIDS.
- GENERAL WORK PROCEDURES
 - LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A GOOD STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEP CLEAN AT THE END OF EACH DAY'S WORK.
- WEEDING
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- TOPSOILING
 - CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS; ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
- SOIL CONDITIONING
 - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. CULTIVATION SHALL BE DONE IN TWO (2) DIRECTIONS INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
20 POUNDS "ORG-POWER"
100 POUNDS AGRICULTURAL GYPSUM
 - 20 POUNDS NITROGEN (SOURCE) 38-0-0 BLUE CHIP

- SOIL MODIFICATIONS:
- THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIALS WITH A pH HIGHER THAN 7.5.
 - MOODY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS INCLUDING SUBGRADE DRAINAGE LINES.
 - MOODY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

- PLANTING TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
1 PART PEAT MOSS BY VOLUME
1 PART COW MANURE BY VOLUME
3 PARTS TOPSOIL BY VOLUME
2 TABLETS PER 1 GAL. PLANT
3 TABLETS PER 1 GAL. PLANT
4 TABLETS PER 15 GAL. PLANT
(LARGER PLANTS (2) TWO TABLETS PER 1/2" DIA. OF TRUNK CALIPER)
 - PREPARED SOIL SHALL BE TAMPED FIRM AT BOTTOM OF PIT, FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE SET SO THAT THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPORTED.
 - PREPARE BASED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.
 - WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
 - PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MAX. OF 7' BRANCHING HEIGHT.
- GROUND COVER
 - ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS SAVED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
 - SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
 - IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
- FINISH GRADING
 - ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS 1 FOOT OF FINISH GRADE.
 - LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- GUARANTEE
 - CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF TWO (2) YEARS FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENTUM OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CLEANUP
 - UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
 - MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKES AND CUT SHIPPERS AND RESET TREES AND SHRUBS TO PROPER ORIGIN OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WEEDINGS SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF WEEDS AND PLAGUE.
 - MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF EROSION OR BARE AREAS.
- MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

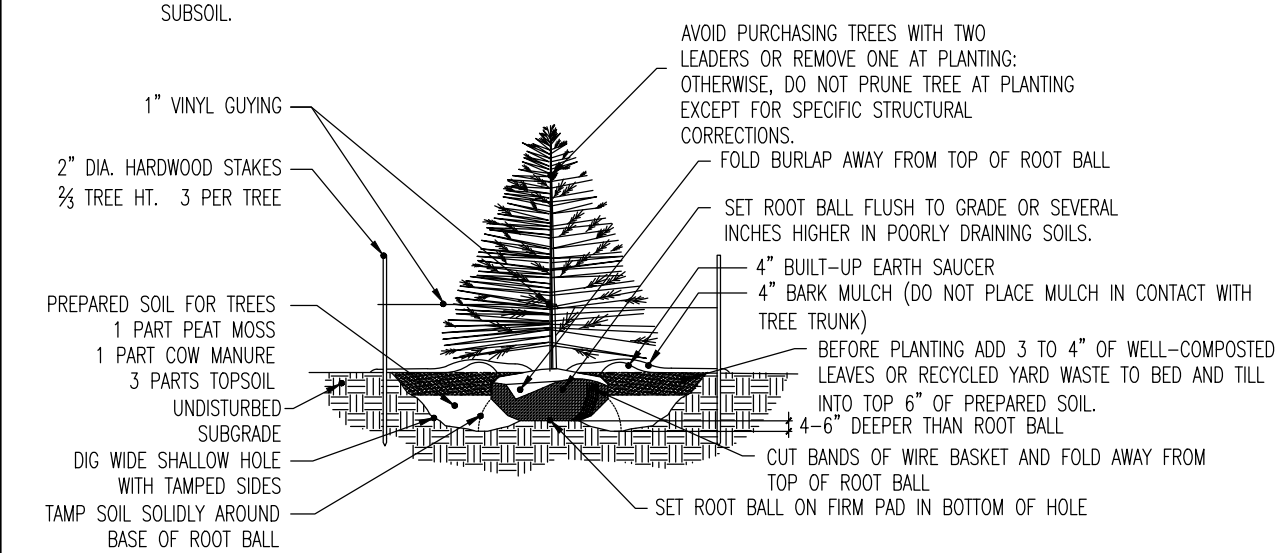
- LANDSCAPING REQUIREMENTS
 - TREES AND SHRUBS SHALL BE OF NURSERY-GROWN STOCK OF NONCOLUMNAR VARIETIES, AND SHALL BE INSECT, PEST AND DISEASE RESISTANT. (§149-925.C) (COMPLIES)
 - IN THE DESIGN OF A LANDSCAPE PLAN, PLANTINGS SHALL BE PROVIDED IN THE VARIETIES, QUANTITIES AND SITE LOCATION NECESSARY TO PROVIDE SEASONAL COLOR VARIETY, REDUCE GLARE AND REFLECTION, AND TO BUFFER NOISE AND OBSCURABLE VIEWS. MODERATE GROUND SURFACE, BUILDING AND STREAM WATER TEMPERATURES, PROVIDE MOISTURE RETENTION, SOIL STABILIZATION, WIND BREAKS AND AIR PURIFICATION. COMPLEMENT EXISTING LANDSCAPING ON ADJOINING PROPERTIES. (§149-925.D) (COMPLIES)
 - PLANTING VARIETIES SHALL BE SELECTED WITH DUE CONSIDERATION OF THEIR FUNCTION; LOCAL GROWING HABITS; ROOTING, BRANCHING AND LEAFING CHARACTERISTICS; AND CLIMATE, MOISTURE, SOIL AND NUTRIENT REQUIREMENTS. (§149-925.E) (COMPLIES)
 - DRAINAGE VARIETIES SHALL NOT BE INSTALLED WHERE THEY WILL BLOCK, IMPIDE OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR OPERATION OF ROADWAYS, DRAINAGE FACILITIES, SANITARY SEWERS OR OTHER ABOVE- OR BELOW-GROUND UTILITIES. DIMINISH SIGHT DISTANCE ALONG ROADWAYS, EAST DENSE WINTER SHADOW ON ROADWAYS OR PUBLIC STRUCTURES IN THE CASE OF EVERGREEN PLANTINGS. (§149-925.F) (COMPLIES)
 - MINIMUM PLANT QUANTITIES REQUIRED: ALL PORTIONS OF A PROPERTY NOT UTILIZED BY DRIVEWAYS OR PAVED SURFACES SHALL BE LANDSCAPED UTILIZING COMBINATIONS OF TREES, SHRUBS, LAWNS, FENCING, GROUND COVER, ROCK FORMATIONS, CONTAINERS AND EXISTING FOLIAGE IN THE QUANTITIES, SIZES AND LOCATIONS SPECIFIED BELOW:
LOT OR PEREMPTORY TRACT REQUIREMENTS: EACH YARD SHALL BE LANDSCAPED AS FOLLOWS FOR NONRESIDENTIAL:
STREET FRONTAGE: CANOPY TREES WITH MATURE HEIGHT OVER 30 FEET - 2.0 PER 100 LINEAR FEET, ORNAMENTAL FLOWERING TREES - 1.5 PER 100 LINEAR FEET, SHRUBS - 6.0 PER 100 LINEAR FEET.
ALL OTHER PROPERTY LINES: CANOPY TREES WITH MATURE HEIGHT OVER 30 FEET - 1.0 PER 100 LINEAR FEET, ORNAMENTAL FLOWERING TREES - 1.0 PER 100 LINEAR FEET, SHRUBS - 3.0 PER 100 LINEAR FEET. (§149-925.G(1)) (COMPLIES)
(N.W.E.R. EXISTING NON-COMFORMANCE)
PARKING AREA REQUIREMENTS: EACH PLANTER ISLAND WHICH IS 20 FEET OR LESS IN LENGTH SHALL CONTAIN ONE TREE AND 10 SHRUBS. EACH PLANTER ISLAND WHICH IS MORE THAN 20 FEET IN LENGTH SHALL CONTAIN TWO TREES AND 20 SHRUBS. (§149-925.G(1)) (N.W.E.R.)
F. MINIMUM PLANTING SIZES: DECIDUOUS TREES: 3 1/2" INCH CALIPER, EVERGREEN TREES: EIGHT FEET IN HEIGHT, SHRUBS, HEDGES, YEW: TWO FEET IN HEIGHT. (§149-925.H) (COMPLIES)
G. SHRUBS AND TREES SHALL NOT BE PLACED CLOSER THAN 10 FEET FROM ANY SIDE OR REAR PROPERTY LINE OR FIVE FEET FROM THE STREET LINE (RIGHT-OF-WAY). (§149-925.I(1)) (N.W.E.R. EXISTING NON-COMFORMANCE)
H. ALL BUFFERS SHALL INCLUDE A COMPLETELY PLANTED VISUAL BARRIER OR LANDSCAPE SCREEN, SUCH VISUAL BARRIER SHALL BE FULLY ATTAINABLE WITHIN A THREE-YEAR PERIOD:
i. EXISTING TREE MASSES SHALL BE RETAINED WHEREVER POSSIBLE AND, AT THE TOWNSHIP'S DISCRETION, CLEARED OF ANY UNDESIRABLE FLORA (VINES, ETC.) AND DEBRIS WHICH WOULD HINDER TREE AND SHRUB GROWTH. (§149-922.B(1)) (NA)
ii. WHERE THE EXISTING TREE MASSES DO NOT FULLY SCREEN THE AREA OR WHERE THERE ARE NO EXISTING TREE MASSES, PLANTINGS SHALL BE ADDED TO COMPLETE THE VISUAL BARRIER WITHIN THE PRESCRIBED TIME PERIOD. (§149-922.B(2)) (NA)
iii. THE LANDSCAPE SCREEN SHALL BE COMPOSED OF BOTH HIGH-LEVEL AND LOW-LEVEL PLANTINGS. THE HIGH-LEVEL SCREEN SHALL CONSIST OF A COMBINATION OF EVERGREEN TREES (INITIALLY NOT LESS THAN EIGHT FEET IN HEIGHT) AND DECIDUOUS TREES (INITIALLY WITH CALIPER OF NOT LESS THAN 2 1/2 INCHES MEASURED ONE FOOT FROM GROUND LEVEL). TREES SHALL BE PLANTED IN STAGGERED ROWS AND CENTERED NO MORE THAN 18 FEET APART. THE LOW-LEVEL SCREEN SHALL CONSIST OF EVERGREEN SHRUBS (INITIALLY NOT LESS THAN THREE FEET IN HEIGHT). SHRUBS SHALL BE SPACED IN STAGGERED ROWS AND CENTERED NO MORE THAN FIVE FEET APART. (§149-922.B(3)) (N.W.E.R. EXISTING NON-COMFORMANCE)
I. ALL SEASON GROUND COVER, A MAJOR OBJECTIVE FOR SUCH GROUND COVER SHALL BE TO PREVENT SOIL EROSION AND SEDIMENTATION OFF THE SITE. (§170-1507.A) (COMPLIES)
J. THERE SHALL BE NO PLANTINGS, GROUND COVER OR OTHER OBJECTS PLACED WITHIN THE ROAD RIGHT-OF-WAY ABOVE 18 INCHES IN HEIGHT. (§170-1507.C) (COMPLIES)



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

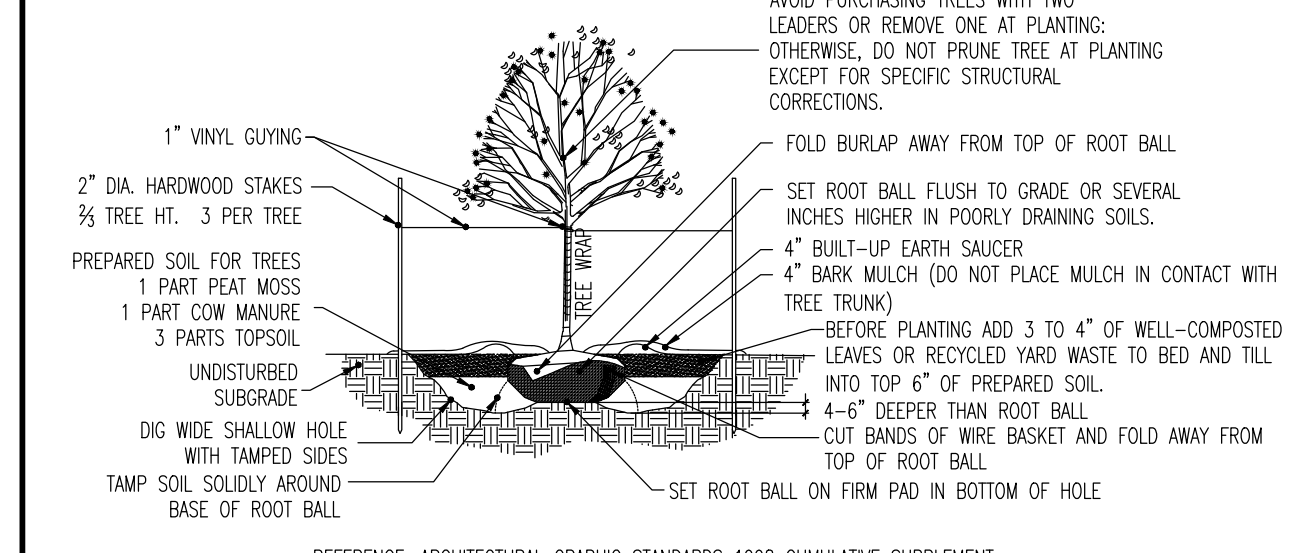
NOT TO SCALE

- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
 - PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
 - THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



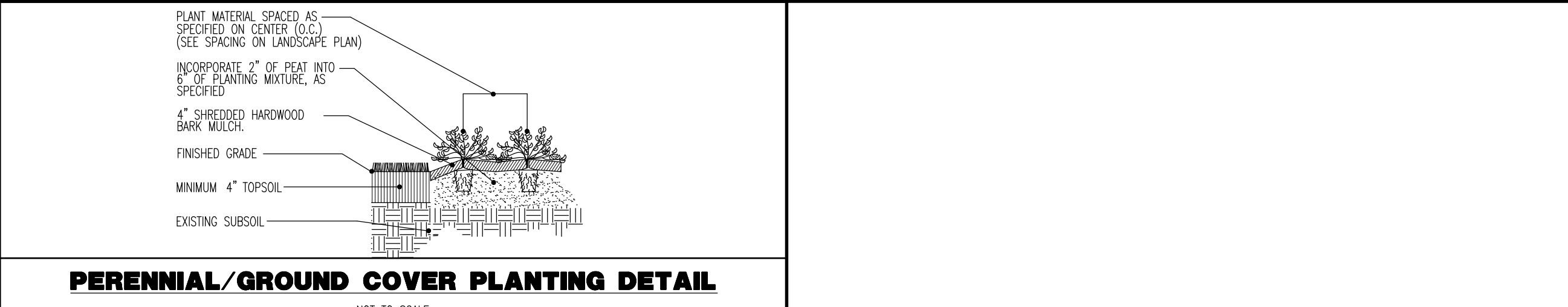
EVERGREEN TREE PLANTING DETAIL

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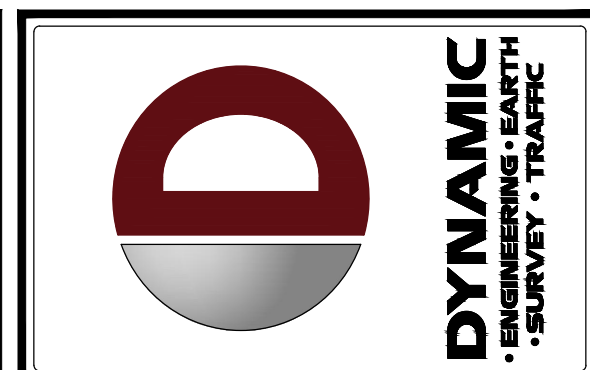
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



PERENNIAL/GROUND COVER PLANTING DETAIL

NOT TO SCALE



NO.	REV.	DATE	COMMENTS
1	09/30/24		REV. PER TOWNSHIP COMMENTS
2	11/04/24		REV. PER TOWNSHIP & CCD COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: WESTTOWN AM WEST TIC LLC
PROPOSED CHASE BANK
CHASE O
PARCEL NO. 67-2-4-4-4
1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)
CHESTER COUNTY, PENNSYLVANIA

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MARIA A. ROLLER
REGISTERED PROFESSIONAL ARCHITECT
PENNSYLVANIA LICENSE # 00002859

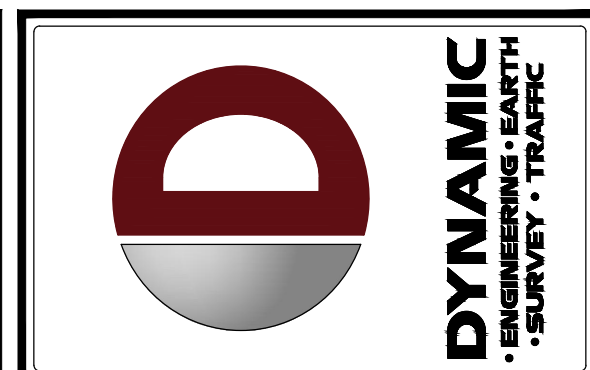
MATTHEW SHARO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52989

TITLE: LANDSCAPING NOTES & DETAILS

SCALE: (H) AS NOTED DATE: 07/12/2024
PROJECT No: 1478-99-191

SHEET No: 14 OF 25 Rev. #: 2

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



NO.	DATE	REVISIONS	BY
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AM
2	11/04/24	REV. PER TOWNSHIP & CCD COMMENTS	AM

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PROJECT: WESTTOWN AM WEST TIC LLC
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JUSTIN A. GEONOTTI
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. 060629

MATTHEW SHARO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 52989

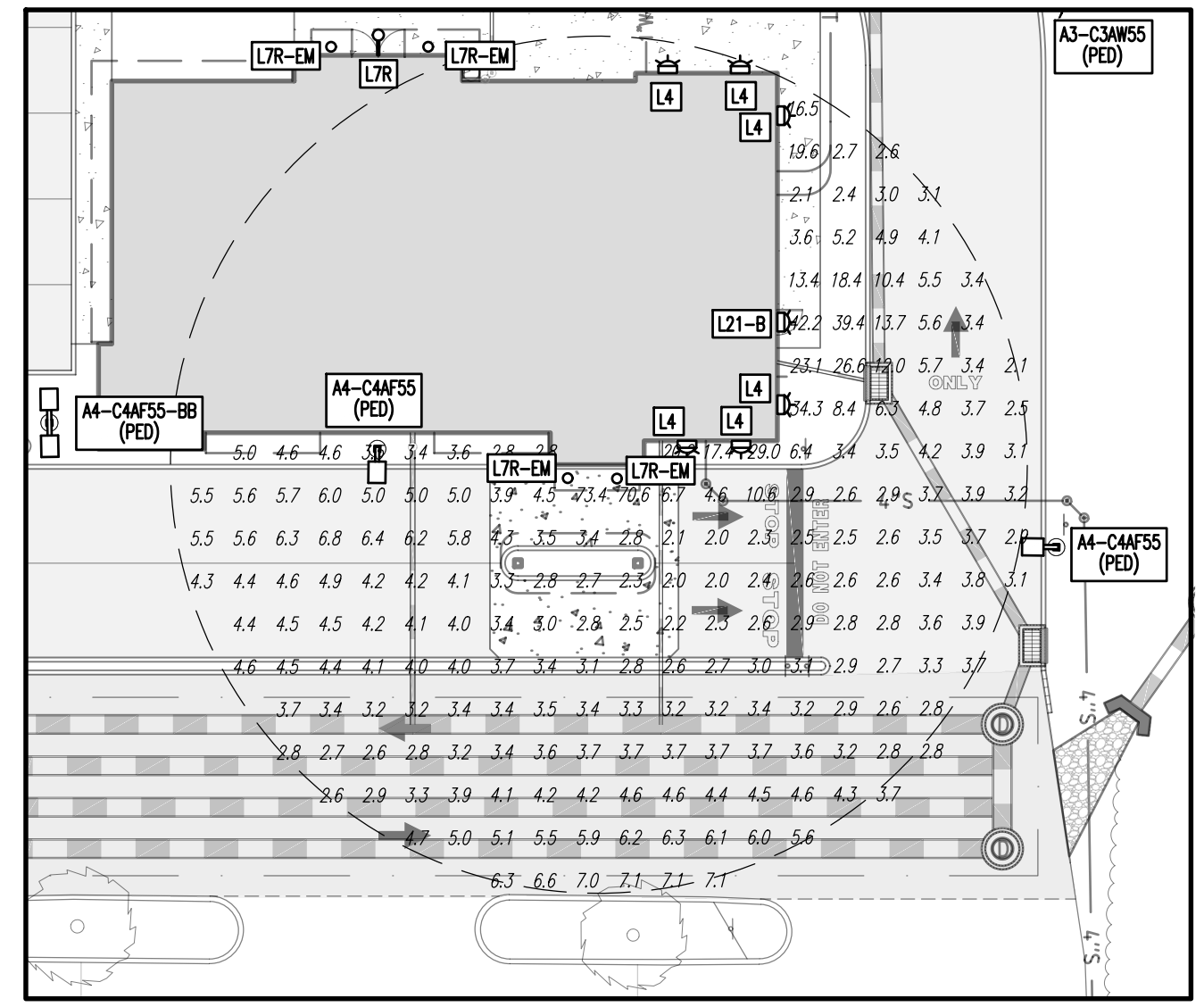
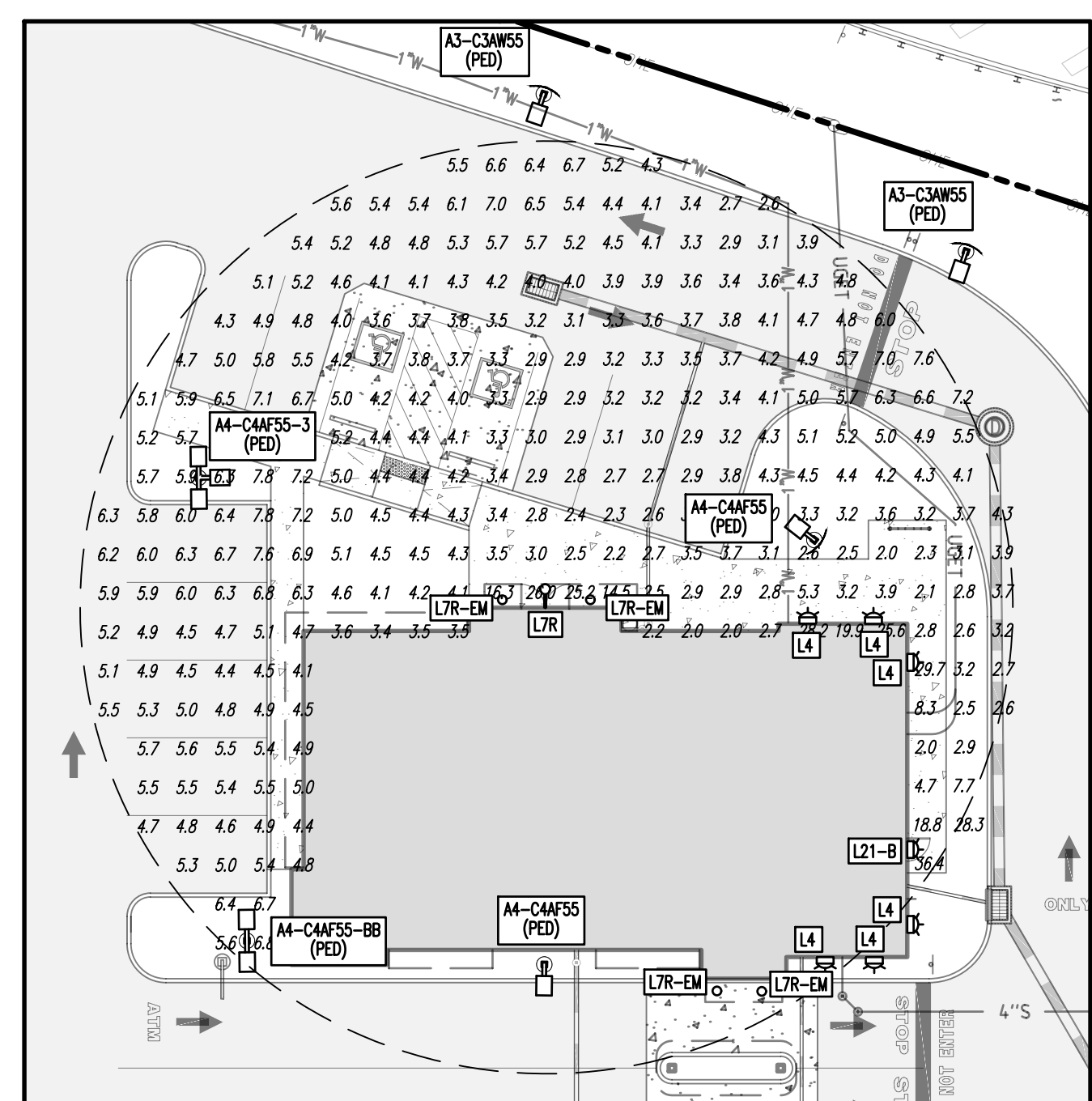
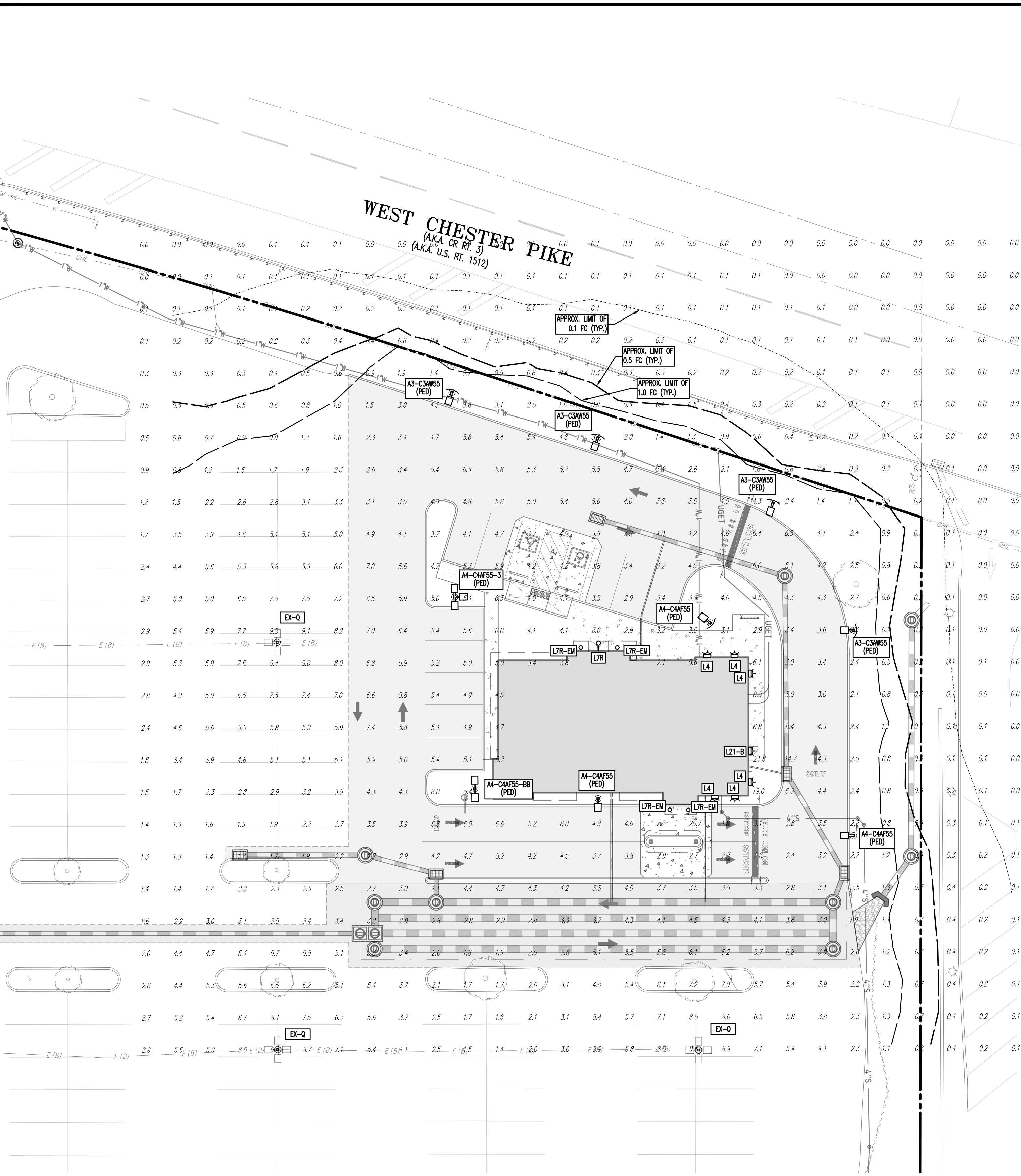
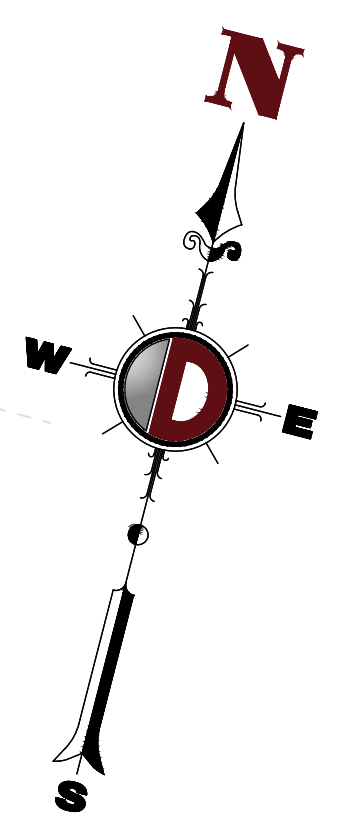
TITLE: LIGHTING PLAN

SCALE: (H) 1" = 20'
 (V) 1" = 20'

DATE: 07/12/2024

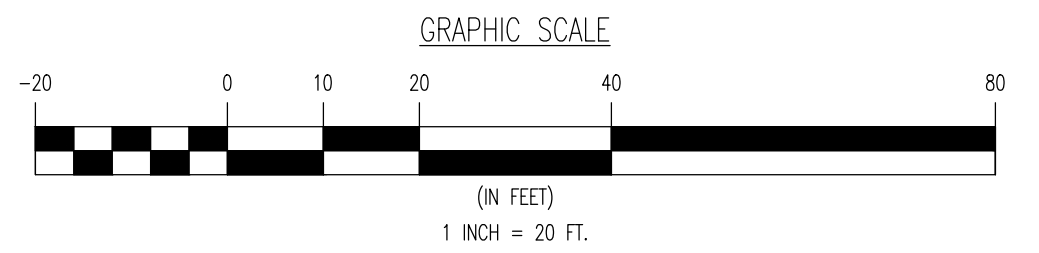
PROJECT NO: 1478-99-191

SHEET NO: 15 OF 25



STATISTICAL AREA SUMMARY

LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.
PARKING AREA	4.74	20.7	2.4	1.98	8.63



LIGHTING LUMINAIRE SCHEDULE

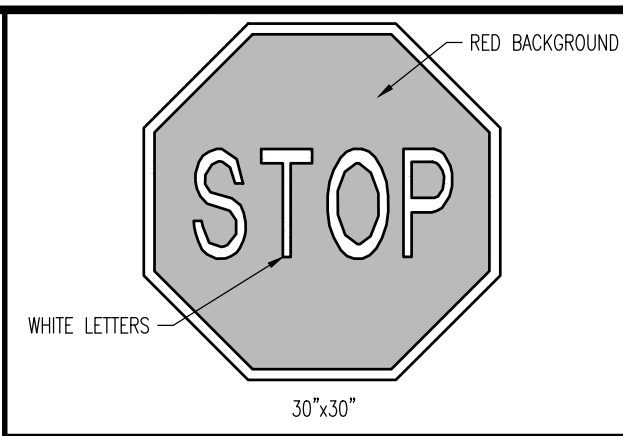
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	BUG RATING	MANUFACTURER	DESCRIPTION	IES FILE
(Symbol)	4	A3-CAMSS (PED)	55W	20 FT	SINGLE	1.000	B1-U0-C1	GE LIGHTING SOLUTIONS	SHIELDED LED TYPE 3 PATTERN EVOLVE EACH SERIES CURRENT LIGHTING AREA LIGHT	EACLO1_CAM740 WITH ELS-EAC-ABL-BLOCKIES
(Symbol)	1	A4-CAMSS-BB	55W	20 FT	BACK-TO-BACK	1.000	B1-U0-G2	GE LIGHTING SOLUTIONS	SHIELDED LED TYPE 4 PATTERN EVOLVE EACH SERIES CURRENT LIGHTING AREA LIGHT	EACLO1_CAM740 WITH -ELS-EAC-ABL-BLOCKIES
(Symbol)	1	A4-CAMSS-3	55W	20 FT	3 @ 90 DEGREES	1.000	B1-U0-G2	GE LIGHTING SOLUTIONS	SHIELDED LED TYPE 4 PATTERN EVOLVE EACH SERIES CURRENT LIGHTING AREA LIGHT	EACLO1_CAM740 WITH -ELS-EAC-ABL-BLOCKIES
(Symbol)	3	A4-CAMSS	55W	20 FT	SINGLE	1.000	B1-U0-G2	GE LIGHTING SOLUTIONS	SHIELDED LED TYPE 4 PATTERN EVOLVE EACH SERIES CURRENT LIGHTING AREA LIGHT	EACLO1_CAM740 WITH -ELS-EAC-ABL-BLOCKIES
(Symbol)	3	EX-Q	283W	30 FT	4 @ 90 DEGREES	0.750	B3-U0-G3	COOPER LIGHTING	EXISTING QUAD HEAD 250W PULSE START METAL HALIDE TYPE 3 PATTERN MCGRAW EDISON CALLERA SERIES AREA LIGHT	GSM-XX-250-MP-XX-45-FIGES
(Symbol)	6	L4	9.8W	10 FT	SINGLE	1.000	B1-U0-G0	GE LIGHTING SOLUTIONS	9004-W1-(RW, RJ)-LED4080-W-BK-L1-UNVIES	9004-W1-(RW, RJ)-LED4080-W-BK-L1-UNVIES
(Symbol)	1	L21-B	58W	10 FT	SINGLE	1.000	B1-U0-C1	GE LIGHTING SOLUTIONS	XTOR88	XTOR88.ES
(Symbol)	1	LTR	18.8W	10 FT	SINGLE	1.000	N/A	GE LIGHTING SOLUTIONS	34998812-804032	34998812-804032
(Symbol)	4	LTR-EM	18.8W	10 FT	SINGLE	1.000	N/A	GE LIGHTING SOLUTIONS	34998812-804032	34998812-804032

ISO CURVES ARE MAINTAINED AND SHOWN AT 1.0, 0.5, AND 0.1 FC.
 (FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

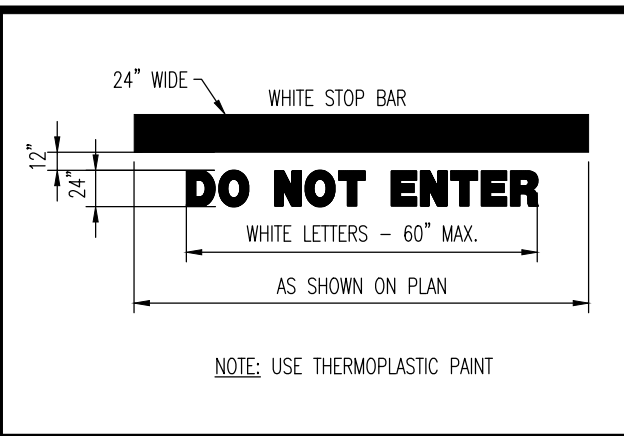
LIGHTING GENERAL NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUYARD POSTS.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- REFER TO ARCHITECTURAL PLANS FOR WIRING DIAGRAM.
- THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.
- LIGHTING REQUIREMENTS
 - A. LIGHTING SHALL BE PROVIDED TO ILLUMINATE ANY OFF-STREET PARKING SPACES TO BE USED AT NIGHT. (§170-1703(b)(4)) (MILL COMPLY)
 - B. HIGH-ACTIVITY COMMERCIAL PARKING AREAS SHALL MAINTAIN A TEN (10) TO ONE (1) MINIMUM AVERAGE ILLUMINATION LEVEL AND A TWENTY (20) TO TWO (2) MAXIMUM AVERAGE ILLUMINATION LEVEL. ADDITIONALLY, THE AVERAGE TO MINIMUM UNIFORMITY RATIO SHALL BE FIVE (5) TO ONE (1) AND THE MAXIMUM TO MINIMUM UNIFORMITY RATIO SHALL BE TWENTY (20) TO ONE (1) FOR THESE RESPECTIVE AREAS. (§170-1514(d)(3)(a)) (MILL COMPLY)
 - C. FOR LIGHTING HORIZONTAL TASKS SUCH AS ROADWAYS, SIDEWALKS, ENTRANCE DRIVES AND PARKING AREAS, LUMINAIRES SHALL MEET IESNA FULL-CUTOFF CRITERIA (NO LIGHT OUTPUT EMITTED ABOVE 90° AT ANY LATERAL ANGLE AROUND THE FIXTURE). (§170-1514(d)(2)(b)) (MILL COMPLY)
 - D. ALL OUTDOOR LIGHTING, WHETHER OR NOT REQUIRED BY THIS CHAPTER ON PRIVATE, RESIDENTIAL, COMMERCIAL, INDUSTRIAL, MUNICIPAL, RECREATIONAL OR INSTITUTIONAL PROPERTY, SHALL BE AIMED, LOCATED, DESIGNED, FITTED AND MAINTAINED SO AS NOT TO PRESENT A HAZARD TO DRIVERS OR PEDESTRIANS BY IMPAIRING THEIR ABILITY TO SAFELY TRAVERSE AND SO AS NOT TO CREATE A NUISANCE BY PROJECTING OR REFLECTING OBSTRUCTIONABLE LIGHT ONTO A NEIGHBORING USE OR PROPERTY. (§170-1514(d)(3)(c)) (MILL COMPLY)
 - E. ALL OUTDOOR LUMINAIRES SHALL BE SHIELDED IN SUCH A MANNER THAT NO LIGHT IS EMITTED ABOVE A HORIZONTAL PLANE PASSING THROUGH THE LOWEST POINT OF THE LIGHT EMITTING ELEMENT, SO THAT DIRECT LIGHT EMITTED ABOVE THE HORIZONTAL PLANE IS ELIMINATED. ALL OUTDOOR LUMINAIRES THAT ILLUMINATE THE AREA UNDER OUTDOOR CANOPIES SHALL COMPLY WITH THE REQUIREMENT. (§170-1514(d)(3)(b)) (MILL COMPLY)
 - F. UNLESS OTHERWISE PERMITTED BY THE APPROPRIATE OFFICERS OR AGENTS OF THE TOWNSHIP, E.G., FOR SAFETY OR SECURITY OR ALL-NIGHT OPERATIONS, LIGHTING FOR COMMERCIAL, INDUSTRIAL, PUBLIC RECREATIONAL AND INSTITUTIONAL APPLICATIONS SHALL BE CONTROLLED BY AUTOMATIC SWITCHING DEVICES SUCH AS TIME CLOCKS OR COMBINATION MOTION DETECTORS AND PHOTOCELLS, TO PERMIT EXTINGUISHING OUTDOOR LIGHTING FIXTURES BETWEEN 11:00 P.M. AND DAWN, TO MITIGATE NUISANCE CLARE AND SKY-LIGHTING CONSEQUENCES. (§170-1514(d)(3)(d)) (MILL COMPLY)
 - G. LIGHTING PROPOSED FOR USE AFTER 11:00 P.M. OR AFTER THE NORMAL HOURS OF OPERATION FOR COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR MUNICIPAL APPLICATIONS, SHALL BE REDUCED BY 75% FROM THEIR UNTIL DAWN, UNLESS SUPPORTING A SPECIFIC PURPOSE AND APPROVED BY THE APPROPRIATE OFFICERS OR AGENT OF THE TOWNSHIP. (§170-1514(d)(3)(e)) (MILL COMPLY)
 - H. IN NO CASE SHALL THE INTENSITY OF ILLUMINATION EXCEED 0.1 HORIZONTAL, AND 0.1 VERTICAL FOOT-CANDELES. HORIZONTAL FOOT-CANDELES SHALL BE MEASURED AT GRADE. VERTICAL FOOT-CANDELES SHALL BE MEASURED LINE-OF-SIGHT, FIVE FEET ABOVE GRADE AT THE PROPERTY LINE. (§170-1514(d)(3)(f)) (MILL COMPLY)
 - I. EXTERNALLY ILLUMINATED SIGNS AND BILLBOARDS SHALL BE LIGHTED BY FIXTURES MOUNTED AT THE TOP OF THE SIGN AND AIMED DOWNWARD. SUCH FIXTURES SHALL BE AUTOMATICALLY EXTINGUISHED BETWEEN THE HOURS OF 11:00 P.M. AND DAWN, EXCEPT AS SPECIFICALLY APPROVED BY APPROPRIATE OFFICERS OR AGENTS OF THE TOWNSHIP. (§170-1514(d)(3)(g)) (MILL COMPLY)
 - J. LIGHTING FIXTURES SHALL BE MOUNTED AT A MAXIMUM TOTAL HEIGHT OF 20 FEET ABOVE THE GROUND, EXCEPT SUCH HEIGHT SHALL BE REDUCED TO 16 FEET WITHIN RESIDENTIALLY USED PROPERTIES OR WITHIN 200 FEET OF A RESIDENTIALLY USED LOT, EXCEPT FOR AUTHORIZED INSTITUTIONAL USE. (§170-1514(d)(3)(h)) (MILL COMPLY)
 - K. EXTERIOR LIGHT FIXTURES FOR PRINCIPAL NONRESIDENTIAL USES SHALL BE SET BACK A MINIMUM OF 10 FEET FROM A LOT LINE OF A DWELLING, EXCEPT FOR LIGHTING NECESSARY TO ILLUMINATE PEDESTRIAN WALKWAYS OR VEHICLE INGRESS OR EGRESS POINTS. (§170-1514(d)(4)) (MILL COMPLY)

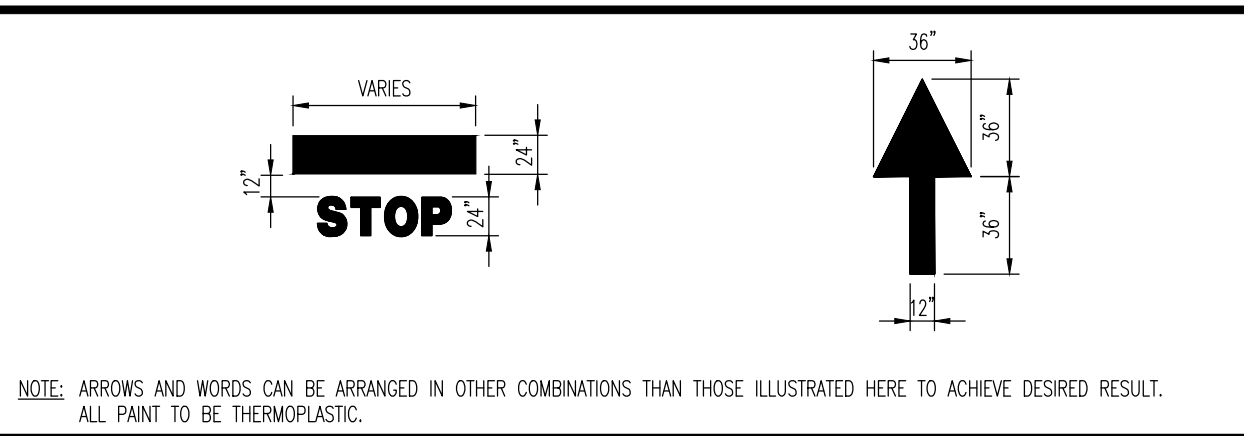
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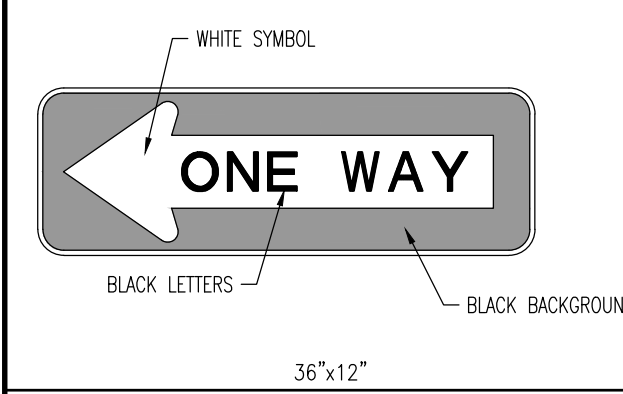
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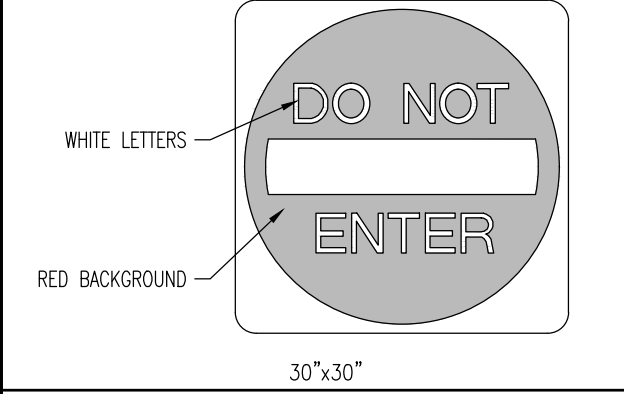
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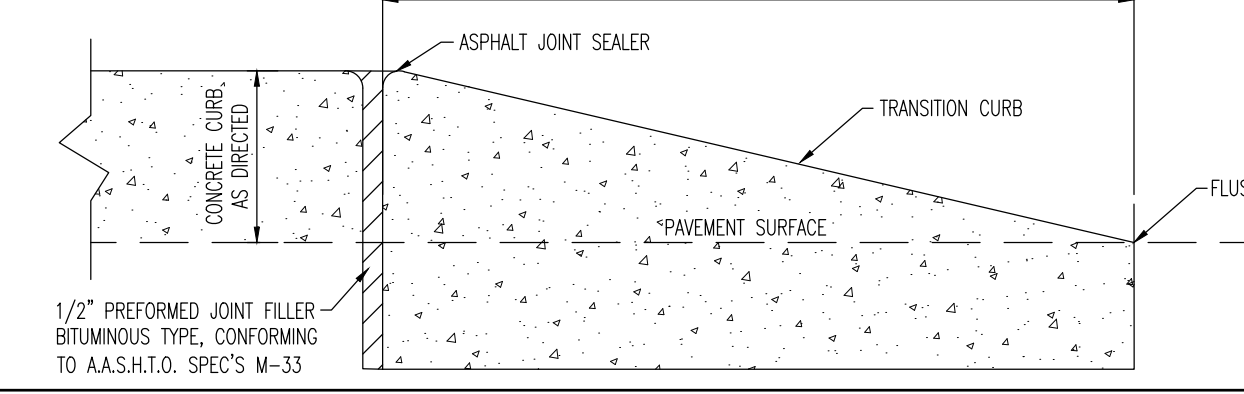
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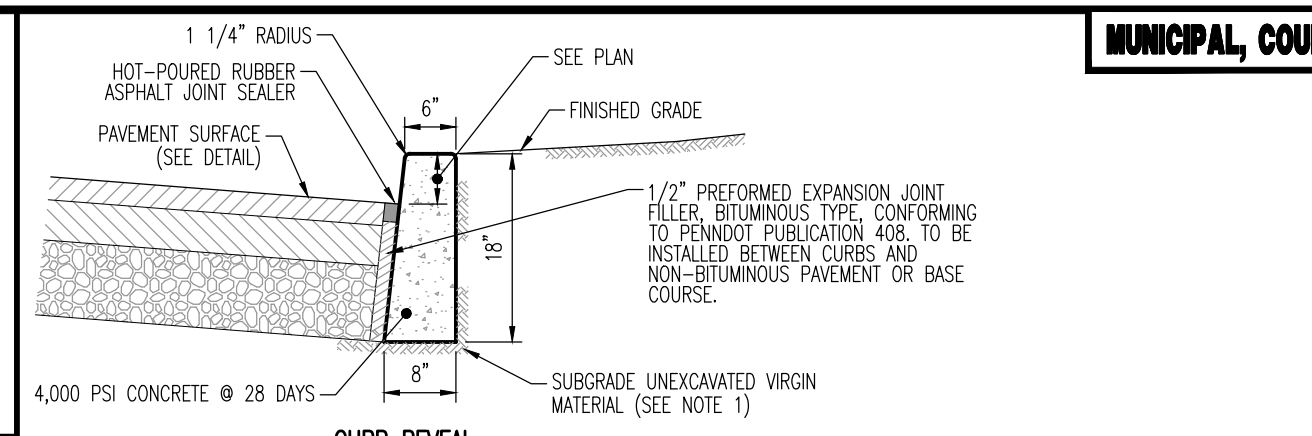
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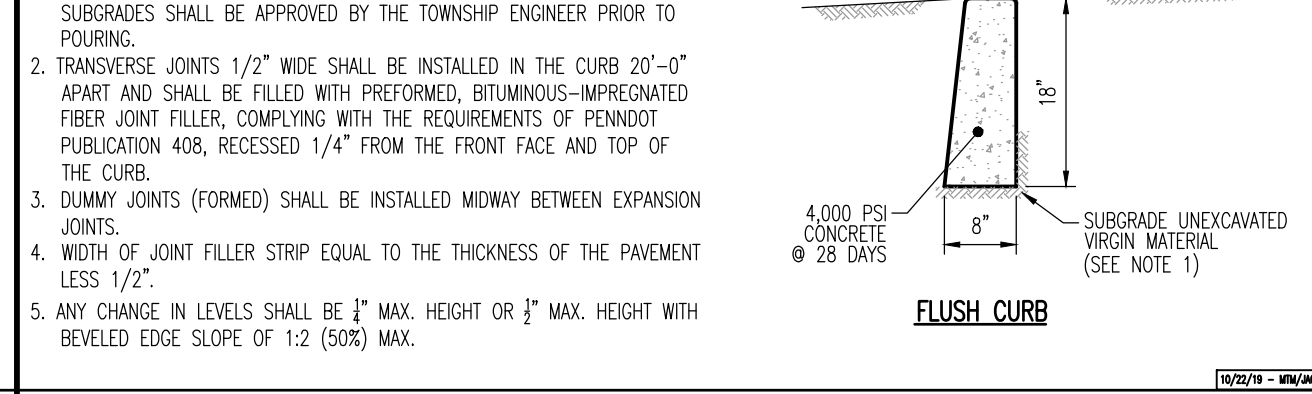
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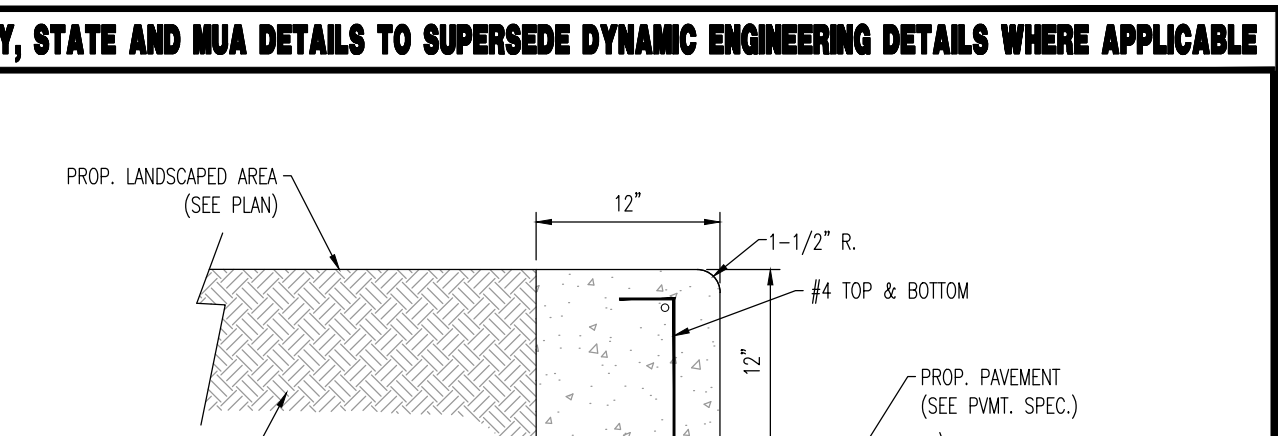
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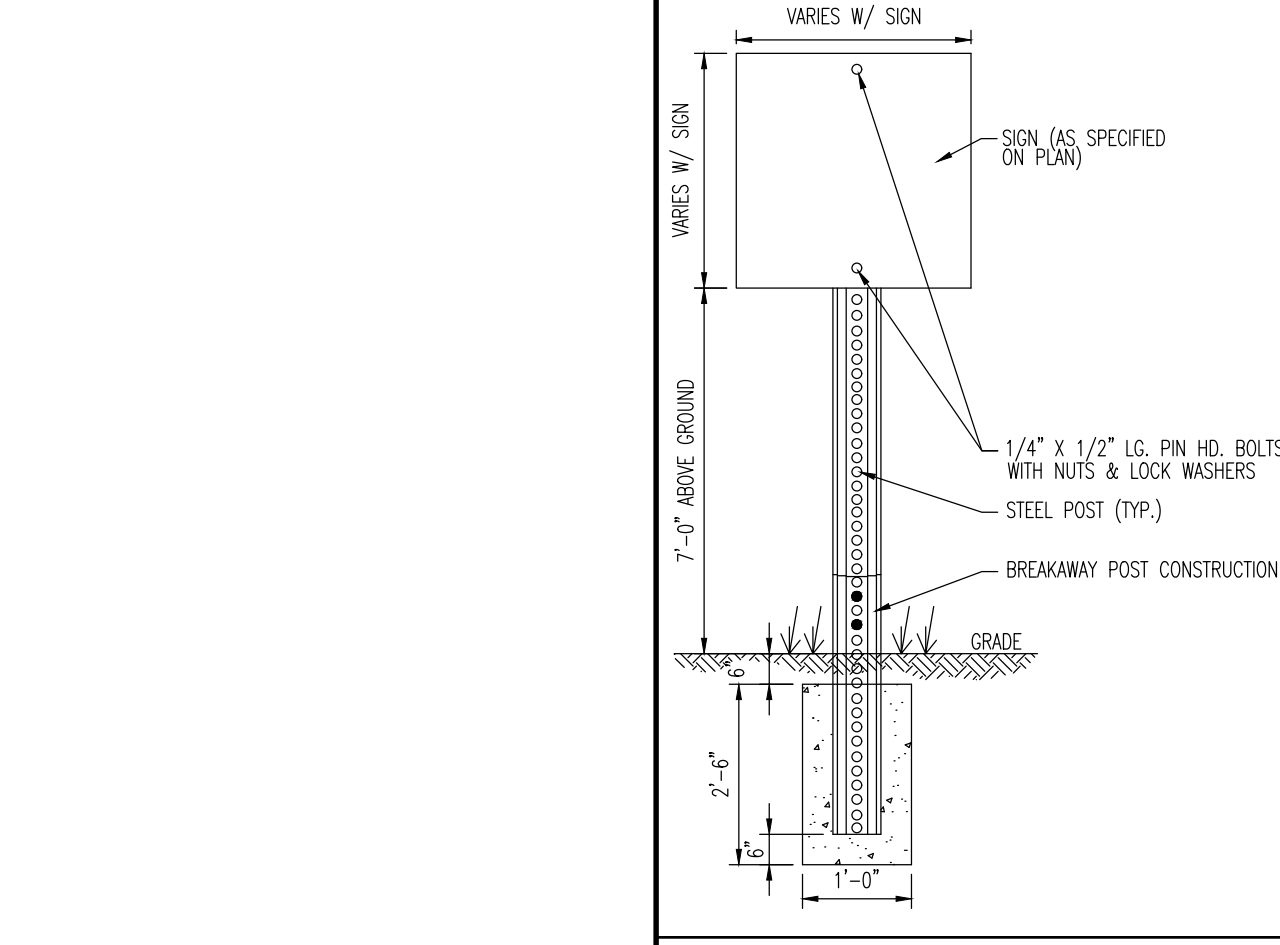
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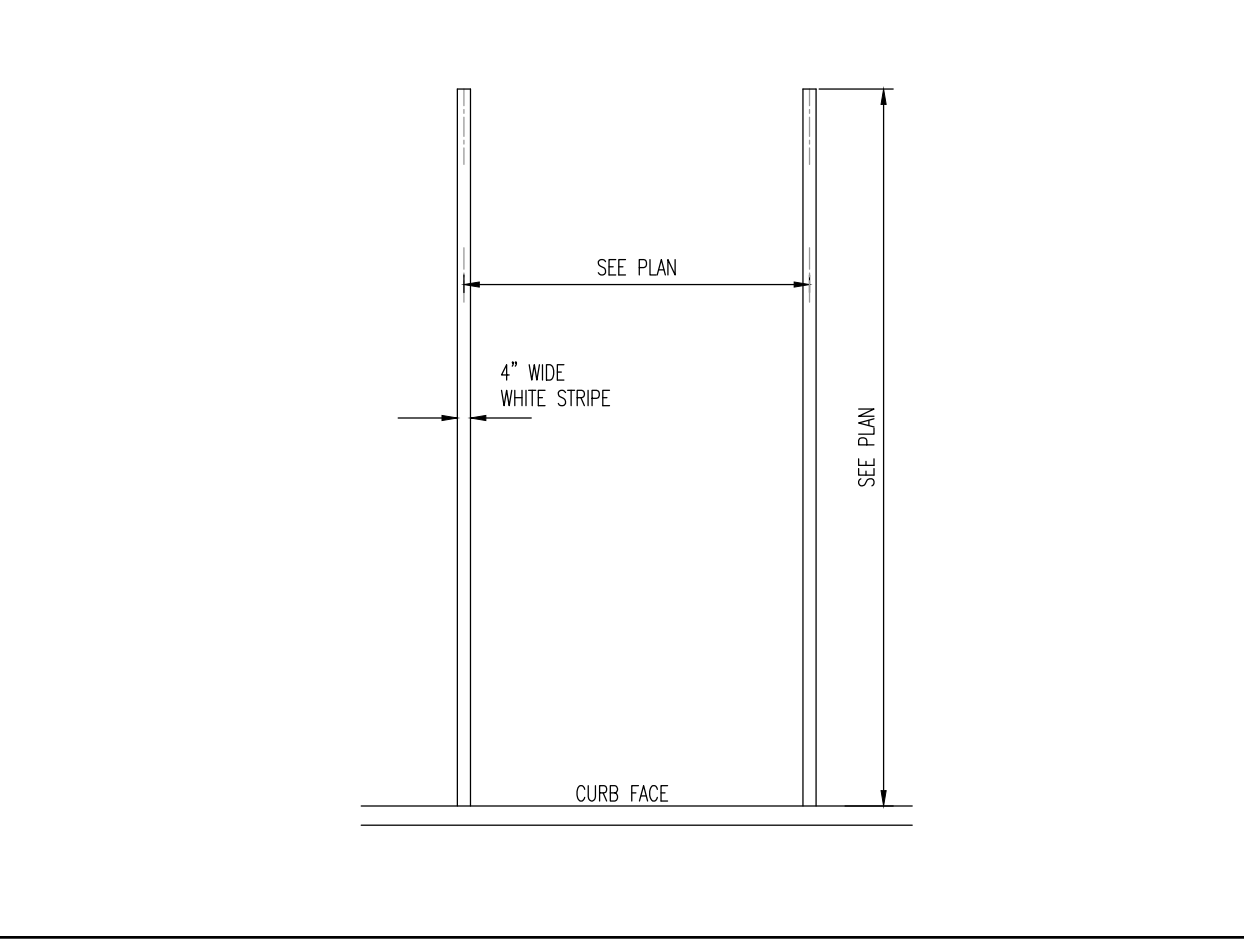
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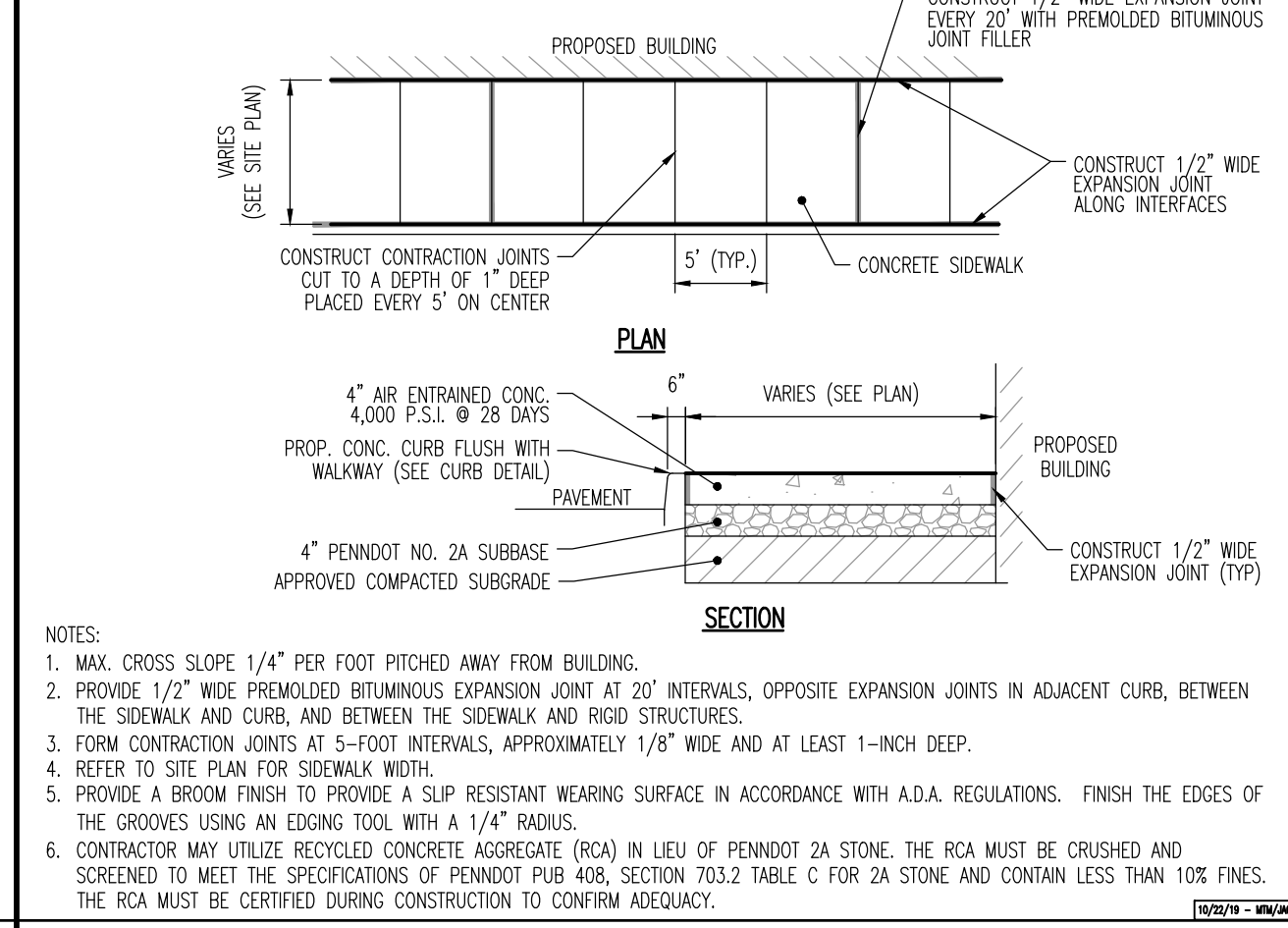
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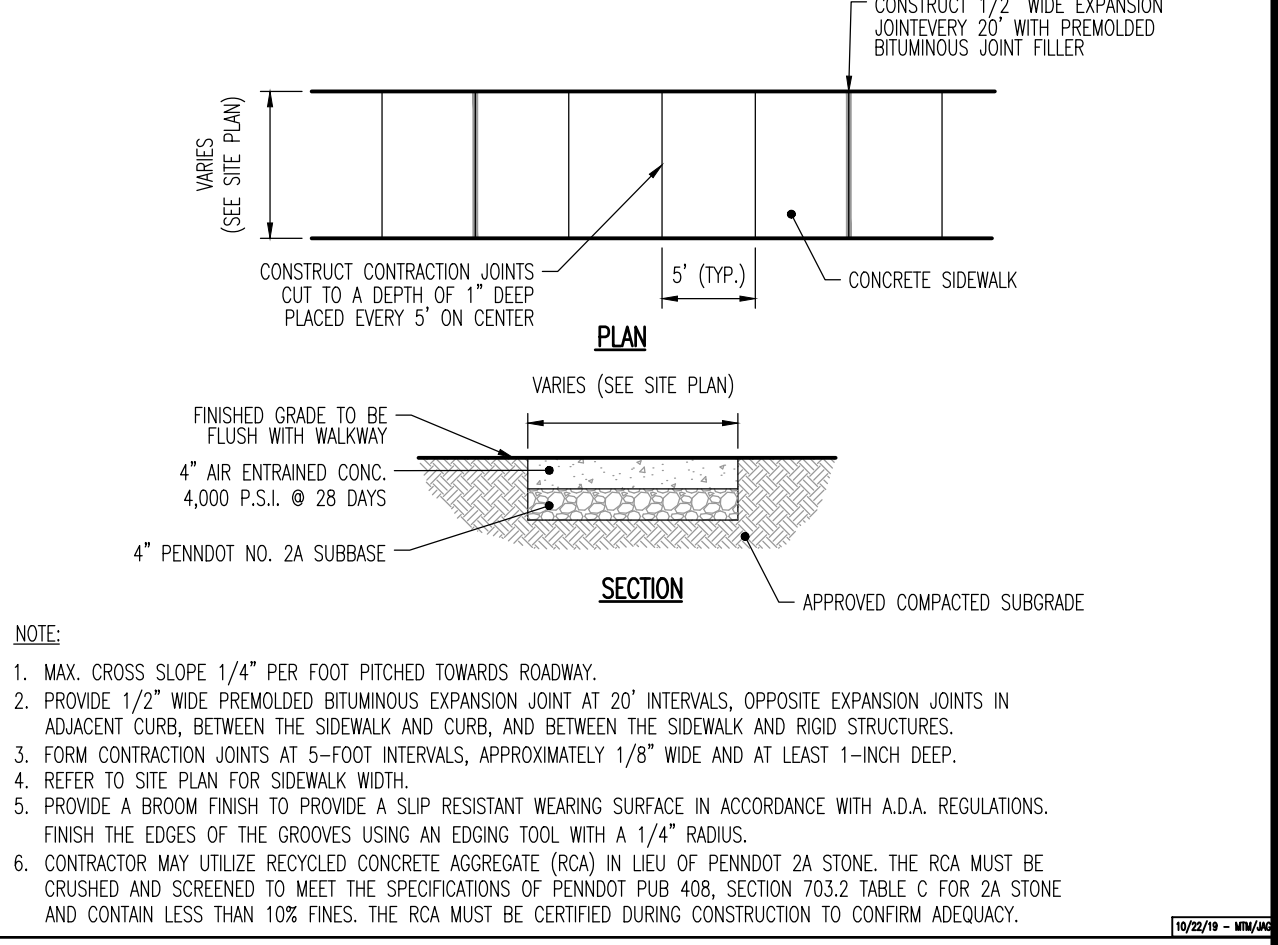
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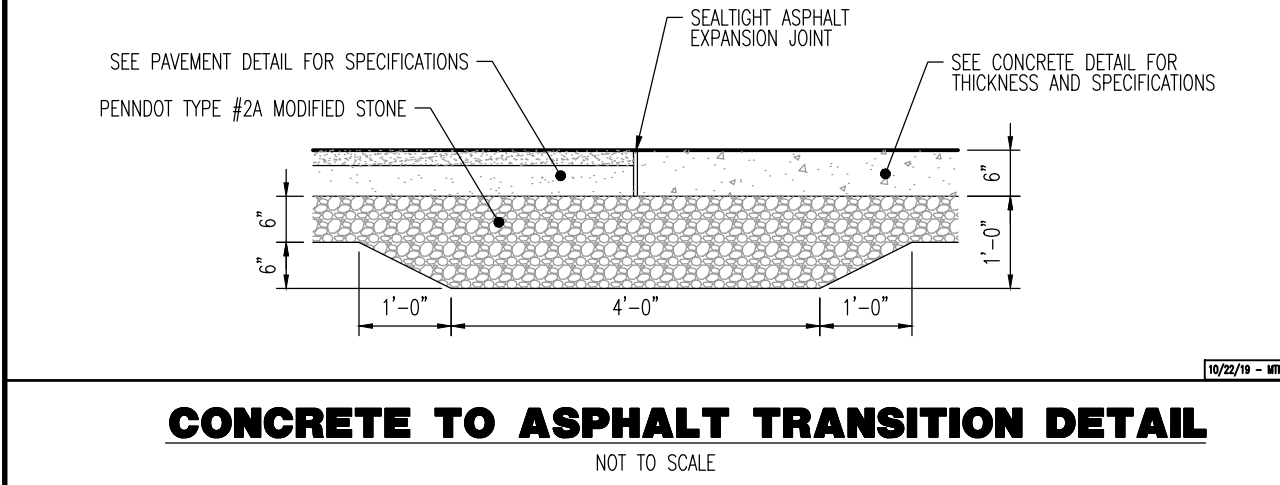
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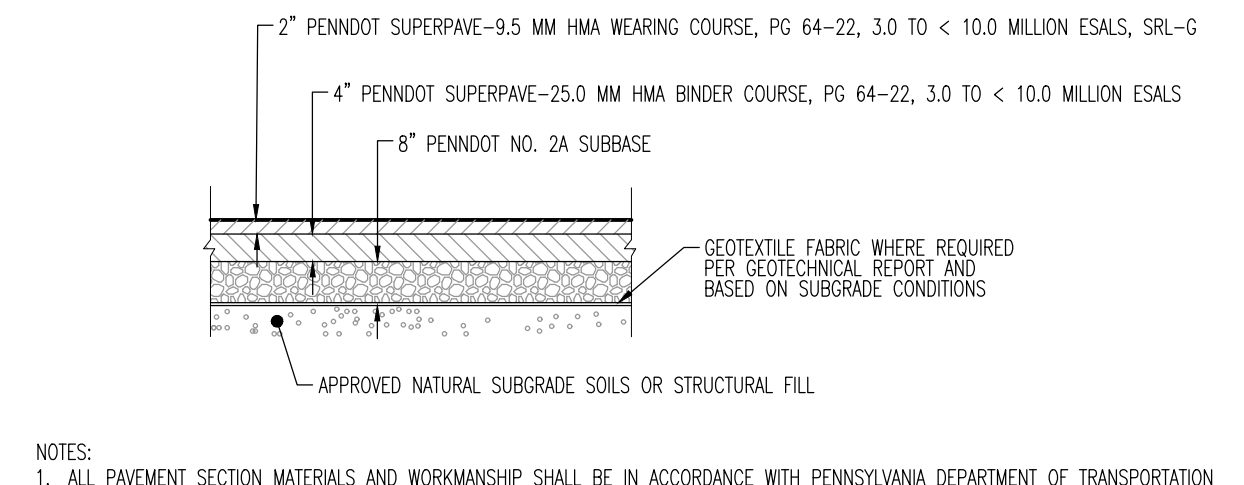
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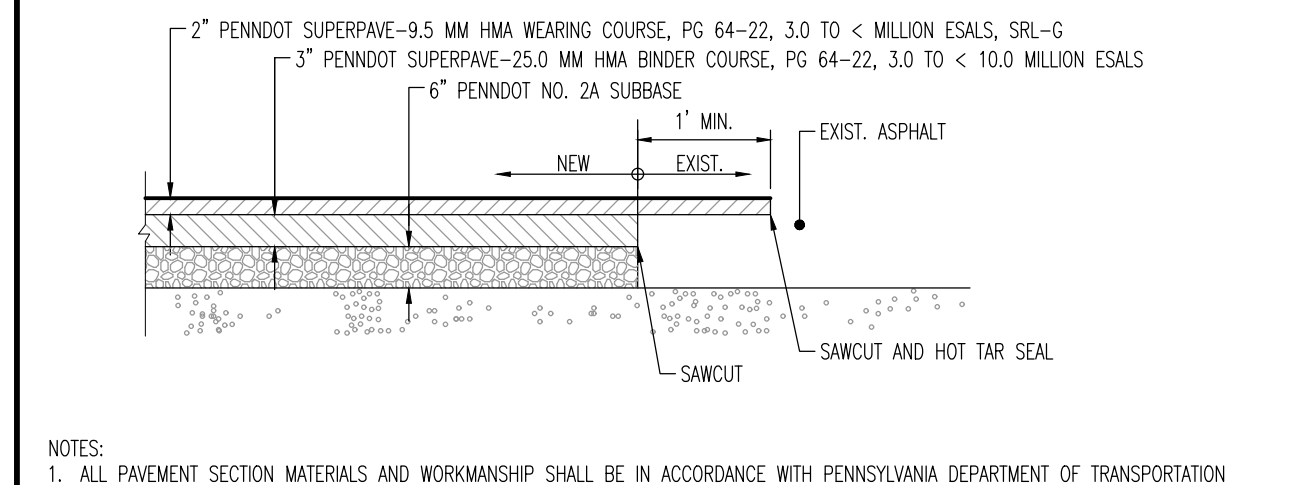
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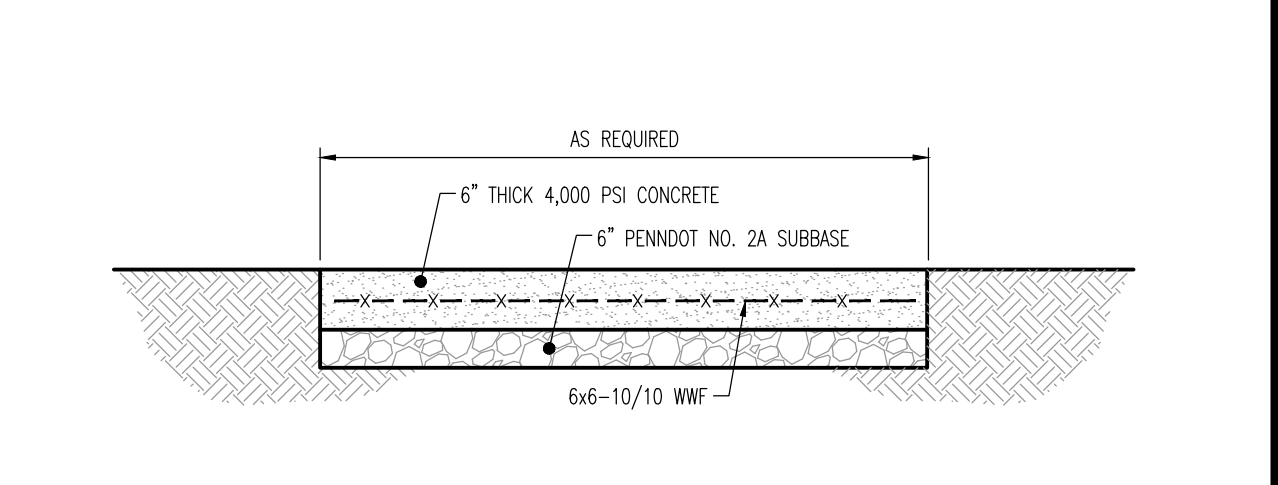
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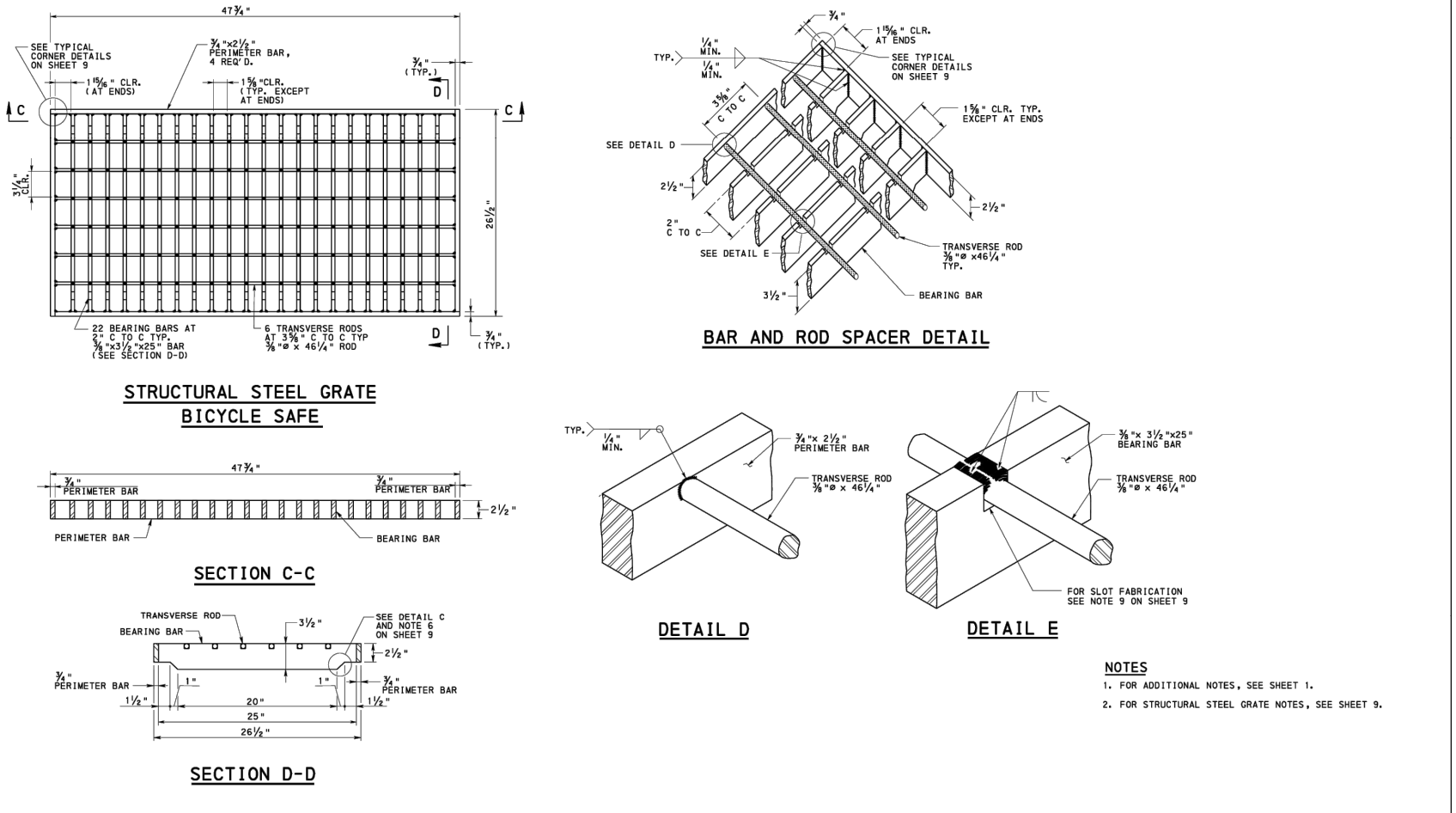
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STANDARD DUTY ASPHALT PAVEMENT SECTION
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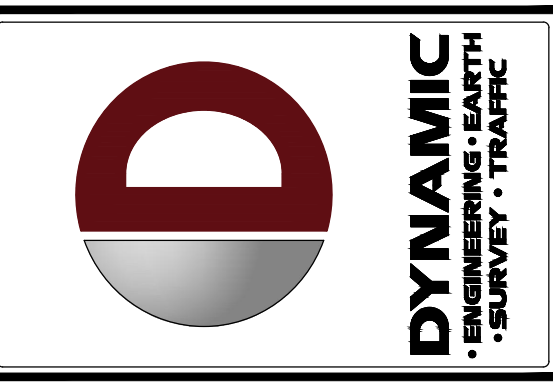


ADA CONCRETE PAD DETAIL
NOT TO SCALE



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION
BUREAU OF PUBLIC HIGHWAYS
RC-45M
RECOMMENDED FOR USE BY THE DEPARTMENT OF TRANSPORTATION
DATE: 07/12/2024
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

MUNICIPAL, COUNTY, STATE AND MUA DETAILS TO SUPERSEDE DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS
2	11/04/24	REV. PER TOWNSHIP & CDD COMMENTS
3	11/04/24	REV. PER TOWNSHIP & CDD COMMENTS

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PROJECT: WESTTOWN AM WEST TIC LLC
PROPOSED CHASE BANK
1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)
CHESTER COUNTY, PENNSYLVANIA

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PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE # 060629

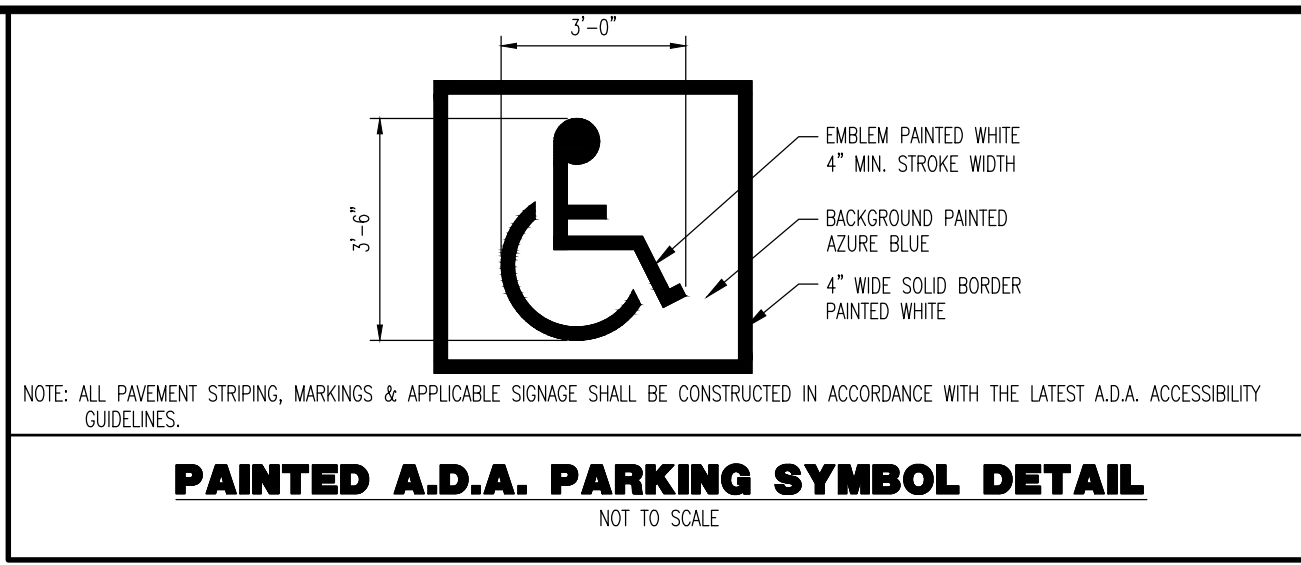
MATTHEW SHARO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

TITLE: **CONSTRUCTION DETAILS**

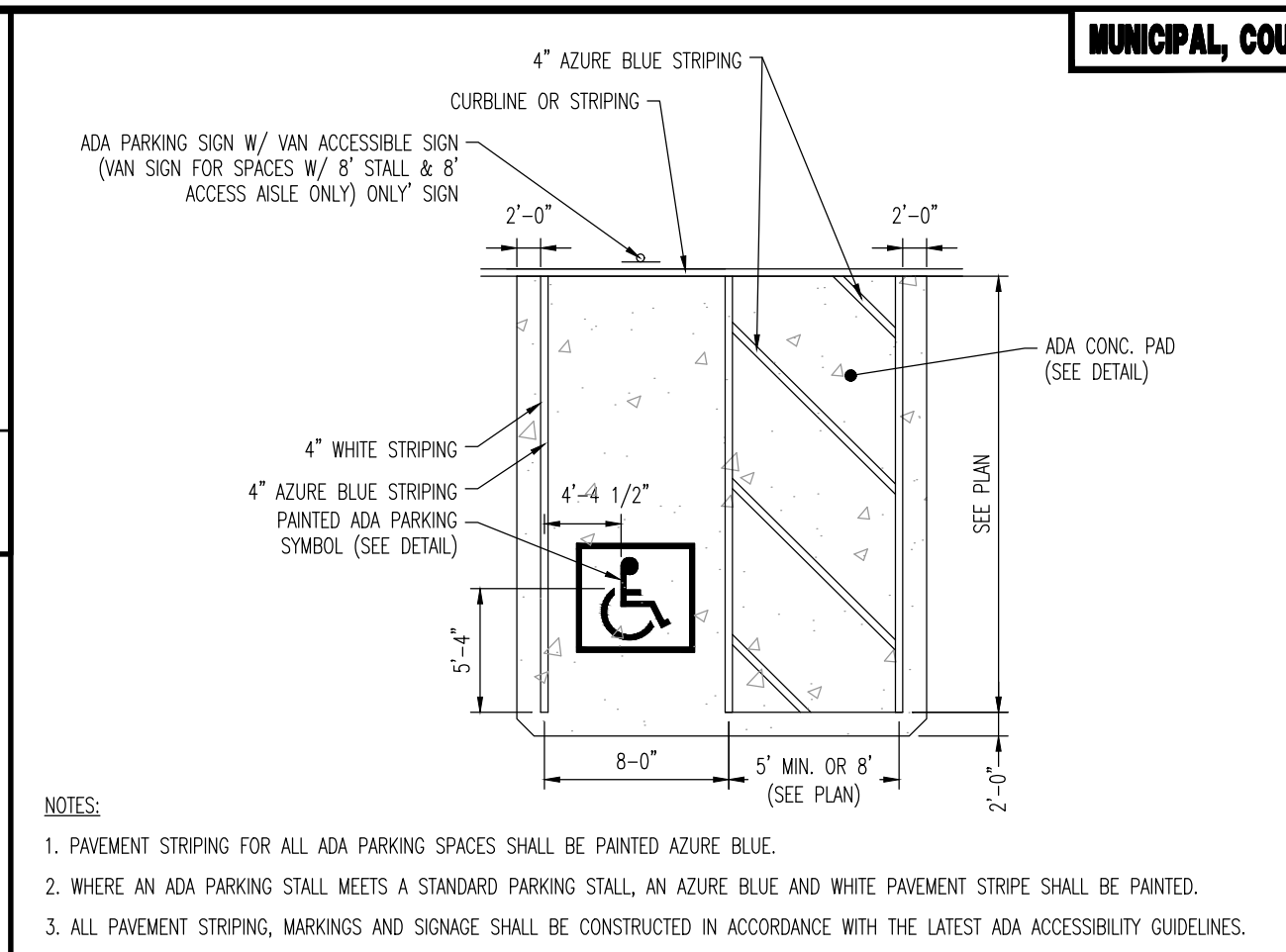
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DATE: 07/12/2024
PROJECT No: 1478-99-191
SHEET No: **17** OF 25
Rev. #: 2

Plotted: 11/08/24 - 3:07 PM, By: mdaloney
File: P:\CEPC PROJECTS\1478 Paramount Realty\99-191 West Chester PA\DWG\4 Land Dev Plans\147899191SD2.dwg, ---> 17 CONSTRUCTION DETAILS
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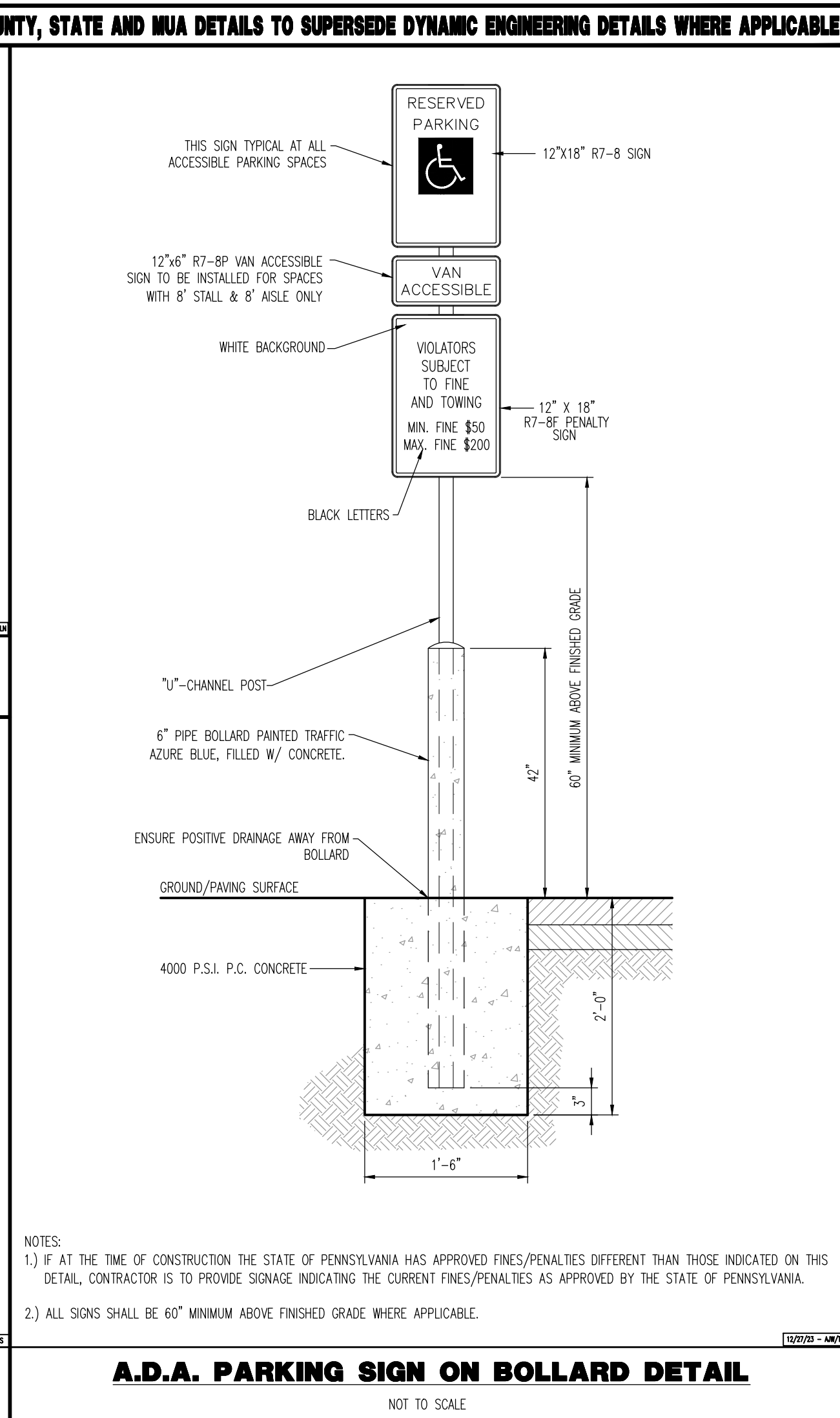
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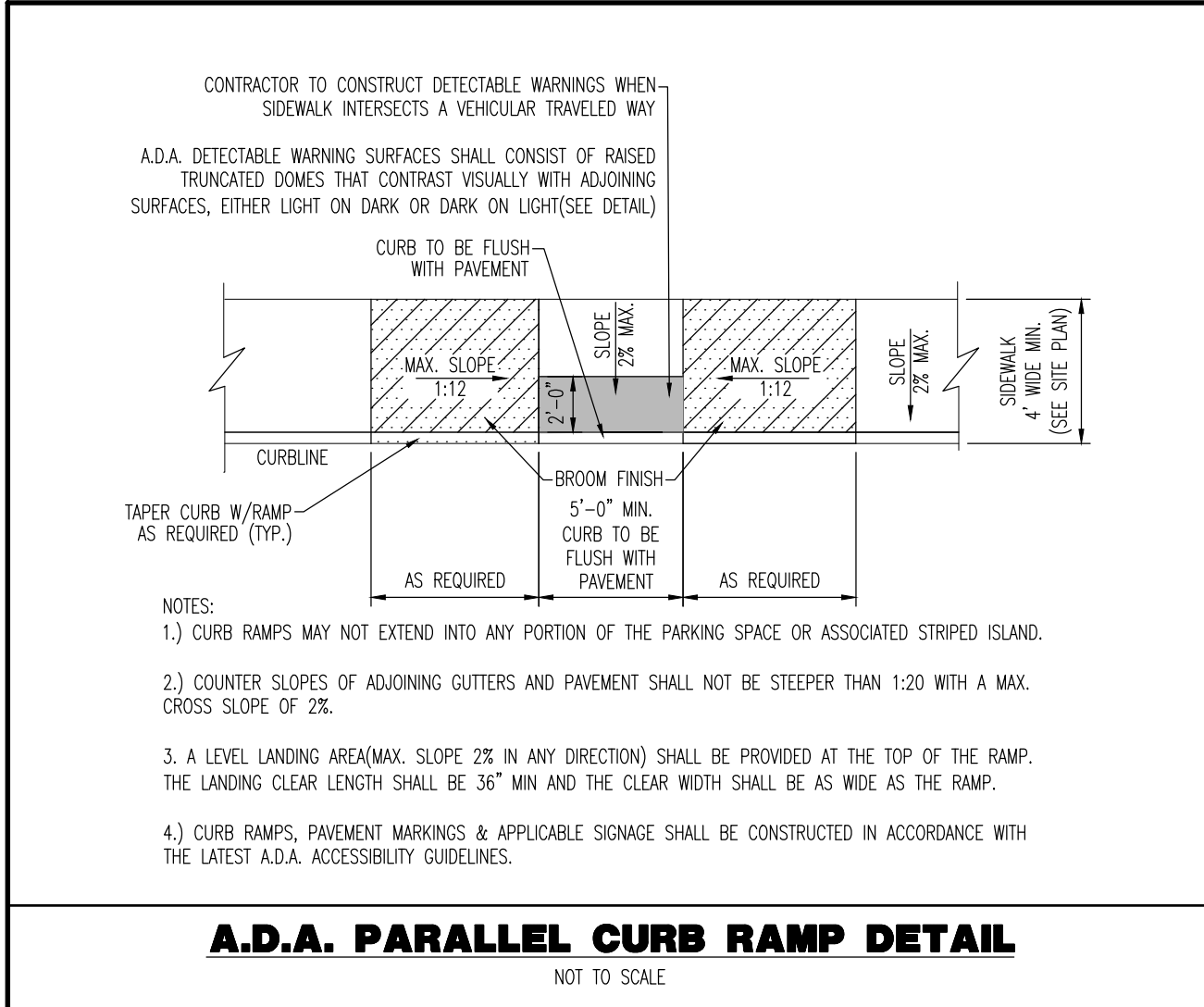
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NOT TO SCALE



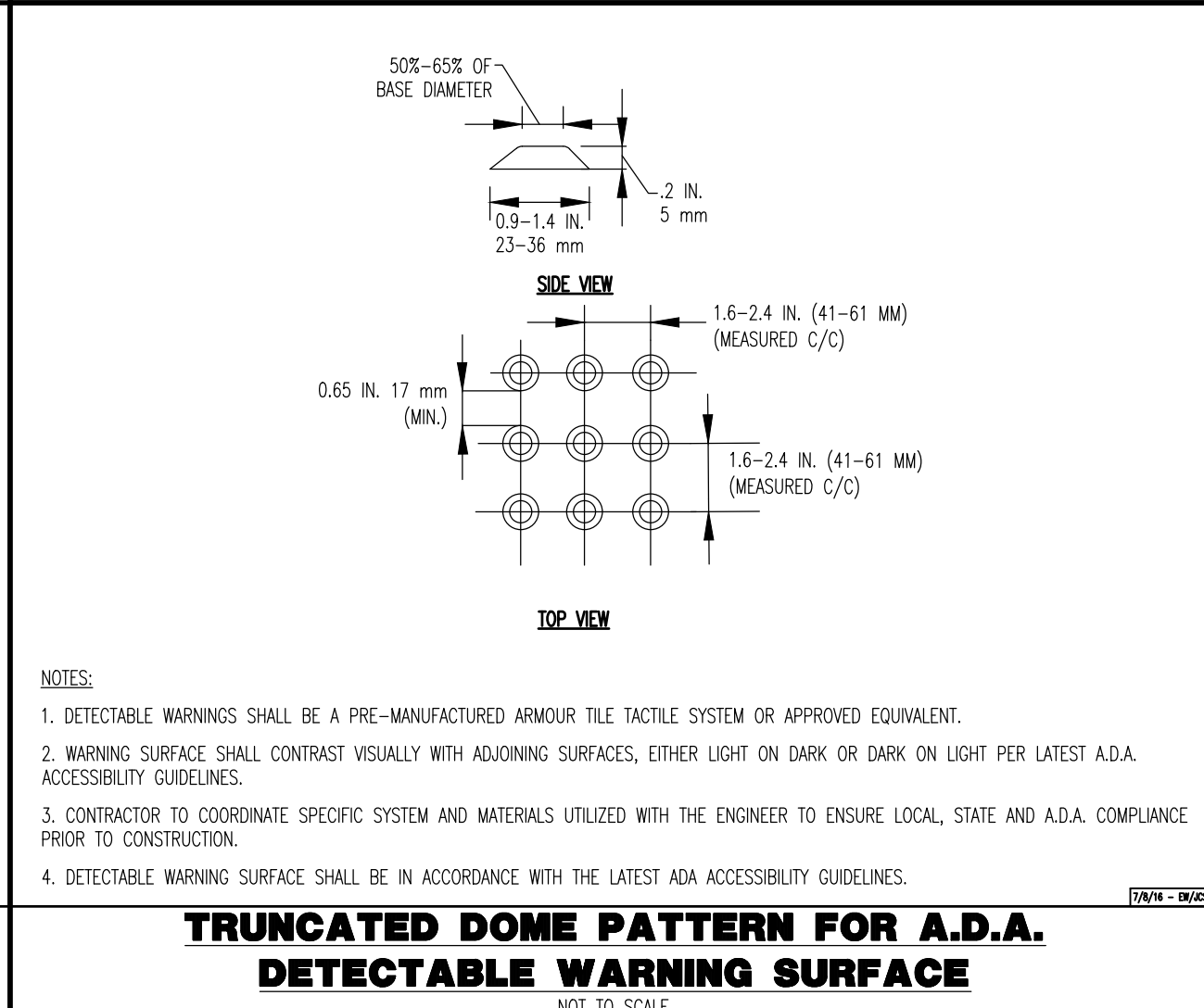
ADA STALL MARKINGS
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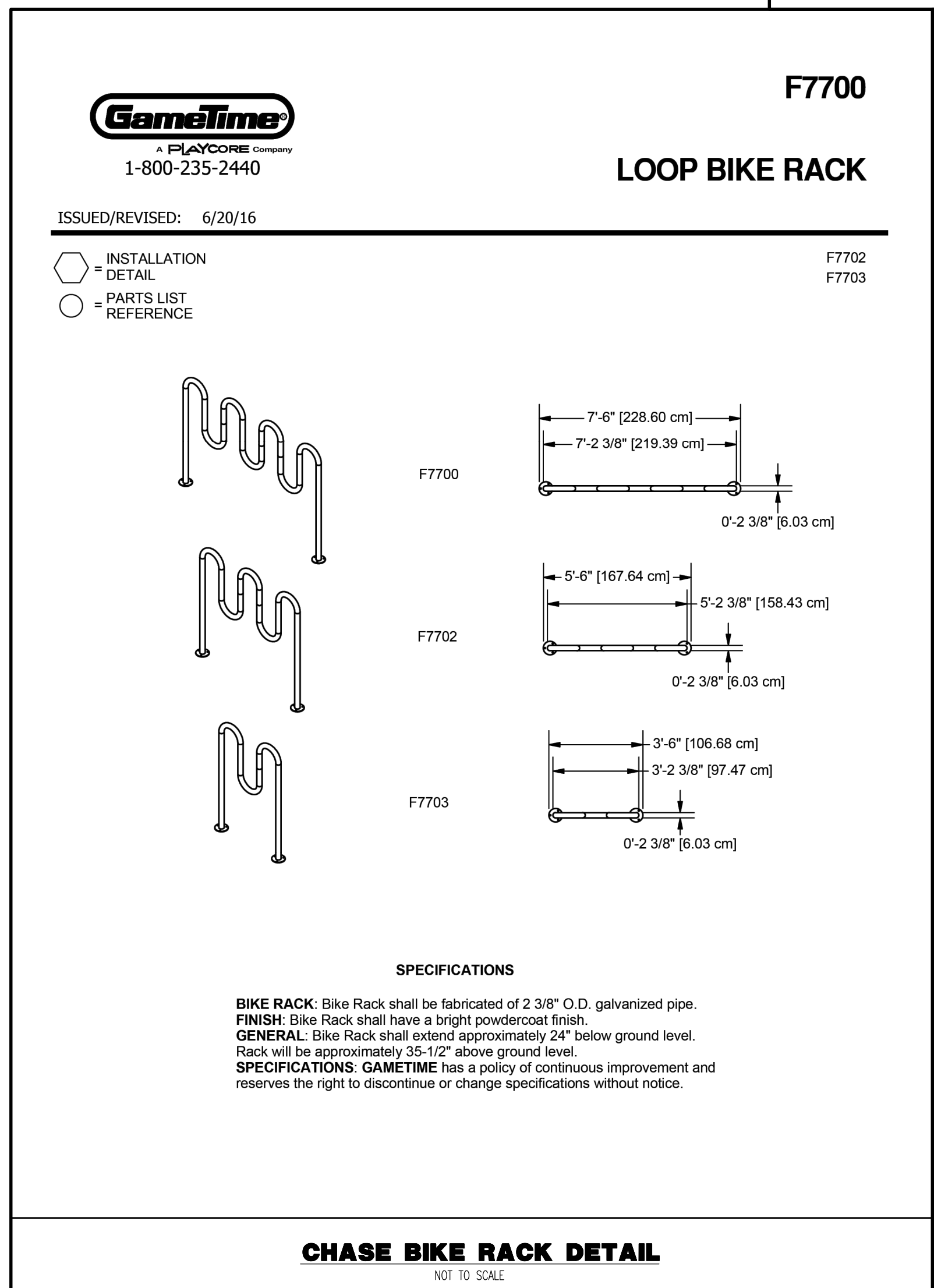
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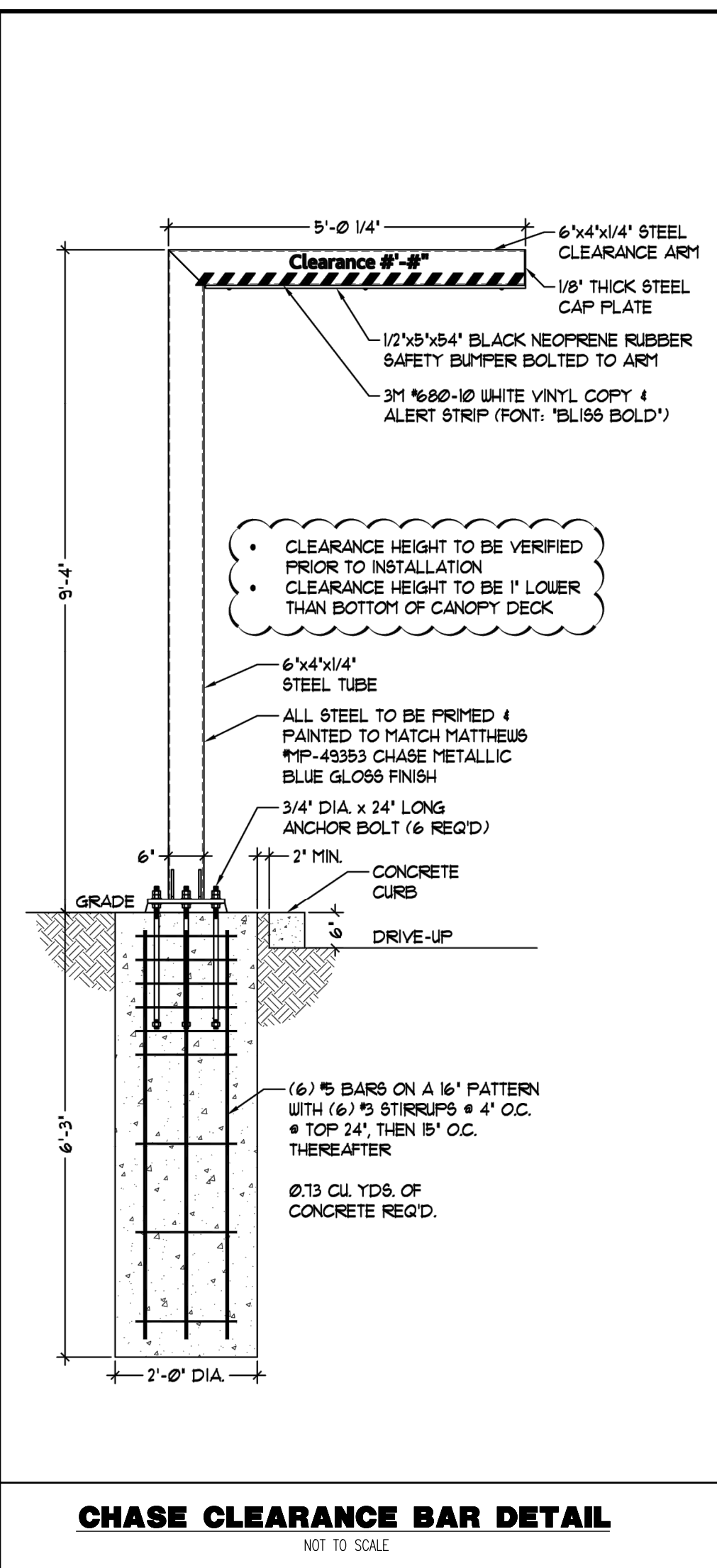
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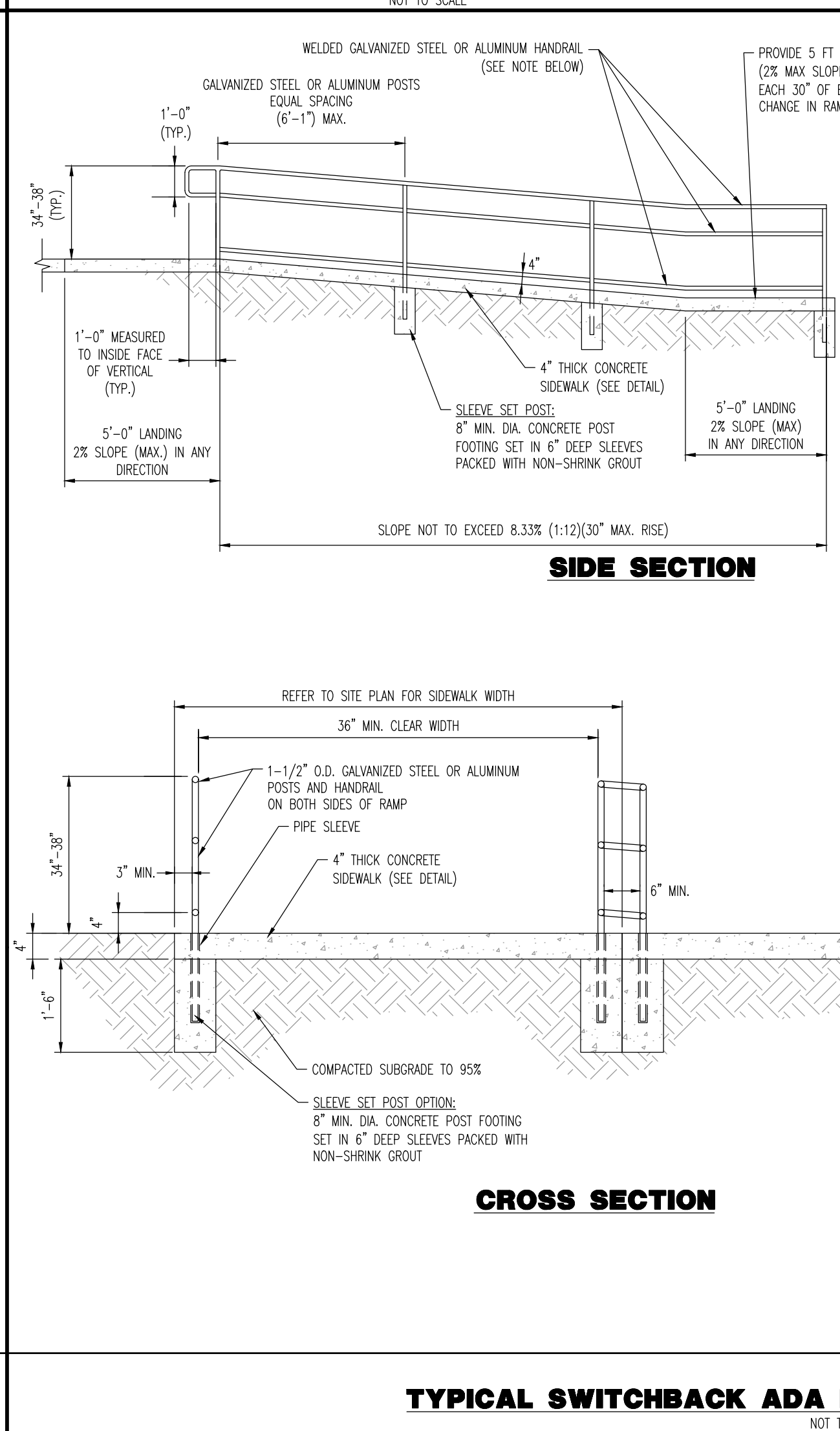
TRUNCATED DOME PATTERN FOR A.D.A. DETECTABLE WARNING SURFACE
NOT TO SCALE



CHASE BIKE RACK DETAIL
NOT TO SCALE



CHASE CLEARANCE BAR DETAIL
NOT TO SCALE



TYPICAL SWITCHBACK ADA RAMP WITH HANDRAIL DETAIL
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1	09/30/24	REV. PER TOWNSHIP COMMENTS	AM	
2	11/04/24	REV. PER TOWNSHIP & CCDC COMMENTS	SR	

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DRAWN BY: A/JW
 CHECKED BY: MS
 DESIGNED BY: MS

PROJECT: WESTTOWN AM WEST TIC LLC
 PROPOSED CHASE BANK
 PARCEL NO. 67-2-42-4
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)
 CHESTER COUNTY, PENNSYLVANIA

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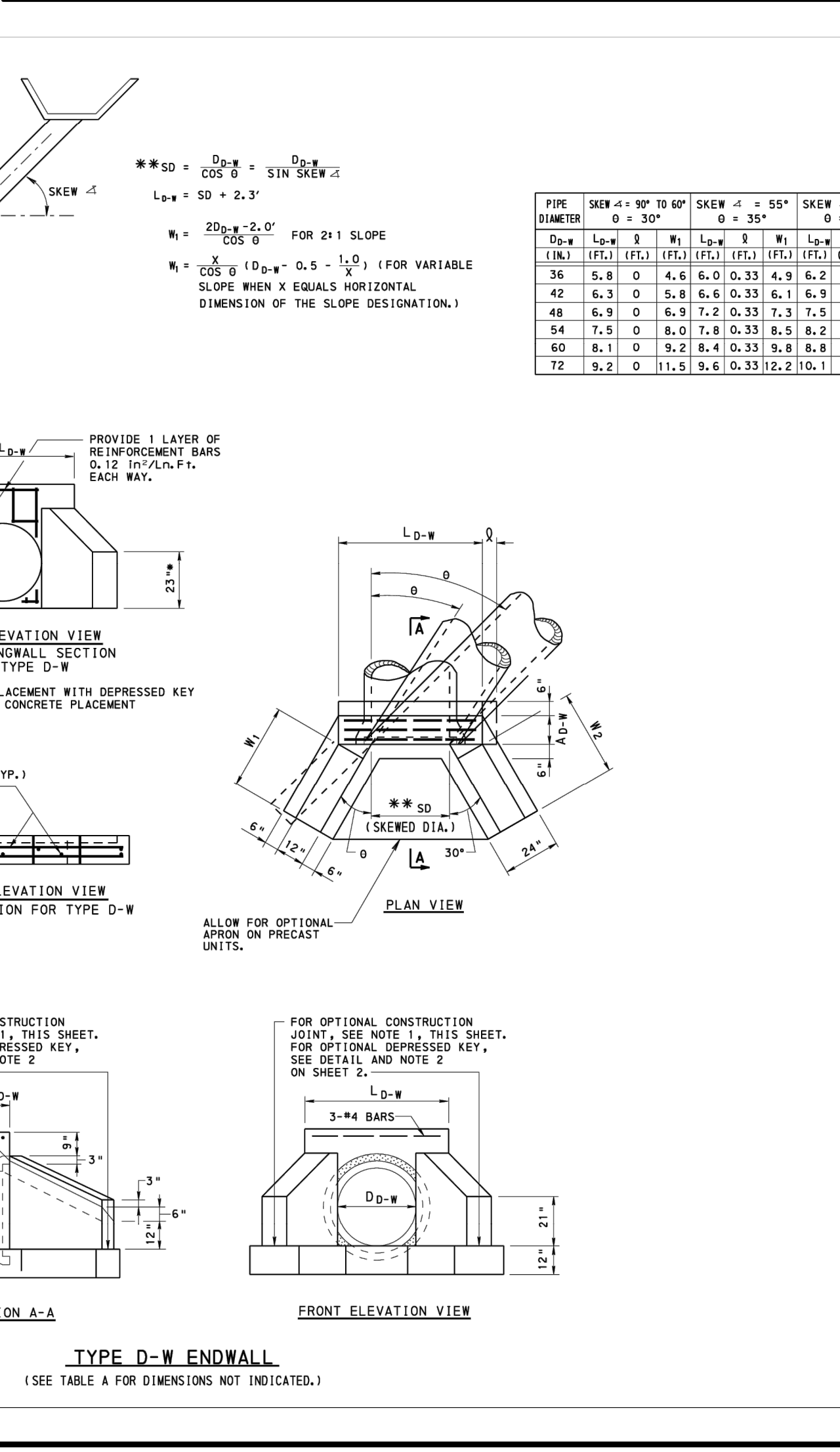
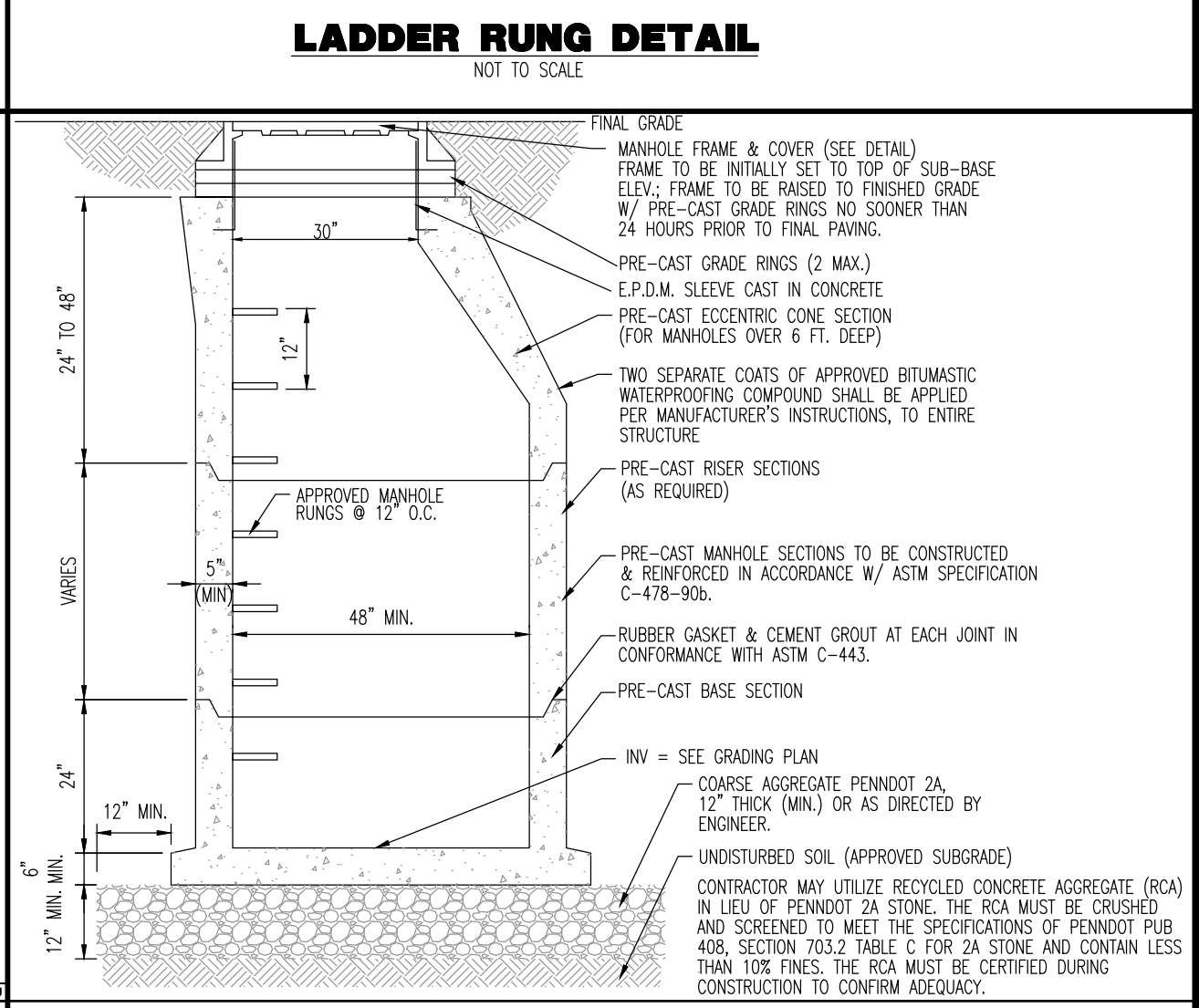
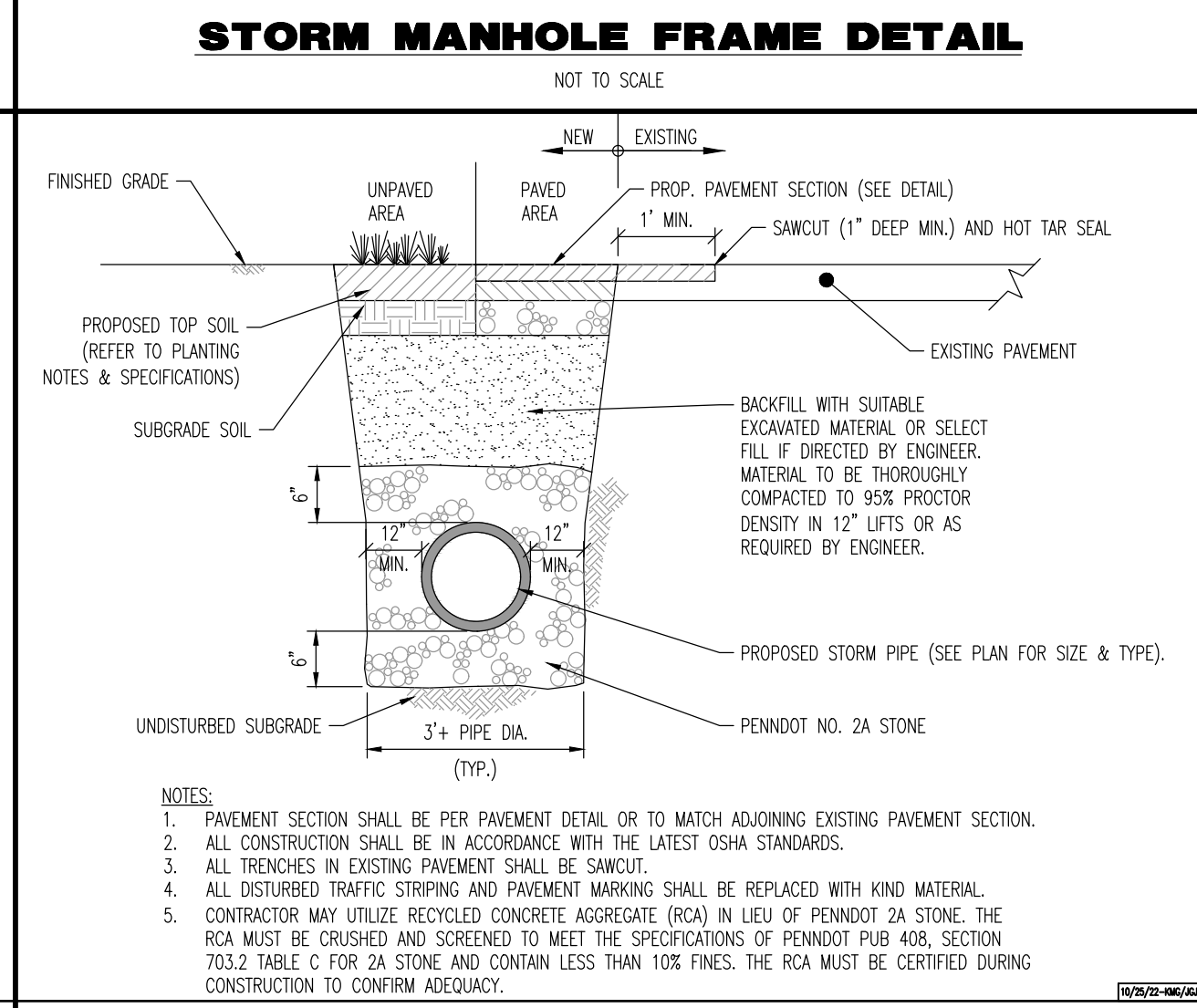
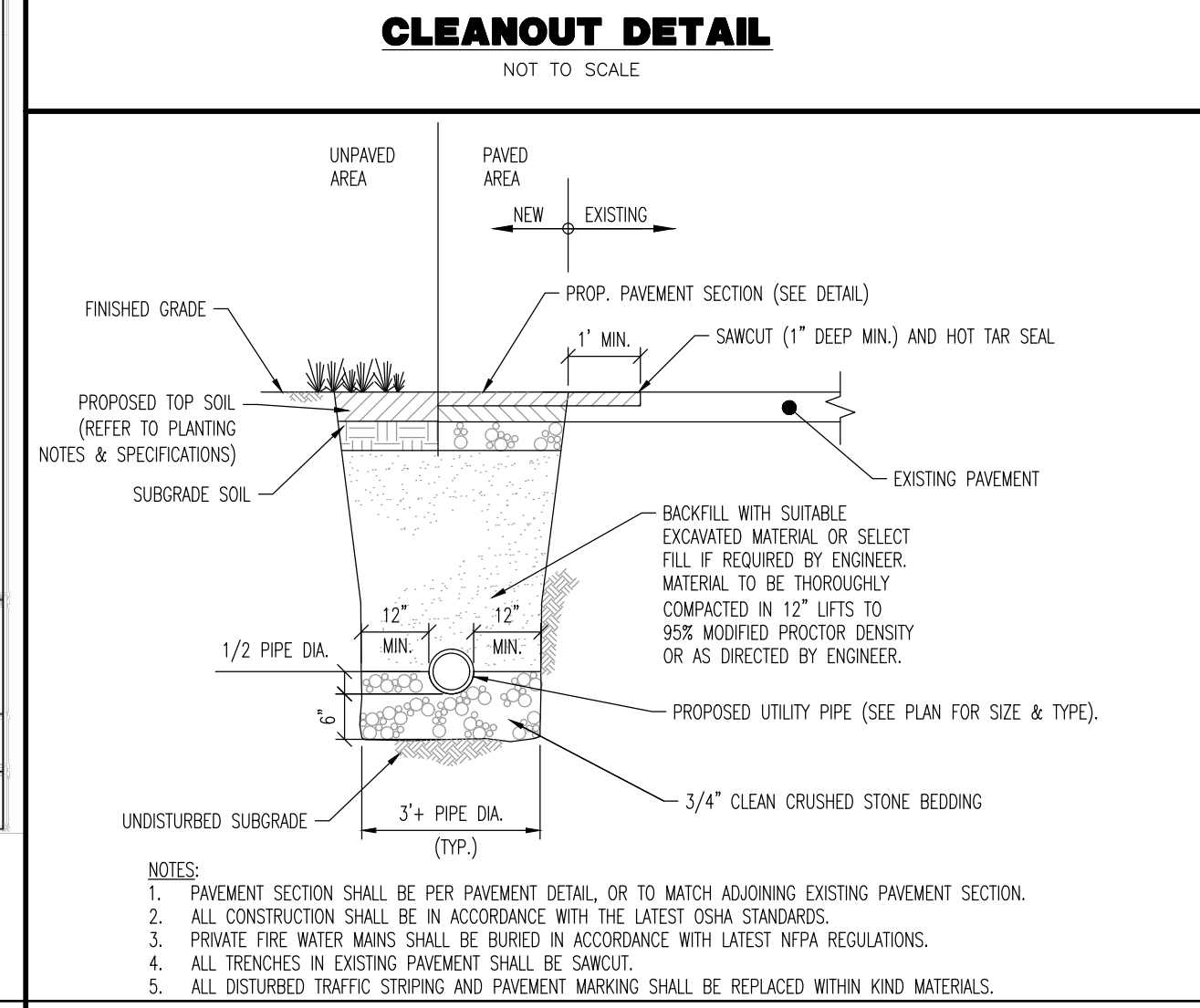
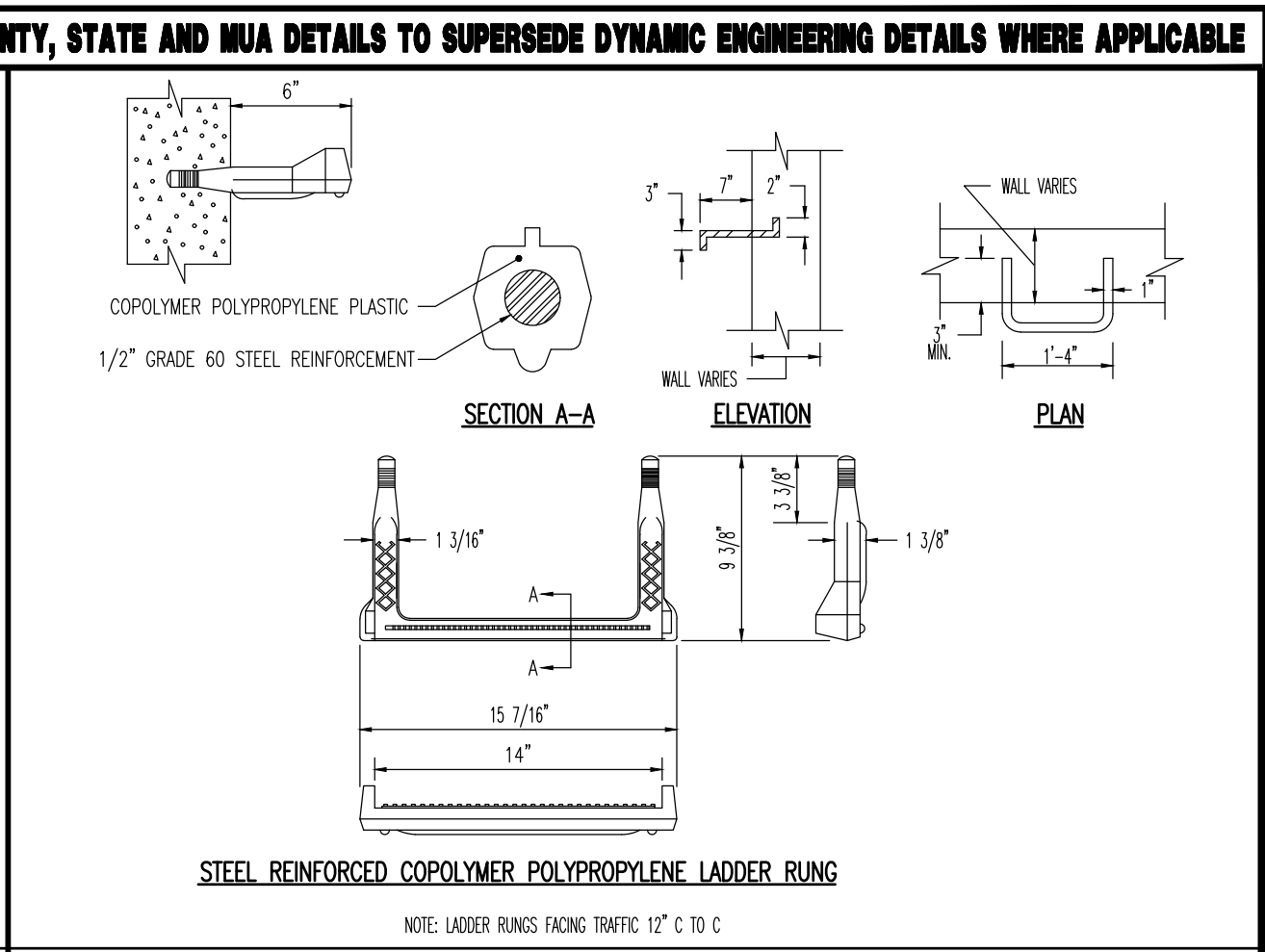
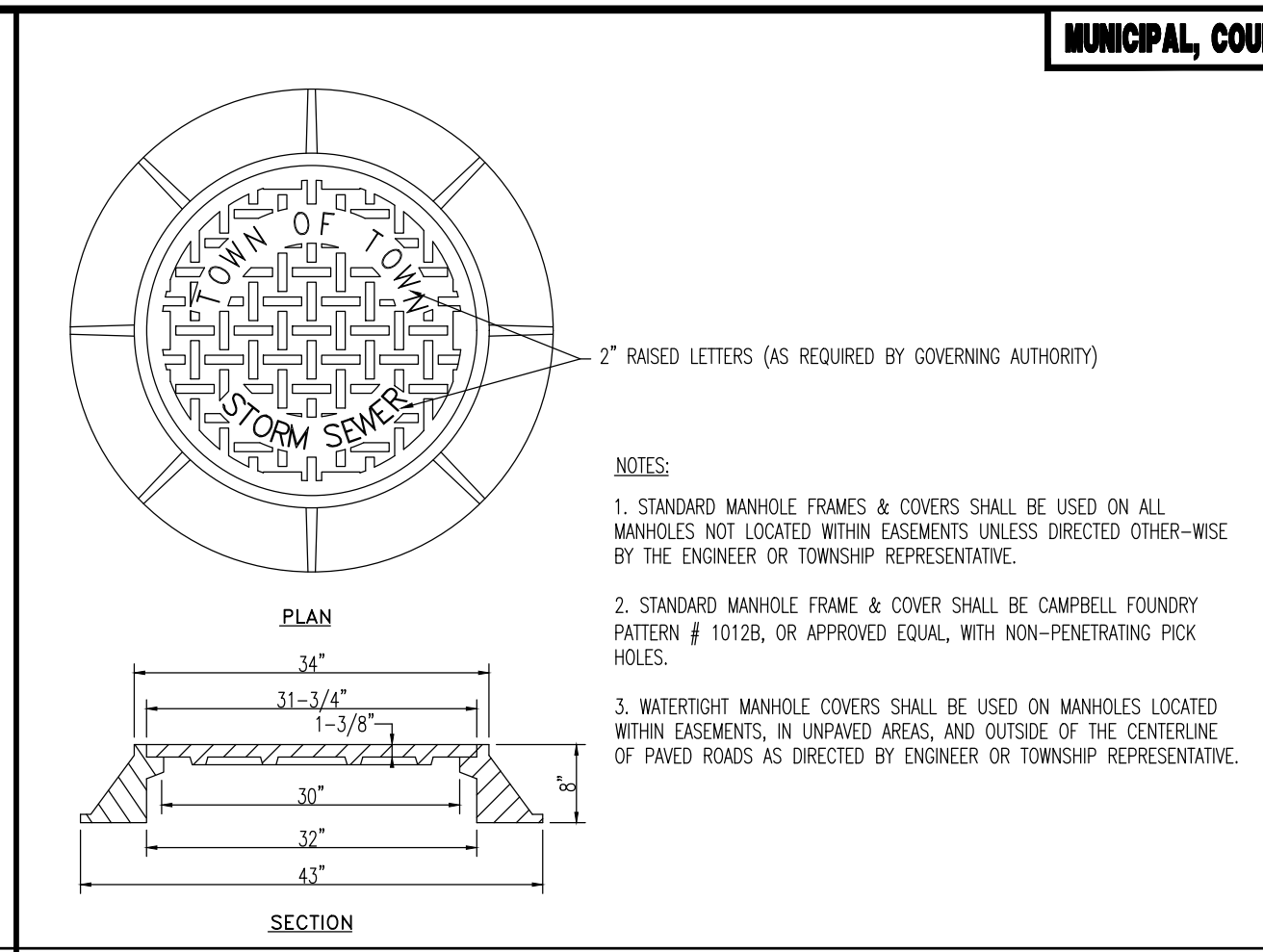
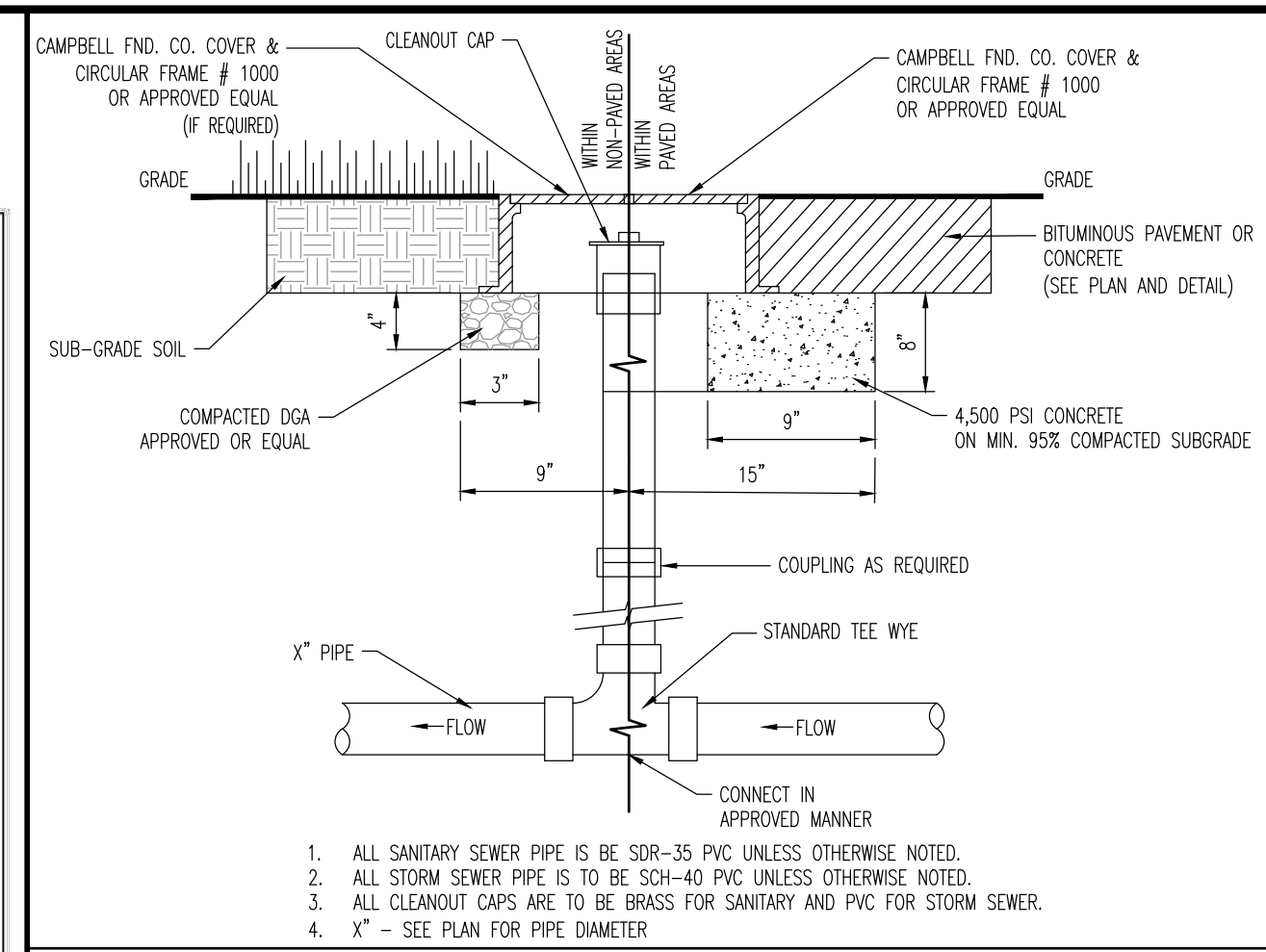
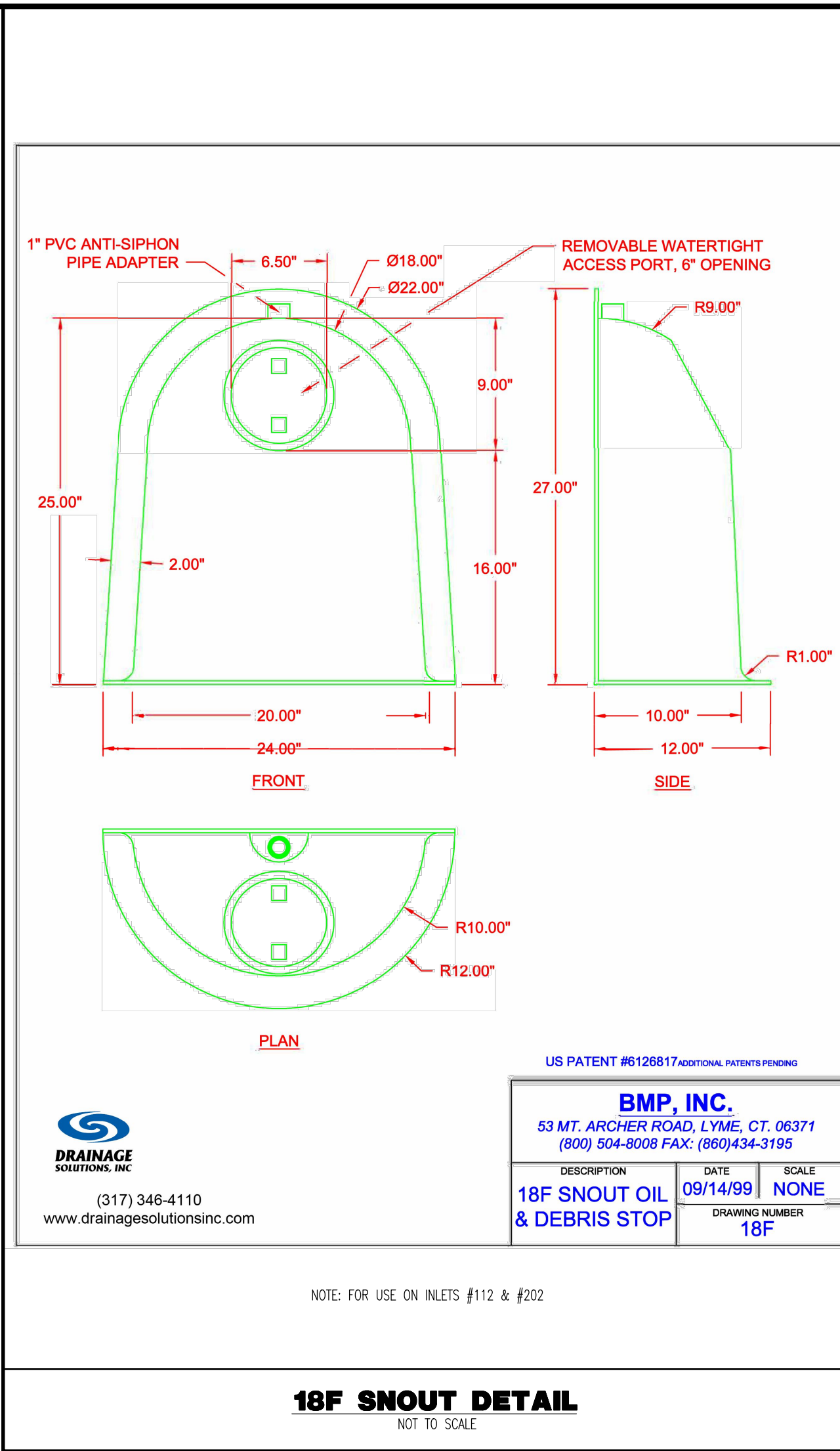
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 PENNSYLVANIA LICENSE # 006269

MATTHEW SHARO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE # 52989

CONSTRUCTION DETAILS

SCALE: (H) AS SHOWN DATE: 07/12/2024
 PROJECT No: 1478-99-191
 SHEET No: 18 OF 25 Rev. #: 2



NOTE: 1. FOR OPTIONAL CONSTRUCTION JOINT WITHOUT A DERESSED KEY, APPLY EPOXY BONDING COMPOUND AT THE LOCATION INDICATED TO ENSURE ADEQUATE BOND WITH THE BASE SECTION OF THE ENDWALL (NEW CONCRETE). CAST THE ENDWALL SECTION OF THE ENDWALL ON TOP OF THE BASE SECTION OF THE ENDWALL.

TABLE A
2 : 1 EMBANKMENT SLOPES

PIPE DIAMETER (IN.)	SKEN 45° TO 60°	SKEN 45° TO 55°	SKEN 45° TO 50°	SKEN 45° TO 45°	SKEN 45° TO 40°	SKEN 45° TO 30°	SKEN 45° TO 20°	SKEN 45° TO 10°																		
36	5.8	0.4	6.6	0.33	4.9	6.2	0.5	5.2	6.5	0.67	5.7	7.0	0.75	6.2	8.3	1.33	8.0	11.1	1.75	11.7	19.6	5.0	23.0	4.6	12	
42	6.3	0	5.8	6.6	0.33	6.1	6.9	0.5	6.5	7.3	0.67	7.1	7.8	0.75	7.8	9.3	1.33	10.0	12.5	1.75	14.6	22.5	5.0	28.8	5.8	12
48	6.9	0	6.9	7.2	0.33	7.3	7.5	0.5	7.8	8.0	0.67	8.5	8.5	0.75	9.4	10.3	1.33	12.0	14.0	1.75	17.5	25.3	5.0	34.6	6.9	12
54	7.5	0	8.0	7.8	0.33	8.5	8.2	0.5	9.1	8.7	0.67	9.9	9.3	0.75	10.9	11.3	1.33	14.0	15.1	1.75	19.0	28.2	5.0	40.3	8.0	12
60	8.1	0	9.2	8.4	0.33	9.8	8.8	0.5	10.4	9.4	0.67	11.3	10.1	0.75	12.5	12.3	1.33	16.0	16.9	1.75	23.4	31.1	5.0	46.0	9.2	15
72	9.2	0	11.5	9.6	0.33	12.0	11.2	0.5	13.0	10.8	0.67	14.1	11.1	0.75	15.6	14.3	1.33	20.0	19.8	1.75	29.2	36.9	5.0	57.6	11.5	15

PIPE DIAMETER (IN.)

18" AND 21"	5'
24" AND 27"	7'
30" AND 33"	9'
36" AND 39"	10'
42" AND 45"	11'
48" AND 51"	12'

SECTION C-C: #4 BARS @ 12" C TO C (TYP.) EACH WAY TOP & BOTTOM

FRONT ELEVATION VIEW: #4 BARS @ 12" C TO C (TYP.) EACH WAY TOP & BOTTOM

TYPE D ENDWALL: #4 BARS @ 12" C TO C (TYP.) EACH WAY TOP & BOTTOM

TYPE D-W ENDWALL: #4 BARS @ 12" C TO C (TYP.) EACH WAY TOP & BOTTOM

EMK TECHNOLOGIES

LMT AND LMK SADDLE TECHNICAL DATA SHEET

TECHNICAL DATA SHEET

The LMT™ (Lined Main Tap) Saddle Installation System is engineered to connect a lateral sewer service pipe to a liner inside a rehabilitated mainline.

The LMK Saddle Installation System is designed to connect a lateral sewer service pipe directly to a mainline pipe.

- The saddle is sized to surround the liner or pipe beyond the spring line, which creates a clamping effect that draws the saddle firmly on to the liner or the pipe.
- The universal LMK Adhesive bonds the saddle to the liner or host pipe, providing a flexible non-leaking main/lateral connection. A special two part adhesive is available for HDPE liners/pipes.
- The saddle is compatible with a variety of lining materials including polyethylene used in Fold & Form liners and pipe bursting, CIPP liners, and PVC folded liners.
- The saddle is also compatible with a variety of pipes including cast iron, clay, PVC and HDPE.
- A variety of saddle sizes are available - for pipes ranging from 6 inch to 24 inch.
- Many saddle sizes are stocked but not all; contact LMK customer service for availability.

Each Saddle Kit Contains:

1. Type 1 SCH 40 PVC Saddle
2. Appropriate amount of LMK Adhesive
3. 4 to 8 appropriately sized Quick Bands
4. Applicator Stick

Each Saddle:

1. Accepts a 6 inch SDR35 lateral pipe
2. Has a gasketed connection fitting
3. Is available in a TEE or WYE configuration

INSTALLATION NOTES:

An LMT Saddle installation requires a pit excavation in order to expose the host pipe and to allow room to remove the host pipe wall where the connection will be made, exposing the liner inside.

An LMK Saddle connected directly to a host pipe can be installed through either hydro excavation or through a pit excavation. A WYE connection or a non-90 degree TEE connection would need to be performed through a pit excavation.

The saddle must be clamped to the lining to keep pressure and to prevent slippage during bedding/backfill.

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION
BUREAU OF DESIGN AND DELIVERY

ENDWALLS
CAST-IN-PLACE & PRECAST

RECOMMENDED NOV. 30, 2021
Chris K. O'Connell
SIV. & BUREAU DESIGN AND DELIVERY

RECOMMENDED NOV. 30, 2021
Matthew Sharo
DEPUTY SECRETARY HIGHWAY ADMIN.

SHT 3 OF 3
RC-31M

SADDLE CONNECTION DETAIL
NOT TO SCALE

SADDLE DIMENSIONS

Pipe Size	Length of Saddle	Inside Diameter of Saddle		
		Clay	Cast Iron	PVC
6"	13"	8.6"	6.5"	6.5"
8" - 24"				

Manhole formed Saddles are available to fit HDPE, Concrete, Vitrified Clay, Cast Iron and PVC. The outside dimension (O.D.) of the pipe and pipe connection are needed so that saddle size can be selected that will fit the pipe. Call LMK, Customer Service, for more information on availability. CIPP saddles are formed to 6 inch-24 inch O.D's.

SADDLE TECHNICAL DATA

Property	Nominal Value (English)	Nominal Value (SI)	Test Method
Specific Gravity	1.40	1.40 g/cm ³	ASTM D792
PVC Cell Classification	12454	12454	ASTM D1784
Tensile Modulus	40000psi	3030 MPa	ASTM D638
Tensile Strength (Yield)	7200 psi	49.6 MPa	ASTM D638
Flexural Modulus	450000 psi	3100 MPa	ASTM D790
Flexural Strength	13500 psi	91.0 MPa	ASTM D790
Notched Iod Impact 73°F (23°C), 0.125 in (3.18mm), Injection Molded	1.0 ft-lb/in	53 J/m	ASTM D256A
Notched Iod Impact 73°F (23°C), 0.250 in (6.35mm), Injection Molded	0.70 ft-lb/in	37 J/m	ASTM D256A
Durometer Hardness (Shore D)	81	81	ASTM D2240
Deflection Temperature Under Load 66 psi (0.45MPa), Unannealed, 0.250 in (6.35mm)	162°F	72.2°C	ASTM D668
Deflection Temperature Under Load 264 psi (1.8 MPa), Unannealed, 0.250 in (6.35mm)	162°F	72.2°C	ASTM D668
Flame Rating (0.600 in (1.60mm), ALL)	V-0	V-0	UL 94

Agency Ratings: NSF 14, NSF 61, NSF Type 1
PVC Grade: Type 1, Schedule 40

Storage: Store indoors. At time of installation saddles should be brought to temperatures between 60°F and 80°F.

#1654 V.0 2/16 (16-02-506)

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PROJECT: WESTTOWN AM WEST TIC LLC
CHASE O PROPOSED CHASE BANK
1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)
CHESTER COUNTY, PENNSYLVANIA

DATE: 07/12/2024

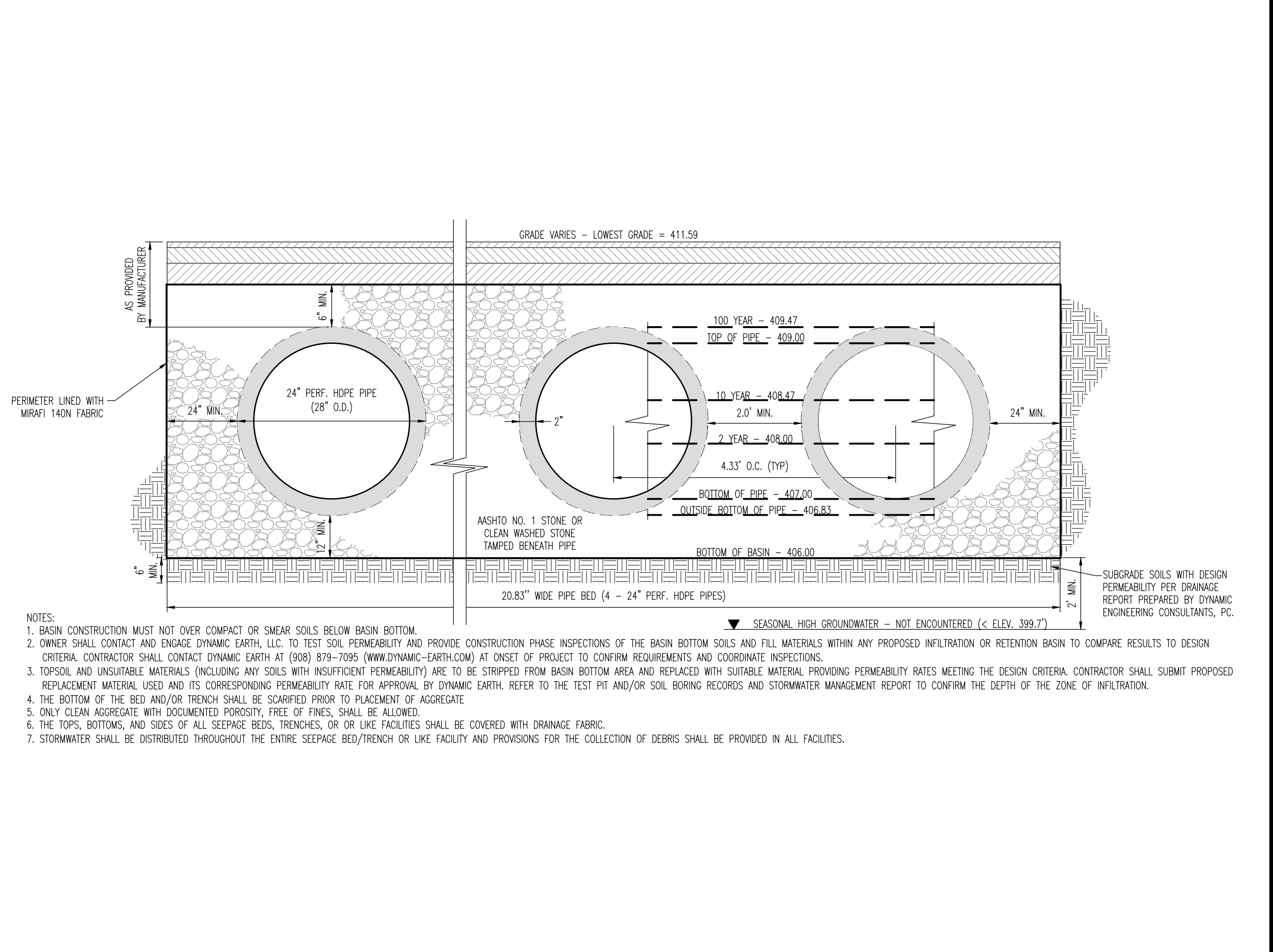
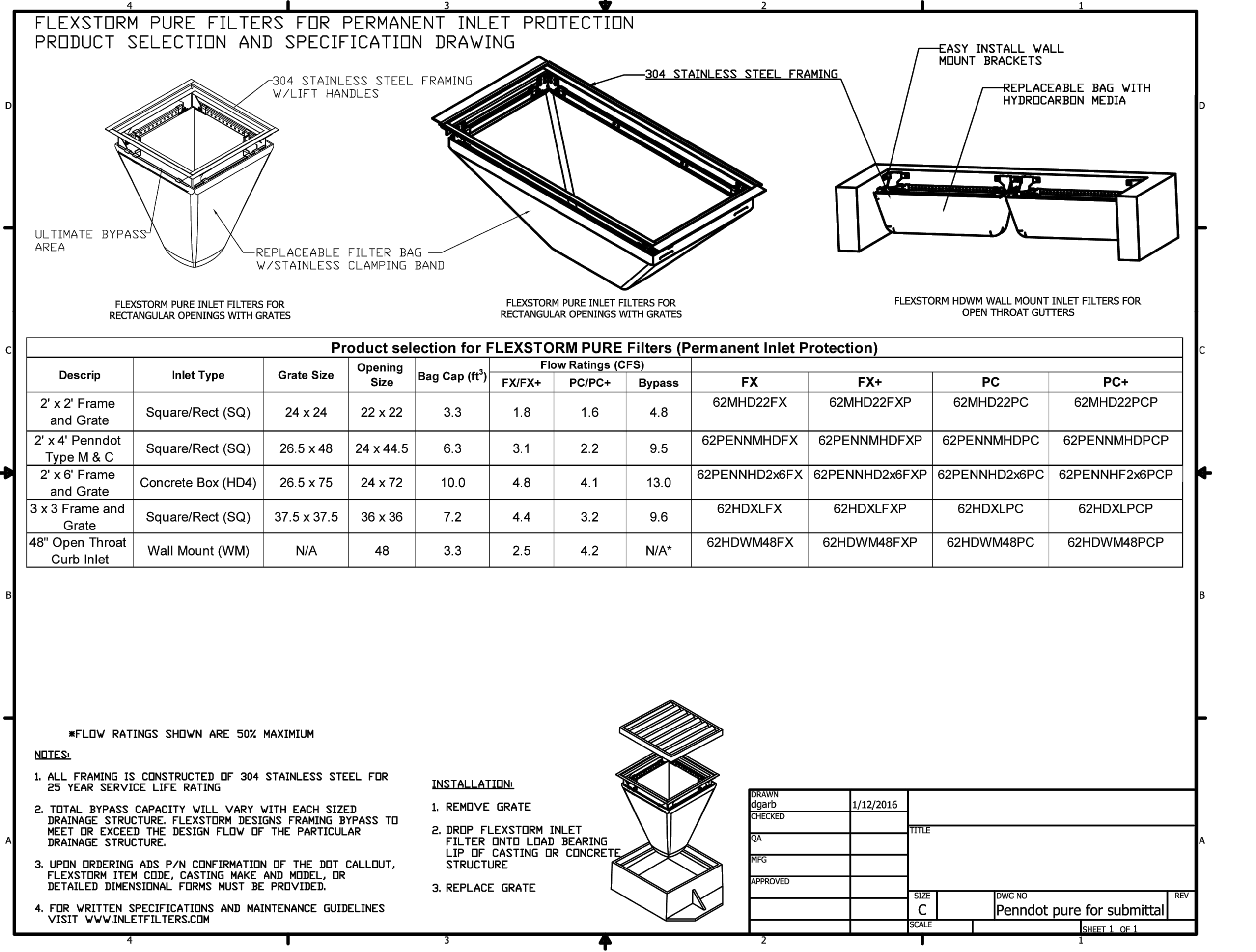
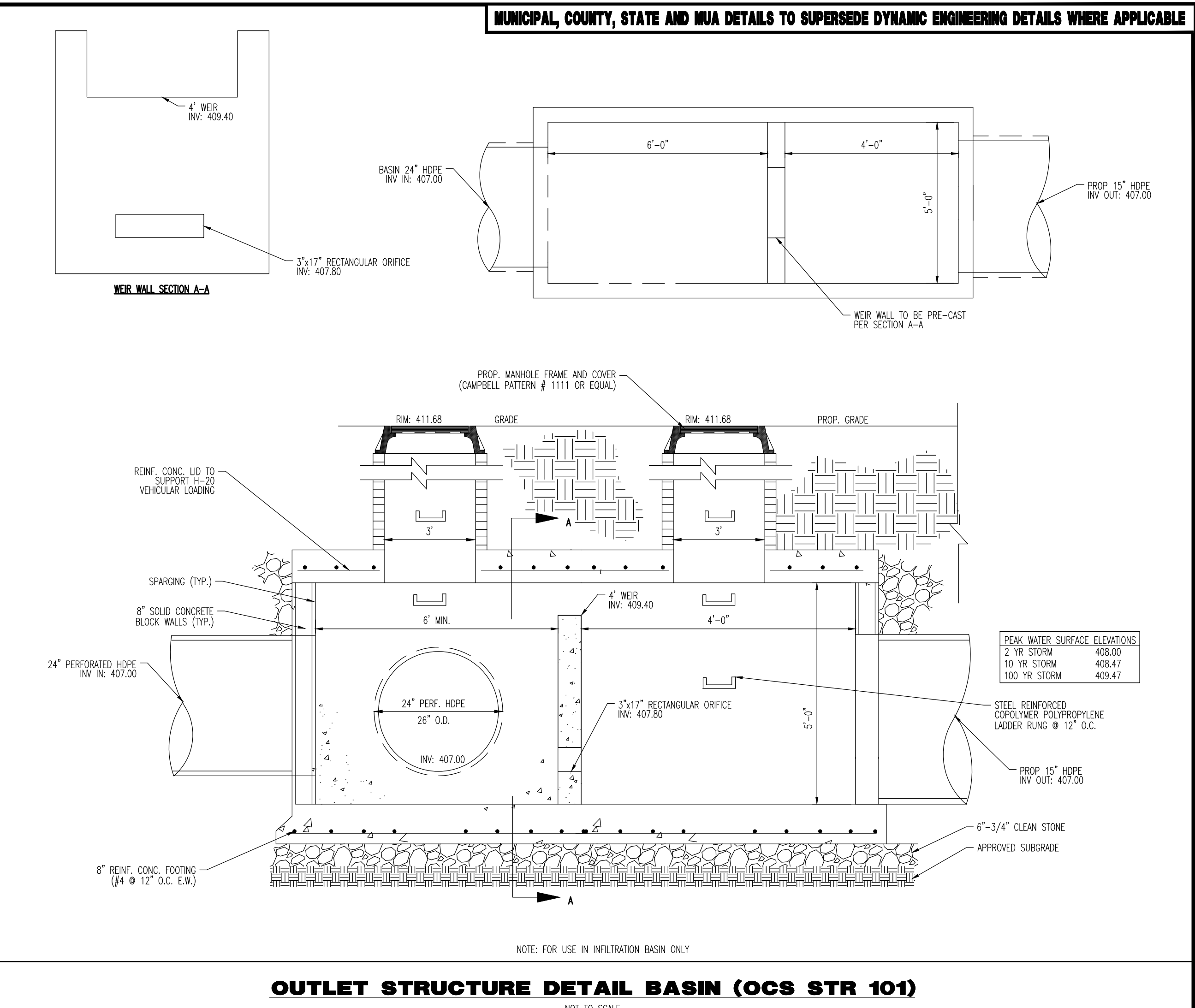
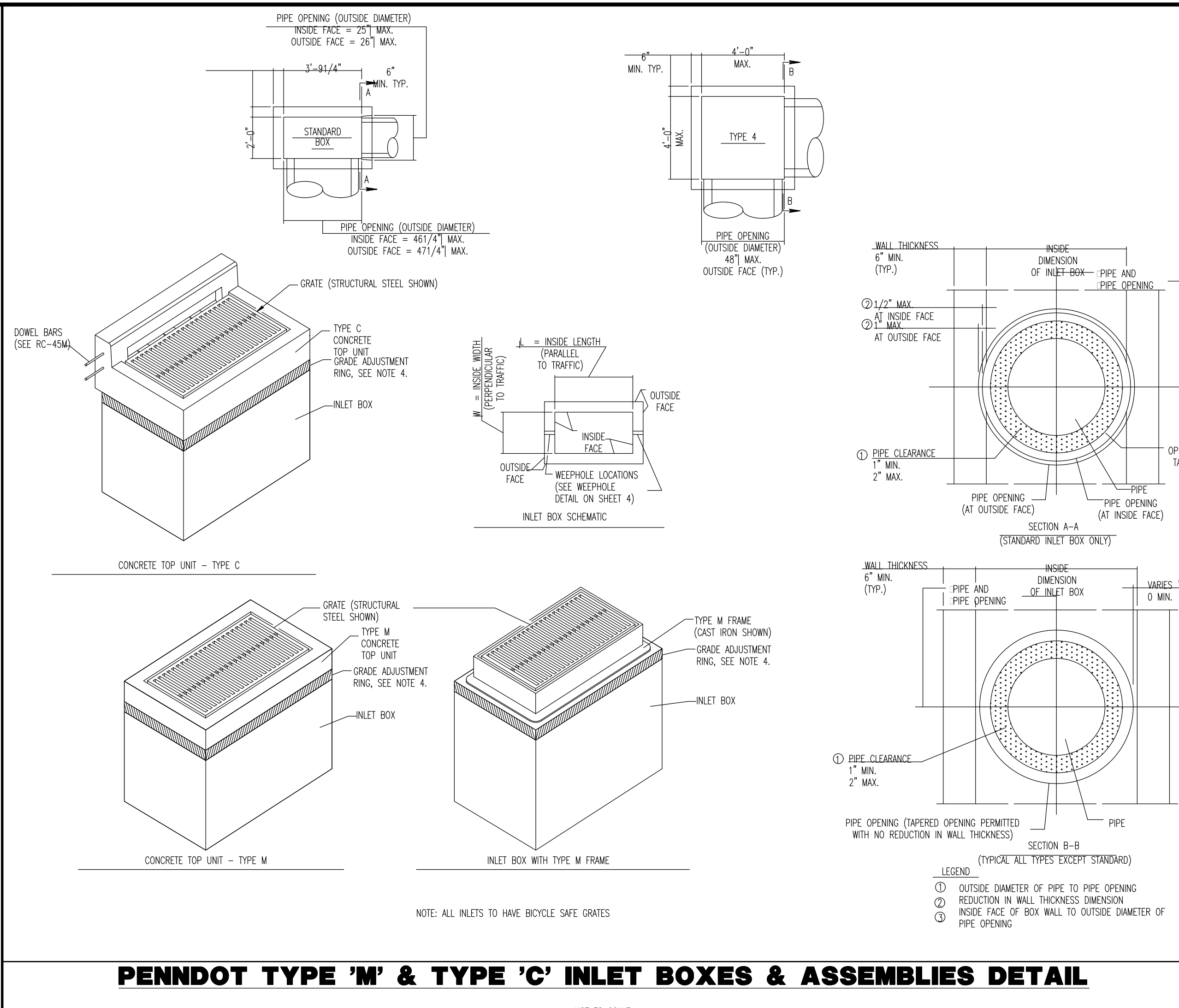
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PROJECT No: 1478-99-191

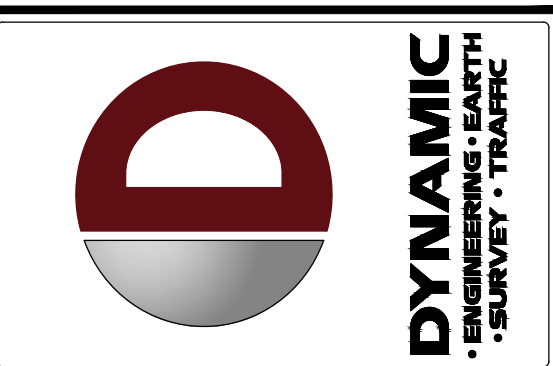
SHEET No: 19 OF 25

Rev. #:

Plotted: 11/09/24 - 3:08 PM, By: mdolaney
File: P:\CEPC PROJECTS\1478 Paramount Realty\191 West Chester PA\DWG 4 Land Dev Plans\DWG147899191SD2.dwg, ---> 19 CONSTRUCTION DETAILS



MUNICIPAL, COUNTY, STATE AND MVA DETAILS TO SUPERSEDE DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE



NO.	DATE	REV.	BY
1	09/30/24	REV. PER TOWNSHIP COMMENTS	AJM
2	11/04/24	REV. PER TOWNSHIP & CCD COMMENTS	SLB

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PROJECT: WESTTOWN AM WEST TIC LLC
 PROPOSED CHASE BANK
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)
 CHESTER COUNTY, PENNSYLVANIA

DATE: 07/12/2024

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PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. 160629

MATTHEW SHARO

PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 52989

TITLE: CONSTRUCTION DETAILS

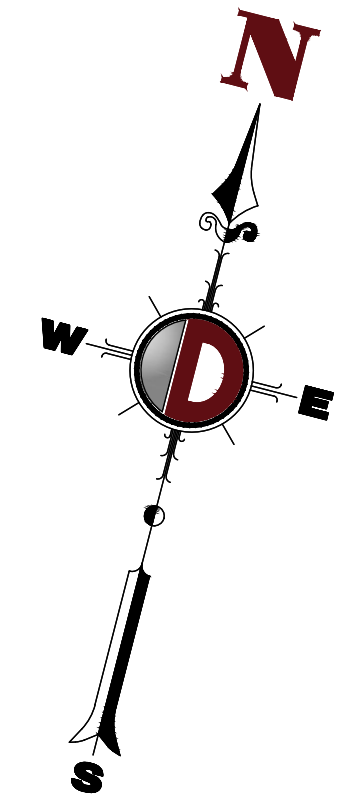
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PROJECT No: 1478-99-191

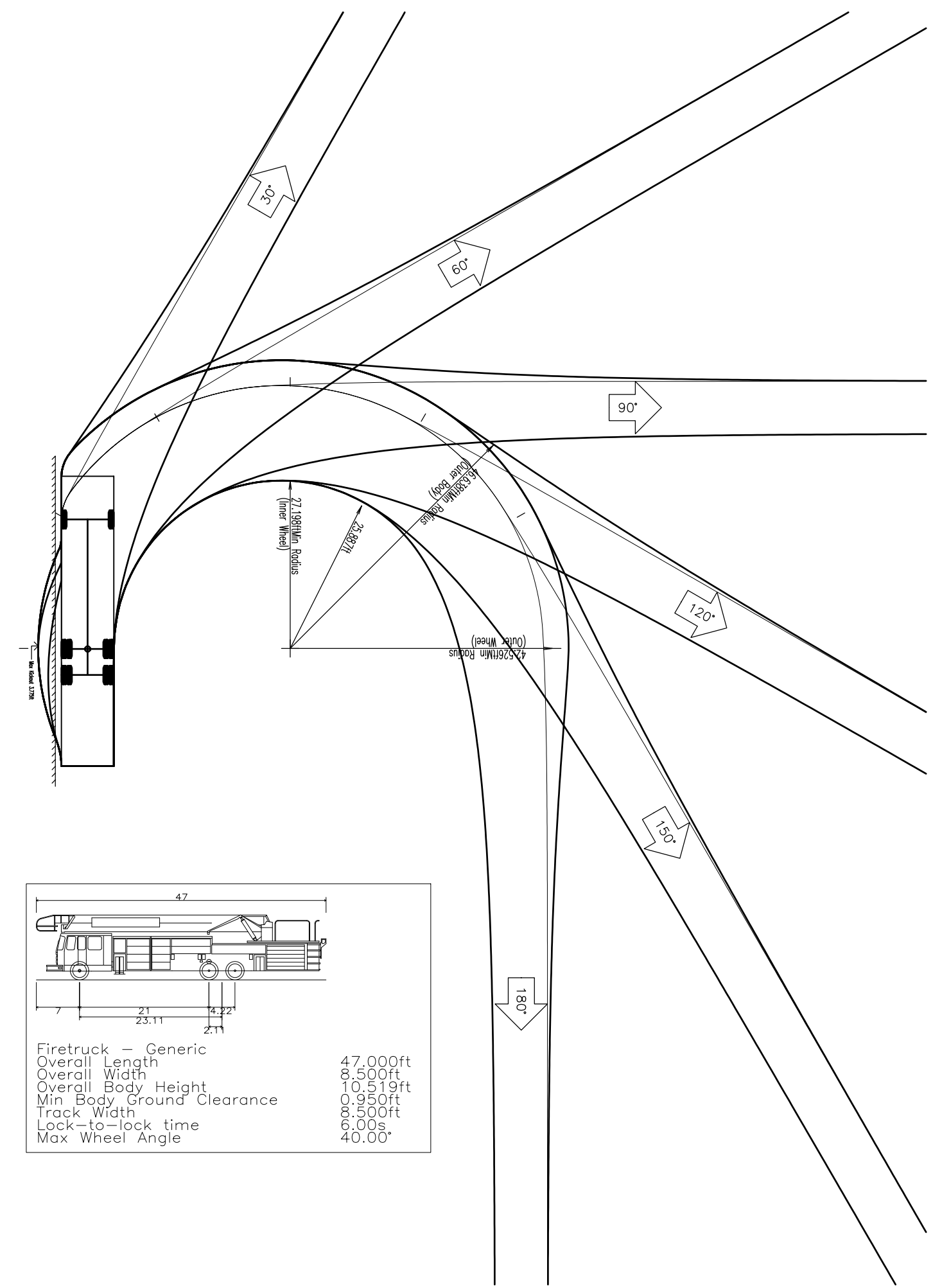
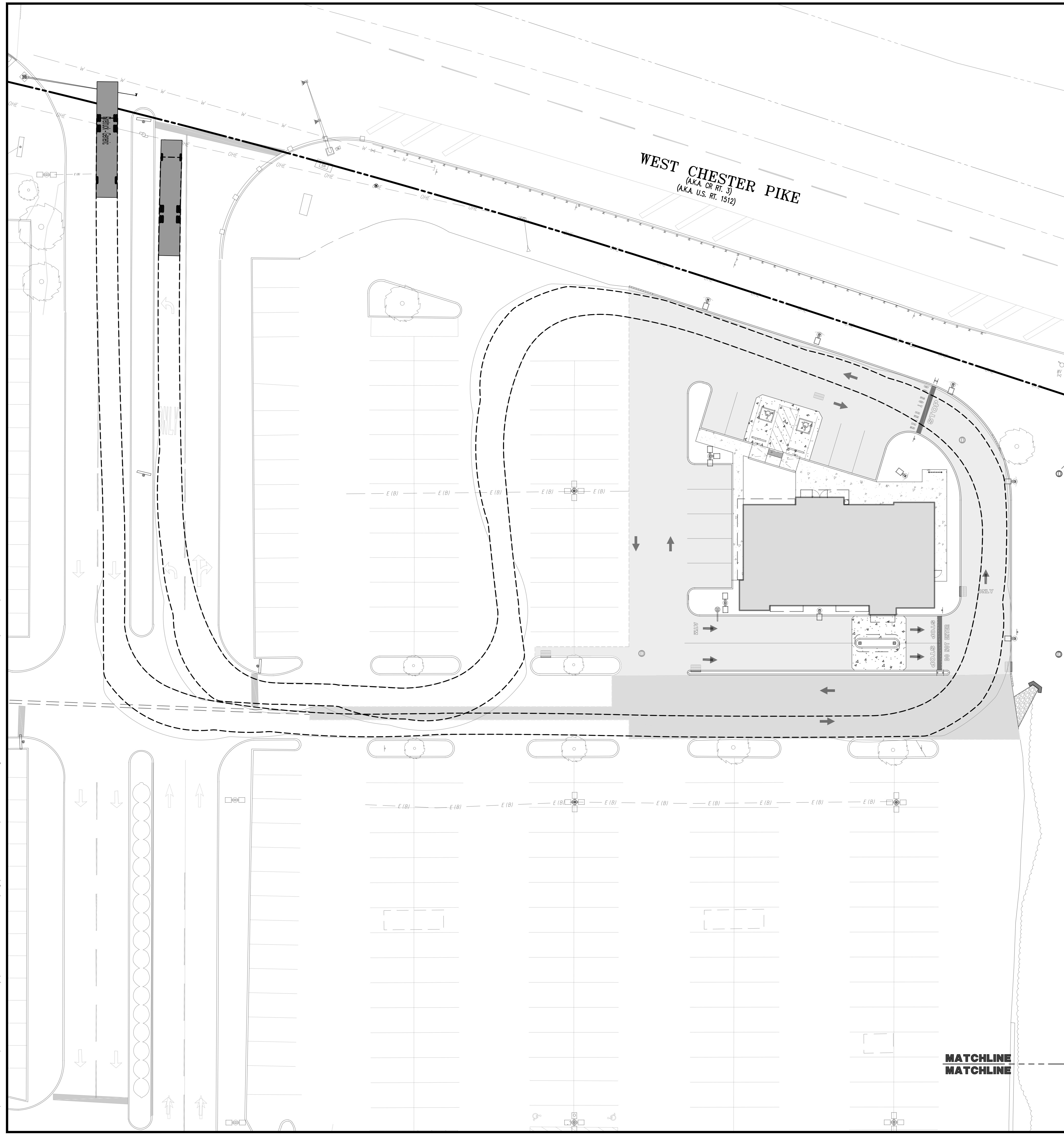
SHEET No: 20 OF 25

Plotted: 11/08/24 - 3:08 PM, By: mdolaney
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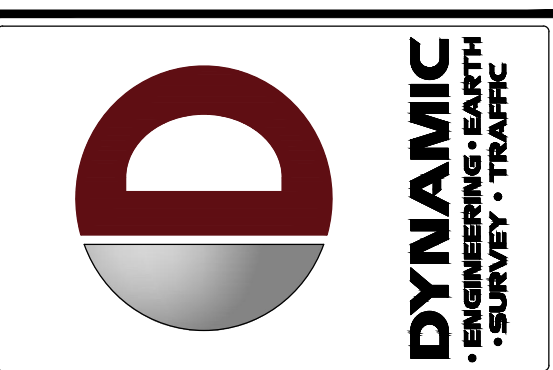
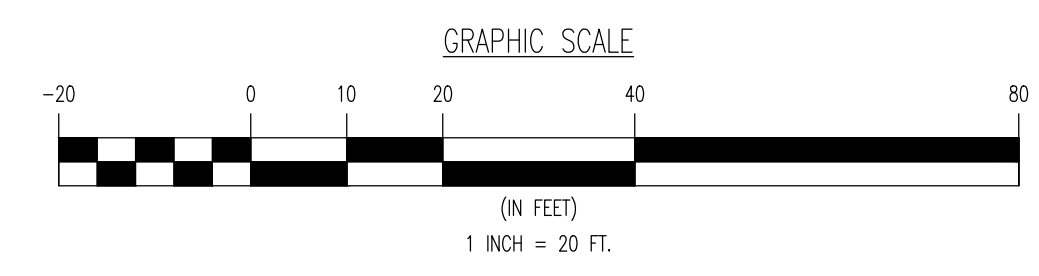


WEST CHESTER PIKE
(AKA. OR RT. 3)
(AKA. U.S. RT. 1512)



Firetruck - Generic	47.000ft
Overall Length	8.500ft
Overall Width	10.519ft
Min. Body Ground Clearance	6.950ft
Track Width	8.500ft
Lock-to-lock time	6.000s
Max Wheel Angle	40.00°

MATCHLINE
MATCHLINE



DATE	REV.	BY	COMMENTS
11/09/24	1	ALM	REV. PER TOWNSHIP COMMENTS
09/30/24	2	ALM	REV. PER TOWNSHIP & CCD COMMENTS

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CHASE O PROPOSED CHASE BANK
PARCEL NO. 67-2-42-4
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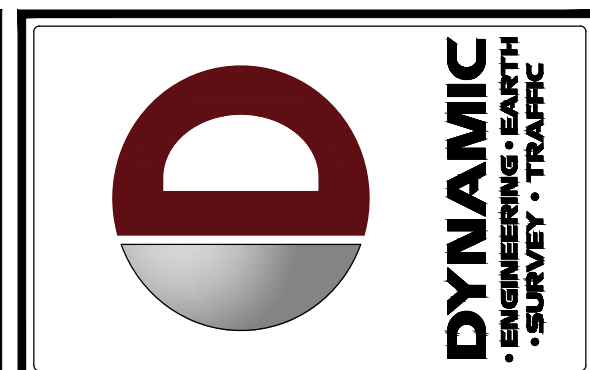
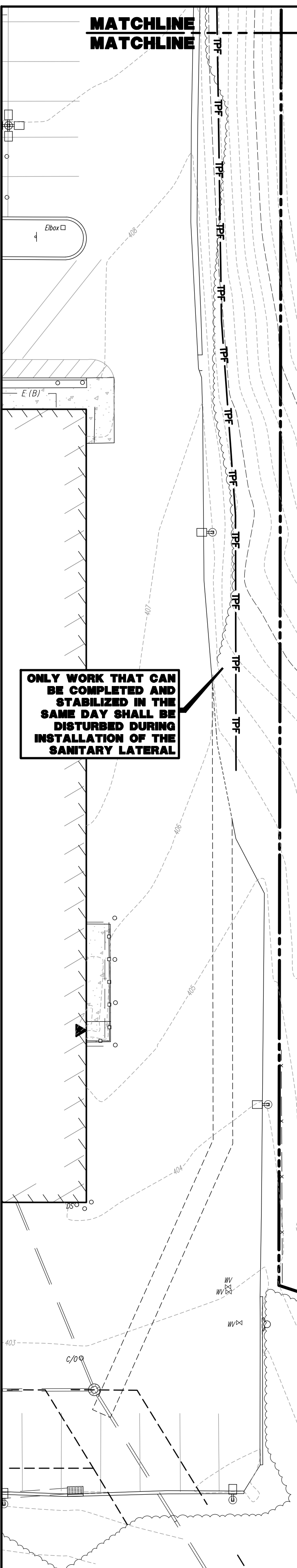
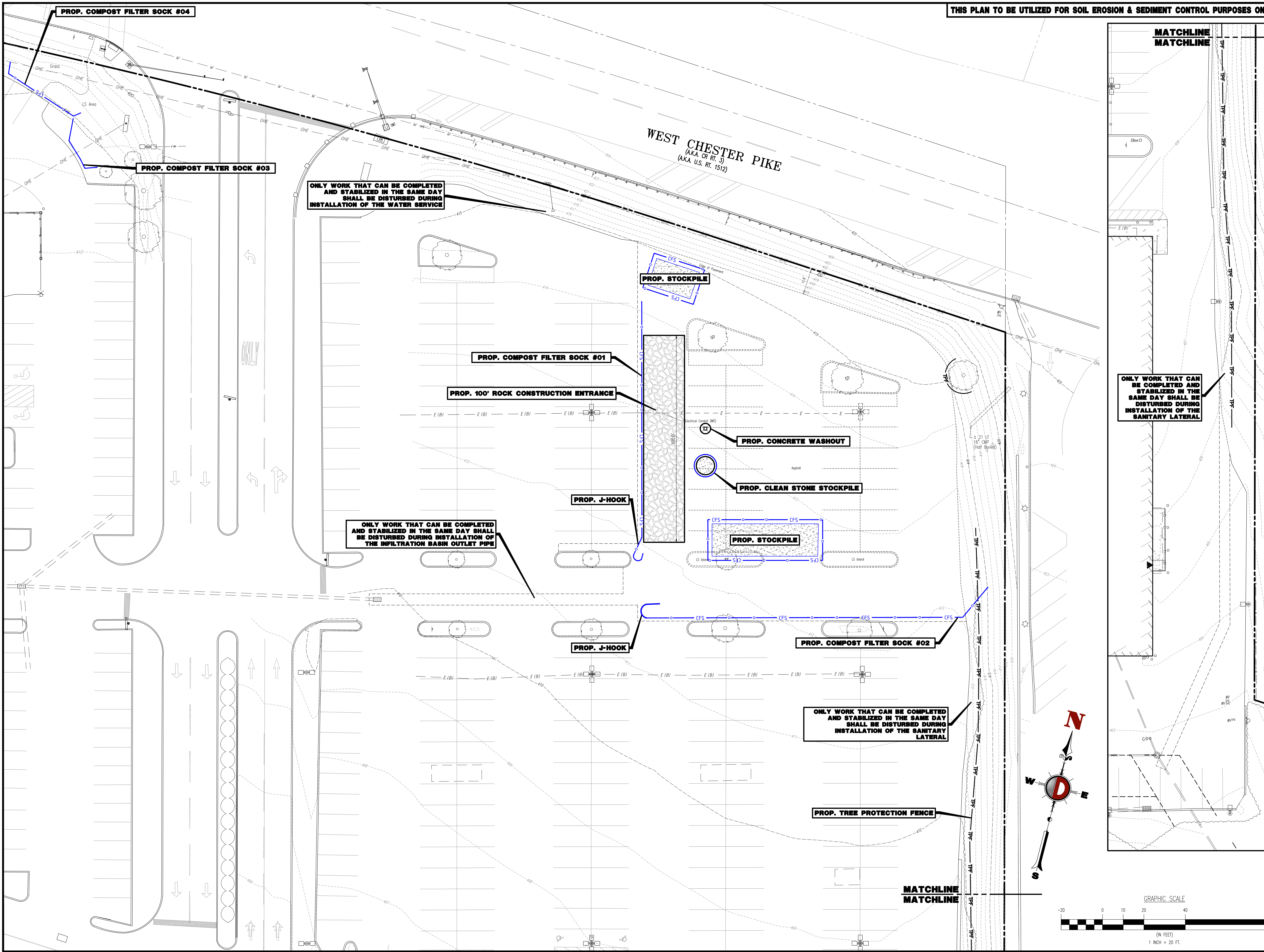
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NEW JERSEY LICENSE NO. 52989

TITLE: VEHICLE CIRCULATION PLAN (FIRE TRUCK)

SCALE: (H) NOT TO (V) SCALE DATE: 07/12/2024
PROJECT No: 1478-99-191

SHEET No: 21 OF 25 Rev. #: 2

Plotted: 11/09/24 - 3:08 PM, By: mdolaney
File: P:\CEPC PROJECTS\1478 Paramount Realty\99-191 West Chester PA\DWG\4 Land Dev Plans\147899191S12.dwg, ----> 21 VEHICLE CIRCULATION PLAN (FIRE TRUCK)



REV.	DATE	COMMENTS
1	09/30/24	REV. PER TOWNSHIP COMMENTS
2	11/04/24	REV. PER TOWNSHIP & CCD COMMENTS

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PROJECT: WESTTOWN AM WEST TIC LLC
 PROPOSED CHASE BANK
 PARCEL NO. 67-2-42-4
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 PENNSYLVANIA LICENSE NO. 1060629

MATTHEW SHARO
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TITLE: CONSERVATION PLAN

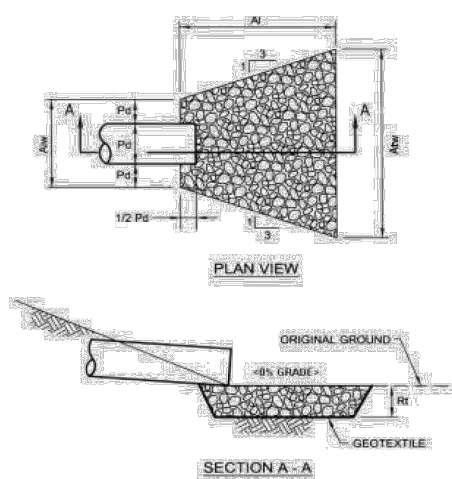
SCALE: (H) 1" = 20'
 (V) DATE: 07/12/2024
 PROJECT No: 1478-99-191

SHEET No: **22** OF 25
 Rev. #: 2

EROSION AND SEDIMENTATION CONTROL PLAN

STANDARD WORKSHEET #20
Riprap Apron Outlet Protection

PROJECT NAME: Proposed Chase Bank
 LOCATION: Westtown Township, PA
 PREPARED BY: MSW DATE: 9/27/2024
 CHECKED BY: SRM DATE: 9/27/2024



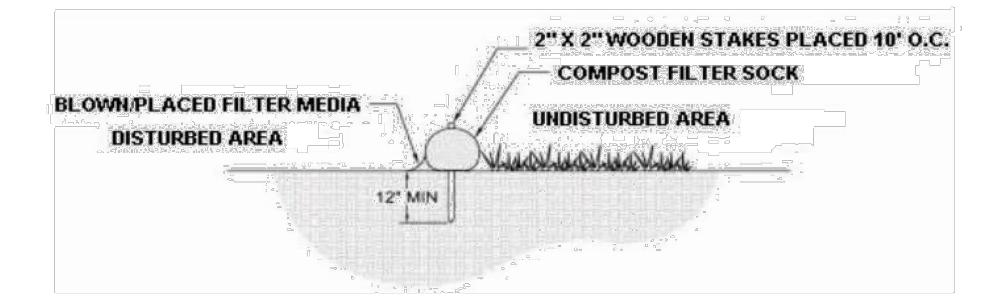
NO	PIPE DIA (in)	WATER COND (M)	MAN. FOR (x or Min)	PIPE SLOPE (F/T)	Q (CFS)	V* (FPS)	RIPRAP SIZE	Rt (in)	At (ft)	Atw (ft)	Atw (ft)
HW #501	18	MIN	0.012	4.06	2.34	R-3	9	8	1.5	12.5	

* The anticipated velocity (V) should not exceed the maximum permissible shown in Table 6.6 for the proposed riprap protection. Adjust for less than full pipe flow. Use Manning's equation to calculate velocity for pipe slopes > 0.05 ft.

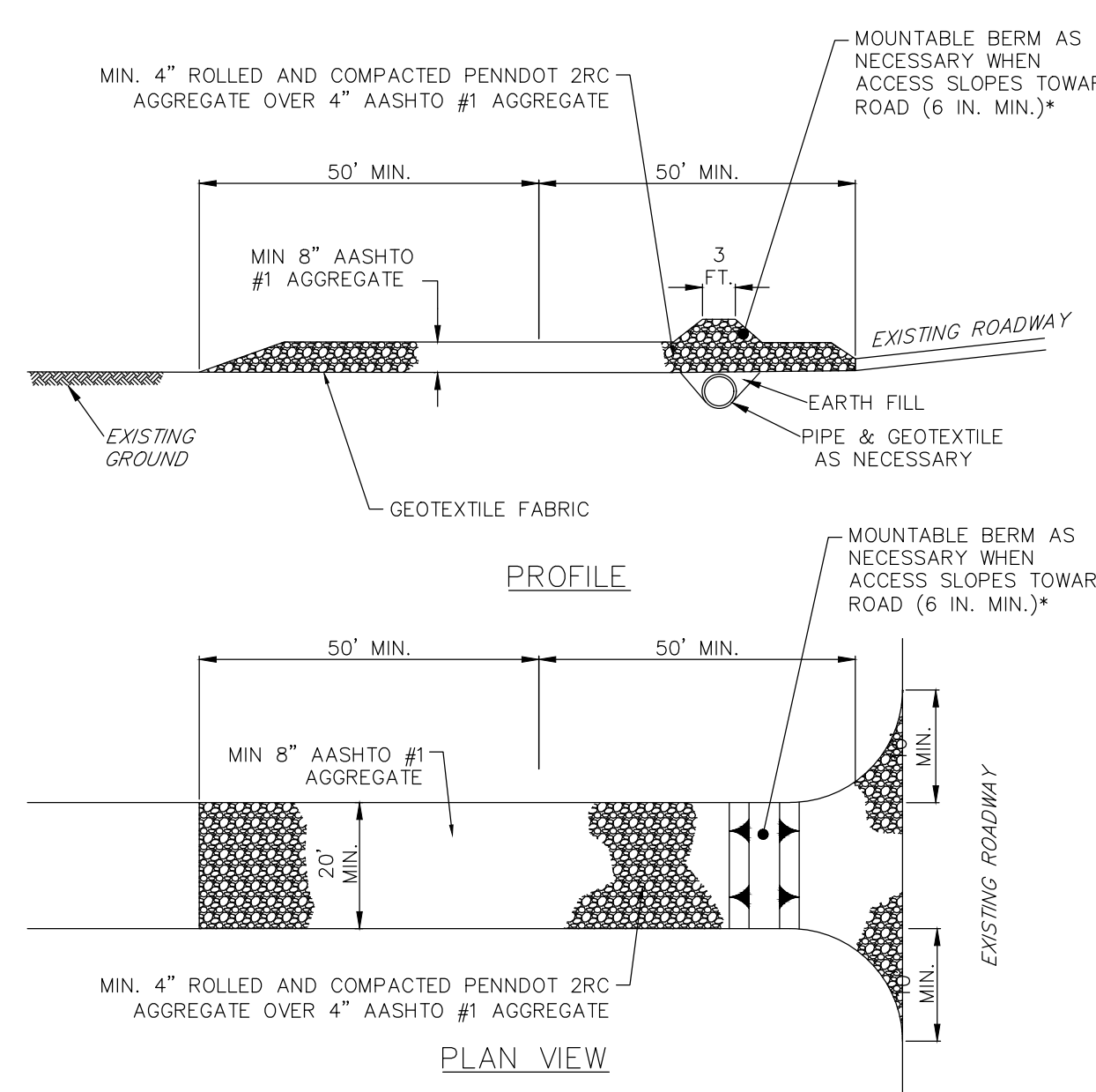
EROSION AND SEDIMENTATION CONTROL PLAN

STANDARD WORKSHEET #1
Compost Filter Socks

PROJECT NAME: Proposed Chase Bank
 LOCATION: Westtown Township, PA
 PREPARED BY: KDS DATE: 9/27/2024
 CHECKED BY: SRM DATE: 9/27/2024

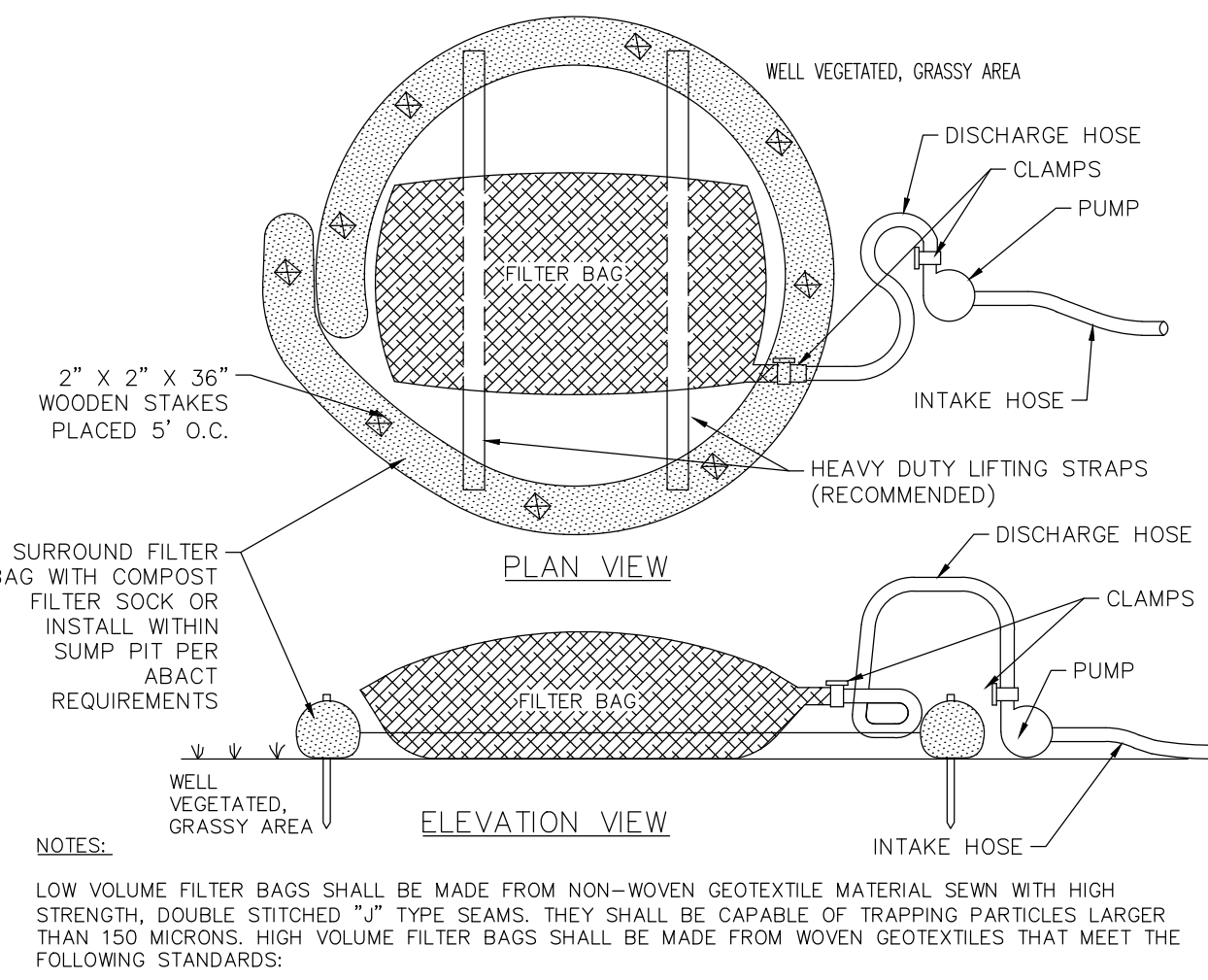


SOCK NO.	DIA. IN.	LOCATION	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER (FT)
1	12"	Southwest Drive Aisle	3%	44
2	12"	Southeast Drive Aisle	4%	49
3	18"	Bus Stop Access	19%	38
4	18"	Bus Stop Access	15%	47



STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE

NOTES:
 * MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE
 REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

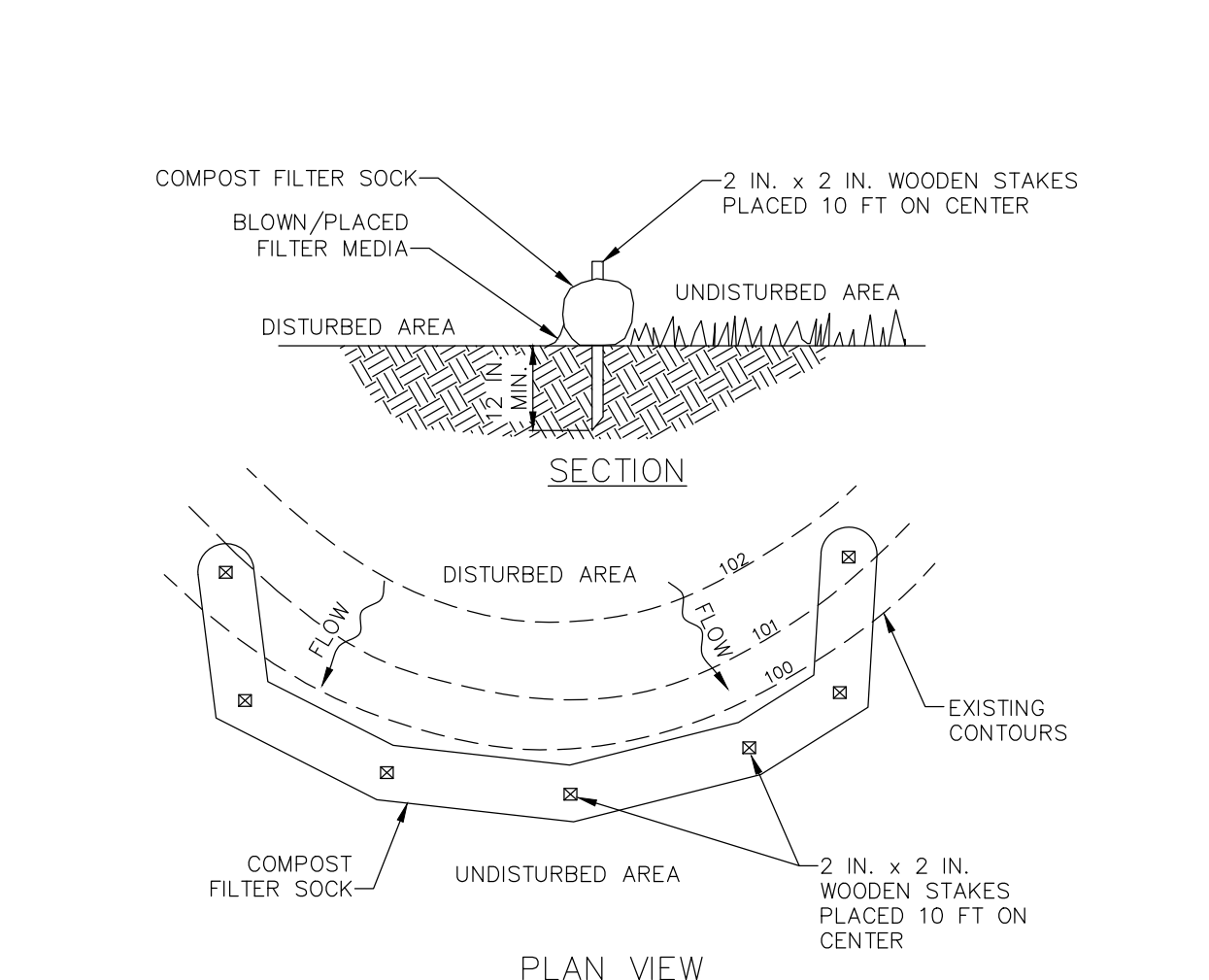


STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG
NOT TO SCALE

NOTES:
 LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "I" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4832	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
 THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.



STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK
NOT TO SCALE

NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

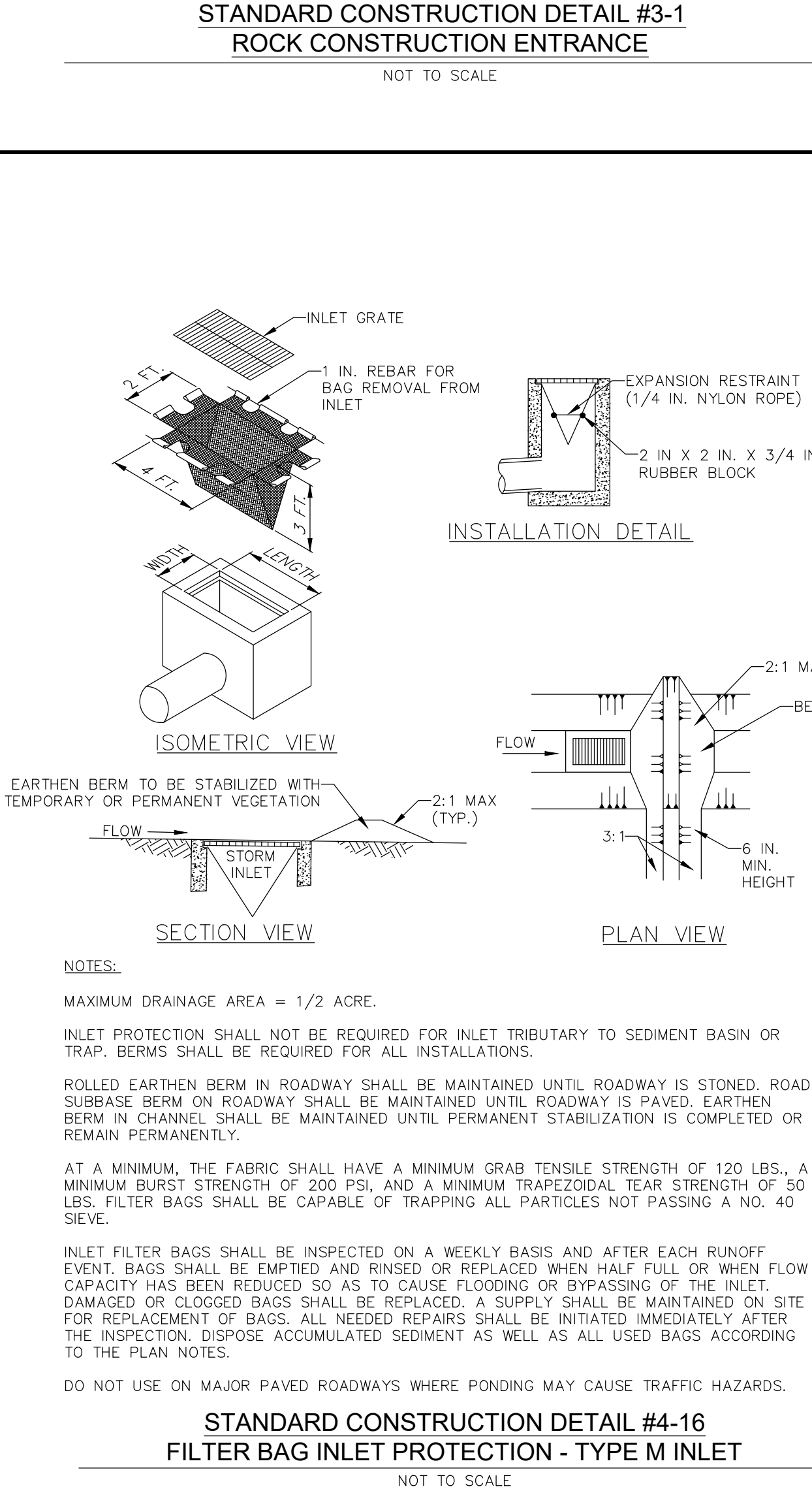
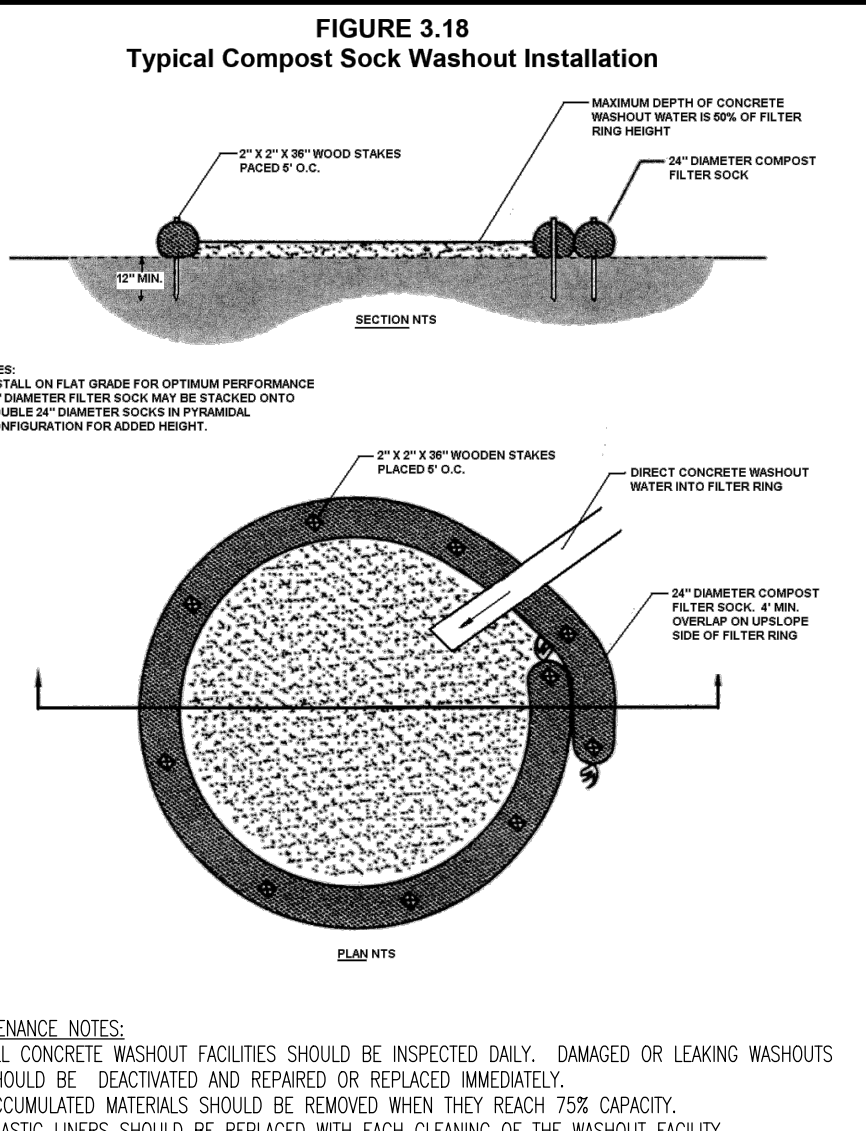
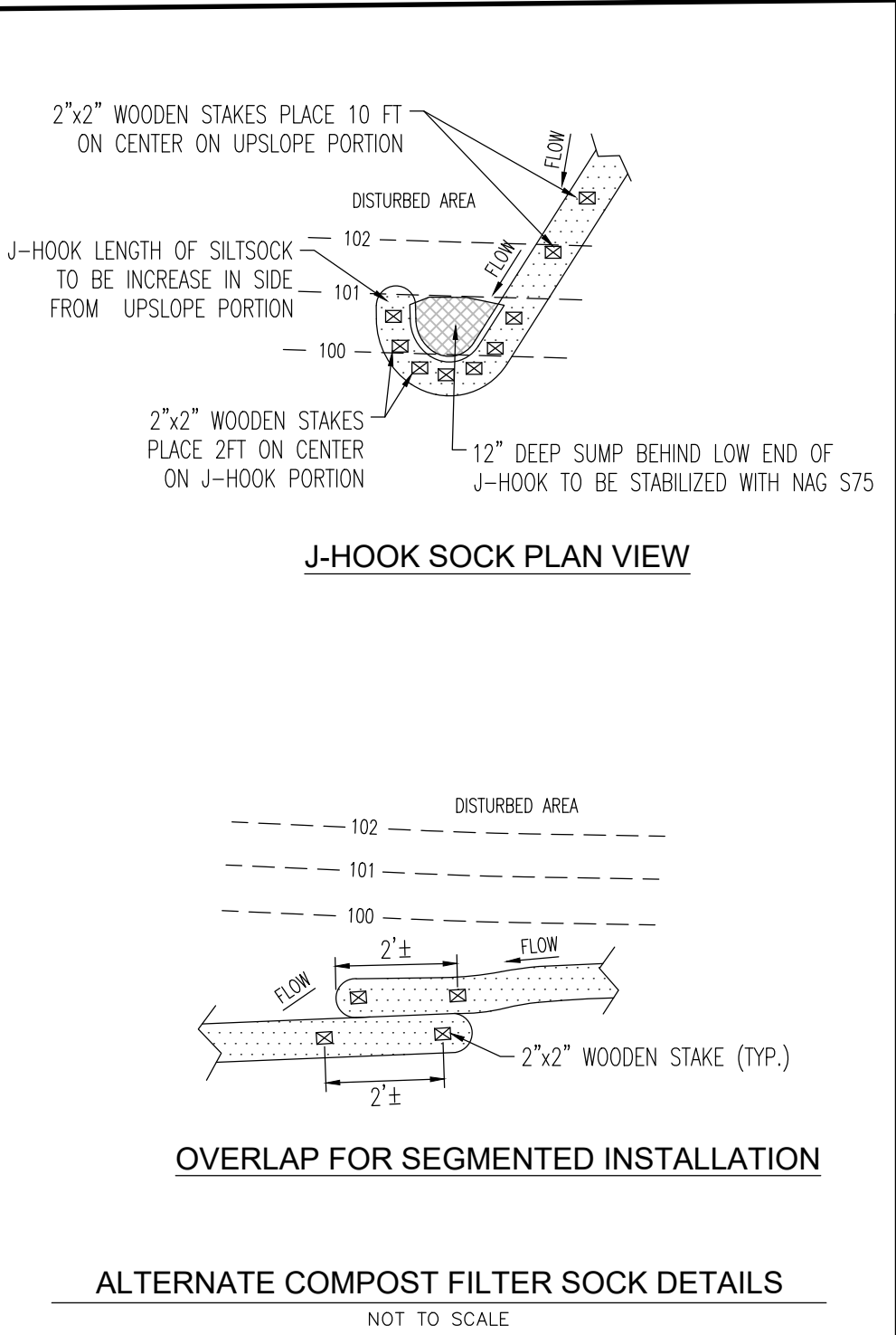


TABLE 4.1
Compost Sock Fabric Minimum Specifications

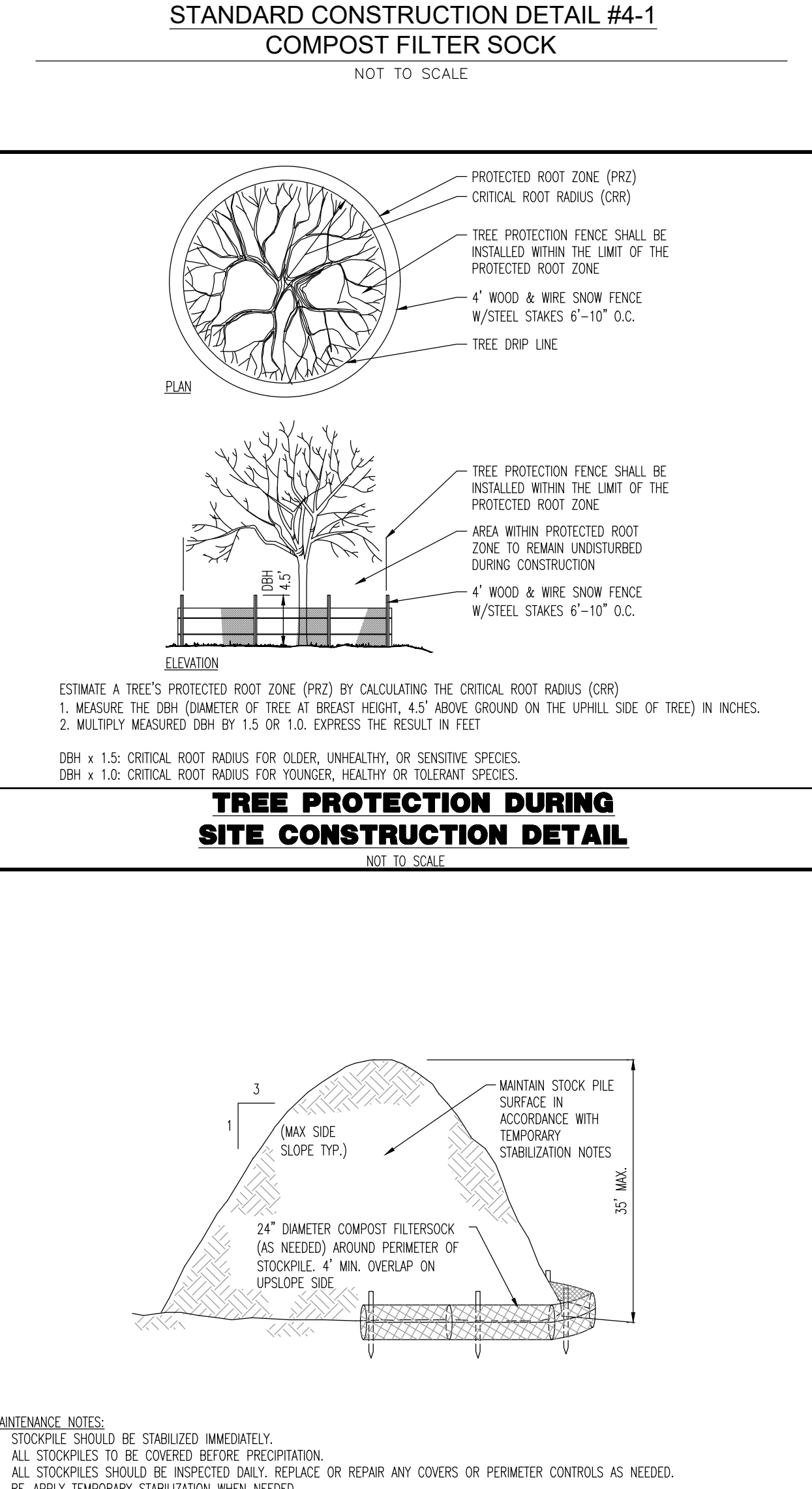
Material Type	3 mil HDPE			5 mil HDPE		5 mil HDPE		Multi-Filament Polypropylene (MFFP)		Heavy Duty Multi-Filament Polypropylene (HDMFFP)	
	Photo-degradable	Photo-degradable	Bio-degradable	12"	12"	12"	12"	Photo-degradable	Photo-degradable	Photo-degradable	Photo-degradable
Material Characteristics											
Sock Diameters	12"	18"	18"	12"	12"	12"	12"	18"	18"	18"	18"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"
Tensile Strength		26 psi	26 psi	44 psi	44 psi	44 psi	44 psi	202 psi	202 psi	202 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	1 year	1 year	1 year	2 years	2 years	2 years	2 years

TABLE 4.2
Compost Standards

Organic Matter Content	25% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.5
Moisture Content	30% - 60%
Particle Size	30% - 60% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

TABLE 4.3
Tree Protection During Site Construction Detail

ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).
 1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5' ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
 2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.
 DBH x 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.
 DBH x 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.



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 PROPOSED CHASE BANK
 PARCEL NO. 67-2-4-2-4
 1506 PENNSYLVANIA STATE HIGHWAY ROUTE J (WEST CHESTER PIKE)
 CHESTER COUNTY, PENNSYLVANIA

REVISIONS:

NO.	DATE	REVISION
1	09/30/24	REV. PER TOWNSHIP COMMENTS
2	11/04/24	REV. PER TOWNSHIP & CCD COMMENTS

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TITLE: **E&S DETAILS**

SCALE: (H) NOT TO SCALE (V) SCALE: 07/12/2024
 PROJECT NO: 1478-99-191

SHEET NO: **25** OF 25

Plotted: 11/08/24 - 3:10 PM, By: mdolaney
 File: P:\CEPC PROJECTS\1478 Paramount Realty\4 Land Dev Plans\147899191ED2.dwg, ----> 25 E&S DETAILS
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